



**REGULAR MEETING OF THE
PLANNING AND ZONING COMMISSION**

TUESDAY, AUGUST 19, 2025

**ADDISON TOWN HALL
5300 BELT LINE ROAD, DALLAS, TX 75254**

6:00 P.M. REGULAR MEETING

The Planning and Zoning Commission meeting and public hearing will be held at the Addison Town Hall, 5300 Belt Line Road, Dallas, Texas 75254 on Tuesday, August 19, 2025 at 6:00 pm. For more information on the meeting location and ways to view and/or present comments, please contact Korrie Becht prior to 3:00 pm on the day of the meeting at 972-450-2824 or by emailing zoninginput@addisontx.gov. For more detailed instructions on how to participate in this meeting, visit our Agenda Page. The meeting will be live streamed on Addison's website at www.addisontx.gov.

Call Meeting to Order

Pledge of Allegiance

Planning & Zoning Commission Purpose Statement

Consent Agenda: All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.

1. Consider Action on the minutes from the July 15, 2025 Planning and Zoning Commission Meeting.

2. Consider Action on Development Plans for an airport hangar with office on 1.57 acres, located at 15500 Wright Brothers Drive. Case AZR2025-0061/Rasa Hangar

Regular Agenda:

3. Hold a public hearing, present, discuss, and consider action on a request to rezone a 4.7± acre property generally located north and east of Landmark Boulevard, boarding the Addison town boundary on the west and the Dallas North Tollway to the east, addressed as 14651 Dallas Parkway, from Planned Development (PD) to a new Planned Development (PD) district to allow for a development comprised of 400 multifamily dwelling units and associated private open space and common areas, through the approval of development plans and standards. Case 1925-Z/The Princeton.

Citizen Comments: *At this time citizens will be allowed to speak on any matter other than personnel matters under litigation, for a length of time not to exceed three minutes. No P&Z action or discussion may take place on any matter until such matter has been placed on an agenda and posted in accordance with law.*

Adjourn Meeting

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

THE TOWN OF ADDISON IS ACCESSIBLE TO PERSONS WITH DISABILITIES. PLEASE CALL (972) 450-7017 AT LEAST 48 HOURS IN ADVANCE IF YOU NEED ASSISTANCE.

POSTED BY: _____
Korrie Becht, Assistant Director of Development Services

DATE POSTED: _____

TIME POSTED: _____

DATE REMOVED FROM BULLETIN BOARD: _____

REMOVED BY: _____

Planning & Zoning Commission

Meeting Date: 08/19/2025

Agenda Caption:

Pledge of Allegiance

Planning & Zoning Commission

1.

Meeting Date: 08/19/2025

Agenda Caption:

Consider Action on the minutes from the July 15, 2025 Planning and Zoning Commission Meeting.

Staff Report:

The minutes from the July 15, 2025 Planning and Zoning Commission Meeting have been prepared for consideration.

Recommendation:

Administration recommends approval.

Attachments

Minutes of July 15, 2025 Planning and Zoning Commission

OFFICIAL ACTIONS OF THE ADDISON PLANNING AND ZONING COMMISSION

July 15, 2025

6:00 P.M. - Council Chambers

Addison Town Hall, 5300 Belt Line Road

Present: Chair Denise Fansler; Vice Chair Tom Braun; Commissioner Jimmy Barker; Commissioner Ed Copeland; Commissioner Chelsey Smith; Commissioner Alan Then; Commissioner Tyler Wright

Call Meeting to Order

Chair Fansler called the meeting to order.

Pledge of Allegiance

Chair Fansler led the Pledge of Allegiance.

Planning & Zoning Commission Purpose Statement

Chair Fansler recited the Planning and Zoning Commission Purpose Statement.

Consent Agenda: *All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.*

1. Consider Action on the minutes from the June 17, 2025 Planning and Zoning Commission Meeting.

Motion: Recommend approval of the Constent Agenda, as presented.

Moved by Commissioner Tyler Wright, Seconded by Commissioner Ed Copeland

AYE: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner Jimmy Barker, Commissioner Ed Copeland, Commissioner Chelsey Smith, Commissioner Alan Then, Commissioner Tyler Wright

Passed

Regular Agenda:

1. Hold a public hearing, present, discuss, and consider action on the adoption of new zoning districts in accordance with the Unified Development Code (“UDC”), including changes to the Town of Addison’s laws and regulations regarding zoning districts, subdivision and development, and building and construction and to adopt new zoning districts in accordance with the UDC.

Lesley Nyp, Director of Development and Neighborhood Services, presented the proposed zoning map in accordance with the Unified Development Code (UDC), including adopting new zoning districts.

Staff recommends approval of the proposed zoning map.

Public Hearing: The following individuals provided spoke during the public hearing:

- Robert Kantner, 14853 Winnwood Rd
- Robert Jacoby, 4016 Rive Lane

Motion #1: Recommend to amend the proposed zoning map to designate all existing town parks as dedicated parks or public space zoning classifications, P1, P2, P3 and move this amendment be incorporated before the zoning map is adopted.

Moved by Commissioner Jimmy Barker, Seconded by Commissioner Alan Then

AYE: Commissioner Jimmy Barker, Commissioner Alan Then
NAY: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner EJ Copeland, Commissioner Chelsey Smith, Commissioner Tyler Wright
Failed

Motion #2: Recommend approval of the zoning map as presented.

Moved by Vice Chair Tom Braun

Motion #2 Amendment: Recommend approval of the zoning map and

the zoning map would be further subject to the restricted permitted use to that of public park or open space and regulations as outlined in the areas delineated in the Addison Recreation and Open space Master Plan

Moved by Commissioner Alan Then, Seconded by Commissioner Jimmy Barker

AYE: Commissioner Jimmy Barker, Commissioner Alan Then
NAY: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner EJ Copeland, Commissioner Chelsey Smith, Commissioner Tyler Wright
Failed

Motion #2: Recommend approval of the zoning map as presented.

Moved by Vice Chair Tom Braun, Seconded by Commissioner Ed Copeland

AYE: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner Ed Copeland, Commissioner Chelsey Smith, Commissioner Tyler Wright

NAY: Commissioner Jimmy Barker, Commissioner Alan Then
Passed

Citizen Comments: *At this time citizens will be allowed to speak on any matter other than personnel matters under litigation, for a length of time not to exceed three minutes. No P&Z action or discussion may take place on any matter until such matter has been placed on an agenda and posted in accordance with law.*

The following individual spoke during the citizen comment:

- Uma Pulipaka, 14625 Vintage Lane

Adjourn Meeting

There being no further business before the Commission, the meeting was adjourned.

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the

conclusion of the Executive Session.

Planning & Zoning Commission

2.

Meeting Date: 08/19/2025

Agenda Caption:

Consider Action on Development Plans for an airport hangar with office on 1.57 acres, located at 15500 Wright Brothers Drive. Case AZR2025-0061/Rasa Hangar

Recommendation:

Staff recommends approval.

Attachments

AZR2025-0061 Staff Report

AZR2025-0061 Plans

AZR2025-0061 Letter of Intent

AZR2025-0061

Case AZR2025-0061/Rasa Hangar. Consider action on Development Plans for an airport hangar with office on 1.57 acres, located at 15500 Wright Brothers Drive.

LOCATION MAP



Legend

- Town Limits
- Property Boundaries
- Subject Property



August 19, 2025

STAFF REPORT

RE: AZR2025-0061/Rasa Hangar

LOCATION: 15500 Wright Brothers Drive

REQUEST: Approval of Development Plans for an airport hangar with office on 1.57 acres, located at 15500 Wright Brothers Drive.

APPLICANT: Kelly Morgan, Nelson+Morgan Architects

OWNER: Michael Rasa, ADS Land Co, LLC

DISCUSSION:

Background: The applicant submitted an request for the approval of development plans for one structure, totaling 27,458 square feet. The structure will be used as a new airplane hangar and office space adjacent to the Addison Airport. The site includes 1.57 acres and is zoned Industrial 1 (I-1).

Proposed Plan: The proposed site plan includes a single-story structure with a mezzanine. The primary use of the structure will be for aircraft hangar space. In addition to the hangar space, the structure is proposed to include office space, conference rooms, restroom facilities, and lounge areas. The site includes a continuous apron to serve the proposed hangar on the east side of the site, which has direct access to Taxilane Bravo. The site has vehicular access on Wiley Post Road and emergency service access at three points on Wright Brothers Drive and Wiley Post Road.

The proposed building is proposed to be located within the required 25-foot side yard setback. A variance for a 22-foot reduction of the setback, allowing a 3-foot setback from the property line, was requested and granted by the Board of Zoning Adjustment to accommodate the proposed office and aviation hangar structure.

Parking: The I-1 zoning district requires one parking space per 1,000 square feet of gross floor area for industrial in nature uses, where the number of employees is indeterminate. The proposed structure is 27,458 square feet, requiring 28 parking spaces. The site plan exceeds the requirements by providing 33 parking spaces on site. The parking provided is equivalent to 1 space for each 832 square feet of gross floor area.

Exterior Facades: The hangar building will achieve a maximum height of 46 feet. The primary exterior materials for the public facing (landside) facades will include a masonry treatment and prefabricated metal. The airside facades will consist of prefabricated metal panel. The primary building facades will provide a canopy over the primary pedestrian entrance, windows into interior lounge areas, clerestory windows, and metal garage doors. Due to existing easement constraints

and limitations caused by the nature of the use, a majority of the mechanical equipment is located in front and side of the building. A solid waste enclosure will be constructed at the north corner of the site and materials used will be consistent with the building façade and screened with landscaping.

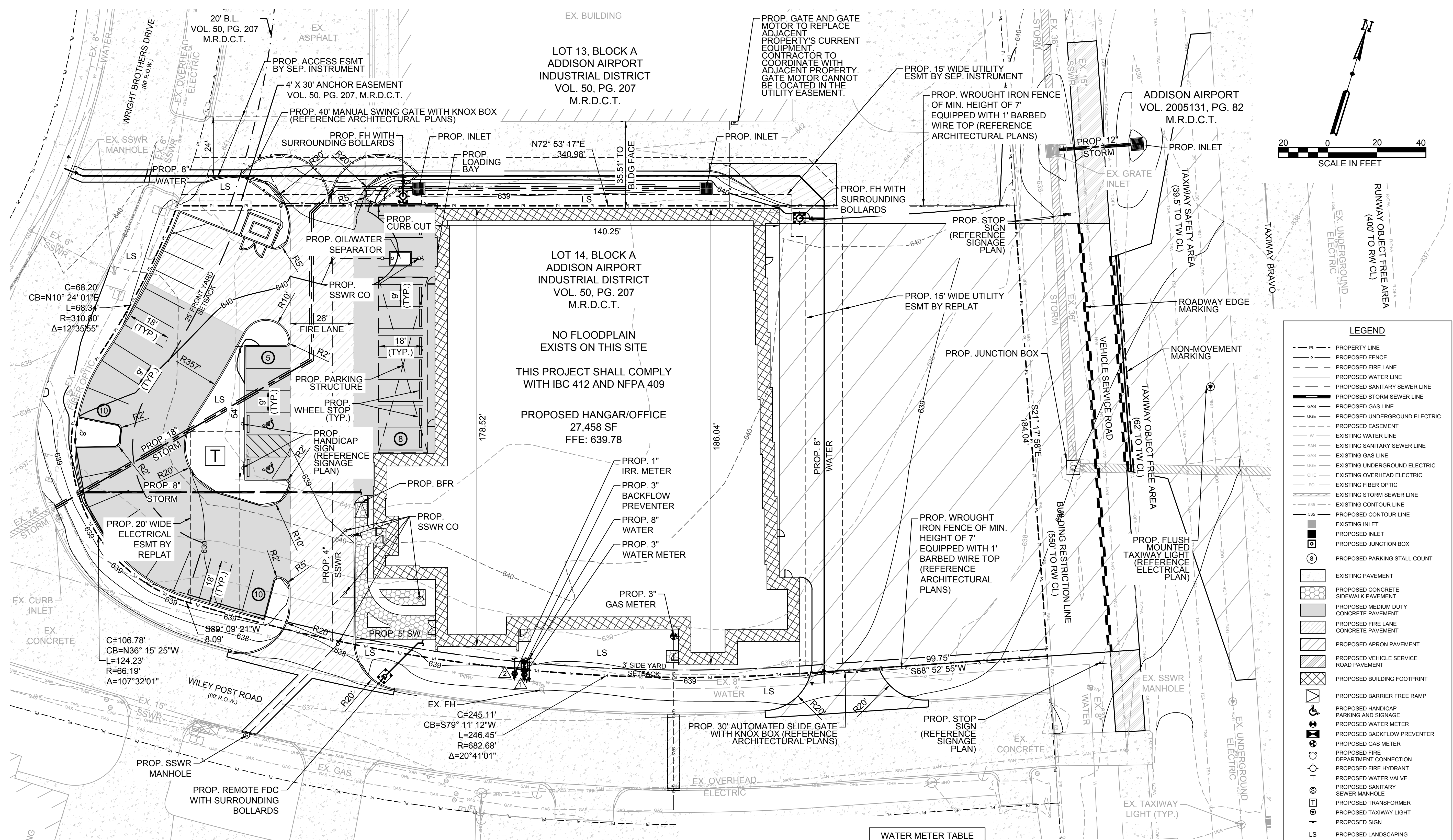
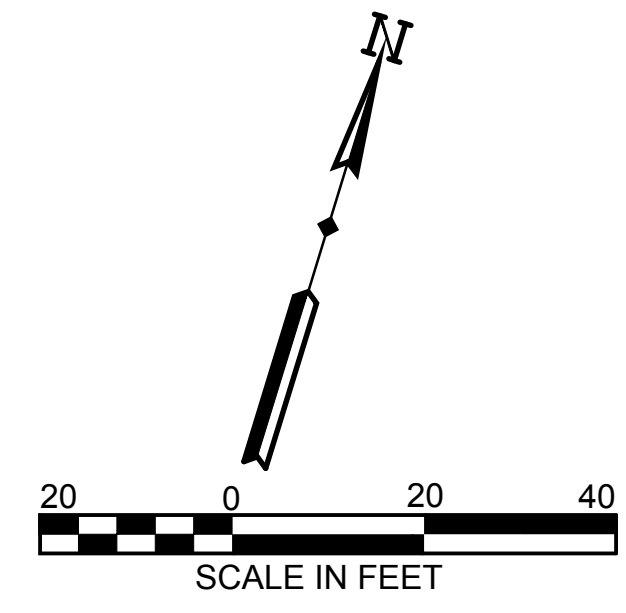
Landscaping and Streetscape: For development on and around the Addison Airport, Town staff takes special consideration during the site plan process to ensure that both Town and Federal Aviation Administration (FAA) regulations are considered.

The Town's Landscape Ordinance requires that properties developed under the I-1 zoning district provide 10 percent of the site as landscaped area. Other requirements include a 20-foot landscape buffer along the street frontage, 5 percent of interior landscape planting in the parking lot, and parking lot screening. The proposed landscaping has met or exceeded the Town's landscape requirements. To ensure the safety of the aircraft, the landscaping on site has been concentrated at the front of the building.

RECOMMENDATION: APPROVAL

The overall design and scale of the airport hangar is compatible with the existing built environment of the Addison Airport, and it complies with the I-1 zoning district and applicable Town development standards.

Staff recommends approval of the request.



LEGEND

- PL - PROPERTY LINE
- PROPOSED FENCE
- PROPOSED FIRE LANE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM SEWER LINE
- GAS - PROPOSED GAS LINE
- UGE - PROPOSED UNDERGROUND ELECTRIC
- PROPOSED EASEMENT
- W - EXISTING WATER LINE
- SAN - EXISTING SANITARY SEWER LINE
- GAS - EXISTING GAS LINE
- UGE - EXISTING UNDERGROUND ELECTRIC
- OHE - EXISTING OVERHEAD ELECTRIC
- FO - EXISTING FIBER OPTIC
- EXISTING STORM SEWER LINE
- EXISTING CONTOUR LINE
- 535 - PROPOSED CONTOUR LINE
- 535 - EXISTING INLET
- PROPOSED INLET
- PROPOSED JUNCTION BOX
- PROPOSED PARKING STALL COUNT
- EXISTING PAVEMENT
- PROPOSED CONCRETE SIDEWALK PAVEMENT
- PROPOSED MEDIUM DUTY CONCRETE PAVEMENT
- PROPOSED FIRE LANE CONCRETE PAVEMENT
- PROPOSED APRON PAVEMENT
- PROPOSED VEHICLE SERVICE ROAD PAVEMENT
- PROPOSED BUILDING FOOTPRINT
- PROPOSED BARRIER FREE RAMP
- PROPOSED HANDICAP PARKING AND SIGNAGE
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTER
- PROPOSED GAS METER
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED TRANSFORMER
- PROPOSED TAXIWAY LIGHT
- PROPOSED SIGN
- LS - PROPOSED LANDSCAPING

- TOWN OF ADDISON SITE PLAN NOTES:**
- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH TOWN REGULATIONS.
 - BUILDINGS WITH AN AGGREGATE SUM OF 0 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE MARSHAL.
 - ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL VIA A SIGN PERMIT.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
 - THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.

WATER METER TABLE

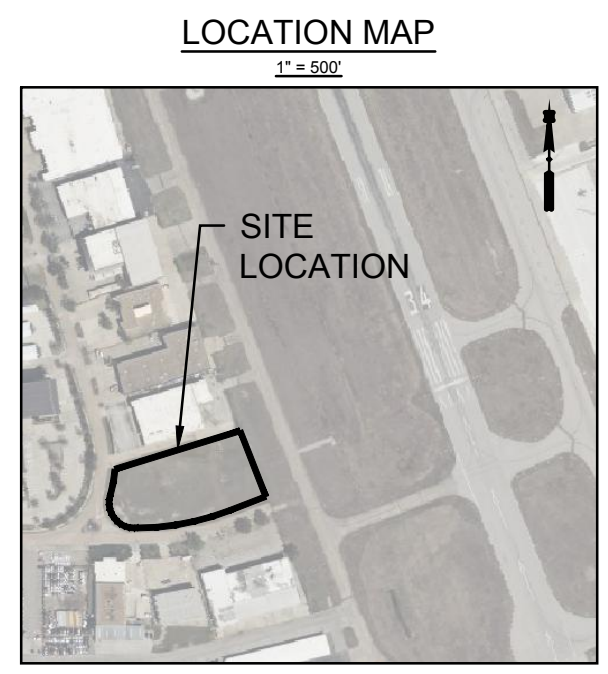
	PROP. 3" DOMESTIC METER
	PROP. 1" IRR. METER

SITE DATA TABLE

SITE ADDRESS	15500 Wright Brothers Drive, Addison, TX 75001
ZONING	INDUSTRIAL-1
PROPOSED USE	HANGAR/OFFICE
LOT AREA (S.F.)	68,484
LOT AREA (AC)	1.57
GROSS BUILDING AREA (S.F.)	27,458
HANGAR AREA (S.F.)	19,859
OFFICE AREA (S.F.)	7,599
BUILDING HEIGHT (FT.)	44' - 0"
BUILDING HEIGHT (STORIES)	2
LOT COVERAGE (%)	91.24%
OPEN SPACE REQUIRED (%)	0%
OPEN SPACE PROVIDED (%)	0%
IMPERVIOUS SURFACE (S.F.)	62,484
PARKING	
TOTAL PARKING REQUIRED (#)	28
TOTAL PARKING PROVIDED (RATIO)	1 SPACE/1,000 S.F.
TOTAL PARKING PROVIDED (#)	33
HANDICAP PARKING REQUIRED (#)	2
HANDICAP PARKING PROVIDED (#)	2

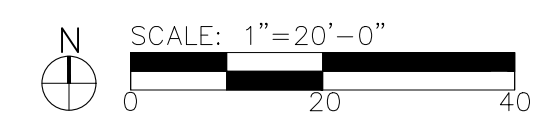
CONTACT INFORMATION

OWNER	MICHAEL RASA
NAME	P.O. BOX 2768
ADDRESS	ADDISON, TX 75001
PHONE NUMBER	(972) 880-8888
APPLICANT	KELLY MORGAN
NAME	2717 WIND RIVER LANE, SUITE 230
ADDRESS	DENTON, TX 76210
PHONE NUMBER	(940) 566-0266
ENGINEER	LOCHNER
NAME	12750 MERIT DRIVE, SUITE 570
ADDRESS	DALLAS, TX 75251
PHONE NUMBER	(817) 371-8472



