



**REGULAR MEETING OF THE
PLANNING AND ZONING COMMISSION**

TUESDAY, MARCH 18, 2025

**ADDISON TOWN HALL
5300 BELT LINE ROAD, DALLAS, TX 75254**

6:00 P.M. REGULAR MEETING

The Planning and Zoning Commission meeting and public hearing will be held at the Addison Town Hall, 5300 Belt Line Road, Dallas, Texas 75254 on Tuesday, March 18, 2025 at 6 pm. For more information on the meeting location and ways to view and/or present comments, please contact Korrie Becht prior to 3:00 pm on the day of the meeting at 972-450-2848 or by emailing zoninginput@addisontx.gov. For more detailed instructions on how to participate in this meeting, visit our Agenda Page. The meeting will be live streamed on Addison's website at www.addisontx.gov.

Call Meeting to Order

Pledge of Allegiance

Planning & Zoning Commission Purpose Statement

Consent Agenda: All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.

1. Consider Action on the minutes from the February 18, 2025 Planning and Zoning Commission Meeting.
2. Consider action on a Preliminary Plat for the AMLI Treehouse Addition 2, Block 1, Lots 1-10, 1A, 11-18, 18X, 19-23, 23X, 24-28 and 29X, for a mixed-use development on 8.2± acres located at the southwest corner of the intersection of Midway Road and Beltway Drive. Case PP2025-01/AMLI Treehouse Addition 2.

Regular Agenda:

3. Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 5100 Belt Line Road, Suite 612, that is currently zoned Planned Development (PD), through Ordinance Nos. O23-03, to allow indoor baseball inspired games and a restaurant with the sale of alcoholic beverages for on-premises consumption. Case 1928-SUP/5100 Belt Line Road, Suite 612 (Batbox).
4. Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 4951 Belt Line Road, that is currently zoned Local Retail (LR), to allow a restaurant with the sale of alcoholic beverages for on-premises consumption. Case 1930-SUP/4951 Belt Line Road (Mexican Sugar).

Citizen Comments: *At this time citizens will be allowed to speak on any matter other than personnel matters under litigation, for a length of time not to exceed three minutes. No P&Z action or discussion may take place on any matter until such matter has been placed on an agenda and posted in accordance with law.*

Adjourn Meeting

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

**THE TOWN OF ADDISON IS ACCESSIBLE TO PERSONS WITH
DISABILITIES. PLEASE CALL (972) 450-7017 AT LEAST 48 HOURS IN
ADVANCE IF YOU NEED ASSISTANCE.**

POSTED BY: _____
Korrie Becht, Development Services Assistant Director

DATE POSTED: _____

TIME POSTED: _____

DATE REMOVED FROM BULLETIN BOARD: _____

REMOVED BY: _____

Planning & Zoning Commission

1.

Meeting Date: 03/18/2025

Agenda Caption:

Consider Action on the minutes from the February 18, 2025 Planning and Zoning Commission Meeting.

Staff Report:

The minutes from the February 18, 2025 Planning and Zoning Commission Meeting have been prepared for consideration.

Recommendation:

Administration recommends approval.

Attachments

Minutes of February 18, 2025 Planning and Zoning Commission

DRAFT

OFFICIAL ACTIONS OF THE ADDISON PLANNING AND ZONING COMMISSION

February 18, 2025
6:00 P.M. - Council Chambers
Addison Conference Center, 15650 Addison Road

Present: Chair Denise Fansler; Vice Chair Tom Braun; Commissioner Jimmy Barker; Commissioner EJ Copeland; Commissioner Chelsey Smith; Commissioner Alan Then; Commissioner Tyler Wright

Call Meeting to Order

Chair Fansler called the meeting to order.

Pledge of Allegiance

Chair Fansler led the Pledge of Allegiance.

Planning and Zoning Commission Purpose Statement

Chair Fansler recited the Planning and Zoning Commission Purpose Statement.

Consent Agenda: *All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.*

1. Consider Action on the Minutes from the December 17, 2024 Planning and Zoning Commission Meeting.

Motion: Recommend approval of the Consent Agenda, as amended.

Moved by Commissioner Tyler Wright, Seconded by Commissioner Chelsey Smith

AYE: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner Jimmy Barker, Commissioner EJ Copeland, Commissioner Chelsey Smith, Commissioner Alan Then, Commissioner Tyler Wright

Passed

Regular Agenda:

1. Discuss and Consider Action on Election of a Chair and Vice Chair for the Planning and Zoning Commission.

Chair Fansler requested nominations for the Commission's Chair position.

Commissioner Then nominated Chair Fansler for the Chair position, Seconded by Commissioner Wright.

AYE: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner Jimmy Barker, Commissioner EJ Copeland, Commissioner Chelsey Smith, Commissioner Alan Then, Commissioner Tyler Wright

Passed

Chair Fansler requested nominations for the Commission's Vice Chair position.

Commissioner Smith nominated Commissioner Braun for the Vice Chair position, Seconded by Commissioner Then.

AYE: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner Jimmy Barker, Commissioner EJ Copeland, Commissioner Chelsey Smith, Commissioner Alan Then, Commissioner Tyler Wright

Passed

2. Present, Discuss, and Consider Action on the 2024 Planning and Zoning Commission Annual Report.

Lesley Nyp, Development and Neighborhood Services Director, presented the 2024 Planning and Zoning Commission Annual Report.

Motion: Recommend approval, as amended.

Moved by Commissioner Tyler Wright, Seconded by Commissioner EJ Copeland

AYE: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner Jimmy Barker, Commissioner EJ Copeland, Commissioner Chelsey Smith, Commissioner Alan Then, Commissioner Tyler Wright

Passed

3. Present, Discuss, and Consider Action on the 2025 Planning and Development Work Plan.

Lesley Nyp, Development and Neighborhood Services Director, presented the 2025 Planning and Zoning Commission Work Plan.

Motion: Recommend approval, as amended.

Moved by Commissioner Chelsey Smith, Seconded by Commissioner Jimmy Barker

AYE: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner Jimmy Barker, Commissioner EJ Copeland, Commissioner Chelsey Smith, Commissioner Alan Then, Commissioner Tyler Wright

Passed

4. Hold a public hearing, present, discuss, and consider action on the adoption of the text of a Unified Development Code (“UDC”), including changes to the Town of Addison’s laws and regulations regarding zoning districts, subdivision and development, building, and construction with the zoning district changes to be considered at a later date.

Lesley Nyp, Development and Neighborhood Services Director, presented the Unified Development Code (UDC).

The Town of Addison first engaged Clarion Associates in 2019 to begin the review and update of the Town’s “development regulations,” which currently include ordinances for zoning, subdivision of land, signs, and

related issues, most of which were originally adopted 30 or more years ago. The goal of the review was to consolidate and update the regulations into a Unified Development Code (UDC) that is clear, enforceable, and helps implement the Town's shared vision for the future. The UDC drafting and review process consisted of four code drafting phases, a testing phase, a public review of the UDC document, and a thorough review by four key groups described as the "project team":

- Town Staff Review Team
- UDC Advisory Committee
- Planning & Zoning Commission
- City Council

The project team has analyzed all feedback received throughout the drafting process to prepare the adoption draft UDC.

Public Hearing: The following individuals spoke during the public hearing.
On:

- Rose Ann Hopwood, 4111 Leadville Place
- Curtis Green, 15800 Spectrum Drive
- David Collins, 14668 Wayside Court

Motion: Recommend approval.

Moved by Vice Chair Tom Braun, Seconded by Commissioner EJ Copeland

AYE: Chair Denise Fansler, Vice Chair Tom Braun, Commissioner Jimmy Barker, Commissioner EJ Copeland, Commissioner Chelsey Smith, Commissioner Tyler Wright

Passed

Citizen Comments: *At this time citizens will be allowed to speak on any matter other than personnel matters under litigation, for a length of time not to exceed three minutes. No P&Z action or discussion may take place on any matter until such matter has been placed on an agenda and posted in accordance with law.*

The following individual spoke during the citizen comment:

- Rose Ann Hopwood, 4111 Leadville Place

Adjourn Meeting

There being no further business before the Commission, the meeting was adjourned.

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

Planning & Zoning Commission

2.

Meeting Date: 03/18/2025

Agenda Caption:

Consider action on a Preliminary Plat for the AMLI Treehouse Addition 2, Block 1, Lots 1-10, 1A, 11-18, 18X, 19-23, 23X, 24-28 and 29X, for a mixed-use development on 8.2± acres located at the southwest corner of the intersection of Midway Road and Beltway Drive. Case PP2025-01/AMLI Treehouse Addition 2.

Recommendation:

Administration recommends approval.