Last Saved By: bmaison_2025/07/31
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 Plot Style: ae.ctb

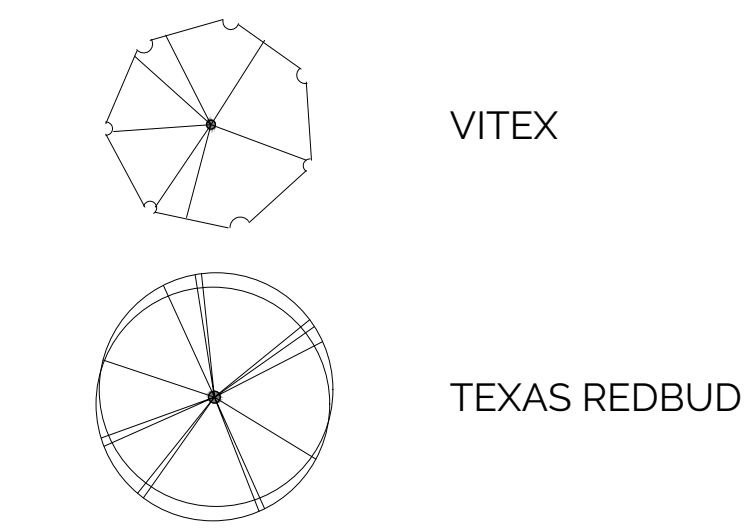
LANDSCAPE PLAN



PROJECT LANDSCAPE DATA TABLE				
PD LANDSCAPE REQUIREMENTS				
ZONING: INDUSTRIAL 1				
TYPE	REQUIREMENT	AREA / MEASUREMENT	REQUIRED	PROVIDED
SITE AND PARKING	10% OF GROSS SIT AREA SHALL BE LANDSCAPE	68,465 SF	6,846 SF	12,942 SF
	STREET LANDSCAPE BUFFER. EVERGREEN SHRUBS PLANTED 3' - 3.5' O.C.	-	YES	YES
	ONE TREE PER 10 SPACES IS DISTRIBUTED IN THE PARKING LOT	33 SPACES	3 TREES	3 TREES
	INTERIOR PARKING LANDSCAPE	18,911 SF	945 (5%)	1,608 (8%)

PLANT SYMBOL LEGEND

TREES



SHRUBS / LARGE PERENNIALS



TURF

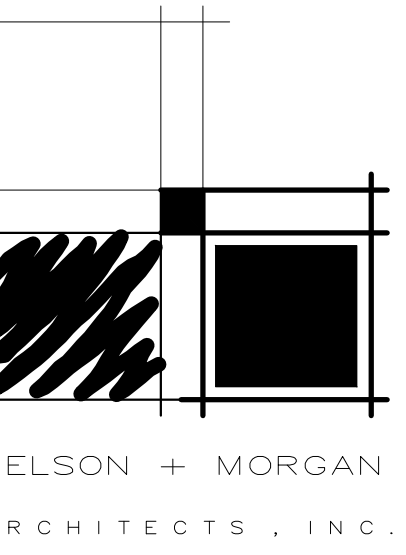


OTHER



- NOTES:
1. AN IRRIGATION PLAN IS REQUIRED ON CIVIL, AND CONSTRUCTION PLANS AND MUST BE SIGNED AND SEALED BY A LICENSED IRRIGATOR.
 2. ALL IRRIGATION CONTROLLERS MUST HAVE A RAIN/FREEZE SENSOR

PLANT MATERIAL SCHEDULE							
QUANTITY	COMMON NAME	BOTANICAL NAME	CAL.	HT.	SPREAD	CONT.	REMARKS
TREES							
2	VITEX	VITEX AGNUS-CASTUS	45 GAL.	5'	4'	B&B.	FULL & MATCHED, MULTI TRUNK
8	TEXAS REDBUD	CERCIS CANADENSIS	45 GAL.	5'	4'	B&B.	FULL & MATCHED, MULTI TRUNK
SHRUBS & LARGE PERENNIALS							
34	DWARF BURFORD HOLLY	LLEX CORNUTA 'NANA'	7 GAL.	30" MIN	24" MIN		36" O.C. AS INDICATED ON PLANS
10	CARISSA HOLLY	LLEX CORNUTA 'CARISSA'	7 GAL.	36" MIN	36" MIN		48" O.C. AS INDICATED ON PLANS
SMALL PERENNIALS & GROUNDCOVER							
10	AUTUMN SAGE	SALVIA GREGGII	1 GAL.				24" O.C. TRIANGULAR SPACING
16 SF	SCARLET SAGE	SALVIA COCCINEA	1 GAL.				12" O.C. TRIANGULAR SPACING
10	HAMELN GRASS	PENNISETUM ALOPECUROIDES	1 GAL.				24" O.C. TRIANGULAR SPACING
TURF GRASS							
9,042 SF	BERMUDA GRASS SOD	CYNODON DACTYLON	HAND LAID SOD				
OTHER							
261 SF	DECOMPOSED GRANITE	ORANGE/BROWN COLOR RANGE, 1/2" MINUS WITH FINES					
172 LF	BED EDGING	1/8" STEEL	4" BROWN COLOR			INSTALL 1" ABOVE ADJACENT GRADE WITH STAKES	



Architects
Planners
Interior Design

2717 Wind River Lane, Suite 230
Denton, Texas 76210
Telephone 940.566.0266
Fax 940.566.0223
info@nelsonmorgan.com



LANDSCAPE ARCHITECTS
212 S. Elm St. Ste. 120
Denton, Texas 76201
ph: 214.783.1715

TEXAS

A NEW HANGAR FOR
FOR
MD AIR, LLC

ADDISON

JOB: PROJECT NUMBER ***
COPYRIGHT 2024 BY
NELSON + MORGAN ARCHITECTS, INC.

Interim review documents.
Not for regulatory approval,
permitting or construction.
Andrew A. Cousins
Texas RLA No. 2704

Issued Date: 3/12/25
Revision: Date:

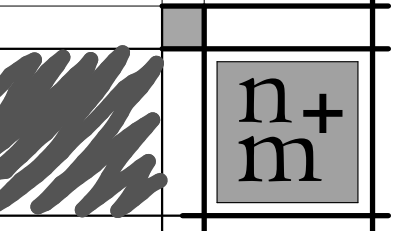
Issued for: 100% Date:
Pricing -
Permitting -
Bidding -
Construction -

LANDSCAPE PLAN

SHEET

LP1.0

REVIEW SET, NOT FOR CONSTRUCTION



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TEXAS

A NEW HANGAR FOR
RASA AVIATION



ADDISON

JOB: 24007
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Issued Date: _____
Revision: _____ Date: _____

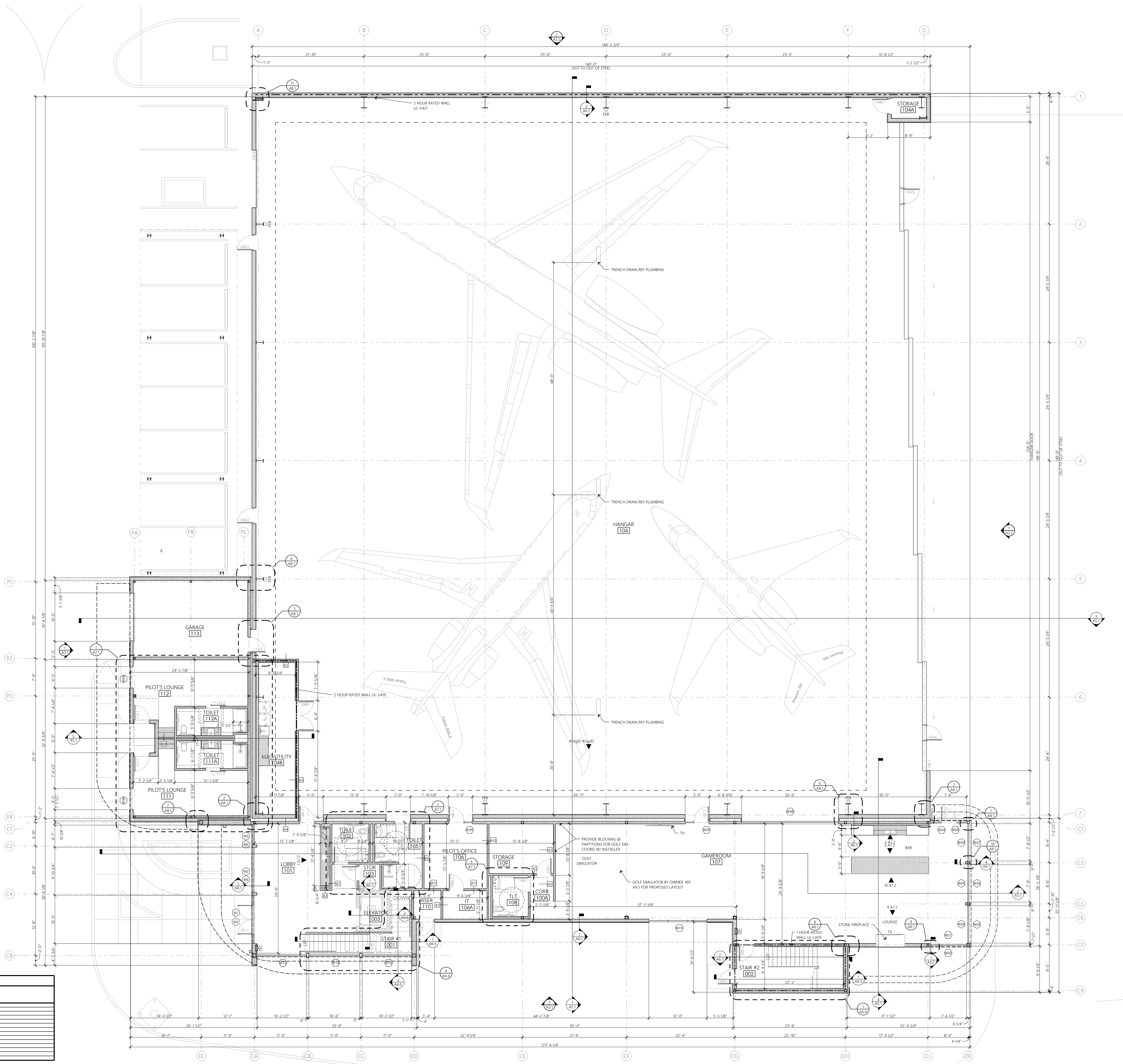
Issued for: _____ Date: _____
Pricing - 2-27-2025
Permitting -
Bidding -
Construction -

FIRST FLOOR PLAN

SHEET

A2.1

PRELIMINARY NOT FOR CONSTRUCTION



WALL PARTITION SCHEDULE		STUD		FINISH		PARTITION HEIGHT		FINISH		PARTITION HEIGHT	
PARTITION TAG	PARTITION TYPE	NO. STUDS/AREA	SPACING TO STUD	1" ABOVE G.F.	HEIGHT ABOVE G.F.	NO. STUDS/AREA	SPACING TO STUD	1" ABOVE G.F.	HEIGHT ABOVE G.F.	NO. STUDS/AREA	SPACING TO STUD
W1	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W2	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W3	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W4	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W5	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W6	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W7	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W8	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W9	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W10	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W11	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W12	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W13	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W14	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W15	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W16	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W17	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W18	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W19	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"
W20	10	12	48"	1/2"	8'-0"	12	48"	1/2"	8'-0"	12	48"

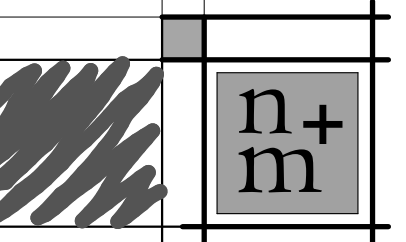
STUD TYPE:
S1 - 3/8" METAL STUDS @ 16" O.C.
S2 - 6" METAL STUDS @ 16" O.C.

FINISH TYPE:
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F2 - 5/8" GYP BD (ONE SIDE) - TEXTURE & PAINT
F3 - 5/8" MOISTURE RESISTANT GYP BD (ONE SIDE)
F4 - 5/8" MOISTURE RESISTANT GYP BD (ONE SIDE) - 5/8" GYP BD (ONE SIDE) - TEXTURE & PAINT
F5 - 5/8" MOISTURE RESISTANT GYP BD (BOTH SIDES)
F6 - 5/8" MOISTURE RESISTANT GYP BD (ONE SIDE) - 5/8" GYP BD (ONE SIDE) - TEXTURE & PAINT
F7 - 5/8" GYP BD (BOTH SIDES) - TEXTURE & PAINT
F8 - 5/8" GYP BD (ONE SIDE) - TEXTURE & PAINT

1 FIRST FLOOR
SCALE 1/8" = 1'-0"

NOTE:
ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.

Drawing Name: 24007_Rasa_Hangar_28_3/27/2025_2:43 PM



NELSON + MORGAN ARCHITECTS, INC.

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TEXAS

A NEW HANGAR
FOR
RASA AVIATION



ADDITION

JOB: 24007
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Issued Date: _____
Revision: _____ Date: _____

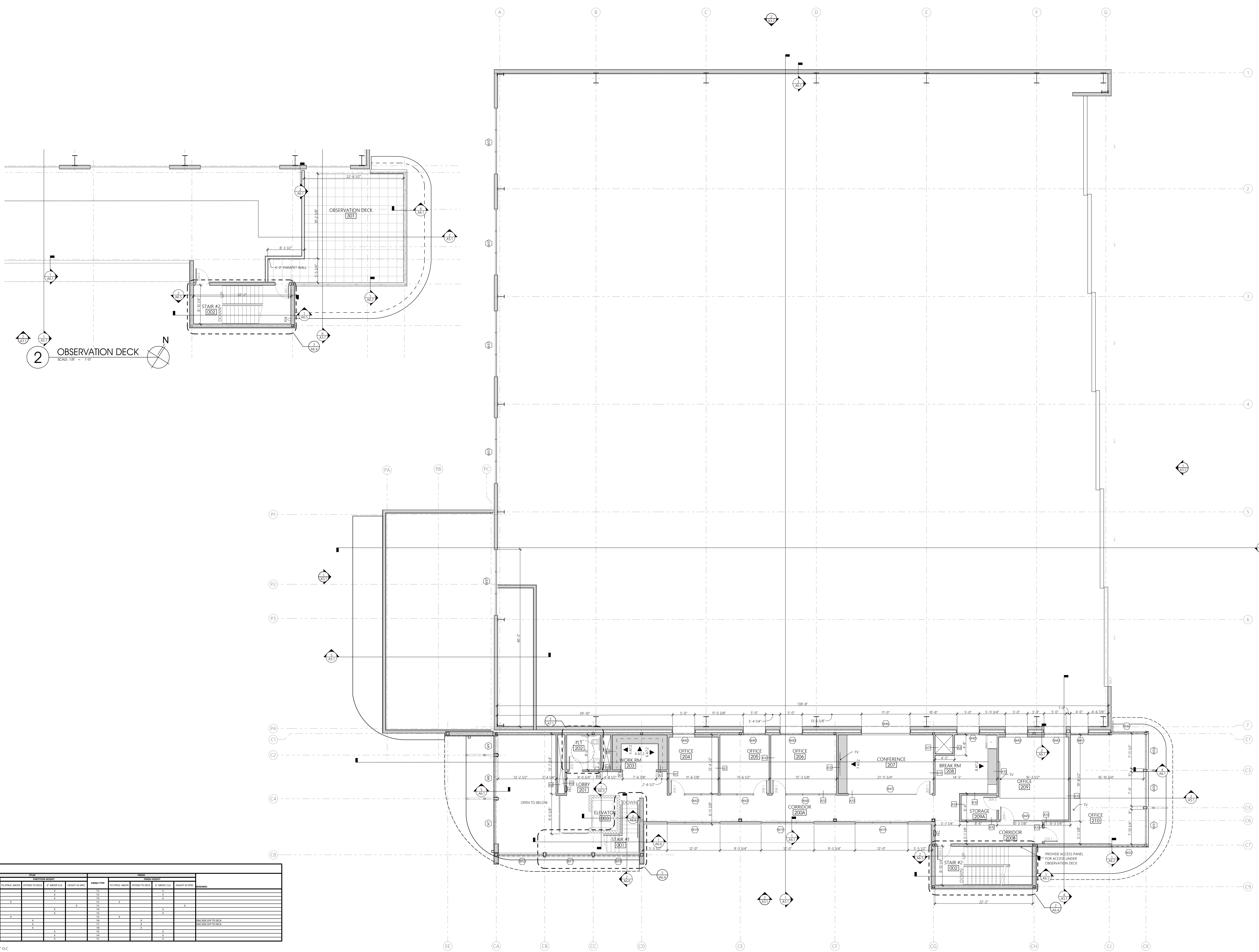
Issued for: _____ Date: _____
Pricing - 2-27-2025
Permitting - _____
Bidding - _____
Construction - _____

SECOND FLOOR +
OBSERV. DECK

SHEET

A2.2

PRELIMINARY NOT FOR CONSTRUCTION



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

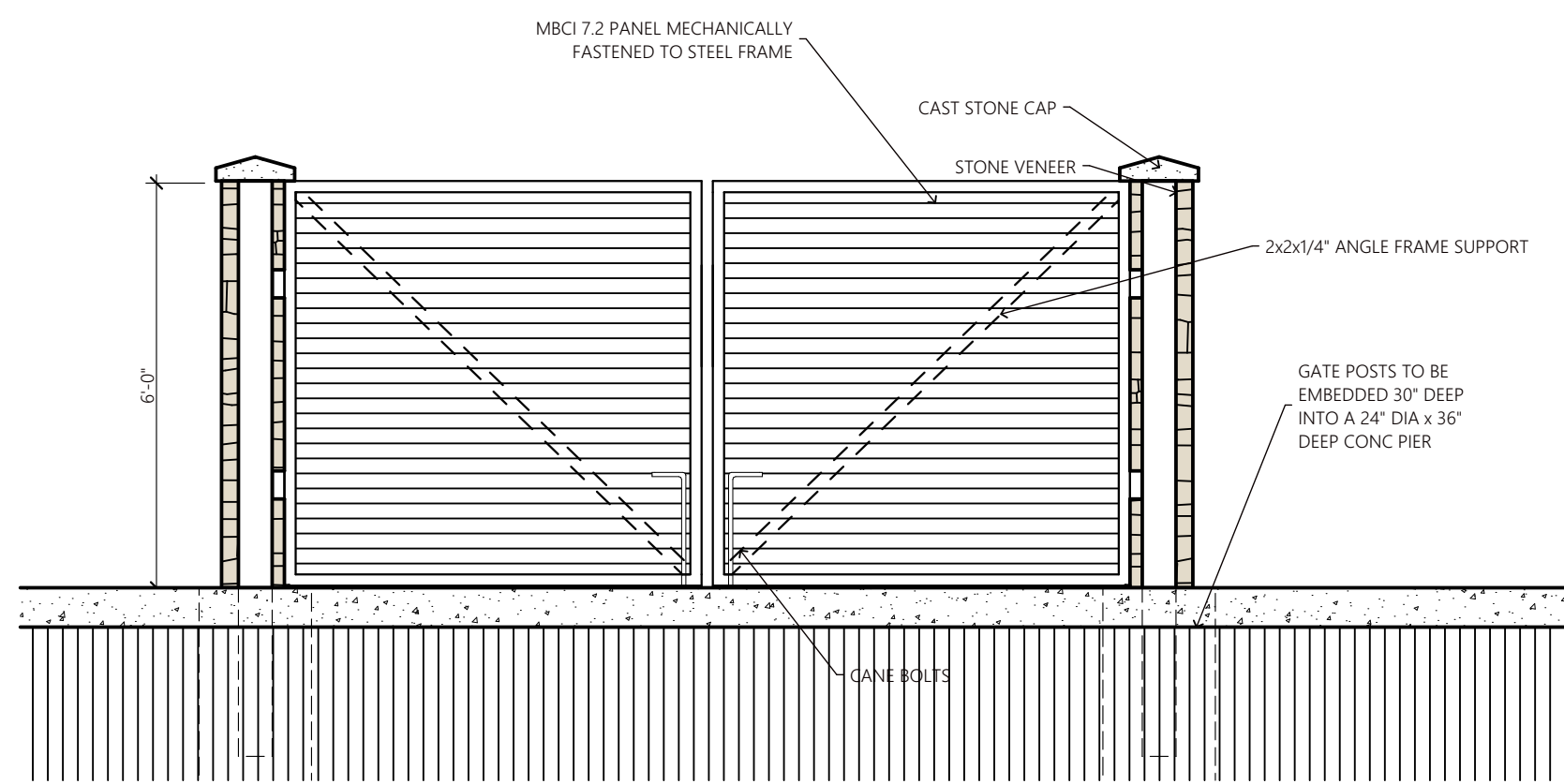
2 OBSERVATION DECK
SCALE: 1/8" = 1'-0"

WALL PARTITION SCHEDULE									
PARTITION TAG	PARTITION TYPE	STUD			PARTITION HEIGHT		FINISH		
		NO. STUDS/AREA	SPACING TO END	" AFFINE G/LG	HEIGHT ABOVE	SYSTEM TO DECK	" AFFINE G/LG	HEIGHT AC. TO	REMARKS
A1	10				10				
A2	10				10				
A3	10				10				
A4	10				10				
A5	10				10				
A6	10				10				
A7	10				10				
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A10	10				10				
A11	10				10				
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A99	10				10				
A100	10				10				

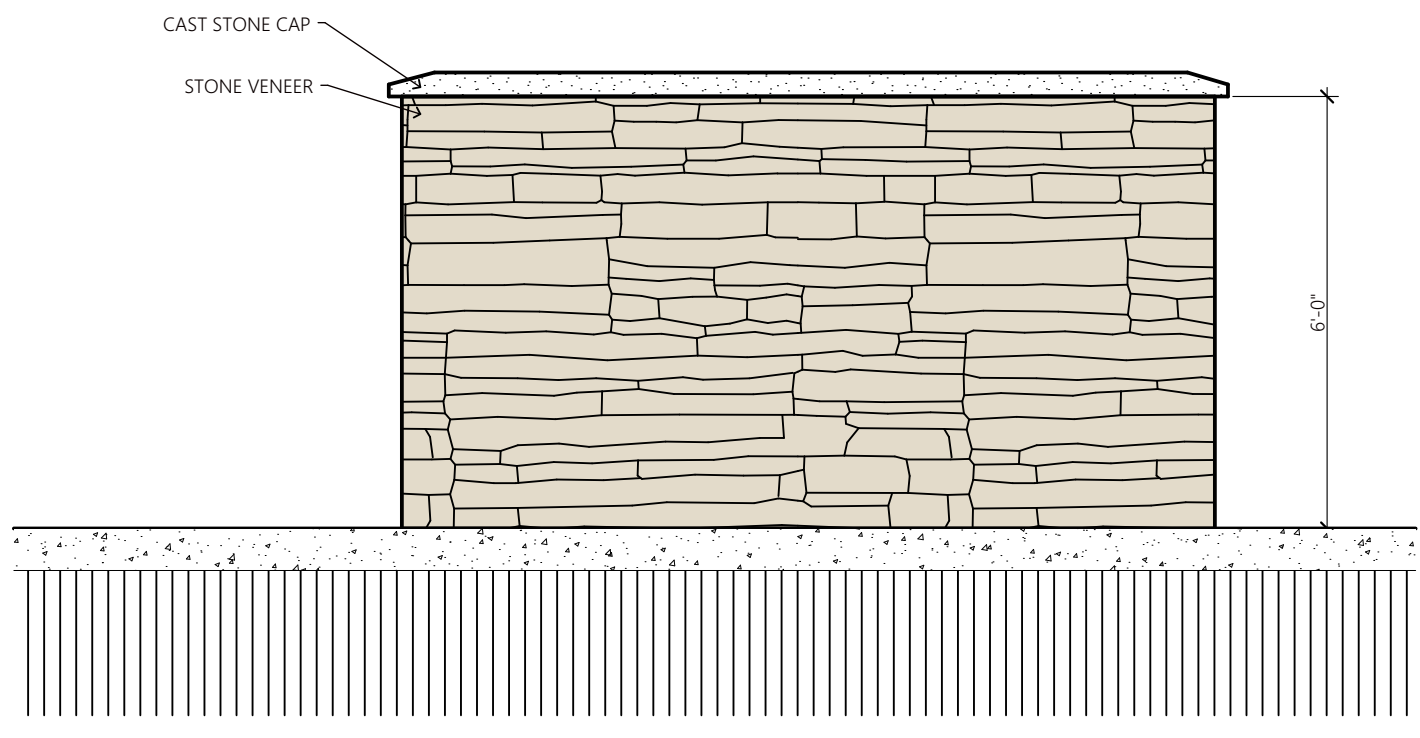
STUD TYPE:
S1 - 3/8" METAL STUDS @ 16" O.C.
S2 - 6" METAL STUDS @ 16" O.C.

FINISH TYPE:
F1 - 5/8" GYP BD (BOTH SIDES) - TEXTURE & PAINT
F2 - 5/8" GYP BD (ONE SIDE) - TEXTURE & PAINT
F3 - 5/8" MOISTURE RESISTANT GYP BD (ONE SIDE)
F4 - 5/8" MOISTURE RESISTANT GYP BD (ONE SIDE) - 5/8" GYP BD (ONE SIDE) - TEXTURE & PAINT
F5 - 5/8" MOISTURE RESISTANT GYP BD (BOTH SIDES)
F6 - 5/8" MOISTURE RESISTANT GYP BD (ONE SIDE) - 5/8" GYP BD (ONE SIDE) - TEXTURE & PAINT
F7 - 5/8" GYP BD (BOTH SIDES) - TEXTURE & PAINT
F8 - 5/8" GYP BD (ONE SIDE) - TEXTURE & PAINT

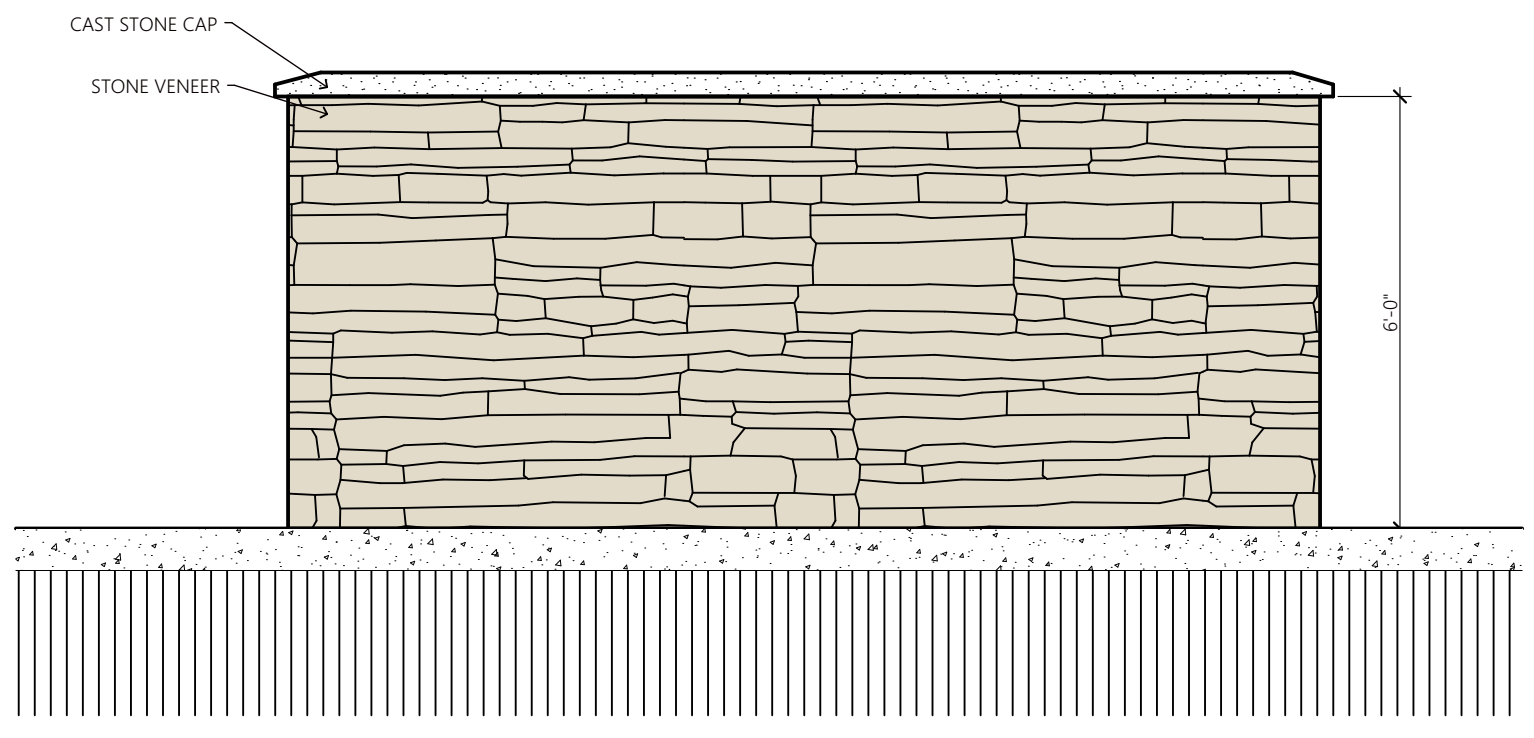
Drawing Name: 24007 Rassa Hangar_25_3/27/2025 2:43 PM



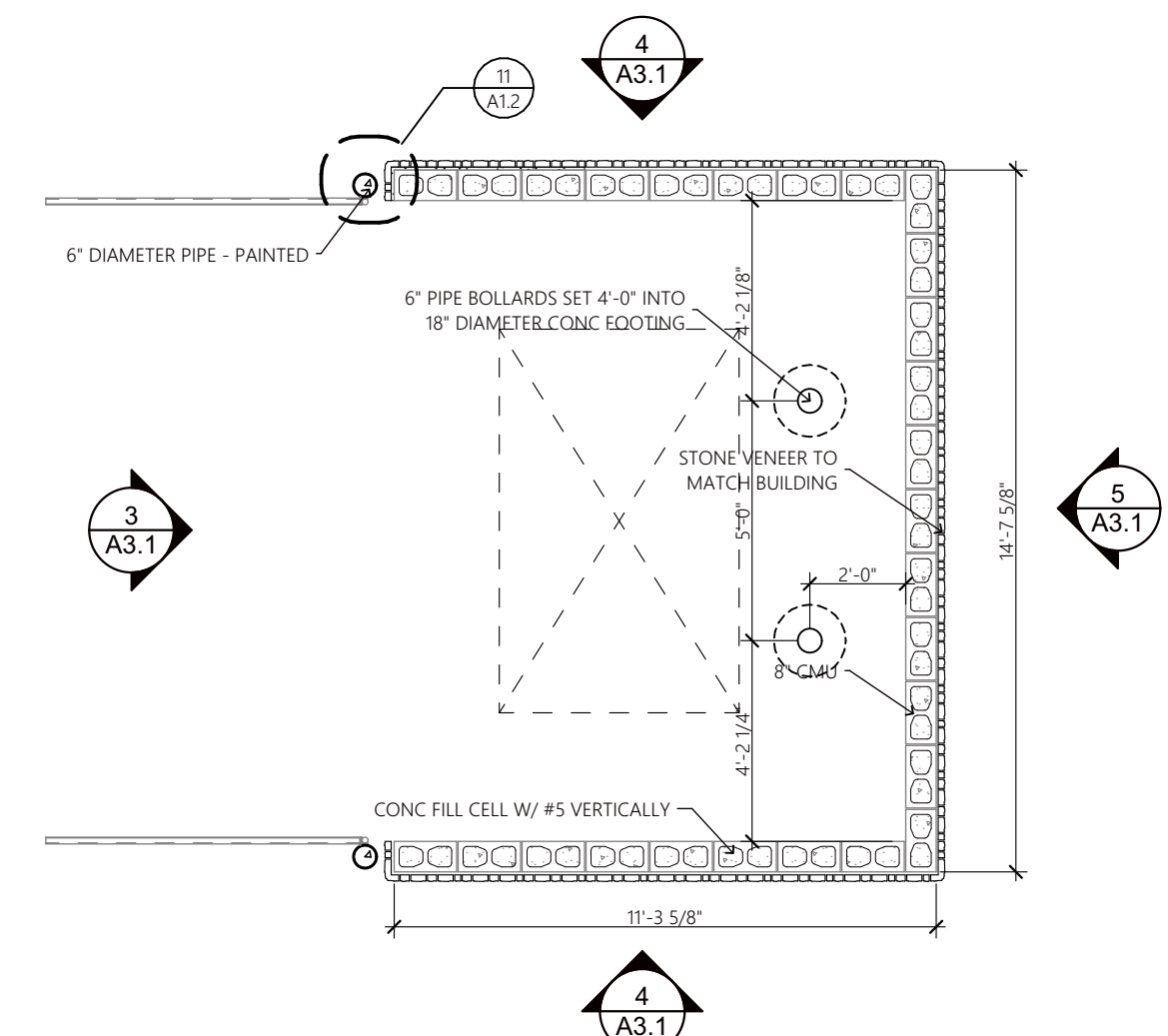
3 DUMPSTER ELEVATION
SCALE: 3/8" = 1'-0"



4 DUMPSTER ELEVATION
SCALE: 3/8" = 1'-0"



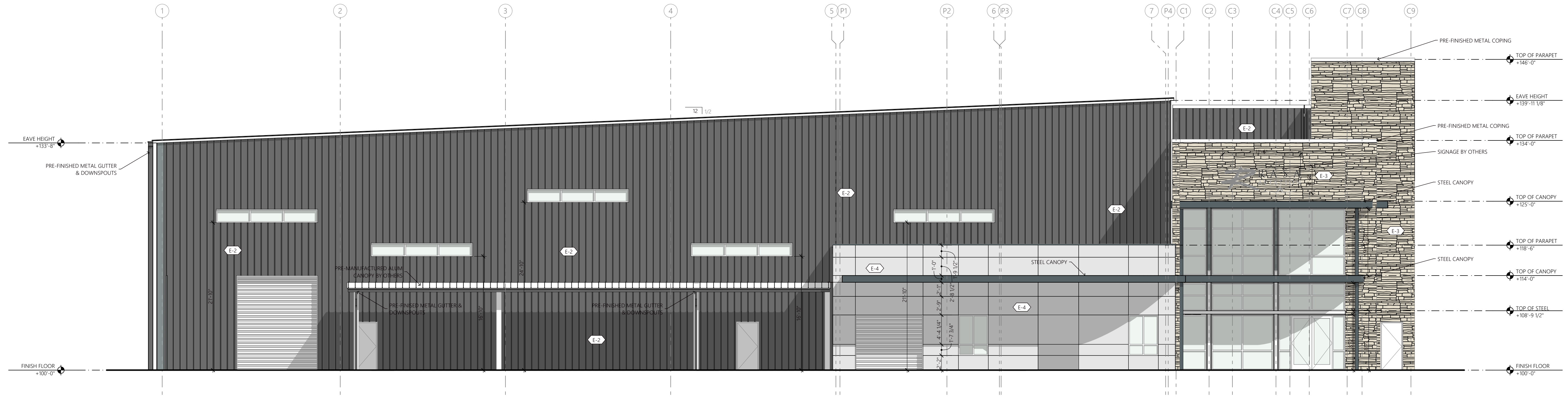
5 DUMPSTER ELEVATION
SCALE: 3/8" = 1'-0"



6 DUMPSTER PLAN
SCALE: 1/4" = 1'-0"



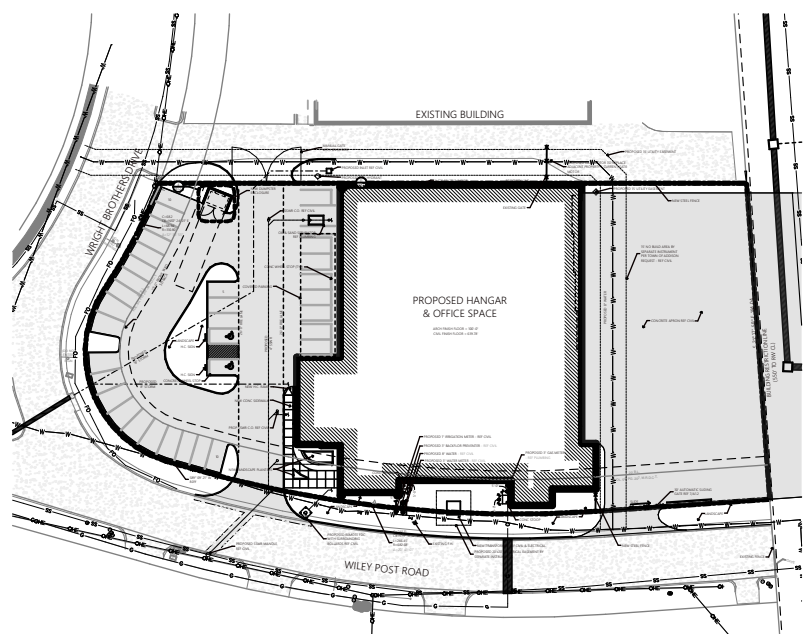
2 SOUTH FACADE ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST FACADE ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"

TAG	MATERIAL	MANUFACTURER	STYLE	COLOR
(E.1)	HORIZONTAL METAL PANEL	MBO	7.2 PANEL	STORM GRAY
(E.2)	VERTICAL METAL PANEL	MBO	PBR PANEL	STORM GRAY
(E.3)	THIN STONE VENEER	TEXAS STONE	ALAMO	LIMESTONE
(E.4)	ACM PANEL	ALPOLIC	ALPOLIC/PRE	CLEAR ANODIZED ALUMINUM
(E.5)	CEMENTITIOUS WOOD PANEL	NICHMA	VINTAGE WOOD	CEDAR

MATERIAL CALCULATION	SURFACE AREA	SURFACE AREA	
WEST	2100 SF	EAST	6250 SF
E.1	960 SF	E.1	960 SF
E.2	960 SF	E.2	960 SF
E.3	960 SF	E.3	960 SF
E.4	1120 SF	E.4	2250 SF
E.5	960 SF	E.5	960 SF
GLAZING	960 SF	GLAZING	960 SF
SOUTH	5077 SF	NORTH	6600 SF
E.1	1440 SF	E.1	960 SF
E.2	5037 SF	E.2	4640 SF
E.3	1440 SF	E.3	270 SF
E.4	960 SF	E.4	960 SF
E.5	168 SF	E.5	168 SF
GLAZING	1380 SF	GLAZING	960 SF



KEY PLAN
SCALE: 1/8" = 1'-0"

FACADE PLAN NOTES
This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services. All mechanical units shall be screened from public view as required by the zoning Ordinance. When permitted, exposed utility boxes and conduits shall be painted to match the building. All signage areas and locations are subject to approval by Development Services. Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official.



RASA AVIATION



Town of Addison
Planning and Zoning Department
16801 Westgrove Drive
Addison, TX 75001

Re: Addison Airport (ADS) – RASA Hangar
Letter of Intent – Site Plan Submittal

Whom It May Concern:

Please consider the information as the Letter of Intent for the Site Plan submittal for the proposed Addison Airport (ADS) – RASA Hangar. The RASA Hangar is a new hangar facility to be located on a site at the southern end of Addison Airport within the airport property at 15500 Wright Brothers Drive, Addison TX 75001. The project will include approximately 7,600 square feet of office space and 20,000 square feet of hangar space. In addition to the building, surface parking and site amenities will be included on a lot of about 1.57 acres.

The project will include the following elements, at a minimum:

- 1) Pre-Engineered Metal Building (PEMB) Structure
- 2) Garage doors for vehicles pull-through access to garages
- 3) Hangar support spaces include the following rooms: IT, Electrical, Riser/Pump Room, Unisex restroom, Utility, Compressor/Storage, and janitor room
- 4) Site work required including grading, fencing and lighting,
- 5) Security cameras
- 6) New and / or relocation of site utilities as required including water, sanitary, storm sewer, electrical, gas, fiber and telecommunications
- 7) Paving including driveways, sidewalks, and parking stalls

Please call me if you have any questions. 972.880.8888

Sincerely,

Michael Rasa

Rasa Aviation, LLC

Planning & Zoning Commission

3.