Attachments

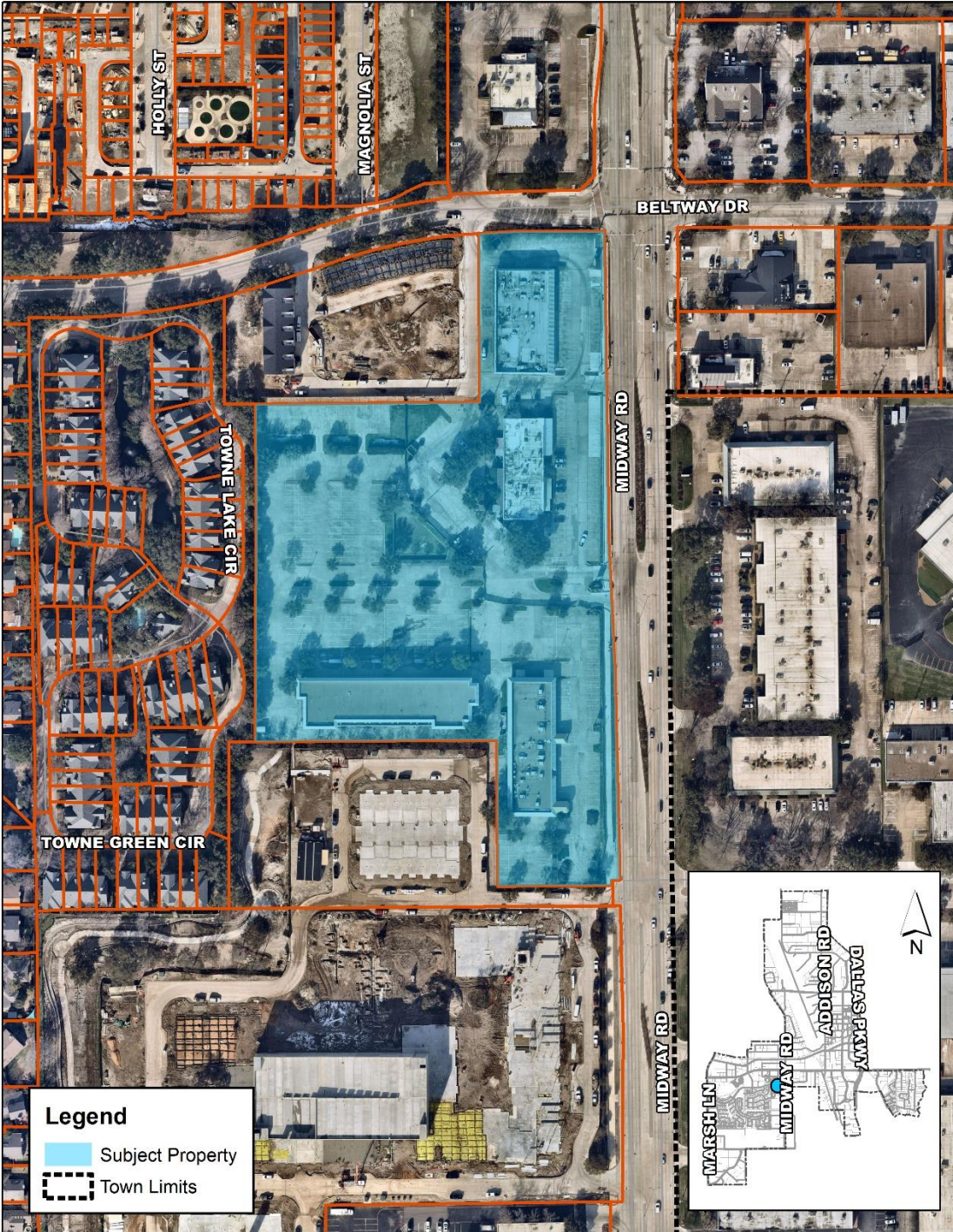
PP2025-01 Staff Report

PP2025-01 Preliminary Plat

PP2025-01

Case PP2025-01/AML Treehouse Addition 2. Consider Action on a Preliminary Plat for the AMLI Treehouse Addition 2, Block 1, Lots 1, 1A, 2-19, 20X, 21-25, 26X, 27-31 and 32X, for a mixed-use development on 8.2± acres located at the southwest corner of the intersection of Midway Road and Beltway Drive.

LOCATION MAP





March 18, 2025

STAFF REPORT

RE: Preliminary Plat for AMLI Treehouse Addition 2

LOCATION: 8,2± acres located on the southwest corner of the intersection of Midway Road and Beltway Drive (Application Date: 02/17/2025)

REQUEST: Approval of a Preliminary Plat

APPLICANT: Ryan Safford, Bowman Consulting Group

DISCUSSION:

Background. The subject property is located on the southwest corner of the intersection of Midway Road and Beltway Drive. On July 23, 2024, this 8.2± acre site received zoning and development plan approval for AMLI Treehouse, Phase II, a mixed-use project to include for rent multi-family, townhome dwelling units, fee-simple townhome units, retail/restaurant uses, and associated public and private open space and common areas.

The purpose of this preliminary plat is to identify proposed lots and easements required for the development. This plat provides one lot for rental residential products, 26 townhome lots, three common space lots, and one lot to be dedicated to the Town. This plat also shows private streets throughout the development, which will also serve as fire lanes for emergency service access. This plat does not propose right-of-way dedication.

The open space lot, Lot 1A, will serve as a 60-foot green belt buffer along the western property boundary that will be improved with a trail, pedestrian amenities, and landscaping. This lot will be dedicated to the Town with the recording of the final plat, following completion of proposed improvements. The common space lots will be privately owned and maintained by the neighborhood's homeowner's association.

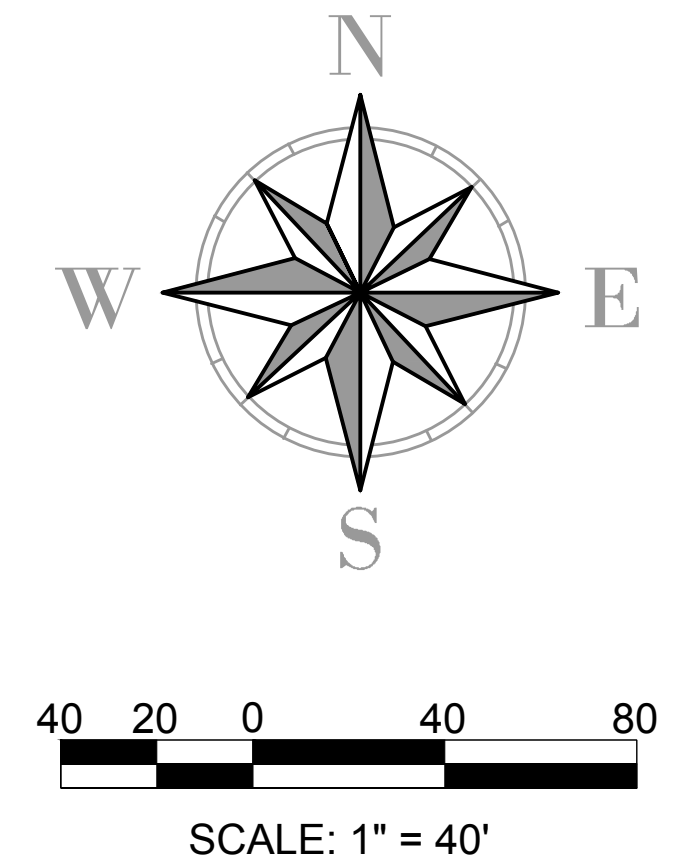
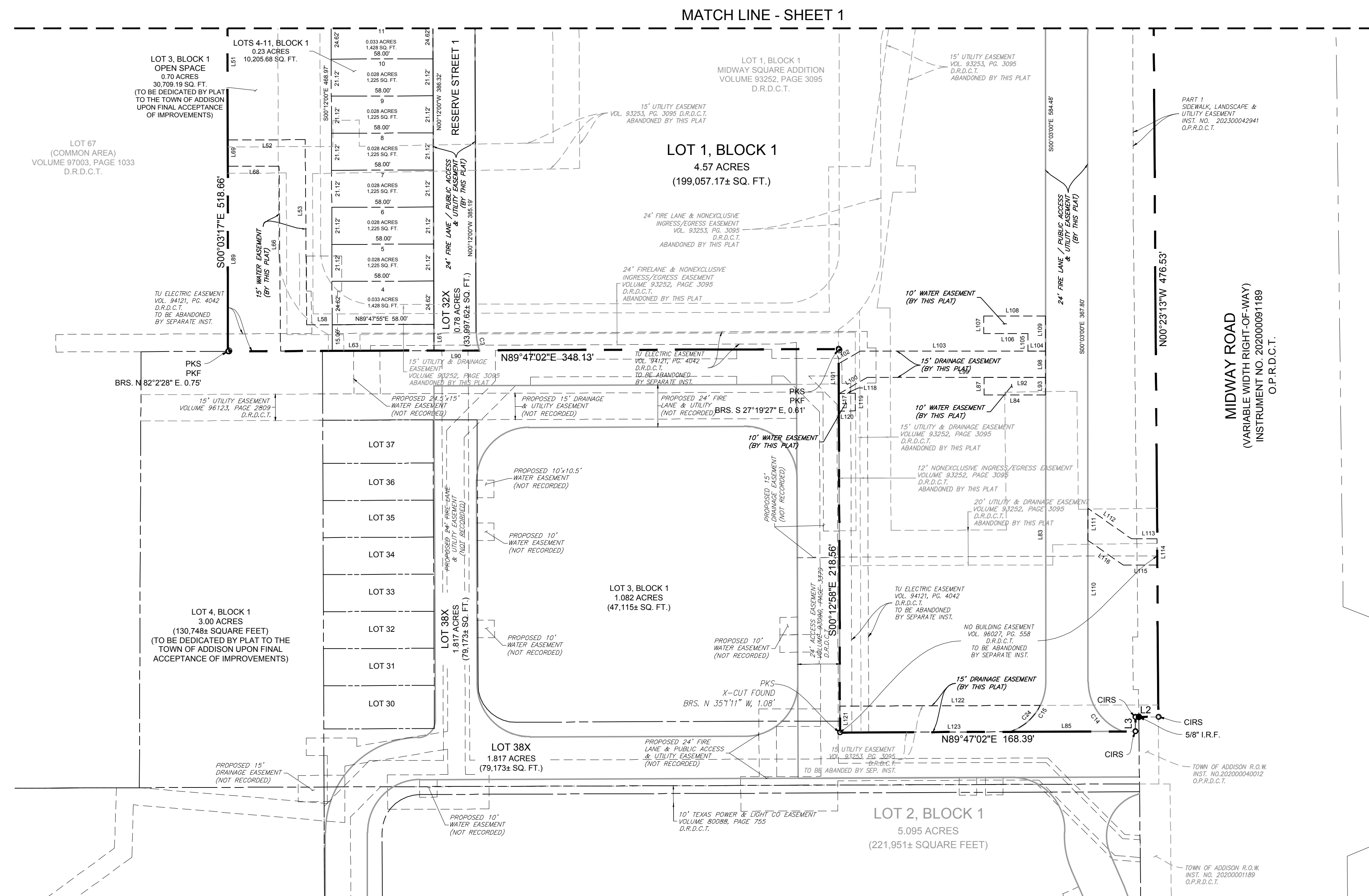
Easements provided on this plat include drainage, utility, public access, fire lane, vehicular access, and maintenance easements to serve the development and surrounding properties. Additionally, several easements are shown to be abandoned via this plat as they will no longer be necessary or will be relocated for the new development.