Meeting Date: 08/19/2025

Agenda Caption:

Hold a public hearing, present, discuss, and consider action on a request to rezone a 4.7± acre property generally located north and east of Landmark Boulevard, boarding the Addison town boundary on the west and the Dallas North Tollway to the east, addressed as 14651 Dallas Parkway, from Planned Development (PD) to a new Planned Development (PD) district to allow for a development comprised of 400 multifamily dwelling units and associated private open space and common areas, through the approval of development plans and standards. Case 1925-Z/The Princeton.

Recommendation:

Staff recommends denial of the request.

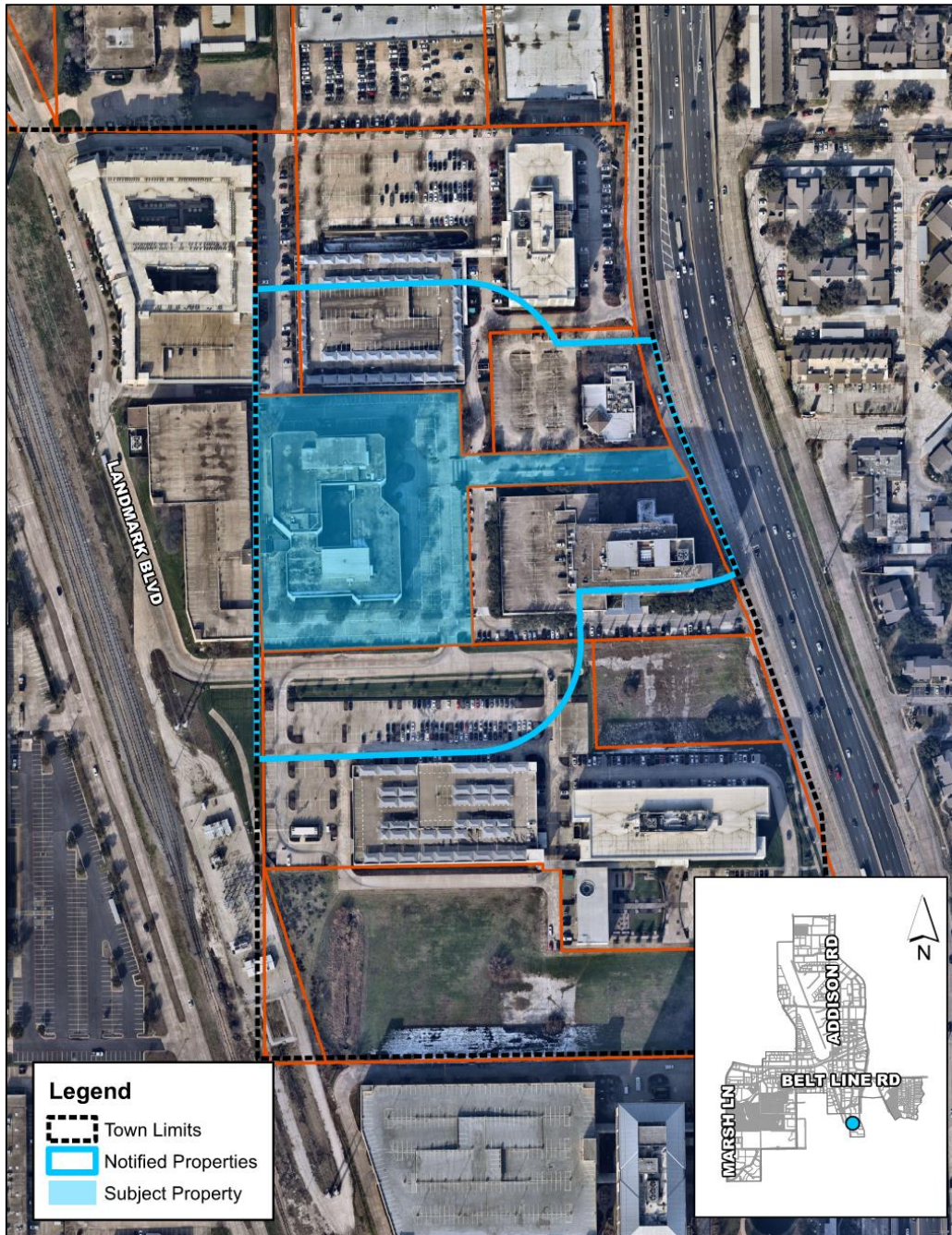
Attachments

1925-Z Staff Report
1925-Z Letter of Intent
1925-Z Plans
1925-Z Permitted Use & Development Standards
1925-Z Renderings
1925-Z Public Input

1925-Z

PUBLIC HEARING Case 1925-Z/The Princeton. Hold a public hearing, present, discuss, and consider action on a request to rezone a 4.7± acre property generally located north and east of Landmark Boulevard, boarding the Addison town boundary on the west and the Dallas North Tollway to the east, addressed as 14651 Dallas Parkway, from Planned Development (PD) to a new Planned Development (PD) district to allow for a development comprised of 400 multifamily dwelling units and associated private open space and common areas, through the approval of development plans and standards.

Location Map



Legend

- Town Limits
- Notified Properties
- Subject Property



August 19, 2025

STAFF REPORT

RE: 1925-Z/The Princeton

LOCATION: 4.7± acres generally located north and east of Landmark Boulevard, boarding the Addison town boundary on the west and the Dallas North Tollway to the east, addressed as 14651 Dallas Parkway

REQUEST: Approval to rezone a property from Planned Development District (PD, Ordinance No. 079-517) to a new Planned Development (PD) district with use and development standards for multifamily residential and associated private open space and common areas (Application Date: 10/08/2024).

APPLICANT: Scot Florsheim, JP-Prin Development, LP

DISCUSSION:

Background: This rezoning request is for The Princeton Building, a 4.69-acre site located west of the Dallas North Tollway and east of Landmark Boulevard. The western property line also serves at the Town Boundary, immediately adjacent to the City of Farmers Branch. The Princeton Building is an existing office building, with approximately 60,000 square feet of floor area, that was constructed in 1981. The existing office has struggled for several years due to competition along the Dallas North Tollway and the effects of the pandemic. The property is currently zoned Planned Development (PD) through Ordinance No. 079-517.

The applicant purchased the property in 2024 with the intent to convert the office into for-sale condominium units, however, that efforted proved to be cost prohibitive and lacked market demand. With this request, the applicant proposes to rezone the property from the Planned Development District (PD, Ordinance No. 079-517) to a new Planned Development District (PD) with use and development standards to develop multifamily residential and associated private open space and common areas.

This property is unique as the current improvements are split across two jurisdictions: Addison and Farmers Branch. The improvements that exist within Farmers Branch to serve the existing office building include a 5-story parking garage. This request also utilizes the existing parking garage to provide required parking for the new multi-family units within Addison.

The applicant submitted a zoning request to the City of Farmers Branch to construct 135 multifamily units above the existing parking garage. The City of Farmers Branch approved the zoning request on August 5, 2025.

The intent of the property owner is to develop the project and have JPI serve as the property manager. JPI is a multifamily developer that develops, constructs, and manages apartment communities across the country. The JPI Addison Heights project is currently under construction at the southeast corner of Addison Road and Airport Parkway.

Proposed Concept Plan: The proposed development includes one building, accommodating 400 rental units within Addison, two common courtyard areas, and ground floor leasing/amenity space. Exterior ground floor units will have exterior access. The site amenities provided will include an outdoor pool, landscaped courtyards, fitness center, clubroom, tenant lounge, dog wash, and game room. The buildings include an elevator, which is unusual for multifamily buildings of this scale, and will include universal design features and floor plans.

The site is primarily access from the Dallas North Tollway via the existing private access drive. The site is also accessible from Landmark Boulevard from the south. Parking is proposed to be provided via surface parking, along the north and south sides of the building, and in the existing parking garage located within Farmers Branch. Solid waste service is provided at the northwest corner of the site, which is screened from public rights of way.

Building Facades: The multifamily building will be 5 and 6 stories tall with a maximum height of 77 feet. The exterior building façades are comprised of approximately 30 percent masonry materials. The remaining materials include stucco and fiber cement panel. Building articulation is achieved through vertical and horizontal expression of the building façade, material color changes, and the placement of recessed and projecting balconies throughout the façade. Ground floor units will be accessible from the exterior of the building, primarily on the north and south facades, and outdoor living space will be provided.

Parking: For this new Planned Development District (PD), the applicant proposes to provide 1.2 parking space per rental multifamily bedroom (including units within Addison and Farmers Branch). The applicant is proposing to continue the use of the existing parking garage, which is located within Farmers Branch, to satisfy the minimum requirements. The required parking includes 838 spaces. The total parking provided, including structured and surfacing parking, is 1,233 spaces.

Landscaping/Open Space and Trails: The Town's requirement for non-industrial sites to maintain at least 20 percent of the gross area of a site as landscape area. This proposal includes 23% landscaped area, exceeding the minimum requirement. The application meets or exceeds all landscaping requirements, including landscape buffers, islands, and screening. Connectivity will be provided to the sidewalk along Dallas Parkway. It is also the intent to provide future sidewalk and trail improvements within Farmers Branch, west of the project. The applicant has also committed to providing at least one public art installation on the site.

This project submitted applications prior to the adoption of the Parkland Dedication Ordinance; therefore, staff did not require compliance with the parkland requirements and park development fee.

Unit Mix, Interior Construction, and Sustainability Features: Within Addison, the proposed multifamily rental unit mix includes 20 studio units, 240 one-bedroom units, 120 two-bedroom units, and 20 three-bedroom units. The average unit size is 900 square feet.

The applicant has committed to meeting the following standards for interior construction and sustainability:

- The multifamily building shall comply with U.S. Green Building Council's and Energy Star Standards; and
- The project will provide a minimum of 3% of the required off-street parking to serve electric vehicle (EV) charging.

Compliance with Town Land Use and Development Policies: In considering rezoning requests, it is important for Town leadership to utilize the Town's long range planning documents to evaluate compliance with Town land use and development policies. Most notably for this request, this includes consideration of the Town's Comprehensive Plan and the Addison Housing Policy. Key considerations include:

2013 Comprehensive Plan

The [2013 Comprehensive Plan](#) does not specifically reference the subject property. The plan does reference that aging office may face challenges with newer competition, however, it encourages investment through façade and common area improvements. The Comprehensive Plan also encourages preservation of land along the Tollway corridor for high-density office buildings.

Addison Housing Policy

In order to help guide future housing decisions, the City Council adopted a [Housing Policy](#) in 2015 and amended it in early 2017. Components of the policy are provided below:

1. Where feasible and appropriate, new housing should increase the proportion of fee-simple ownership in Addison's housing mix. Apartment-only rezoning is unlikely to be approved, as currently the ratio of rental to ownership properties is higher than desired.
2. A proposal should offer a 'best fit' mix of uses and housing choices within the context of the surrounding Addison community. The Town may use a study area committee (with staff, elected, and appointed members such as area residents and business representatives) to evaluate a proposal's fit in Addison.
3. New housing should create or enhance neighborhoods of urban character rather than locate on a stand-alone, nonintegrated property and should continue the high quality design and walkability that make Addison's existing neighborhoods distinctive.
4. Proposals for independent and/or assisted living may be considered by the Town of Addison. Since there are no assisted living housing units in Addison today, the Town will conduct research to understand how this housing could or should be included in Addison's future.
5. The City Council acknowledges that there may be exceptional projects that do not comply with elements of this policy. The Council encourages developers and staff to pursue projects that represent the highest and best use of each property and that advance portions of this policy or other Town goals.

As can be expected with a policy addressing such a broad consideration, evaluating alignment of this proposal with this policy can be a very nuanced exercise.

This proposal does not achieve the goal of “increasing the proportion of fee simple ownership in Addison” that is called for in the first component of the Housing Policy. Due to the location of the subject property, including proximity to major thoroughfares, high value of existing improvements, and incompatible adjacent land uses, fee-simple ownership is unlikely to be feasible.

When evaluating an apartment-only rezoning in relation to the housing policy, it is critical that the proposal represents the highest and best use for the site and be deemed exceptional due to its high quality and amenities provided. Staff evaluated this project against the housing policy and did not find that it met the objectives outlined for the following reasons:

- This proposal constitutes a stand-alone multifamily residential project, surrounded by existing offices within Addison.
- Due to many constraints, this project is limited in opportunities for connectivity and walkability.
- The existing office is aging and has experienced limited reinvestment. New Class A office space could be successful given its access to the Dallas North Tollway.

Development Impacts: In the review of this rezoning request, assessment of anticipated impacts of the development should be carefully considered. These considerations include:

Residential Compatibility

The subject property does not have any existing residential adjacencies within Addison. The property is surrounded by existing office buildings and a free-standing restaurant (former Lawry’s). There is a nearby apartment complex, Jewel on Landmark, however, this is within the City of Farmers Branch.

Traffic Generation and Circulation

The Town did not require a Traffic Impact Analysis for this proposal as the increase in possible trip generation from a 60,000 square foot office to a 400-unit multifamily complex did not constitute a significant change in traffic demand. Additionally, this site is unique in that the secondary access to the site and primary access to the structured parking is within the City of Farmers Branch. Site circulation was evaluated to ensure adequate access for emergency services, vehicular traffic, and solid waste disposal.

Utility and Drainage Analysis

At this feasibility stage, the applicant has demonstrated the capacity to connect to the Town’s utility network and to mitigate the impacts of any surface runoff generated by this site. If this project is approved, detailed civil engineering plans will be prepared for the proposed connections to the Town’s water and sanitary sewer systems, and the required drainage infrastructure needed to convey site generated runoff.

Tree Mitigation

The subject property is currently built out and features many mature trees around the perimeter of the building. The proposed redevelopment will not accommodate preservation of any tree’s interior to the site, however, many trees along the property lines are able to be preserved.

With this proposal, 535.1 caliper inches of trees will be preserved, and 1011.1 caliper inches of protected trees will be removed. The applicant proposed to mitigate 408 caliper inches on

site and the remaining 603.1 caliper inches to be mitigated via fee in lieu of. The fee in lieu of on-site mitigation for protected trees is \$192 per caliper inch, resulting in a fee of \$115,795.20.

Public Services Capacity

This site is served by Dallas Independent School District (DISD) and given the anticipated demographics of the project, DISD is unlikely to have issues serving this property. This development provides sufficient access for emergency services through its three points of access from Dallas Parkway and Landmark Boulevard. The site will also have vehicular connectivity from adjacent office building properties.

Given the constraints of the property, there was not substantial opportunity for on-site open space. There was also limited opportunity for connectivity to nearby Town open space, with major land constraints (Dallas North Tollway and rail corridor). The proposed development will include social amenities such as a pool and fitness center. As Town residents, tenants will also have the opportunity to become members of the Addison Athletic Club.

Community Input: The applicant elected to not conduct community meetings related to this project.

At the time of packet posting, the applicant provided fifteen (15) letters of support from various property owners and tenants surrounding the subject property within Addison and Farmers Branch. Staff has not received any letters of opposition.

RECOMMENDATION: DENIAL

While this proposed rezoning request does meet the Town's minimum development standards, it does not align with the Addison Housing Policy or advance other Town goals. The project is an apartment-only rezoning proposal that is not integrated with the surrounding community.

The Town does need to explore reuse and redevelopment scenarios for our aging office; this area has offers premium opportunities for office along the Tollway corridor and may continue to do so in the future with new development or significant reinvestment to compete with surrounding markets.

Staff recommends denial of the request.

DESCRIPTION OF REQUEST

This request is to create a new Planned Development district to allow multifamily uses at the Property. The Property is currently improved with a multi-story office building approximately 112 feet in height and containing approximately 60,000 square feet of floor area. The applicant is proposing to raze the existing building and to construct a new 5-story multifamily building (the “Project”). A maximum of 400 dwelling units are contemplated as part of the Project.

A concept plan for the proposed building has also been submitted as part of the rezoning request and depicts the proposed improvements to the existing development, including, for example, open spaces. A façade plan and a landscape plan have also been included with this submittal.

The Property consists of approximately 4.69 acres of land and is currently zoned, together with an adjacent parcel, as a Planned Development district (Ordinance No. 517), which was created to allow the existing uses, structures, and improvements at the site. Some of the existing entitlements, such as those for signage at the Property, have been retained in the new PD that is here proposed. Neither the adjacent parcel, nor any other parcel, is proposed to be included within this requested PD.

The western boundary of the Property is immediately adjacent to the City of Farmers Branch, while the eastern boundary of the Property is immediately adjacent to the City of Dallas. Surrounding zoning to the north and the south are Planned Development districts, which establish the development standards allowing for the existing multi-story office buildings situated on each of those sites. The site to the north also includes grade-level retail and a detached dine-in restaurant. To the northwest of the Property, in Farmers Branch, is a six-story apartment complex.

The proposed residential uses are consistent with the area and ongoing pattern of development and would work to activate the streetscape and contribute to the walkable environment of the area.

The applicant very seriously explored the option of converting the existing office building at the site and building out the interior with for-sale condominium units—an option that was the initial preference of the applicant and proposal for the site. The applicant hired a condominium and multifamily research company to assess the feasibility of the project. That investigation involved the compilation of relevant market data and the analyzing of construction costs associated with the conversion. The conclusion of the study was that the conversion project was cost prohibitive, requiring excessively long lead times to execute sales due to insufficient demand. Further contributing to this conclusion was the fact that the existing structure made retrofitting the space for residential units inefficient and untenable. A condo conversion was simply financially unfeasible, even impossible.

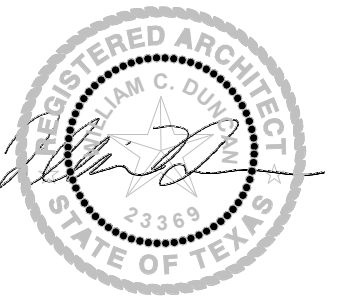
The applicant is currently in discussions with JPI regarding options for the project. It is anticipated that JPI will be the end operator of the development, and the applicant is working in good faith with JPI to finalize that arrangement. JPI is one of the nation's leading development and construction companies, which has built and/or managed almost 400 multifamily communities across Texas and California.

THE PRINCETON

14651 Dallas Pkwy, Addison, TX, 75254, USA

WELLINGTON SQUARE
LOT 1, BLOCK 1
VOL. 79,220, PG. 2203
TOWN OF ADDISON
COUNTY OF DALLAS
STATE OF TEXAS

PROFESSIONAL SEAL
05/30/2025

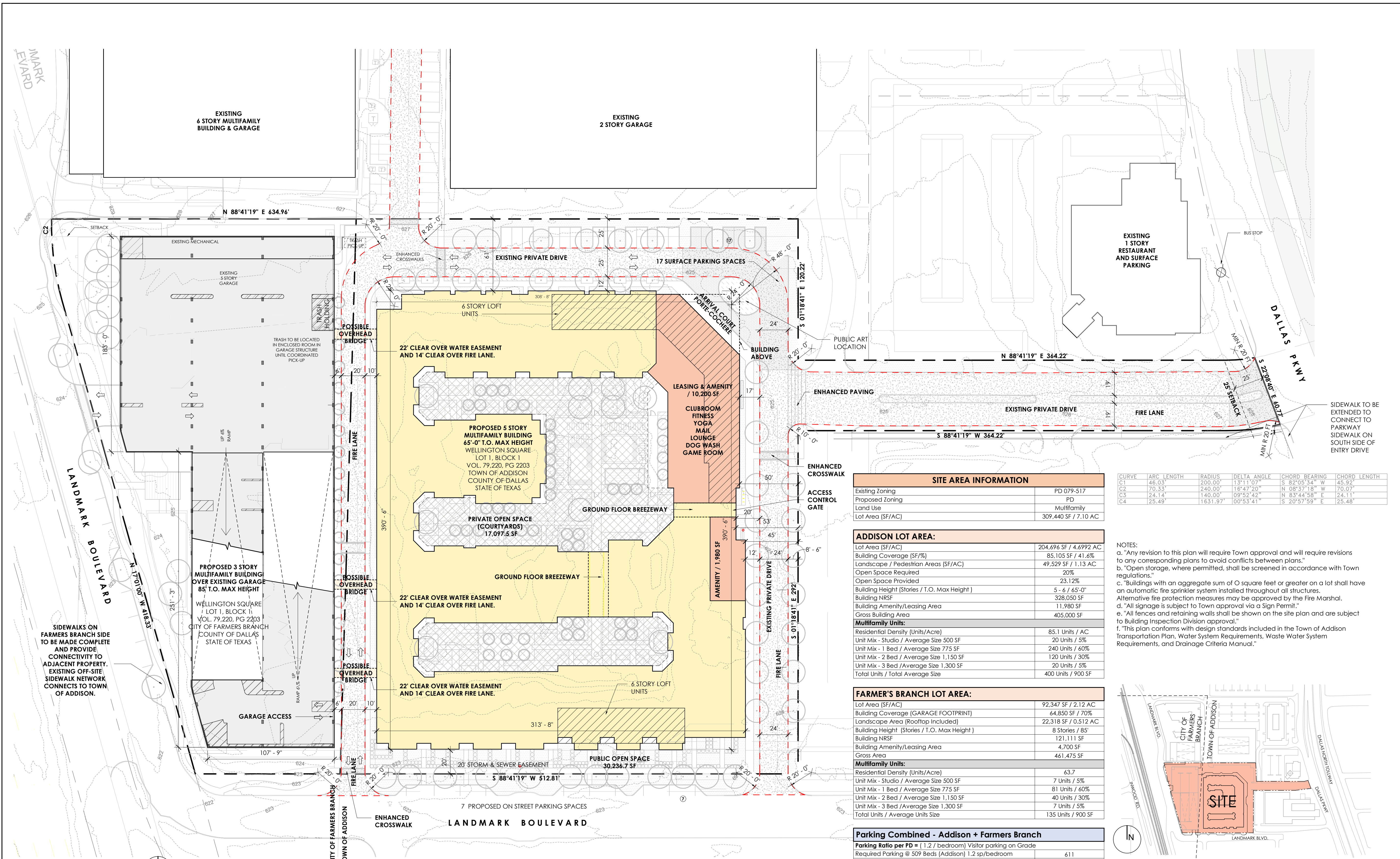


© 2024 WDG Project No: DA24001

SITE PLAN

CASE NO. 1925-Z

D5.01



SITE AREA INFORMATION	
Existing Zoning	PD 079-517
Proposed Zoning	PD
Land Use	Multifamily
Lot Area (SF/AC)	309,440 SF / 7.10 AC

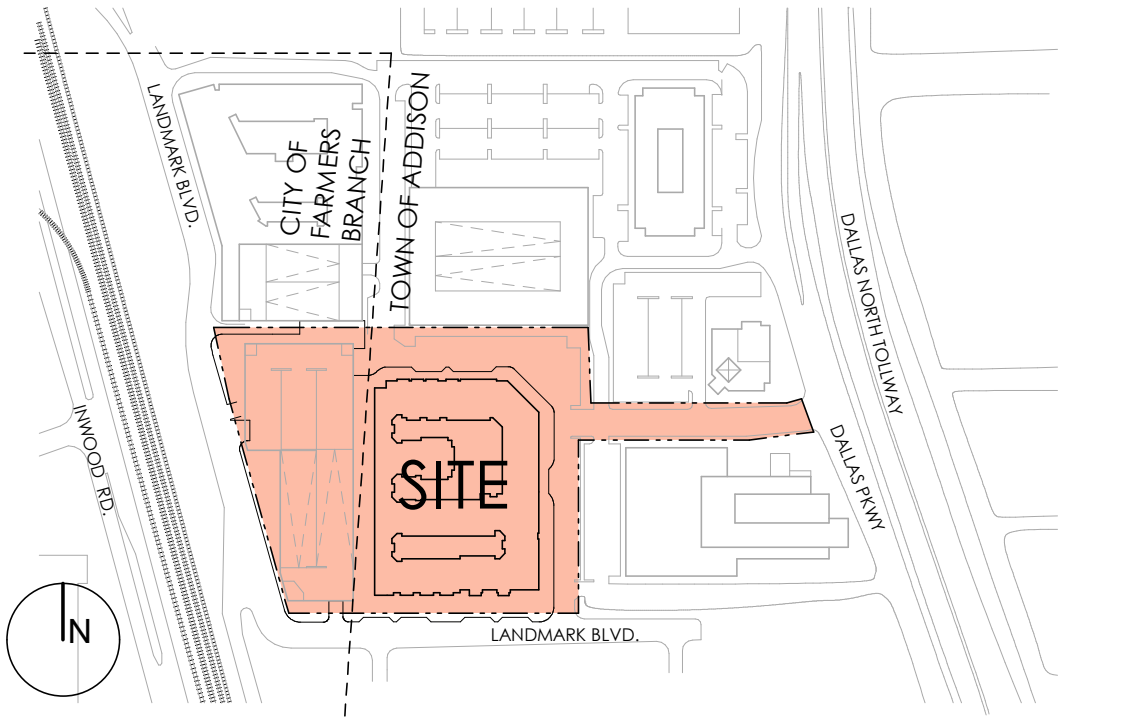
ADDITION LOT AREA:	
Lot Area (SF/AC)	204,696 SF / 4.6992 AC
Building Coverage (SF/%)	85,105 SF / 41.6%
Landscape / Pedestrian Areas (SF/AC)	49,529 SF / 1.13 AC
Open Space Required	20%
Open Space Provided	23.12%
Building Height (Stories / T.O. Max Height)	5 - 6 / 65'-0"
Building NRSF	328,050 SF
Building Amenity/Leasing Area	11,980 SF
Gross Building Area	405,000 SF
Multifamily Units:	
Residential Density (Units/Acre)	85.1 Units / AC
Unit Mix - Studio / Average Size 500 SF	20 Units / 5%
Unit Mix - 1 Bed / Average Size 775 SF	240 Units / 60%
Unit Mix - 2 Bed / Average Size 1,150 SF	120 Units / 30%
Unit Mix - 3 Bed / Average Size 1,300 SF	20 Units / 5%
Total Units / Total Average Size	400 Units / 900 SF

FARMER'S BRANCH LOT AREA:	
Lot Area (SF/AC)	92,347 SF / 2.12 AC
Building Coverage (GARAGE FOOTPRINT)	64,850 SF / 70%
Landscape Area (Rooftop Included)	22,318 SF / 0.512 AC
Building Height (Stories / T.O. Max Height)	8 Stories / 85'
Building NRSF	121,111 SF
Building Amenity/Leasing Area	4,700 SF
Gross Area	461,475 SF
Multifamily Units:	
Residential Density (Units/Acre)	63.7
Unit Mix - Studio / Average Size 500 SF	7 Units / 5%
Unit Mix - 1 Bed / Average Size 775 SF	81 Units / 60%
Unit Mix - 2 Bed / Average Size 1,150 SF	40 Units / 30%
Unit Mix - 3 Bed / Average Size 1,300 SF	7 Units / 5%
Total Units / Average Units Size	135 Units / 900 SF

Parking Combined - Addison + Farmers Branch	
Parking Ratio per PD = (1.2 / bedroom) Visitor parking on Grade	
Required Parking @ 509 Beds (Addison) 1.2 sp/bedroom	611
Required Parking @ 189 Beds (Farmers Branch) 1.2 sp/bedroom	227
Parking Required Total per PD	838
Parking On Site	1226
Parking On Street	7
Total Parking	1233
Handicap Parking Required	23
Handicap Parking Provided	23
Handicap Parking is provided in accordance with ADA standards.	
Parking EV Charging Stations	Per Building Code
Bicycle Parking Required (1 sp x 10 vehicle spaces)	62

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	46.03'	200.00'	13°11'07"	S 82°05'34" W	45.92'
C2	70.33'	240.00'	16°47'20"	N 08°57'18" W	70.07'
C3	24.14'	140.00'	09°52'42"	N 83°44'58" E	24.11'
C4	25.49'	1631.97'	00°53'41"	S 20°57'59" E	25.48'

NOTES:
a. "Any revision to this plan will require Town approval and will require revisions to any corresponding plans to avoid conflicts between plans."
b. "Open storage, where permitted, shall be screened in accordance with Town regulations."
c. "Buildings with an aggregate sum of 0 square feet or greater on a lot shall have an automatic fire sprinkler system installed throughout all structures. Alternative fire protection measures may be approved by the Fire Marshal."
d. "All signage is subject to Town approval via a Sign Permit."
e. "All fences and retaining walls shall be shown on the site plan and are subject to Building Inspection Division approval."
f. "This plan conforms with design standards included in the Town of Addison Transportation Plan, Water System Requirements, Waste Water System Requirements, and Drainage Criteria Manual."



LOCATION / VICINITY
SCALE: NTS

1 CONCEPT PLAN
SCALE: 1" = 40'-0"

PLANT SCHEDULE ADDISON

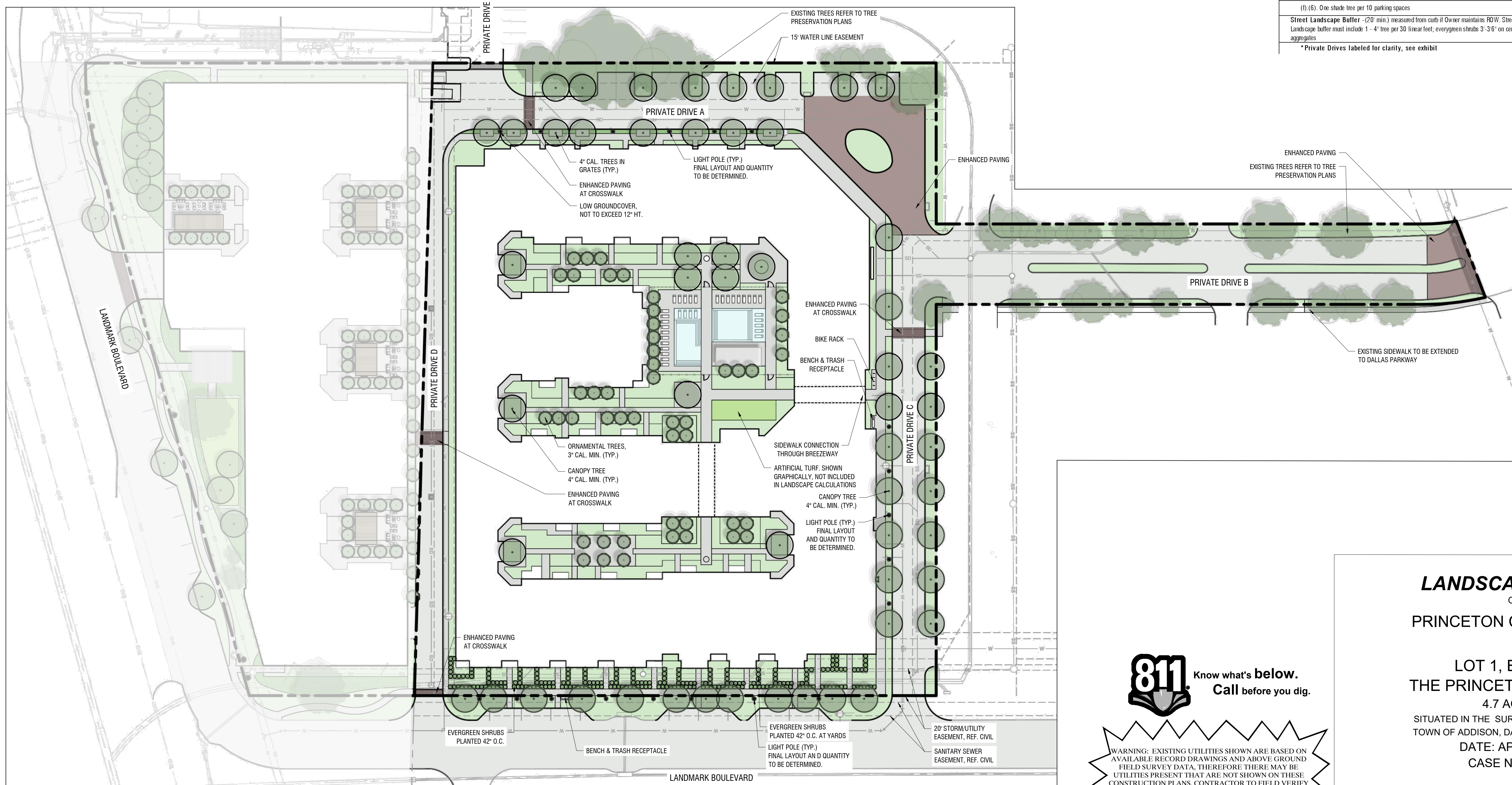
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	REMARKS
TREES					
	CT	54	CANOPY TREE / CANOPY TREE	4" CAL.	LIVE OAK, RED OAK, BALD CYPRESS, PRINCETON ELM, OR SIMILAR.
	OT	48	ORNAMENTAL TREE / ORNAMENTAL TREE	4" CAL.	CRAPE MYRTLE, VITEX, REDBUD, OR SIMILAR. MAY BE MULTI-TRUNKED TOTALING 4" MINIMUM
SHRUBS					
	SS	223	EVERGREEN SCREENING SHRUB	24" HT. 24" SPR. 42" O.C.	DWARF BUFFORD HOLLY, OR SIMILAR.
GROUND COVERS					
	GC	1,802 SF	GROUND COVER/PERENNIALS	-	ASIAN JASMIN, PURPLE WINTERCREEPER, BERKELEY SEDGE, MUHLY, FEATHERGRASS, AUTUMN SAGE, OR SIMILAR.
	PC	16,406 SF	PRIVATE COURTYARD PLANTING	N/A	MIX OF GROUND COVER, PERENNIAL, GRASSES, SHRUBS. TO BE DETERMINED FULL, SOLID SOD, NO BURNS, WEEDS, OR DEAD EDGES
	SOD	26,740 SF	SOD / SOD	SOD	

NOTE: PLANT MATERIAL SPECIES TO BE FINALIZED
NOTE: LIGHTING TYPE AND LOCATION TO BE FINALIZED AT BUILDING PERMIT

TOWN OF ADDISON SITE PLAN NOTES:

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- ALL REQUIRED OPEN SPACE SHALL BE PROVIDED WITH ADEQUATE AND INCONSPICUOUS AUTOMATIC IRRIGATION SYSTEMS AND SHALL BE PROPERLY MAINTAINED.
- AN IRRIGATION PLAN IS REQUIRED FOR FINAL CONSTRUCTION PLANS AND MUST BE SIGNED AND SEALED BY A LICENSED IRRIGATOR.
- ALL IRRIGATION CONTROLLERS MUST HAVE RAIN AND FREEZE SENSORS.

Town of Addison, Texas - Landscape Requirements		
14651 Dallas Pkwy, Addison, TX 75224	REQUIRED	PROVIDED
PD - Landscaping Regulations		
4d. Open Space & Amenities		
Minimum open space is 15% 204,696 sf (within L.O.W.)	20% (40,939 SF)	23.12% (30,236.7 sf, public landscape) (17,097.5 sf private courtyards) (47333.2 sf total landscape on site)
40,939 sf of 204,678 sf (within L.O.W.) = 20%		
Ch. 34 Article VI - Landscaping Regulations		
Sec. 34-207 Landscape Design Standards		
Sec. 34-207 Landscape Design Standards		
All least 20% of the gross site or lot shall be landscaped	20% (40,939 SF)	23.12% (30,236.7 sf, public landscape) (17,097.5 sf private courtyards) (47333.2 sf total landscape on site)
(a). Street Landscape Buffer - 20' Landscape buffer along all perimeters along public or private streets.		
(a) (1). Excludes driveway & accessways. Includes town right-of-way.	-	-
(a) (2). One 4" caliper shade tree per 30' linear feet of frontage.	-	-
Landmark Blvd 330 ft / 30 = 11 trees	11 Trees	12 Proposed
* Private Drive A (North): 210 ft / 30 = 7 trees	7 Trees	8 Proposed
* Private Drive B (North): 227 ft / 30 = 8 trees	8 Trees	16 Existing
* Private Drive B (South): 222 ft / 30 = 8 trees	8 Trees	8 Existing
* Private Drive C (West): 234 ft / 30 = 8 trees	8 Trees	9 Proposed
* Private Drive C (East): 217 ft / 30 = 8 trees	8 Trees	1 Existing & 7 Proposed
(c). Visibility Triangles - No vegetation taller than 10' & trees shall be pruned 6' off ground	Yes	Yes
(d). Parking Lot Screening - All parking surfaces shall be screened from adjacent streets		
(d) (1). Screen must be at least 3.5 ft higher than finished elevation of adjacent parking lot.	Yes	Yes
(f). Parking Lot Interior - Required 8% of interior lot landscaped		
(f) (2). 5,110 sf interior = 8% Required interior landscaping	8% (408.8 sf)	16.5% (845 sf)
(f) (5). All parking islands to be 9' wide	Yes	Yes
(f) (6). One shade tree per 10 parking spaces	Yes	2 Existing
Street Landscape Buffer - (20 min.) measured from curb if Owner maintains ROW. Street Landscape buffer must include 1 - 4" tree per 30 linear feet; evergreen shrubs 3'-3'6" on center. No aggregates		
	Yes	Yes
*Private Drives labeled for clarity, see exhibit		



NO.	REVISIONS	DATE

Kimley-Horn
13458 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-3300 FAX: 972-239-9820
WWW.KIMLEY-HORN.COM TX F-928
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley-Horn
R.L.A. ANDREW J. HARCAR
L.A. No. 2654 Date: 04/15/2025

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
06445620	APRIL 2025	AS SHOWN	SLS	SLS	AJH

THE PRINCETON
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP 1.00

LANDSCAPE PLAN
OF
PRINCETON CONVERSION

LOT 1, BLOCK 1
THE PRINCETON, ADDISON
4.7 ACRES
SITUATED IN THE SURVEY, ABSTRACT NO. X
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
DATE: APRIL, 2025
CASE N. 1925-Z



WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA. THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.

OWNER & DEVELOPER: ARCHITECT: LANDSCAPE ARCHITECT:
LBLC 12770 COIT ROAD, SUITE 200 WDG ARCHITECTURE DALLAS KIMLEY-HORN AND ASSOCIATES, INC.
DALLAS, TX 75251 DALLAS, TX 75201 2500 PACIFIC AVENUE, SUITE 1100
TEL. NO. 214-546-8727 TEL. NO. 214-889-5311 DALLAS, TX 75226
CONTACT: SCOT FLORSHHEIM CONTACT: WILL DUNCAN, AIA CONTACT: ANDY HARCAR, P.L.A.