Once construction is complete, a final plat will be presented to the Commission for consideration to formally plat the property and dedicate all required easements.

Engineering Review: The preliminary plat has been reviewed by Town staff and it complies with the Town's subdivision regulations and development standards.

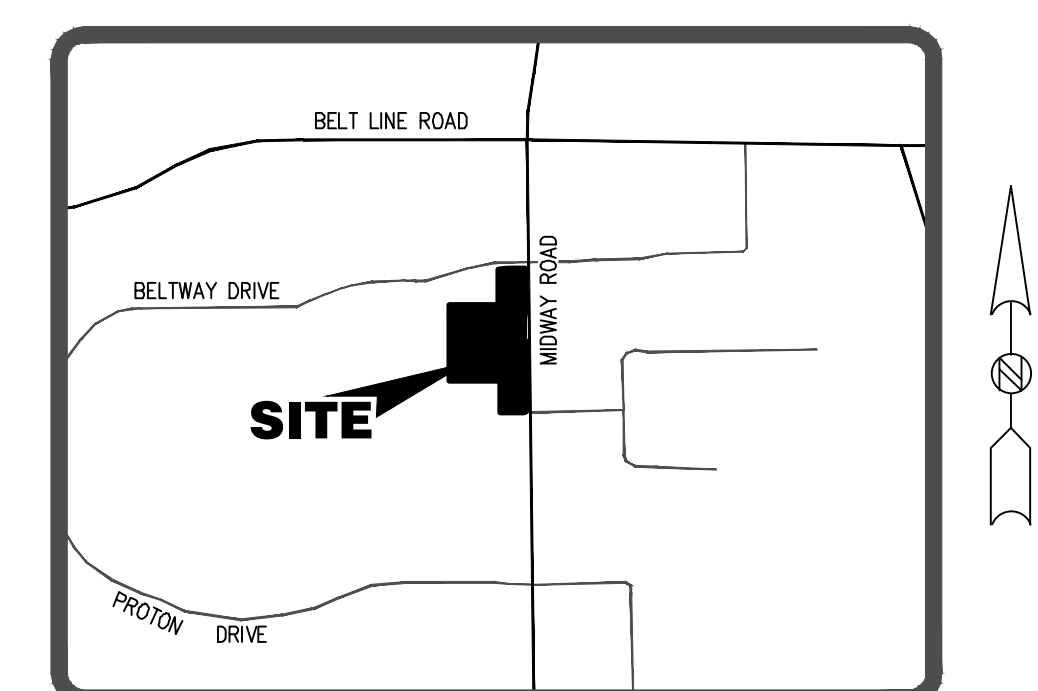
RECOMMENDATION:

Staff recommends approval of the preliminary plat.



SURVEY LEGEND

CONTROL LEGEND		ABBREVIATION LEGEND	
○	Property Corner (As Noted)	P.O.B.	Point of Beginning
		N	North
		S	South
		E	East
		W	West
		CIRS	Iron Rod With Cap Set Stamped "BOWMAN PROP COR"
EXISTING FEATURES			
---	Abandoned Easement Line	O.P.R.D.C.T.	Official Public Records, Dallas County, Texas
---	Easement Line	D.R.D.C.T.	Deed Records, Dallas County, Texas
---	Fire Lane Easement Line (As Noted)	P.R.D.C.T.	Plat Records, Dallas County, Texas
---	Proposed Easement Line		
---	Property Line		
---	Lot Line		



Line Table			Curve Table					
Line #	Length	Direction	Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
L1	11.00'	S89°47'02"W	C1	S87°22'46"W	68.15'	68.18'	660.13'	5°55'04"
L2	13.11'	N89°47'02"E	C2	S44°52'30"W	30.45'	33.83'	21.50'	90°09'00"
L3	8.17'	N0°12'58"W	C3	S9°56'37"E	10.15'	10.20'	30.00'	19°29'15"

Easement Line (EL) Table			Easement Line (EL) Table			Easement Line (EL) Table			Easement Line (EL) Table			Easement Line (EL) Table			Easement Curve (EC) Table					
Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
L4	15.00'	N0°03'17"W	L24	10.00'	S0°03'00"E	L46	15.00'	N0°27'58"W	L87	10.00'	N0°03'00"W	L107	10.00'	N0°03'00"W	C4	S54°31'49"E	5.81'	6.20'	5.00'	71°02'22"
L5	30.15'	N89°56'43"E	L25	10.00'	S89°57'00"W	L47	81.14'	N89°57'00"E	L68	29.25'	S89°42'16"W	L108	35.34'	S89°58'45"E	C5	S43°55'04"E	41.58'	45.94'	30.00'	87°44'09"
L6	95.86'	N63°59'44"E	L28	21.13'	S89°58'10"W	L48	2.79'	N45°18'46"E	L69	15.00'	N0°03'17"W	L109	20.00'	S0°00'11"W	C6	N44°57'00"E	42.43'	47.12'	30.00'	90°00'00"
L7	16.66'	N0°12'00"W	L29	8.50'	S0°03'00"E	L49	33.86'	S89°41'14"E	L70	187.57'	S0°12'00"E	L110	80.62'	N0°03'00"W	C7	N45°03'00"W	42.43'	47.12'	30.00'	90°00'00"
L8	92.06'	S63°59'44"W	L30	10.00'	S89°57'00"W	L50	15.00'	S0°03'17"E	L71	294.81'	N89°57'00"E	L111	18.31'	N0°03'00"W	C8	S44°41'52"E	42.61'	47.39'	30.00'	90°30'17"
L9	33.60'	S89°56'43"W	L31	8.50'	N0°03'00"W	L51	70.82'	S0°03'17"E	L72	17.32'	S64°03'45"E	L112	30.48'	S55°02'15"E	C9	S45°18'08"E	42.24'	46.86'	30.00'	89°29'43"
L10	10.00'	S89°48'00"W	L32	10.00'	N89°57'00"E	L52	44.14'	S89°42'16"W	L73	14.86'	N89°58'25"E	L113	14.51'	S89°59'58"E	C10	N44°41'52"E	42.61'	47.39'	30.00'	90°30'17"
L11	9.09'	N0°12'00"W	L33	78.22'	N89°57'00"E	L53	105.53'	N0°27'58"W	L74	15.00'	S0°03'00"E	L114	15.00'	S0°23'13"E	C11	S44°53'47"W	42.47'	47.18'	30.00'	90°06'27"
L12	15.67'	N89°48'00"E	L34	19.49'	N0°06'18"W	L54	115.28'	N89°57'00"E	L75	18.33'	N89°58'25"E	L115	19.33'	N89°59'58"W	C12	N45°03'00"W	42.43'	47.12'	30.00'	90°00'00"
L13	12.04'	S45°03'00"E	L35	15.00'	S89°57'00"W	L55	256.31'	S0°03'00"E	L76	17.31'	S64°03'45"E	L116	24.70'	N55°02'15"W	C13	S41°13'32"W	39.58'	43.22'	30.00'	82°33'04"
L14	34.50'	N90°00'00"E	L36	19.51'	N0°06'18"W	L56	205.68'	N0°03'00"W	L77	291.32'	N89°57'00"E	L117	10.00'	S0°12'58"E	C14	S35°15'58"E	34.60'	36.88'	30.00'	70°25'56"
L15	15.00'	N0°03'00"W	L37	15.00'	N89°53'42"E	L57	67.85'	N89°57'00"E	L78	15.00'	S0°09'08"E	L118	9.54'	N89°48'58"E	C15	N35°42'49"E	35.07'	37.45'	30.00'	71°31'38"
L16	34.59'	N90°00'00"E	L38	8.50'	N0°07'54"W	L58	72.54'	S89°47'02"W	L79	10.00'	N89°56'57"E	L119	10.00'	S0°00'00"E	C16	N84°34'31"E	3.56'	3.56'	660.13'	0°18'34"
L17	15.00'	N0°23'13"W	L39	10.00'	S89°57'00"W	L59	66.04'	S89°57'00"E	L80	10.00'	S0°12'00"W	L120	9.50'	S89°48'58"W	C17	S49°43'36"E	38.83'	42.23'	30.00'	80°38'43"
L18	10.06'	S0°33'17"E	L40	8.50'	S0°07'54"E	L60	205.69'	S0°33'17"E	L81	10.03'	N89°56'57"E	L121	15.00'	S0°12'58"E	C19	S45°03'00"E	42.43'	47.12'	30.00'	90°00'00"
L19	15.75'	S89°26'43"W	L41	10.00'	N89°57'00"E	L61	15.00'	S0°12'00"E	L82	10.00'	N0°03'03"W	L122	114.29'	N89°47'02"E	C20	S44°57'00"W	42.43'	47.12'	30.00'	90°00'00"
L20	10.00'	N0°03'00"W	L42	185.83'	S0°03'17"E	L62	169.83'	N89°57'00"E	L83	163.49'	N0°03'00"W	C22	S10°46'16"E	10.18'	10.23'	30.00'	19°31'56"			
L21	15.66'	N89°26'43"E	L43	27.74'	S89°41'14"E	L63	87.47'	S89°47'02"W	L84	35.00'	S89°58'45"E	C23	S28°55'41"W	17.15'	17.39'	30.00'	33°12'40"			
L22	10.00'	N0°33'17"W	L44	2.74'	N45°18'46"E	L64	385.19'	S0°12'00"E	L85	64.45'	S89°47'02"W	C24	N48°58'58"E	22.96'	23.56'	30.00'	44°59'20"			
L23	11.89'	N89°57'00"E	L45	87.26'	N89°57'00"E	L65	265.73'	N89°57'00"E	L86	24.43'	S6°18'20"W									

- STANDARD NOTES**
- THE BASIS OF BEARINGS ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), TEXAS NORTH CENTRAL ZONE (4202) WITH THE COMBINED SCALE FACTOR OF 1.0001365056.
 - ALL LOT CORNERS WILL BE SET WITH 1/2" CAPPED IRON ROD STAMPED "BOWMAN PROP COR" OR SIMILAR MONUMENTATION AFTER SUBSTANTIAL COMPLETION OF THE INFRASTRUCTURE.
 - LOT TO LOT DRAINAGE WILL NOT BE ALLOWED WITHOUT ENGINEERING SECTION APPROVAL.

PRELIMINARY PLAT
AMLI TREEHOUSE ADDITION 2
 LOTS 1, 1A, 2-19, 20X, 21-25, 26X, 27-31, 32X
 BLOCK 1
 BEING A 8.211 ACRE TRACT OF LAND
 THOMAS L. CHENOWITH SURVEY
 ABSTRACT NO. 273
 TOWN OF ADDISON, DALLAS COUNTY, TEXAS
 TOWN CASE NO. PP2025-01

This plat is filed in Instrument No. _____ Date _____

OWNER: AMLI Development CO. 5057 Keller Springs Rd Suite 410 Addison, TX 75001 972-265-6792	PREPARED BY: Bowman Consulting Group, Ltd. Jonathan E. Cooper JCooper@bowman.com 2805 Dallas Parkway Suite 310 Plano, TX 75093 469-804-0233	 © 2025 Bowman Consulting Group, Ltd. 2805 Dallas Parkway, Suite 310 Plano, TX 75093 TBPCLS #10120600 Phone: (972) 380-3008 www.bowman.com
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OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

Being 8.2110 acres (357.672square feet) tract of land situated in the Thos L. Chenoweth Survey, Abstract No. 273 in the Town of Addison, Dallas County, Texas and being Remainder of Lot 1, Block 1 of Midway Square Addition, an addition to the Town of Addison, Dallas County, Texas recorded in Volume 95252, Page 3095 of the Deed Records of Dallas County, Texas (D.R.D.C.T.), and being a portion of a tract of land described in Special Warranty Deed to VVI, Inc. recorded in Volume 96047, Page 4955 of said D.R.D.C.T., said 8.2110 acres tract being more particularly described as follows:

BEGINNING at a "X" cut set at the intersection of the west right-of-way line of Midway Road (a variable width right-of-way) and the south right-of-way line of Beltway Drive (a 60-foot wide right-of-way), also being the north line of said Lot 1;

THENCE, South 89°25'22" East, along south right-of-way line of said Beltway drive and the north line of said Lot 1, a distance of 120.00 feet to the beginning of a non-tangent curve to the left;

THENCE, Southwesterly, continuing along south right-of-way line of said Beltway drive and the north line of said Lot 1, also along the arc of said curve to the left having a central angle of 05°55'04", a radius of 660.13 feet, and a chord bearing and distance of South 87°22'46" West, 68.15 feet, and an arc length of 68.16 feet to a 1/2-inch iron with cap stamped "Bowman Prop Cor" set for corner at the end of said curve and being the northeast corner of A Motel Addition, an additional to the Town of Addison, Dallas County, Texas recorded in Volume 79219, Page 181 of said D.R.D.C.T.;

THENCE, South 00°32'52" East, along the east line of said A Motel Addition and the west line of said Lot 1, a distance of 242.55 feet to a "PK" nail set for corner, same being the southeast corner of said A Motel Addition;

THENCE, South 89°27'10" West, along the south line of said A Motel Addition, a distance of 338.58 feet to a 1/2-inch iron rod found for the most north westerly corner of said Lot 1, and being the most north easterly corner of Lot 67 (Common Area) of Town Lake, an additional to the Town of Addison, Dallas County, Texas recorded in Volume 97003, Page 1033 of said D.R.D.C.T.;

THENCE, South 00°03'17" East, along the east line of said Lot 67 and the west line of said Remainder Lot 1, a distance of 518.66 feet to a "PK" set for corner on the north line of Lot1R, Block 1 of Switzer & Jones Addition, an addition to the Town of Addison, Dallas County, Texas, and from which a "PK" nail found bears North 82°02'28" East, 0.75 feet;

THENCE, North 89°47'02" East, along the north line of said Lot 1R, and the south line of said Lot 1, a distance of 348.13 feet to a "PK" nail set for corner and being the northeast corner of said Lot 1R, from which a "PK" nail found bears South 27°19'27" East, 0.61 feet;

THENCE, South 00°12'58" East, along the east line of said Lot 1R, a distance of 218.56 feet to a "PK" nail set for the most southerly west corner of said Lot 1, from which a "X" cut found bears North 35°01'11" West, 1.08 feet;

THENCE, along the common line of said Lot 1 and Lot 1R the following three (calls):

- 1) North 89°47'02" East, a distance of 168.39 feet to a 1/2-inch iron rod with cap stamped "BOWMAN PROP COR" ser for corner;
2) North 00°12'58" West, a distance of 8.17 feet to a 1/2-inch iron rod with cap stamped "BOWMAN PROP COR" ser for corner;
3) North 89°47'02" East, at a distance of 1.92 feet passing a 5/8-inch iron rod found for the most south easterly corner of said Lot 1R, continuing for a total distance of 13.11 feet to a 1/2-inch iron rod with cap stamped "BOWMAN PROP COR" ser for corner on the west right-of-way line of said Midway Road, and being the most southerly east corner of said Lot 1;

THENCE, along the west right-of-way line of said Midway Road and the east line of said Lot 1 the following five (5) calls:

- 1) North 00°23'13" West, a distance of 977.17 feet to a "X" cut set for corner;
2) South 89°47'02" West, a distance of 11.00 feet to a "X" cut set for corner;
3) North 00°23'13" West, a distance of 151.21feet to a "X" cut set for corner;
4) North 06°18'20" East, a distance of 94.39 feet to "X" cut set for corner;
5) North 00°23'13" West, a distance of 295.65 feet to the POINT OF BEGINNING, and containing 8.2110 acres (357.672 square feet) of land.