DESIGNED BY: ANDREW J. HARCAR, R.L.A.
DRAWN BY: SLS
CHECKED BY: AJH
DATE: APRIL 15, 2025
LAST SAVED: 02/20/25 9:18 AM
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

PLANT SCHEDULE ADDISON

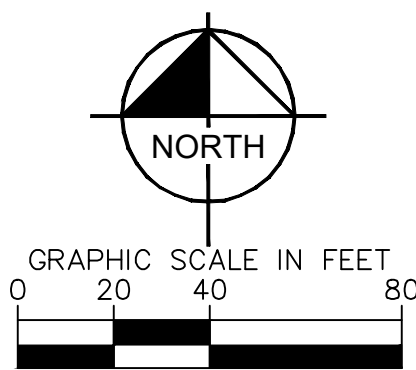
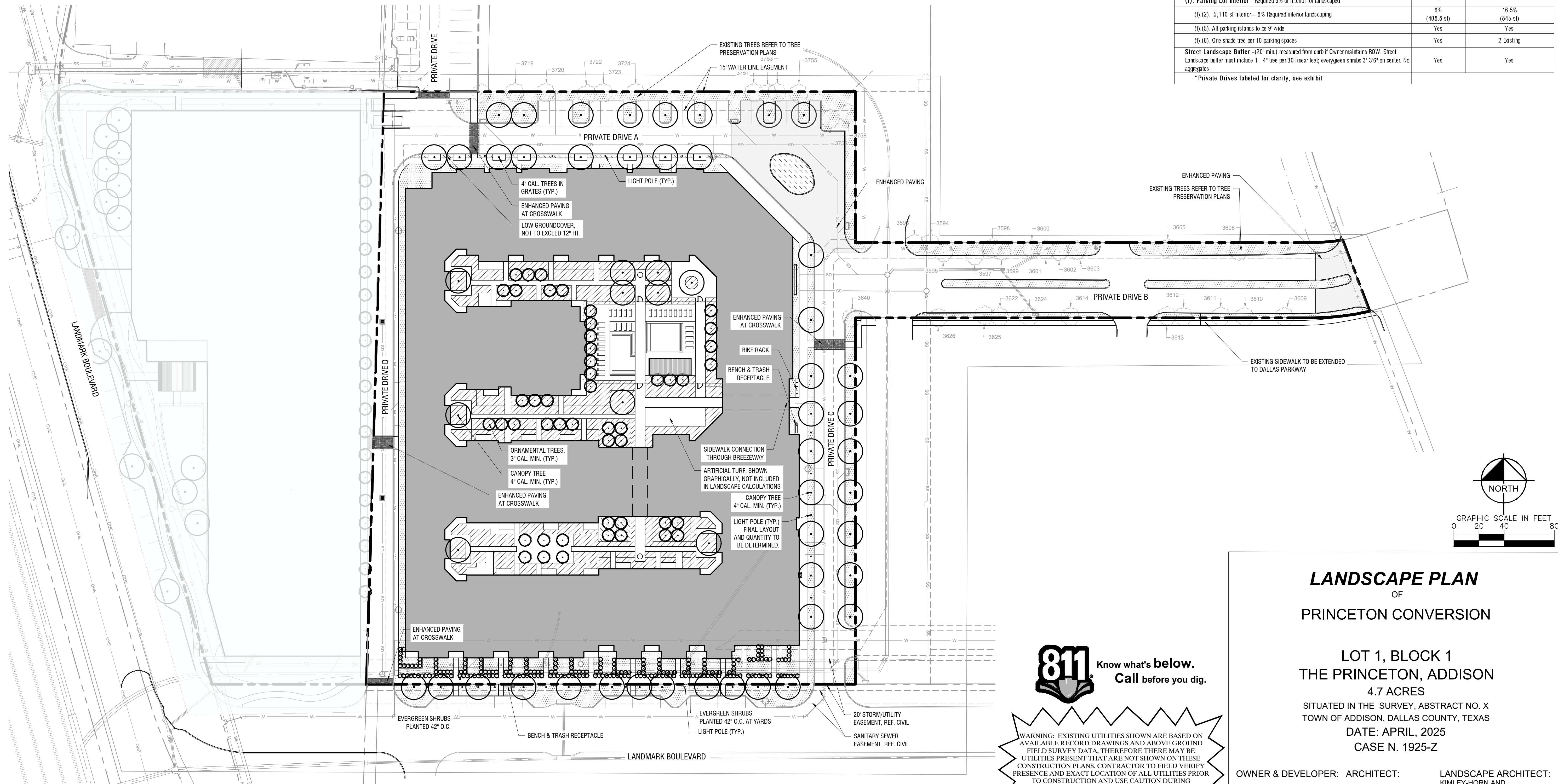
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SHRUBS					
	SS	223	EVERGREEN SCREENING SHRUB	24" HT. 24" SPR. 42" O.C.	DWARF BUFFORD HOLLY, OR SIMILAR.
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	GC	1,802 SF	GROUND COVER/PERENNIALS	-	ASIAN JASMIN, PURPLE WINTERCREEPER, BERKELEY SEDGE, MUHLY, FEATHERGRASS, AUTUMN SAGE, OR SIMILAR.
	PC	16,406 SF	PRIVATE COURTYARD PLANTING	N/A	MIX OF GROUND COVER, PERENNIAL, GRASSES, SHRUBS. TO BE DETERMINED
	SOD	26,740 SF	SOD / SOD	SOD	FULL, SOLID SOD, NO BURNS, WEEDS, OR DEAD EDGES

NOTE: PLANT MATERIAL SPECIES TO BE FINALIZED
NOTE: LIGHTING TYPE AND LOCATION TO BE FINALIZED AT BUILDING PERMIT

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(a)(1). Excludes driveway & accessways. Includes town right-of-way.	-	-
(a)(2). One 4" caliper shade tree per 30' linear feet of frontage	-	-
Landmark Blvd. 330 ft / 30' = 11 trees	11 Trees	12 Proposed
* Private Drive A (North): 310 ft / 30' = 11 trees	11 Trees	15 Existing & 8 Proposed
* Private Drive A (South): 210 ft / 30' = 7 trees	7 Trees	8 Proposed
* Private Drive B (North): 227 ft / 30' = 8 trees	8 Trees	16 Existing
* Private Drive B (South): 222 ft / 30' = 8 trees	8 Trees	8 Existing
* Private Drive C (West): 234 ft / 30' = 8 trees	8 Trees	9 Proposed
* Private Drive C (East): 217 ft / 30' = 8 trees	8 Trees	1 Existing & 7 Proposed
(c). Visibility Triangles - No vegetation taller than 10' & trees shall be pruned 6' off ground	Yes	Yes
(d). Parking Lot Screening - All parking surfaces shall be screened from adjacent streets	-	-
(d)(1) Screen must be at least 3.5 ft higher than finished elevation of adjacent parking lot.	Yes	Yes
(f). Parking Lot Interior - Required 8% of interior lot landscaped	-	-
(f)(2). 5,110 sf interior = 8% Required interior landscaping	8% (408.8 sf)	16.5% (845 sf)
(f)(5). All parking islands to be 9' wide	Yes	Yes
(f)(6). One shade tree per 10 parking spaces	Yes	2 Existing
Street Landscape Buffer - (20' min.) measured from curb if Owner maintains ROW. Street Landscape buffer must include 1 - 4" tree per 30 linear feet; evergreen shrubs 3 - 3'6" on center. No aggregates	Yes	Yes
* Private Drives labeled for clarity, see exhibit		



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LANDSCAPE PLAN
OF
PRINCETON CONVERSION

LOT 1, BLOCK 1
THE PRINCETON, ADDISON
4.7 ACRES
SITUATED IN THE SURVEY, ABSTRACT NO. X
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
DATE: APRIL, 2025
CASE N. 1925-Z

OWNER & DEVELOPER: ARCHITECT: LANDSCAPE ARCHITECT:
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DALLAS, TX 75201 DALLAS, TX 75201 2500 PACIFIC AVENUE, SUITE 1100
TEL. NO. 214-646-8727 TEL. NO. 214-646-8727 DALLAS, TX 75226
CONTACT: SCOT FLORSHHEIM CONTACT: WILL DUNCAN, AIA CONTACT: ANDY HARCAR, P.L.A.

NO.	REVISIONS	DATE

Kimley & Horn
13458 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-3300 FAX: 972-239-8820
WWW.KIMLEY-HORN.COM TX F-928
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley & Horn
R.L.A. ANDREW J. HARCAR
L.A. No. 2854 Date: 04/15/2025

KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	SLS	DRAWN BY	SLS	CHECKED BY	AJH
06445620	APRIL 2025								

THE PRINCETON
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP 1.01

PLOTTED BY: KIMLEY-HORN AND ASSOCIATES, INC. DATE: 04/15/2025 9:18 AM
 DWG NAME: K:\06445620\PRINCETON CONVERSION\CAD\PLANSHEETS\LANDSCAPE\LP 1.01 - ADDISON.DWG
 LAST SAVED: 02/20/25 9:18 AM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	MULTIPLE-STEMMED	PRESERVE OR REMOVE
3593	15.4	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3594	10.2	American holly	<i>Ilex opaca</i>	Healthy	Single	Preserve
3595	9.7	American holly	<i>Ilex opaca</i>	Declining	Single	Preserve
3596	7.4	American holly	<i>Ilex opaca</i>	Hazard	Single	Remove
3597	6.4	American holly	<i>Ilex opaca</i>	Declining	Single	Preserve
3598	12.0	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3599	6.5	American holly	<i>Ilex opaca</i>	Healthy	Single	Preserve
3600	14.4	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3601	5.2	American holly	<i>Ilex opaca</i>	Healthy	Single	Preserve
3602	6.3	American holly	<i>Ilex opaca</i>	Healthy	Single	Preserve
3603	9.2	American holly	<i>Ilex opaca</i>	Declining	Forked	Preserve
3605	21.4	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3606	18.5	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3609	15.2	American holly	<i>Ilex opaca</i>	Healthy	Single	Preserve
3610	13.3	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3611	14.2	American holly	<i>Ilex opaca</i>	Healthy	Multi	Preserve
3612	5.6	American holly	<i>Ilex opaca</i>	Healthy	Single	Preserve
3613	15.0	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3614	9.4	American holly	<i>Ilex opaca</i>	Declining	Single	Preserve
3622	14.5	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3624	8.4	American holly	<i>Ilex opaca</i>	Declining	Single	Preserve
3625	7.4	American holly	<i>Ilex opaca</i>	Healthy	Single	Preserve
3626	11.8	American holly	<i>Ilex opaca</i>	Healthy	Single	Preserve
3627	25.9	live oak	<i>Quercus virginiana</i>	Healthy	Single	Preserve
3628	21.6	live oak	<i>Quercus virginiana</i>	Healthy	Single	Preserve
3629	21.2	live oak	<i>Quercus virginiana</i>	Healthy	Single	Preserve
3630	21.1	live oak	<i>Quercus virginiana</i>	Healthy	Single	Preserve
3631	21.0	live oak	<i>Quercus virginiana</i>	Healthy	Single	Preserve
3632	20.9	live oak	<i>Quercus virginiana</i>	Healthy	Single	Preserve
3633	15.8	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3634	15.0	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3635	15.6	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3636	12.6	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3637	14.5	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3638	14.0	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3639	11.2	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3640	15.5	American holly	<i>Ilex opaca</i>	Healthy	Forked	Preserve
3641	12.7	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3642	10.5	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3643	16.4	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3644	8.3	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Forked	Remove
3645	18.7	Sweetgum	<i>Liquidambar styraciflua</i>	Healthy	Single	Remove
3646	14.6	Sweetgum	<i>Liquidambar styraciflua</i>	Healthy	Single	Remove
3647	15.6	Sweetgum	<i>Liquidambar styraciflua</i>	Healthy	Single	Remove
3648	13.4	Sweetgum	<i>Liquidambar styraciflua</i>	Healthy	Single	Remove
3649	15.5	Sweetgum	<i>Liquidambar styraciflua</i>	Healthy	Single	Remove
3650	14.4	Sweetgum	<i>Liquidambar styraciflua</i>	Healthy	Single	Remove
3651	13.7	Sweetgum	<i>Liquidambar styraciflua</i>	Declining	Single	Remove
3652	6.3	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3653	6.6	American holly	<i>Ilex opaca</i>	Healthy	Forked	Remove
3654	12.3	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3655	9.5	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Single	Remove
3656	11.4	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3657	25.2	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3658	10.5	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Remove
3659	22.5	Bradford pear	<i>Pyrus calleryana</i>	Healthy	Single	Remove
3660	28.3	Bradford pear	<i>Pyrus calleryana</i>	Healthy	Single	Remove
3661	9.0	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Remove
3662	4.4	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Forked	Remove
3663	9.8	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3664	8.1	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Forked	Remove
3665	6.4	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3666	8.4	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3667	25.6	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3668	12.6	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3669	5.0	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Forked	Remove
3670	14.4	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Remove
3671	5.9	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3672	24.5	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3673	15.1	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3674	17.7	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3675	16.0	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3688	6.5	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3689	14.3	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Remove
3690	8.1	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3691	16.5	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Remove
3692	23.6	Bradford pear	<i>Pyrus calleryana</i>	Healthy	Single	Remove
3693	15.1	Bradford pear	<i>Pyrus calleryana</i>	Healthy	Single	Remove
3694	27.0	Bradford pear	<i>Pyrus calleryana</i>	Healthy	Single	Remove
3695	7.2	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Forked	Remove
3696	8.6	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Remove
3697	4.1	Japanese elm	<i>Ulmus parvifolia</i>	Healthy	Single	Remove
3698	12.8	Bradford pear	<i>Pyrus calleryana</i>	Healthy	Single	Remove
3699	19.5	Bradford pear	<i>Pyrus calleryana</i>	Healthy	Single	Remove
3700	18.0	Bradford pear	<i>Pyrus calleryana</i>	Healthy	Single	Remove
3701	15.8	Bradford pear	<i>Pyrus calleryana</i>	Healthy	Single	Remove
3702	6.0	Japanese elm	<i>Ulmus parvifolia</i>	Healthy	Single	Remove
3703	12.0	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Multi	Remove
3710	15.2	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove

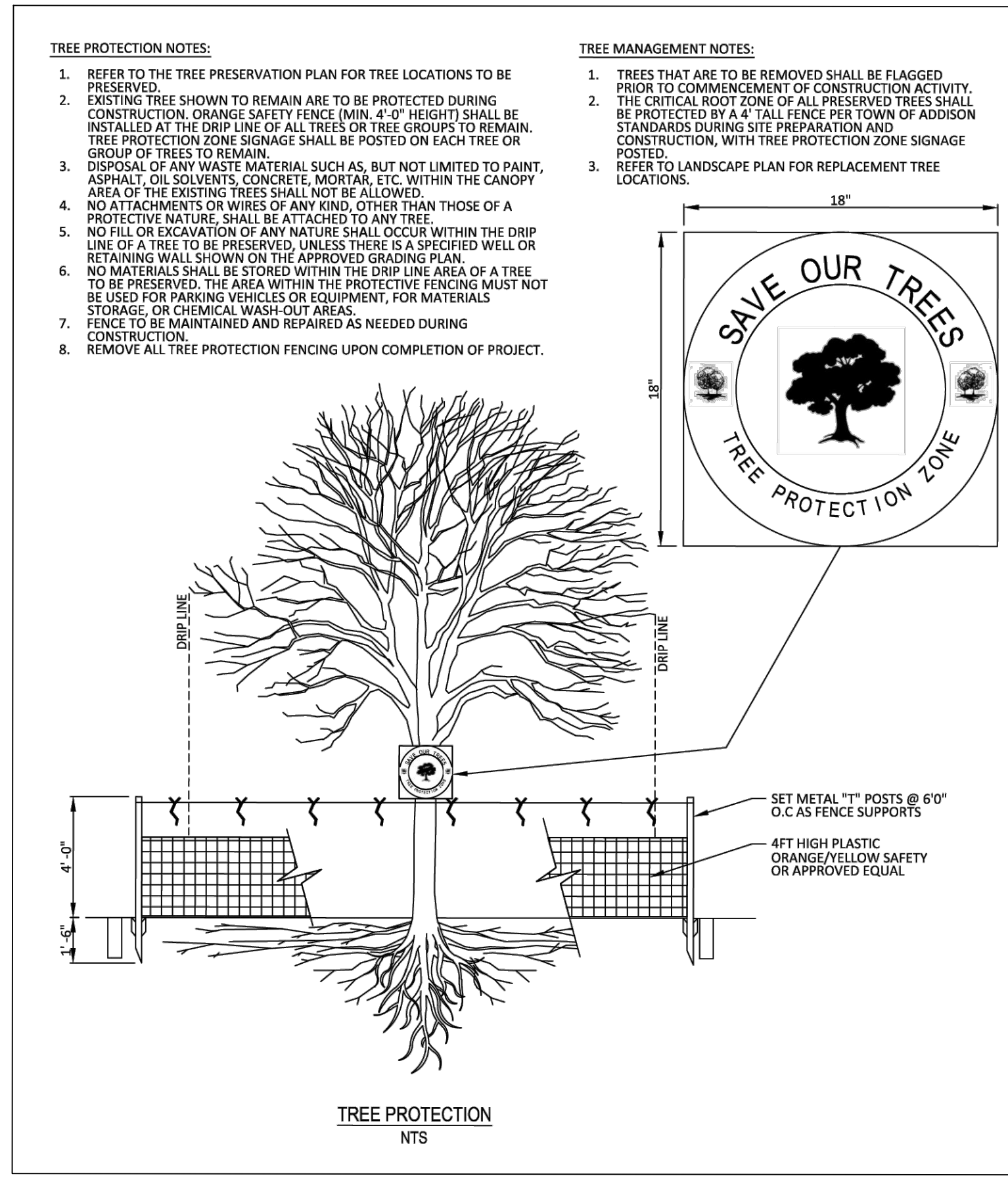
TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	MULTIPLE-STEMMED	PRESERVE OR REMOVE
3711	29.0	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3712	4.9	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Preserve
3718	10.8	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3719	21.0	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Preserve
3720	13.0	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Forked	Preserve
3722	8.2	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Forked	Preserve
3723	4.3	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Single	Preserve
3724	7.3	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Preserve
3725	8.8	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Single	Remove
3726	7.9	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Single	Remove
3727	16.1	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3728	13.3	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3729	10.7	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3730	9.0	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3731	13.5	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3732	13.1	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3733	15.7	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3734	12.4	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3735	11.8	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3736	20.3	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3737	8.5	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Multi	Remove
3738	21.6	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3739	8.6	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Forked	Remove
3740	9.9	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Multi	Remove
3741	6.0	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Forked	Remove
3742	20.3	live oak	<i>Quercus virginiana</i>	Healthy	Single	Remove
3743	6.8	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove
3744	6.8	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Multi	Remove
3745	5.1	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Forked	Remove
3746	21.9	southern magnolia	<i>Magnolia grandiflora</i>	Healthy	Single	Remove
3747	11.2	Yaupon Holly	<i>Ilex vomitoria</i>	Healthy	Multi	Remove
3748	12.3	american holly	<i>Ilex opaca</i>	Healthy	Forked	Remove
3751	4.7	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Forked	Preserve
3752	13.3	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Preserve
3753	8.7	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Preserve
3755	12.6	Crape Myrtle	<i>Lagerstroemia indica</i>	Healthy	Multi	Preserve
3758	13.7	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Preserve
3759	15.4	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Preserve
3760	10.3	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3761	13.0	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3762	12.9	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	Remove
3763	10.9	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3764	12.3	Shumard oak	<i>Quercus shumardii</i>	Healthy	Single	Remove
3765	8.0	American holly	<i>Ilex opaca</i>	Healthy	Single	Remove

Town of Addison, Texas - Tree Mitigation Calculation	
Total Caliper Inches	1728.8
Total Caliper Inches of Unprotected Trees to be Removed	182.6
Total Caliper Inches of Protected Trees to be Removed	1011.1
Total Mitigation Inches Provided per Landscape Plan 102 trees @ 4" each = 408"	408
Total Net Mitigation Inches Required	603.1
Total to be Paid into Town of Addison Tree Fund \$192 per inch x 603.1 = \$115,795.20	\$115,795.20
As stated in Sec. 34-208-B2, any tree to be removed shall be replaced caliper inch for caliper inch.	

NOTE: AT THE TIME OF THIS SUBMITTAL, METHODS FOR MITIGATION COMPLIANCE HAVE NOT BEEN FINALIZED. THE CHART ABOVE IS FOR REFERENCE ONLY. REQUIRED MITIGATION IS ANTICIPATED TO BE ACHIEVED THROUGH A COMBINATION OF METHODS ACCEPTABLE TO THE TOWN OF ADDISON.

NOTE: TEXAS ASH, HACKBERRY, BRADFORD PEAR, BOIC D'ARC ARE NOT PROTECTED TREES AND SHALL NOT REQUIRE MITIGATION.

NOTE: PRESERVED TREES THAT ARE OBSERVED AS DECLINING WILL BE MONITORED ACCORDINGLY. IF THE TREE DIES OR IT IS DETERMINED THAT REMOVAL IS REQUIRED, MITIGATION WILL BE COORDINATED WITH THE CITY AND PROVIDED ACCORDINGLY.



TOWN OF ADDISON TREE PROTECTION DETAIL

Scale: NTS

A

TREE PRESERVATION PLAN OF PRINCETON CONVERSION

LOT 1, BLOCK 1
THE PRINCETON, ADDISON
4.7 ACRES
SITUATED IN THE SURVEY, ABSTRACT NO. X
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
DATE: APRIL, 2025
CASE N. 1925-Z

OWNER & DEVELOPER: ARCHITECT: LANDSCAPE ARCHITECT:
LBLC 12770 COIT ROAD, SUITE 200 WDG ARCHITECTURE DALLAS KIMLEY-HORN AND ASSOCIATES, INC.
DALLAS, TX 75251 DALLAS, TX 75201 DALLAS, TX 75226
TEL. NO. 214-546-8727 TEL. NO. 214-889-5311 TEL. NO. 972-460-8858
CONTACT: SCOT FLORSHHEIM CONTACT: WILL DUNCAN, AIA CONTACT: ANDY HARCAR, P.L.A.



WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA. THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.