STANDARD NOTES

- 1. THE BASIS OF BEARINGS ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), TEXAS NORTH CENTRAL ZONE (4202) WITH THE COMBINED SCALE FACTOR OF 1.0001369056.
2. ALL LOT CORNERS WILL BE SET WITH 1/2" CAPPED IRON ROD STAMPED "BOWMAN PROP COR" OR SIMILAR MONUMENTATION AFTER SUBSTANTIAL COMPLETION OF THE INFRASTRUCTURE.
3. LOT TO LOT DRAINAGE WILL NOT BE ALLOWED WITHOUT ENGINEERING SECTION APPROVAL.

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That AMLI Development Co., acting by and through their duly authorized agent, does hereby adopt this plat, designating the herein above described property as LOTS 1, 1A, 2-19, 20X, 21-25, 26X, 27-31, 32X, BLOCK 1, AMLI TREEHOUSE ADDITION, an addition to the Town of Addison, Dallas County, Texas, and do hereby dedicate, in fee simple, to the public use forever, any streets, alleys, and floodway management areas shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison.

WITNESS, my hand at Addison, Texas, this the ___ day of ____, 2025.

AMLI Development Co.

By: Signature Name Title

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE me, the undersigned authority, a Notary Public for the State of Texas, on this day personally appeared ____, known to me to be the person whose name is subscribed to the forgoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____, day of ____, 2025.

Notary Public in and for the State of Texas

NOTES

- 1. ALL BEARINGS ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD 83), TEXAS NORTH CENTRAL ZONE (4202) WITH THE COMBINATION OF A SCALE FACTOR OF 1.000136506
2. *NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.*
3. PLACEMENT OF STREET TREES SHALL NOT INTERFERE WITH THE PLACEMENT OF TRAFFIC CONTROL DEVICES OR VISIBILITY AT INTERSECTIONS. EXISTING AND FUTURE TRAFFIC CONTROL DEVICES MAY REQUIRE THE REMOVAL OR PRELUDE THE PLANTING OF STREET TREES.
4. DEVELOPMENT STANDARDS OF THIS PLAT SHALL COMPLY WITH APPENDIX "A" OF THE ADDISON CODE OF ORDINANCES.
5. AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS FOR DALLAS COUNTY, TEXAS, PER MAP NUMBER 4811300335K DATED JULY 7, 2014 PANEL 335 OF 725, THE SURVEYED PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
6. UNDERGROUND UTILITIES MARKINGS WERE LOCATED ON THE PROPERTY (AS SHOWN ON SURVEY). THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
7. PROPERTY ZONING: PLANNED DEVELOPMENT, ORDINANCE NO. 024-035.

SURVEYOR'S STATEMENT

I, Jonathan E. Cooper, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying. I further affirm that monumentation shown hereon was either found or placed in compliance, and that the digital drawing file accompanying this plat is a precise representation of this Signed Final Plat.

Dated this the ___ day of ____, 2025.

RELEASED FOR REVIEW PURPOSES ONLY, FOR TOWN REVIEW 2025-01. PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

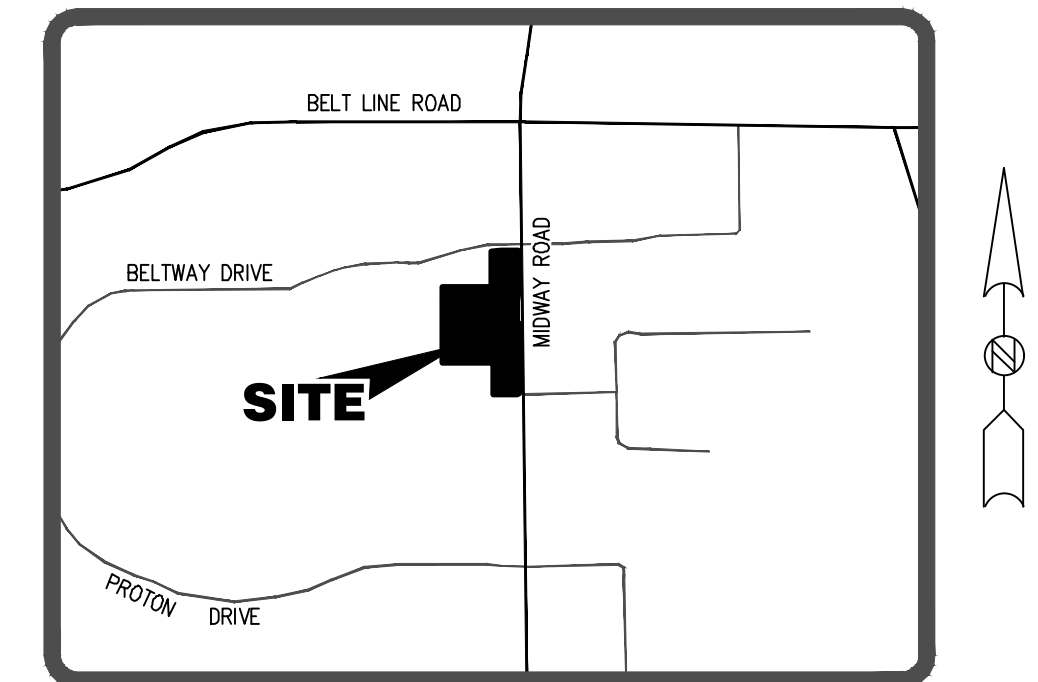
Jonathan E. Cooper
Texas Registered Professional Land Surveyor No. 5369

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE me, the undersigned authority, a Notary Public for the State of Texas, on this day personally appeared Jonathan E. Cooper, known to me to be the person whose name is subscribed to the forgoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ___ day of ____, 2025.

Notary Public in and for the State of Texas



LOCATION MAP
NOT TO SCALE

PRELIMINARY PLAT
AMLI TREEHOUSE ADDITION 2
LOTS 1, 1A, 2-19, 20X, 21-25, 26X, 27-31, 32X
BLOCK 1
BEING A 8.211 ACRE TRACT OF LAND
THOMAS L. CHENOWITH SURVEY
ABSTRACT NO. 273
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
TOWN CASE NO. PP2025-01

This plat is filed in Instrument No. _____ Date _____.

OWNER:
AMLI Development CO.
5057 Keller Springs Rd
Suite 410
Addison, TX 75001
972-265-6792

PREPARED BY:
Bowman Consulting Group, Ltd.
Jonathan E. Cooper
JCooper@bowman.com
2805 Dallas Parkway
Suite 310
Plano, TX 75093
469-804-0233

Bowman
© 2025 Bowman Consulting Group, Ltd.
2805 Dallas Parkway, Suite 310
Plano, TX 75093
TBPELS #10120600
Phone: (972) 380-3008
www.bowman.com

DATE: 2025-02-14

DRAWN BY: JLR

CHECKED BY: JEC

SHEET 3 OF 3 SHEETS

Planning & Zoning Commission

3.

Meeting Date: 03/18/2025

Agenda Caption:

Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 5100 Belt Line Road, Suite 612, that is currently zoned Planned Development (PD), through Ordinance Nos. O23-03, to allow indoor baseball inspired games and a restaurant with the sale of alcoholic beverages for on-premises consumption. Case 1928-SUP/5100 Belt Line Road, Suite 612 (Batbox).

Recommendation:

Staff recommends approval of the request with the following condition:

- Batbox operations shall close to the public no later than 2:00am.