NO.	REVISIONS	DATE	BY

Kimley-Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley-Horn
R.L.A. ANDREW J. HARCAR
L.A. No. 2854 Date: 04/15/2025

KHA PROJECT 064456620	DATE APRIL 2025	SCALE AS SHOWN	DESIGNED BY SLS	DRAWN BY SLS	CHECKED BY AJH
--------------------------	--------------------	-------------------	--------------------	-----------------	-------------------

THE PRINCETON
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

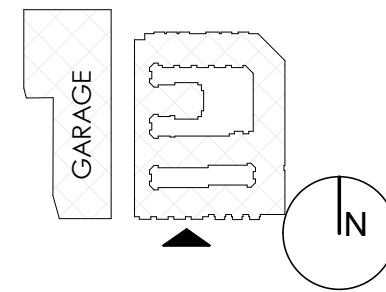
TREE PRESERVATION &
PROTECTION INVENTORY -
ADDISON

SHEET NUMBER
TP 1.01

PLANNED BY: ALEX BROWN, DATE: 09/01/2023, 10:59 AM
 DRAWN BY: ALEX BROWN, DATE: 09/01/2023, 11:00 AM
 LAST SAVED: 3/30/2025, 4:10 PM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. RELIEF OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



3 FACADE SOUTH
SCALE: 1" = 20'-0"



1- MASONRY BRICK	= 5,910 SF	40%
2- STUCCO SYSTEM	= 4,650 SF	33%
3- CEMENTITIOUS SIDING	= 4,012 SF	27%
TOTAL	=14,362 SF	100.0%

WALL MATERIALS	= 14,673 SF	72%
WINDOWS & DOORS	= 5,727 SF	28%
TOTAL	=20,400 SF	100.0%

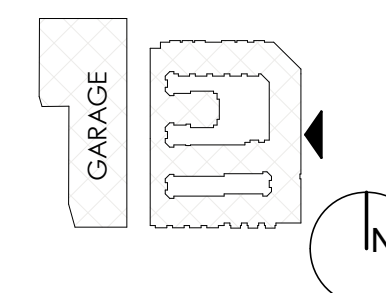
1	MAS-01-E	FACE BRICK, KING SIZE - RUNNING BOND KANSAS BRICK, MANGANESE 500
1.5	MAS-01-E	FACE BRICK, KING SIZE - SOLDIER PATTERN KANSAS BRICK, MANGANESE 500
2	MAS-02-F	FACE BRICK, KING SIZE - RUNNING BOND KING KLINKER, WINTERLAND
3	FC-01-A	HARDIE LAP SIDING - SMOOTH 8" EQUAL OVERLAP PAINTED - BRAINSTORM BRONZE - SW7033
4	FC-02-B	HARDIE TRIM - SMOOTH 1X SOLID TRIM PAINTED - TRICORN BLACK - SW6258 FIBERCEMENT
5	FC-03-D	WOODTONE LAP SIDING - TEXTURED 8" EQUAL OVERLAP PREFINISHED - SUMMER WHEAT FIBERCEMENT
6	FC-04-C	NICHIIHA - VERTICAL PREFINISHED - VINTAGEWOOD FIBERCEMENT
7	STU-01-A	STUCCO SYSTEM FINE SAND FINISH SHELL WHITE - SH8917
8	STU-01-B	STUCCO SYSTEM FINE SAND FINISH TRICORN BLACK - SW6258

FACADE PLAN NOTES

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATION ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.



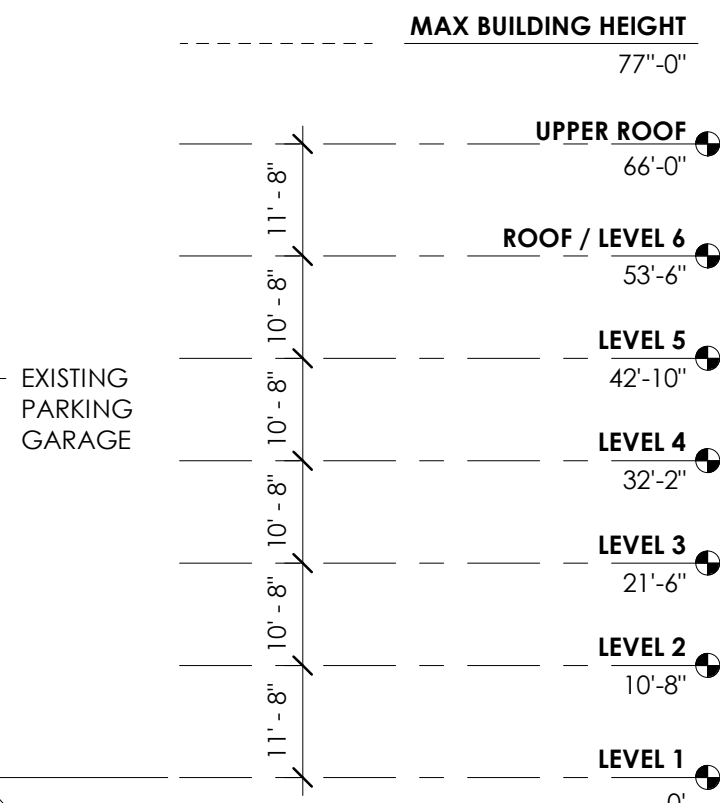
1 FACADE EAST (FRONT)
SCALE: 1" = 20'-0"



1- MASONRY BRICK	= 2,509 SF	15%
2- STUCCO SYSTEM	= 10,039 SF	60%
3- CEMENTITIOUS SIDING	= 4,315 SF	25%
TOTAL	=16,863 SF	100.0%

SOLID MATERIALS	= 16,863 SF	70%
WINDOWS & DOORS	= 8,815 SF	30%
TOTAL	=25,678 SF	100.0%

MAX BUILDING HEIGHT	77'-0"
UPPER ROOF	66'-0"
ROOF / LEVEL 6	53'-6"
LEVEL 5	42'-10"
LEVEL 4	32'-2"
LEVEL 3	21'-6"
LEVEL 2	10'-8"
LEVEL 1	0"

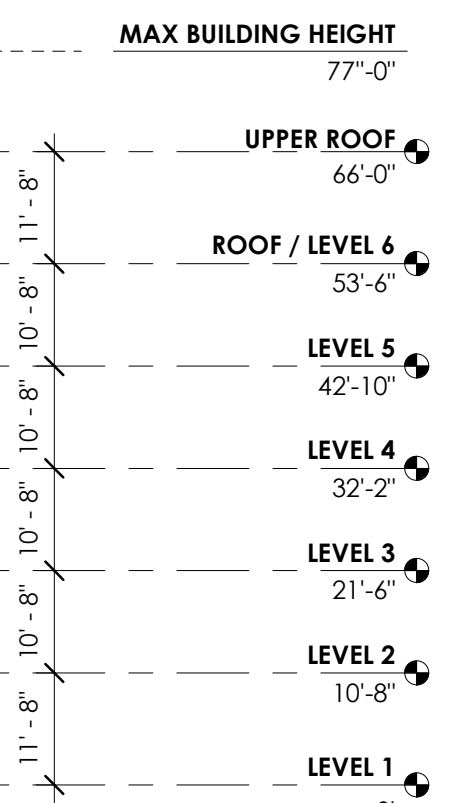
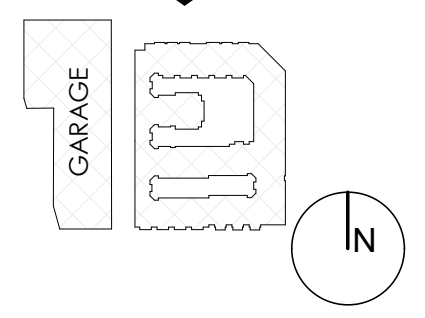


TRASH ENCLOSURE CONTAINED IN EXISTING PARKING GARAGE @ GROUND LEVEL - NOT VISIBLE FROM STREET

1- MASONRY BRICK	= 6,876 SF	44%
2- STUCCO SYSTEM	= 6,307 SF	40%
3- CEMENTITIOUS SIDING	= 4,787 SF	16%
TOTAL	=15,735 SF	100.0%

SOLID MATERIALS	= 15,735 SF	75%
WINDOWS & DOORS	= 5,335 SF	25%
TOTAL	=21,070 SF	100.0%

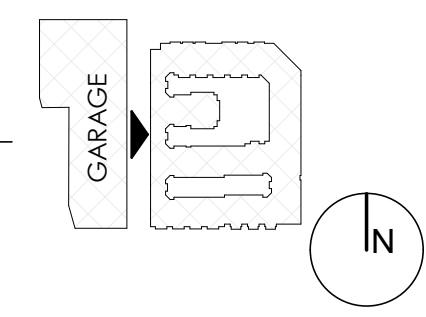
2 FACADE NORTH
 SCALE: 1" = 20'-0"



1- MASONRY BRICK	= 4,474 SF	20%
2- STUCCO SYSTEM	= 5,258 SF	24%
3- CEMENTITIOUS SIDING	= 12,398 SF	56%
TOTAL	=22,130 SF	100.0%

WALL MATERIALS	= 22,130 SF	95%
WINDOWS & DOORS	= 1,140 SF	5%
TOTAL	=23,270 SF	100.0%

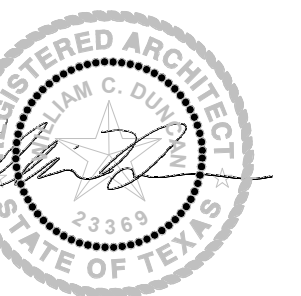
3 FACADE WEST
 SCALE: 1" = 20'-0"