Attachments

1928-SUP Staff Report

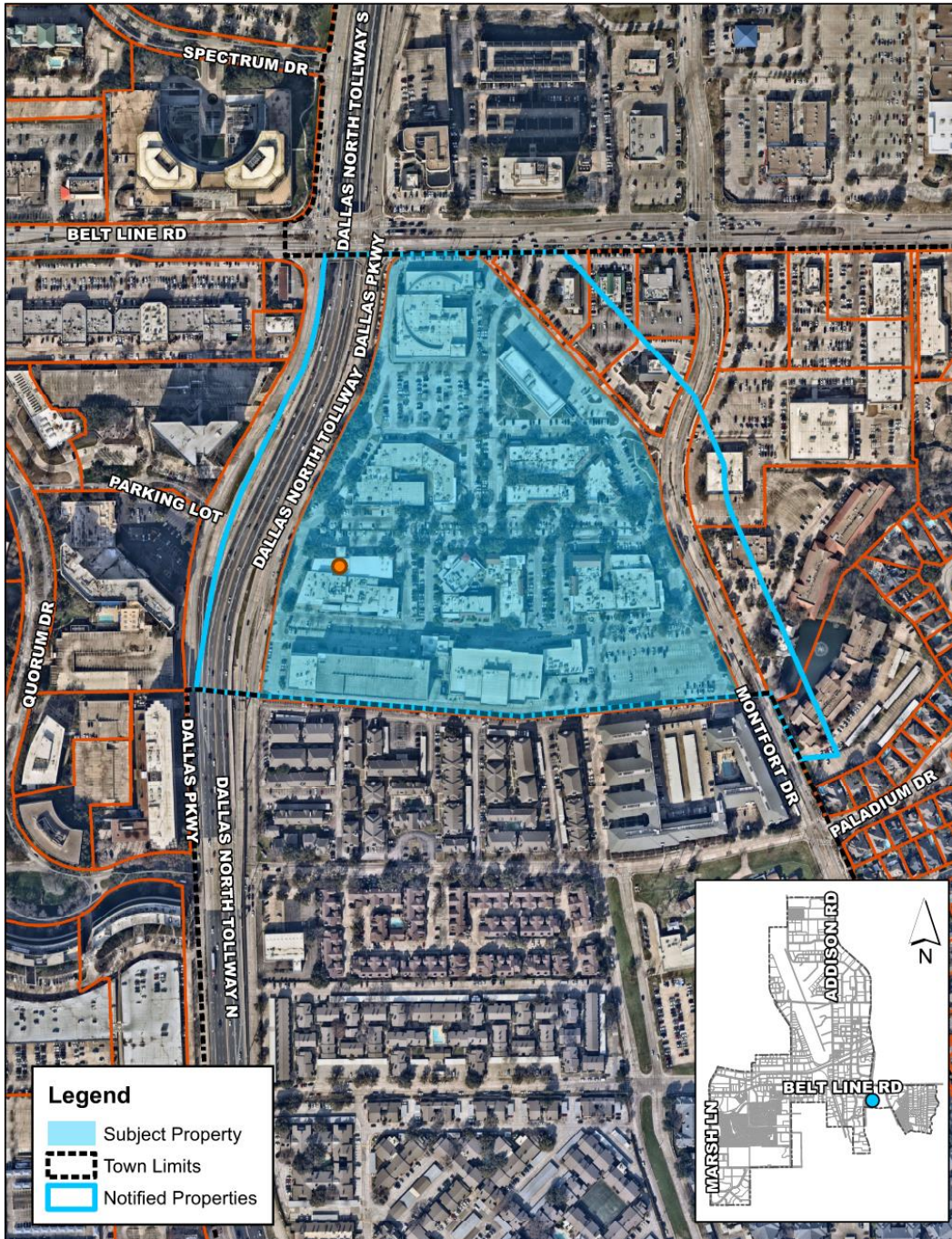
1928-SUP Letter of Intent

1928-SUP Plans

1928-SUP

PUBLIC HEARING Case 1928-SUP/5100 Belt Line Road, Suite 612 (Batbox). Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 5100 Belt Line Road, Suite 612, that is currently zoned Planned Development (PD), through Ordinance Nos. O23-03, to allow indoor baseball inspired games and a restaurant with the sale of alcoholic beverages for on-premises consumption.

LOCATION MAP





March 18, 2025

STAFF REPORT

RE: 1928-SUP/5100 Belt Line Road, Suite #612 (Batbox)

LOCATION: 5100 Belt Line Road, Suite #612

REQUEST: Approval of a Special Use Permit (SUP) for indoor entertainment (baseball) and a restaurant with the sale of alcoholic beverages for on-premises consumption. (Application Date: 12/10/2024)

APPLICANT: Craig Winning, Batbox Addison, LLC

DISCUSSION:

Background: The subject property is located at 5100 Belt Line Road, Suite #612. The proposed indoor entertainment and restaurant would occupy a currently vacant space within Village on the Parkway, generally situated at the southeast corner of Belt Line Road and the Dallas North Tollway. The space was formerly occupied by Grand Spa. The center is zoned Planned Development (PD), Ordinance No. O23-03.

[Batbox](#) is a technology infused baseball experience, offering a full-service restaurant and bar. The concept first originated in Mexico and currently has three locations in Mexico. The Addison location is proposed to be the first venue in the U.S. The game uses the Strikezone technology, which combines HD screen simulation and high-speed camera sensors to keep score and track gameplay. Batbox offers four game modes and online tournaments, including home run derby, pitching challenge, batting challenge, and 3,6,9 inning games. The restaurant offers a menu inspired by ball park favorites and handcrafted cocktails.

The baseball simulators and restaurant will occupy the existing approximately 13,000 square foot tenant space (Suite 612) in Block 600 at Village on the Parkway. The restaurant will only include interior seating. Batbox proposes to offer alcohol sales for on-premises consumption at the bar or table service. The proposed operating hours are 11:00 am – 12:00 am, Sunday through Thursday, with later hours on Friday and Saturday. It is anticipated that Batbox will have a total of 60 employees ranging from management and front-to-back of house.

The PD Ordinances allows entertainment uses, restaurants, and the sale of alcoholic beverages for on-premises consumption through the approval of an SUP. The proposed use complies with the site development standards associated with these ordinances.

Proposed Plan: With this request, Batbox proposes an interior and exterior remodel and minor landscaping updates near the entrance and perimeter of the suite. The proposed restaurant will provide seating for approximately 198 individuals. The interior floor plan is comprised of 10 batting

simulator areas with viewing areas, kitchen and service areas, one bar, and table and bar seating throughout.

Parking: PD, Ordinance No. O20-08, established a parking ratio of 1 space for each 225 square feet for all uses (except theaters) within Village on the Parkway. The parking requirements for a theater is 1 space for each 3 seats. The total approved parking to be provided within the center is 2,256 spaces (1,634 surface spaces and 622 garage spaces). This includes the redevelopment and site improvements throughout the center that are under construction. There are no modifications proposed to the number of existing spaces provided on site and remains in compliance with the requirements.

Currently, there is a handicap parking spot on the western side of the north entrance that does not have appropriate access to a ramp. This parking spot is proposed to shift roughly 8 feet to the east to allow for ADA compliant access to the sidewalk from the loading area of the handicap parking spot.

Exterior Facades: Batbox proposes a remodel of the north and west facades, as reflected in the façade plans and renderings. The primary entrance will be updated to feature a double door, while a secondary entrance towards the center of the facade will be removed. The porte-cochere above the primary entrance will also be remodeled to align with Batbox's motif, replacing the figurines with metal slats. Additionally, Batbox proposes replacing the windows and squaring off five window openings to create a more modern design. Masonry will also be added to the columns of the porte-cochere and around the primary entrance.

The remaining existing façade materials, including stucco and metal, are not proposed to change. The façade will be repainted in a dark bronze and grey color scheme to provide a more modern aesthetic.

Landscaping and Open Space: Batbox proposes minor modifications to the landscaping that comply with the landscape ordinance. Specifically, the proposal involves replacing the displaced pavers on the eastern side of the first tree with ground cover. This adjustment will enhance pedestrian safety and eliminate a potential tripping hazard.

RECOMMENDATION: **APPROVAL WITH CONDITIONS**

Batbox is a unique concept that will serve as a destination entertainment and restaurant venue for Addison. The elevated façade will provide a modern touch and the entertainment component will activate the southwest corner of Village on the Parkway.

Staff recommends approval of the request with the following condition:

- Batbox operations shall close to the public no later than 2:00am.



Batbox
4255 Kellway Circle
Addison, TX 75001

Re: Legal Description, SUP application, Batbox Addison LLC, 5100 Belt Line Road, Suite 612, Addison, TX.

To whom it may concern,

A Company History:

Batbox's founder and majority shareholder is SimCo, a Mexico-based sports and entertainment company. This business has operated in Mexico since 2015 and operates several experiential brands: Side Sports Simulator Sales, Mulligan's (an immersive golf simulator entertainment concept), and Batbox (a baseball simulator entertainment concept).

The company was founded in 2015 as a distributor of Golfzon, the World's best-selling golf simulator, under the operating company Side Sports. Over the last ten years, it has grown to offer several types of sports simulators for golf, baseball, and racecar driving. In 2016, we launched Mulligan's as an entertainment venue to showcase golf simulator technology and promote the sale of golf simulators. We currently operate four Mulligan's venues in Mexico.

In 2019, we launched Batbox to showcase Strikezon baseball simulators like we did with Mulligan's for golf. We currently operate three Batbox venues in Mexico.

In 2023, we formed Batbox Holdings, Corp, a US holding company that owns the IPs of Batbox, Strikezon, and Mulligan and then licenses them back to our Mexican entities. We also launched our US simulator sales company, Side Sports USA, which offers a product line similar to our Mexican company's.

In 2024, we secured significant US investment to expand our Batbox concept throughout the US, and Batbox Addison is our first US venue.

Our US corporate offices are in Addison, TX, with 7 team members working from that office.

What is Batbox?

To ignite a new era of baseball engagement, Batbox venues revolutionize experiential entertainment by seamlessly blending the thrill of baseball with vibrant social energy. Each Batbox offers a unique value proposition that sets it apart:

- State-of-the-Art Gameplay: Cutting-edge baseball simulators deliver authentic, real-life gameplay for players of all skill levels.
- High-Energy Social Hubs: Lively environments designed for competition, camaraderie, and unforgettable shared moments.
- Beyond the Game: Full-service sports bars, craft food and beverage, and versatile spaces for leagues, tournaments, and corporate events.



Venue Particulars:

- Our Addison venue will hire approximately 60 team members with a mix of management and back-and-front-of-house teams.
- Hours of Operation: 11 am to late night (depending on volume, similar to other concepts within the Village on the Parkway).
- Formatting: We will offer 10 baseball simulators for gameplay with a centralized dining area for pre and post-gameplay use.
- Target Market: The immersive nature of the simulator gameplay makes for a diverse player base. We typically see five main groups enjoying Batbox:
 1. Sports enthusiasts - sports fans who want a social environment to watch and enjoy televised and simulated sports.
 2. Couples - Batbox is perfect for those people wanting a relaxed time dining or for those wishing to set up for the challenge of baseball.
 3. Large group players - the gameplay is a team event perfect for groups of over 10 people.
 4. Corporate Events - 30% of our total revenue is driven from these significant events, as many companies benefit from hosting events with an immersive experience.
 5. Families - early evening and weekend brunch provide the perfect time for families to gather and enjoy the activity of baseball simulator play.

Should you have any questions then please do not hesitate to contact me.

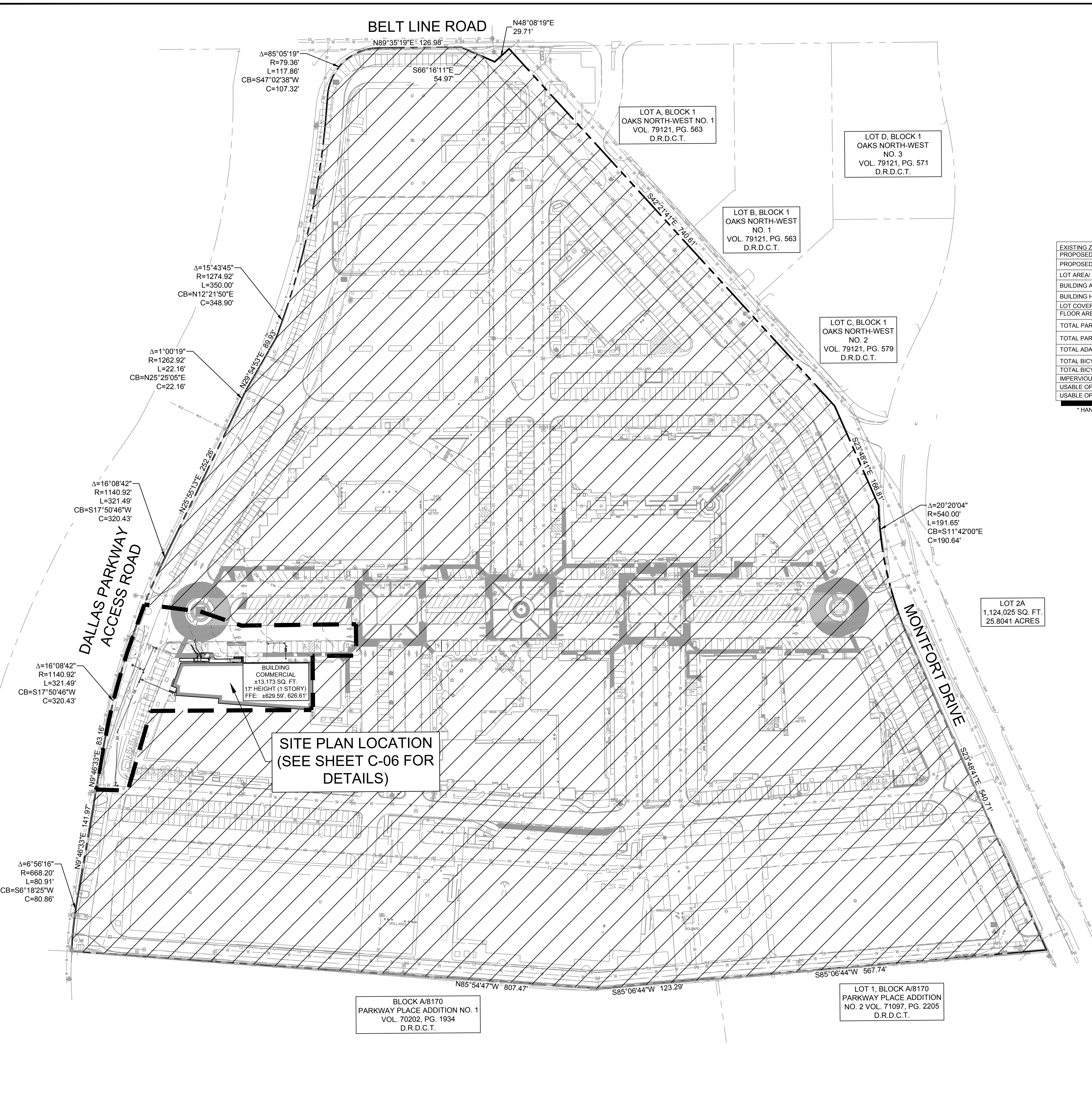
Regards,

Craig Winning
COO
Batbox Holdings

cwinning@batbox.com

Action Log: city_of_addison_logo_town_logo :
 DATE: 2/27/2025 10:18 AM
 PLOTTED BY: KING, TANNER 2/27/2025 10:25 AM
 DWG NAME: 00448000 - BATBOX - ADDISON -
 SITE PLAN (Overall)

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and defect for which it was prepared. Reuse of any portion of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**SITE PLAN LOCATION
(SEE SHEET C-06 FOR
DETAILS)**

**BLOCK A/8170
PARKWAY PLACE ADDITION NO. 1
VOL. 70202, PG. 1934
D.R.D.C.T.**

**LOT 1, BLOCK A/8170
PARKWAY PLACE ADDITION
NO. 2 VOL. 71097, PG. 2205
D.R.D.C.T.**

**LOT 2A
1,124,025 SQ. FT.
25.8041 ACRES**

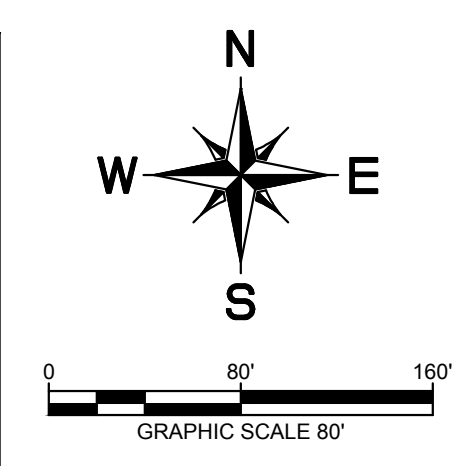
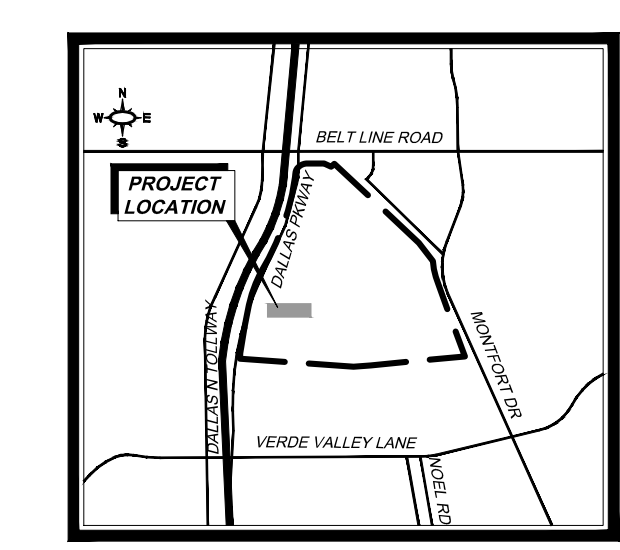
**LOT A, BLOCK 1
OAKS NORTH-WEST NO. 1
VOL. 79121, PG. 563
D.R.D.C.T.**