THE PRINCETON
 14651 Dallas Pkwy, Addison, TX, 75254, USA

WELLINGTON SQUARE
 LOT 1, BLOCK 1
 VOL. 79:220, PG 2203
 TOWN OF ADDISON
 COUNTY OF DALLAS
 STATE OF TEXAS

PROFESSIONAL SEAL
 05/30/2025

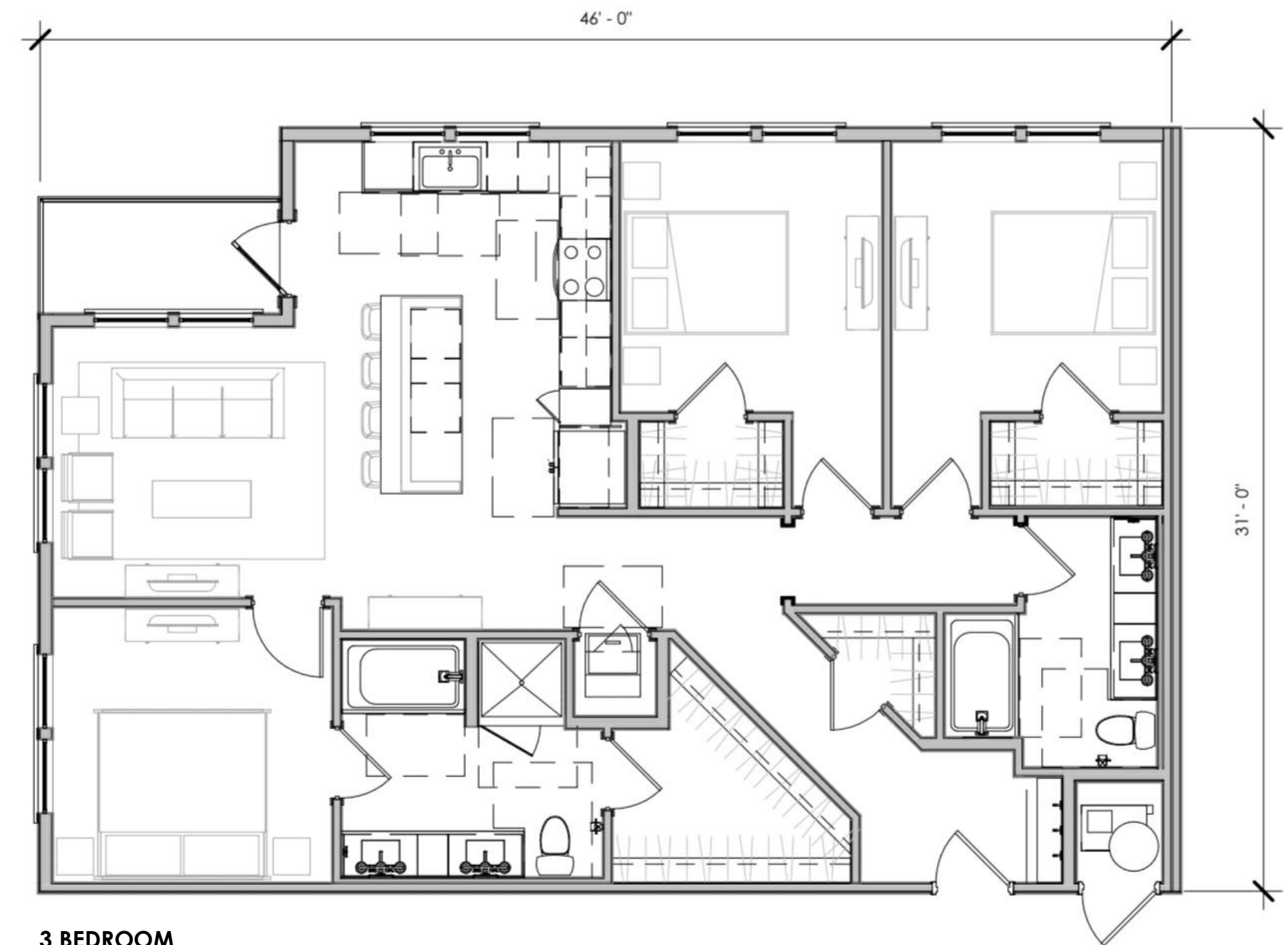


© 2024 WDG Project No: DA24001

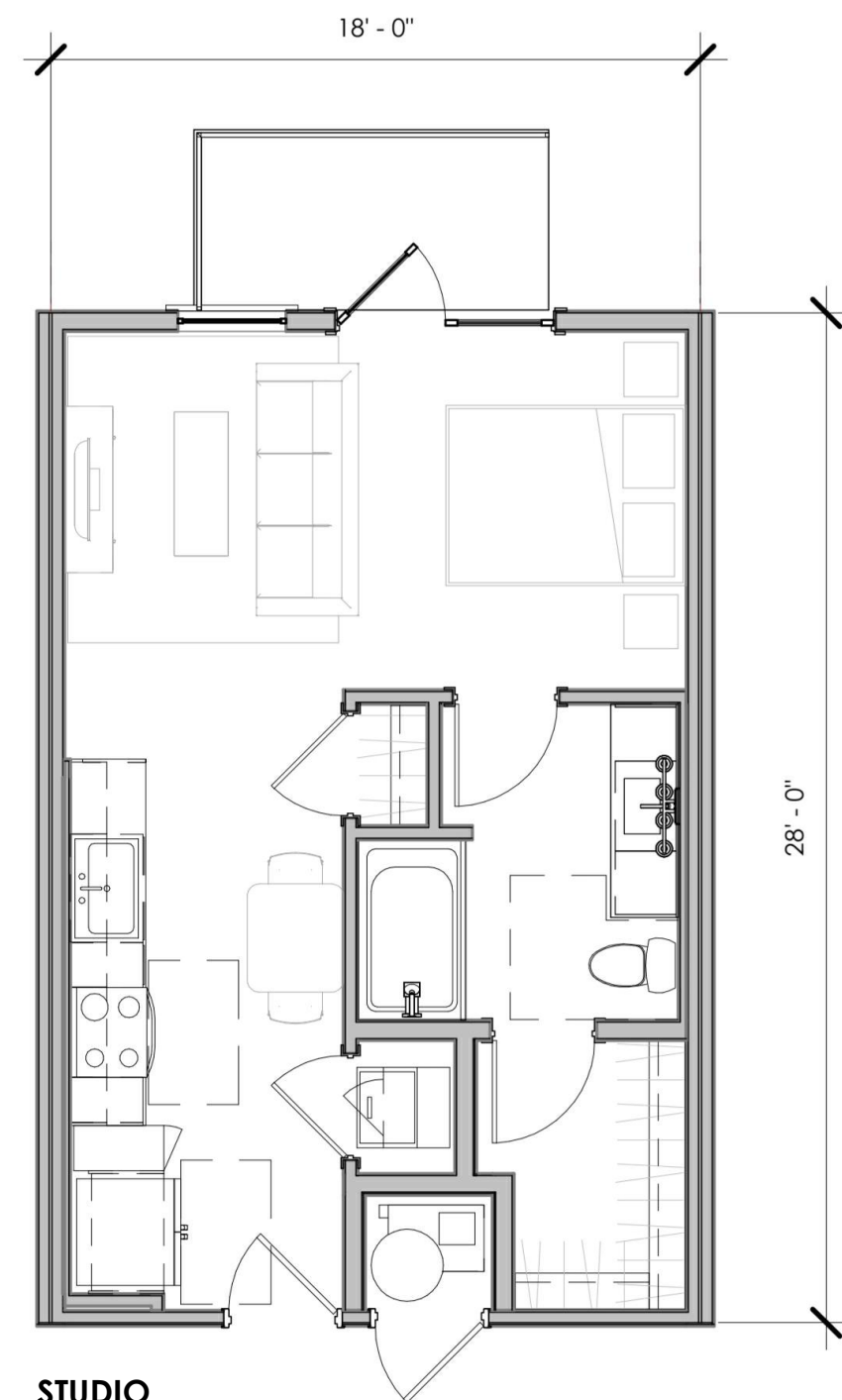
UNIT PLANS

CASE NO. 1925-Z

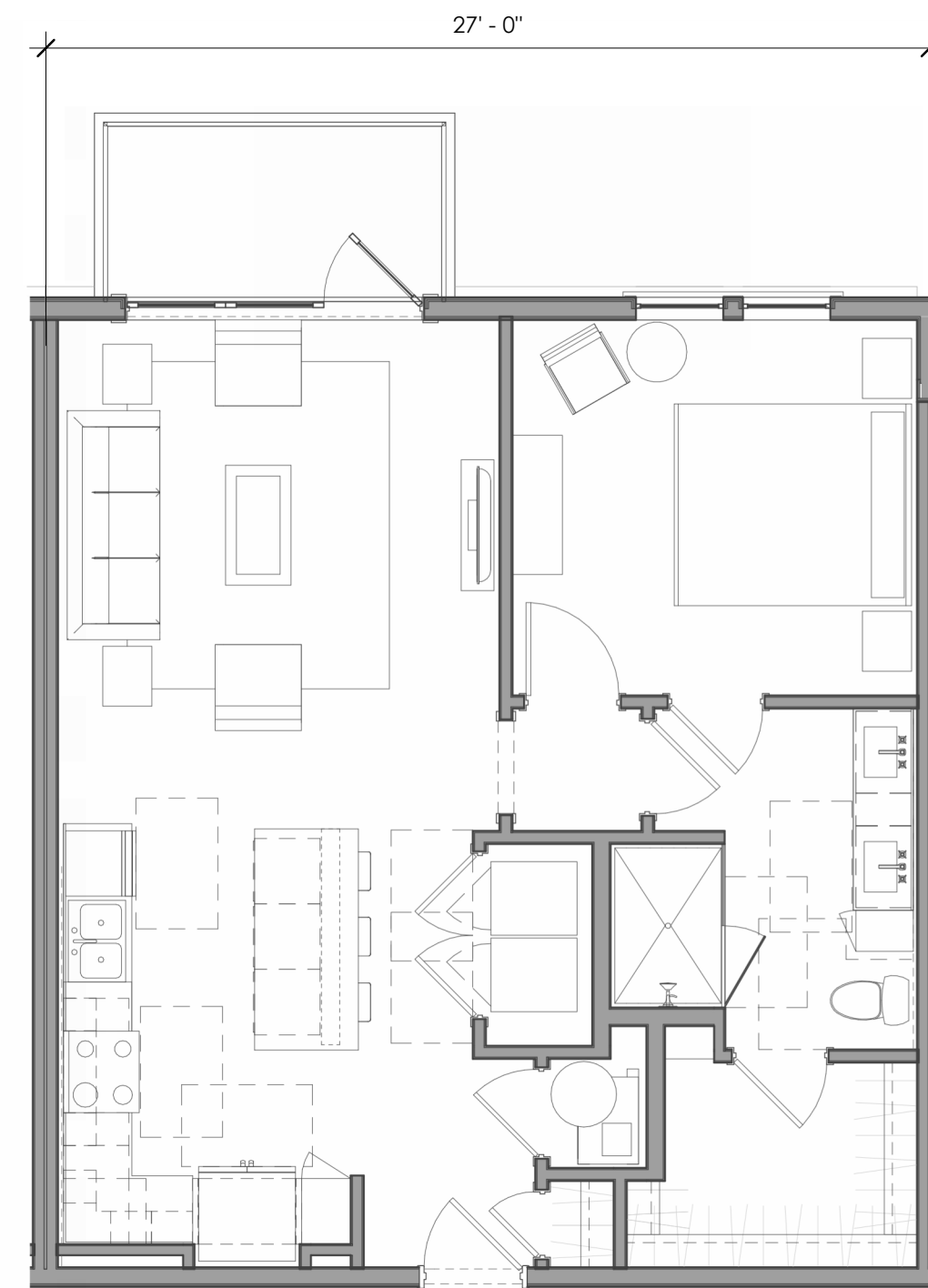
D5.05



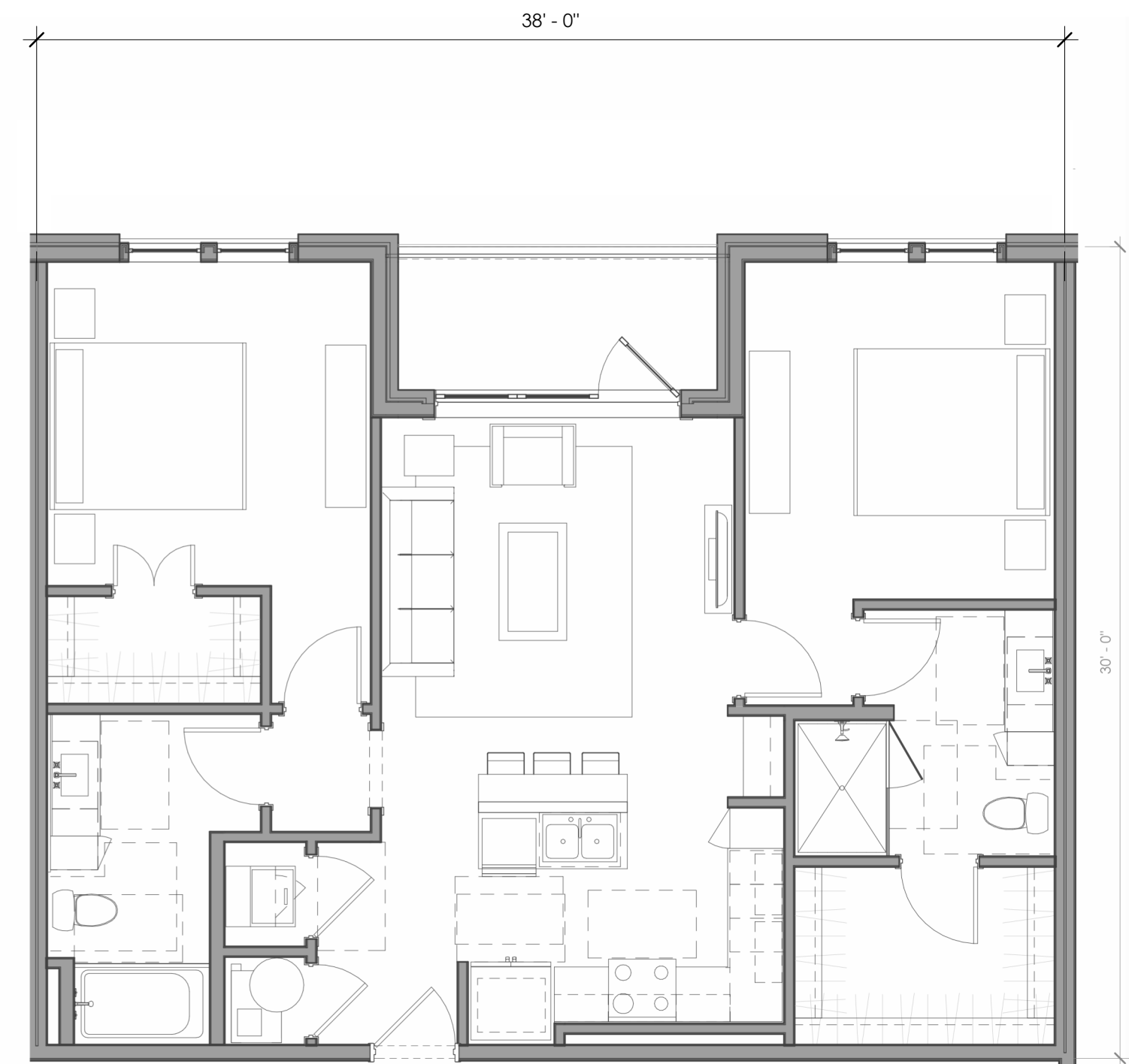
3 BEDROOM
 1,300 SQ FT



STUDIO
 504 SQ FT



1 BEDROOM
 810 SQ FT



2 BEDROOM
 1067 SQ FT

REPRESENTATIVE UNITS

Exhibit “B”
Permitted Use & Development Standards

1. Exhibits.

a. Unless otherwise stated herein, use and development of the Property shall be generally in conformance with the following, subject to the final layout and design conforming with the Town of Addison Engineering Standards and Fire Code:

- **Exhibit C** Landscape and Site Plan Exhibit
- **Exhibit D** Façade and Building Elevation Exhibit

2. Definitions.

a. “Electric vehicle supply equipment” or “EVSE” means the conductors, including the undergrounded, grounded, and equipment-grounding conductors, and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises’ wiring and the electric vehicle.

b. “EV-installed” means a designated parking space with a branch circuit for EVSE servicing electric vehicles and an electric vehicle charging station installed.

c. “EV-ready” means a designated parking space that is provided with one dedicated branch circuit for EVSE servicing electric vehicles.

d. “EV-capable” means electric capacity, conduit, and space to support a circuit for each EV parking space, and the installation of raceways, both underground- and surface-mounted, as required, to support EVSE.

3. Uses.

The following uses shall be allowed by right at the Property:

- Multiple-family dwelling (apartments)
- Community, social, or hobby buildings as part of a multiple-family dwelling or housing project
- Accessory parking structure to meet off-street parking requirements
- Accessory buildings, equipment, and uses customarily incident to the above uses, including, but not limited to, private laundry, utility, or storage building, carports, swimming pools, fitness centers, common areas and amenities, outdoor or indoor sport courts, outdoor dog parks/runs, and outdoor recreational areas

4. Development Standards.

a. Density: Maximum density is 400 dwelling units.

- b. Building Lot Ratio: There is no minimum amount of lot area for each dwelling unit.
- c. Height: Maximum height shall be 6 stories and 77 feet.
- d. Open Space and Amenities.
 - i. Open space shall be provided as generally shown in the Concept Landscape and Site Plan Exhibit (Exhibit "C"), subject to the following requirements.
 - A. Minimum open space percentage is 20%. Open-air pedestrian recreational space, private courtyards, and similar amenities, as generally shown in Exhibit "C", shall be included for the calculation of minimum open space.
 - B. Pedestrian paths and sidewalks shall be arranged so as to promote connectivity throughout the Property and with adjacent sites. Pedestrian paths and sidewalks shall be provided as generally shown in Exhibit "C", including an off-site sidewalk(s) or pedestrian pathway(s) in the City of Farmers Branch that connects to the existing network of sidewalks in the Town of Addison, subject to the following condition:
 - 1. If third-party rights-of-way, consents, or easements required for the off-site sidewalk(s) or pedestrian path(s) shown in Exhibit "C" cannot be obtained using commercially reasonable efforts, then such sidewalk(s) or pedestrian pathway(s) shall no longer be required.
 - C. Pedestrian-scale lighting shall be provided for every 75 feet of sidewalk along frontages for Landmark Boulevard and Private Drives A and C, as designated in the landscape plan in Exhibit "C".
 - ii. Recreational space, facilities, and amenities shall be provided as generally shown on Exhibit "C." At a minimum, one bench and one trash receptacle will be provided along the east and south facades of the proposed building.
 - iii. In lieu of minimum recreational space and facilities requirements set forth under the Zoning Ordinance, minimum area requirements for amenity space shall be provided as shown in the data table in Exhibit "C".
 - iv. In collaboration with the Town's Parks and Recreation Department, one or more public art feature(s) that is visible from the public right-of-way shall be installed within an accessible common area of the Property prior to the issuance of a Certificate of Occupancy. Funding for this feature is the obligation of the developer. The Addison Arbor Foundation may elect to,

but is not obligated to participate in funding this feature. Necessary easements for access to the features shall be finalized and granted at the time of platting, prior to Certificate of Occupancy.

e. Landscaping and Screening: In lieu of the landscaping requirements under Chapter 34, Article VI of the Town of Addison Code of Ordinances, landscaping and screening shall be provided as generally shown in Exhibit "C", subject to the following requirements.

- i. At least 20 percent of the Property shall be maintained as landscaped area. Private courtyards shall be included in the calculation of landscaped area.
- ii. Required screening may be accomplished via masonry construction walls or solid fencing or via landscaping or earthen berms or any combination thereof.
- iii. Mechanical equipment shall be mounted on the roof and screened from view from all rights-of-way and located to minimum noise intrusion off the lot. Screening must be architecturally compatible with the building design.

f. Lot Coverage: Lot coverage, as defined in Article XXX of the Zoning Ordinance, shall not exceed 45%.

g. Dwelling unit size:

- i. The minimum floor area per dwelling unit shall be as follows:
 - A. 450 square feet for efficiency units.
 - B. 600 square feet for one-bedroom units.
 - C. 900 square feet for two-bedroom units.
 - D. 1,000 square feet for three-bedroom units.
- ii. A maximum of 10 percent of all dwelling units may contain a floor area between 450 square feet and 600 square feet.

h. Yard requirements:

- i. Landmark Boulevard. A minimum 20-foot setback is required.
- ii. Side yards.
 - A. There is no minimum required side yard setback.

iii. Rear yards.

A. There is no minimum required rear yard setback.

iv. Projections.

A. Except for balconies and patios, no projections into a minimum yard beyond 24 inches are allowed. Balconies and patios are not required to be recessed and may project into any required yard up to a maximum of 8 feet, unless otherwise prohibited.

B. Along the Tollway, project signs, whether temporary or permanent, may be located within a required yard or setback.

5. Parking.

a. A minimum of 1.2 parking spaces shall be provided per bedroom. Required parking spaces may be either covered or uncovered.

b. Required parking may be located outside of this zoning district, on a different lot from such use, if either (a) an agreement is entered into between the respective lots and recorded in the deed records, or (b) both lots are owned, in whole or in part, by the same one owner or by owners with some common management. Parking spaces may be located more than 100 feet pedestrian travel distance from the entrance to the dwelling unit that it is intended to serve, and is not required to be visible therefrom.

c. No additional parking spaces are required to be provided for the storage of recreational vehicles, boats, and/or additional cars.

d. Commercial vehicles/equipment, except as used for the construction of the project, shall be prohibited in parking areas on the Property visible from public rights-of-way.

6. Construction Materials and Design.

Building facades and materials shall be provided as generally shown in the Façade and Elevation Exhibit (Exhibit "D"), subject to the following requirements:

a. No minimum masonry requirement shall apply to exterior walls.

b. Balconies, whether visible from a public right-of-way or not, are not required to be recessed and screened or covered or screened. Balconies may be open and glass-railed.

c. Ground-floor patio fences will be metal or masonry in construction and a maximum of four (4) feet in height.

7. Sustainable Design Features.

a. Electric vehicle charging. A minimum of three (3) percent of required off-street parking spaces shall service electric vehicles, the allocation of which, at the time of construction, shall be as follows:

i. A minimum of one (1) percent of required off-street parking spaces must be EV-installed parking spaces;

ii. A minimum of one (1) percent of required off-street parking spaces must be EV-ready parking spaces; and

iii. A minimum of one (1) percent of required off-street parking spaces must be EV-capable parking spaces.

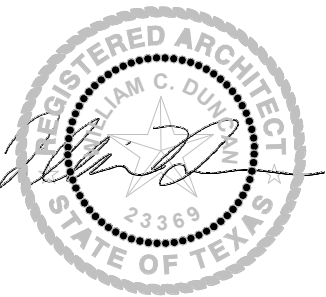
At any time after construction, EV-ready and EV-capable parking spaces may be upgraded to a higher-tier EV space, even if doing so brings their total allocation to less than one (1) percent of required off-street spaces.

b. Sustainable construction. The development will comply with the U.S. Green Building Council's Bronze and Energy Star Standards.

THE PRINCETON
 14651 Dallas Pkwy, Addison, TX, 75254, USA

WELLINGTON SQUARE
 LOT 1, BLOCK 1
 VOL. 79,220, PG 2203
 TOWN OF ADDISON
 COUNTY OF DALLAS
 STATE OF TEXAS

PROFESSIONAL SEAL
 05/30/2025



© 2024 WDG Project No: DA24001

PERSPECTIVES

CASE NO. 1925-Z

D5.04



VIEW OF POOL COURTYARD



AERIAL VIEW



VIEW OF SOUTH FACADE AT LANDMARK BOULEVARD



VIEW OF LEASING ARRIVAL

1925-Z Public Input

Last Updated: August 15, 2025



May 21, 2025

**Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the
"Property")**

Members of Addison City Council, Planning and Zoning Commission, and City Staff

Boxer Property is the management company for the office building located at 14800 Quorum Drive, Addison, Texas. JP-Prin Development, LP (the "Applicant") has informed Boxer of its desire to redevelop the property located at 14651 Dallas Parkway, which is currently the location of a vacant office building. Boxer understands that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment is expected to transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants should benefit from the area's growth in population. Given the Property's location adjacent to the Tollway, railroad tracks, and apartments, together with its proposed reuse of the existing parking garage structure, it appears the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. Applicant also informs Boxer that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, Boxer and the owner it represents support the proposed zoning change to allow multifamily at the Property.

Sincerely,

A handwritten signature in black ink that reads "John Rentz". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

John Rentz
Vice President
Boxer Property Management Corporation
Representative for JBA Portfolio, LLC



May 23, 2025

Addison City Council
Addison Planning and Zoning Commission
5300 Belt Line Road
Dallas, TX 75254

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff,

I am writing to you on behalf of **Landmark Quorum Holdings, LLC**, the owner of a 155,000 square foot office building located at **14800 Landmark Blvd, Addison TX 75254**. JP-Prin Development, LP (the “Applicant”) has shared with us their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. We understand that the Applicant proposes to demolish the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Marc Grossfeld', is written over a light blue horizontal line.

Marc Grossfeld
President, Sunwest Real Estate Group
As representative for **Landmark Quorum Holdings, LLC**
owner of **14800 Landmark Blvd, Addison, TX 75254**



May 23, 2025

Addison City Council
Addison Planning and Zoning Commission
5300 Belt Line Road
Dallas, TX 75254

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff,

I am writing to you on behalf of **Werbo Burke, LLC**, the owner of a 89,000 square foot office building located at **14850 Quorum Drive, Addison TX 75254**. JP-Prin Development, LP (the “Applicant”) has shared with us their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. We understand that the Applicant proposes to demolish the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,

A handwritten signature in blue ink, appearing to read "Marc Grossfeld".

Marc Grossfeld
President, Sunwest Real Estate Group
As representative for **Werbo Burke, LLC**
owner of **14850 Quorum Drive, Addison TX 75254**

May 23, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff

JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,



Printed Name: Eric Monroe, Director of Real Estate

Business (if applicable): Lithia Real Estate, Inc (owner) and Lithia Motors, Inc (tenant)

Address: 14900 Landmark Blvd, Addison, TX 75254

Owner Representative

May 23, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff


JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,



Printed Name: Eric Monroe, Director of Real Estate

Business (if applicable): Lithia Real Estate, Inc (owner) and Lithia Motors, Inc (tenant)

Address: 14900 Landmark Blvd, Addison, TX 75254

Tenant Representative



May 23, 2025

Addison City Council
Addison Planning and Zoning Commission
5300 Belt Line Road
Dallas, TX 75254

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff,

I am writing to you as a **business owner** headquartered in Addison with our office located at **14850 Quorum Drive, Addison TX 75254**. JP-Prin Development, LP (the “Applicant”) has shared with us their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. We understand that the Applicant proposes to demolish the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Marc Grossfeld', is written over a light blue horizontal line.

Marc Grossfeld
President, Sunwest Real Estate Group

May 13, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff

JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,



Printed Name: Kyle D. Campbell

Business (if applicable): CAMCO Investment Group, LLC

Address: 6301 Gaston Avenue #245, Dallas, TX 75214

June 4, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff

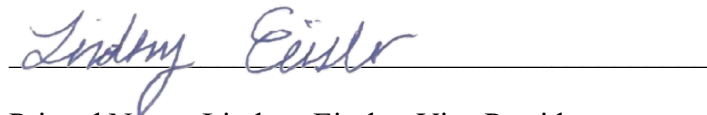
JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,



Printed Name: Lindsay Eissler, Vice President

Business (if applicable): DFW TOLLWAY L.P.,
 a Delaware limited partnership
 By: DFW TWC LLC,
 a Delaware limited liability company,
 its general partner
 By: US Office III LLC,
 a Delaware limited liability company,
 its sole member

Address: 14675 Dallas Parkway, Dallas, TX 75254

May 16, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff

JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,



Printed Name: Greg Miller

Business (if applicable): Henry S. Miller Companies

Address: 5151 Belt Line Rd, Suite 900, Dallas, TX 75254

Owner Representative



June 3, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the "Property")

Members of Addison City Council, Planning and Zoning Commission, and City Staff

JP-Prin Development, LP (the "Applicant") has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area's growth in population. Given the Property's location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,

A handwritten signature in blue ink, appearing to read 'William Cawley', written over the word 'Sincerely,'.

William Cawley
CEO
Cawley Partners

16400 Dallas Parkway, Suite 150
Dallas, TX 75248

May 16, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff

JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,



Printed Name: Greg Miller

Business (if applicable): Henry S. Miller Companies

Address: 5151 Belt Line Rd, Suite 900, Dallas, TX 75254

Building Representative

5/15/2025 ____, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff

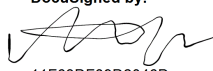
JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,

DocuSigned by:

11F63DF89D2046D...

Printed Name: Nick Lee

Business (if applicable): NAI Robert Lynn

Address: 4851 LNJ Freeway, Dallas TX 75244

May 15, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff

JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,



Printed Name: Gary Carr

Business (if applicable): Newmark Real Estate of Dallas, LLC

Address: 2601 Olive St., Suite 1600, Dallas, TX 75201

May 21, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff

JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,

David Etemadi

Printed Name: David Etemadi

Business (if applicable): _____

Address: 14555 Dallas Parkway

June 13, 2025

Re: Zoning Case No. 1925-Z for Multifamily at 14651 Dallas Parkway (the “Property”)

Members of Addison City Council, Planning and Zoning Commission, and City Staff

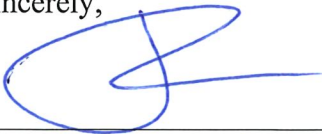
JP-Prin Development, LP (the “Applicant”) has shared with me their desire to redevelop the property located at 14651 Dallas Parkway, which is currently improved with a +100-foot-tall vacant office building. I understand that the Applicant proposes to raze the existing office building and to construct a new five-story apartment building with approximately 400 units.

This redevelopment would transform the Property into an active site, by replacing a struggling office building with new residents and pedestrians. Local businesses and restaurants will benefit from the area’s growth in population. Given the Property’s location adjacent to the Tollway at its front, railroad tracks at its rear, and apartments to its northwest, together with its proposed reuse of the existing parking garage structure, I think the multifamily project represents a creative and appropriate use for the site.

For a site so near to the Tollway and so distanced from single-family residences, apartments make sense. The renderings for the project show an attractive building. And I understand that the Applicant intends to include public art and to participate in the installation of a pedestrian pathway across the street from the Property as part of the project.

For these reasons, as well as those mentioned above, I support the proposed zoning change to allow multifamily at the Property.

Sincerely,



Printed Name: Jagan Dem

Business (if applicable): 14303 Inwood Road GP, LLC

Address: 14303 Inwood Road
Farmers Branch, TX 75244