**LOT B, BLOCK 1
OAKS NORTH-WEST
NO. 1
VOL. 79121, PG. 563
D.R.D.C.T.**

**LOT C, BLOCK 1
OAKS NORTH-WEST
NO. 2
VOL. 79121, PG. 579
D.R.D.C.T.**

**LOT D, BLOCK 1
OAKS NORTH-WEST
NO. 3
VOL. 79121, PG. 571
D.R.D.C.T.**

ARCHITECT/APPLICANT
 OBRIEN ARCHITECTS
 8660 BELLEVUE DR STE 310
 PLANO, TX 75024
 TEL. NO. (972) 392 5915
 CONTACT: MARIO RAMOS
OWNER:
 BATBOX USA
 4255 KELLYWAY CIRCLE
 ADDISON, TEXAS 75001
 TEL. NO. (312) 515-9117
 CONTACT: CRAIG WINNING
ENGINEER:
 KIMLEY-HORN
 280 EAST DAVIS STREET, SUITE 100
 MCKINNEY, TEXAS 75069
 CONTACT: IAN ANDERSON, P.E.
 PHONE: (469) 301-2580



SITE DATA SUMMARY TABLE

EXISTING ZONING	PD
PROPOSED ZONING	N/A
PROPOSED USE	RETAIL
LOT AREA/ SQ. FT AND AC	1,376,801 GSF / 30.72 AC
BUILDING AREA/GSF	13,173 GSF
BUILDING HEIGHT	17' (1 STORY)
LOT COVERAGE	0.957%
FLOOR AREA RATIO	0.11
TOTAL PARKING REQUIRED	NO CHANGE
TOTAL PARKING PROVIDED	NO CHANGE
TOTAL ADA PARKING PROVIDED*	NO CHANGE
TOTAL BICYCLE PARKING REQUIRED	NO CHANGE
TOTAL BICYCLE PARKING PROVIDED	NO CHANGE
IMPERVIOUS SURFACE	NO CHANGE
USABLE OPEN SPACE REQUIRED	NO CHANGE
USABLE OPEN SPACE PROVIDED	NO CHANGE

* HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

LEGEND

- EXISTING FIRE LANE
- EXISTING PAVEMENT
- PROPOSED SIDEWALK TO MATCH EXISTING
- NOT INCLUDED IN SITE PLAN SCOPE
- PROPOSED CONTOUR - MAJOR
- PROPOSED CONTOUR - MINOR
- EXISTING CONTOUR - MAJOR
- EXISTING CONTOUR - MINOR
- BARRIER FREE RAMP (BFR)
- ACCESSIBLE PARKING SYMBOL
- NUMBER OF PARKING SPACES
- WATER METER (AND VAULT)
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SANITARY SEWER MANHOLE
- TYPICAL
- SANITARY SEWER EASEMENT
- BARRIER FREE RAMP
- SIDEWALK
- CURB INLET
- AREA DRAIN
- MANHOLE
- EXISTING
- PROPOSED

SITE PLAN NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICT BETWEEN PLANS.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH TOWN REGULATIONS.
- BUILDINGS WITH AN AGGREGATE SUM OF 0 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT ALL STRUCTURES.
- ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL VIA A SIGN PERMIT.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
- THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.
- NO FLOOD PLAIN EXISTS ON THE SITE.

FLOOD STATEMENT

FLOOD STATEMENT: According to flood map 48113C0180K, effective JULY 7, 2014 of the Flood Insurance Rate Map of Dallas County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is within Zone X.

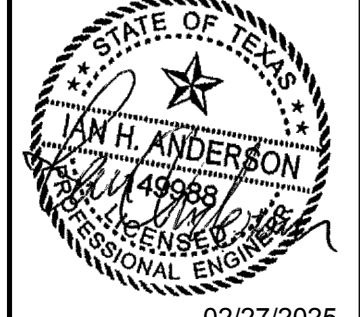


Know what's below.
Call before you dig.

SITE PLAN
5100 BELT LINE ROAD, SUITE 620
30.72 ACRES
J PANCOST SURVEY ABST. NO. 1146 AND
ALLEN BLEDSOE SURVEY ABST. NO. 157
Town of Addison, Dallas County, Texas
City Project No. 1928-SUP
Preparation Date: FEBRUARY 27, 2025

NO.	REVISIONS	DATE	BY

Kimley-Horn
 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 280 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
 PHONE: 469-301-2580 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX E-528



KHA PROJECT	DATE	SCALE	AS SHOWN	IHA	TJK	JCR
06048000	FEBRUARY 2025	AS SHOWN				

BATBOX - ADDISON

811
 Know what's below.
 Call before you dig.

OVERALL SITE PLAN
 SHEET NUMBER
C-05

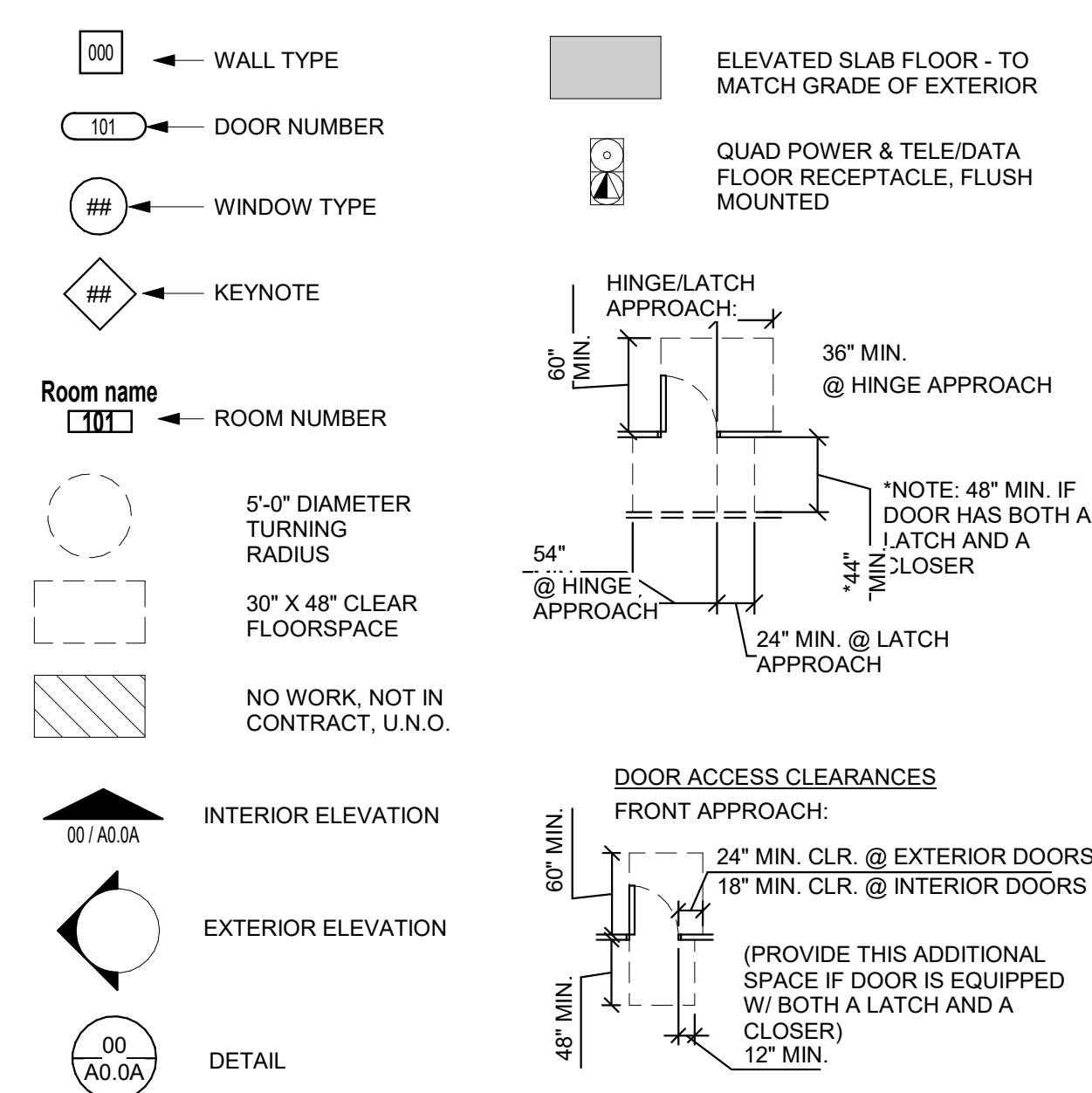
DATE	DESCRIPTION	DELTA
12/20/2024	RESPONSE TO CITY COMMENTS	1
02/27/2025	SUP COMMENTS	4



FLOOR PLAN GENERAL NOTES

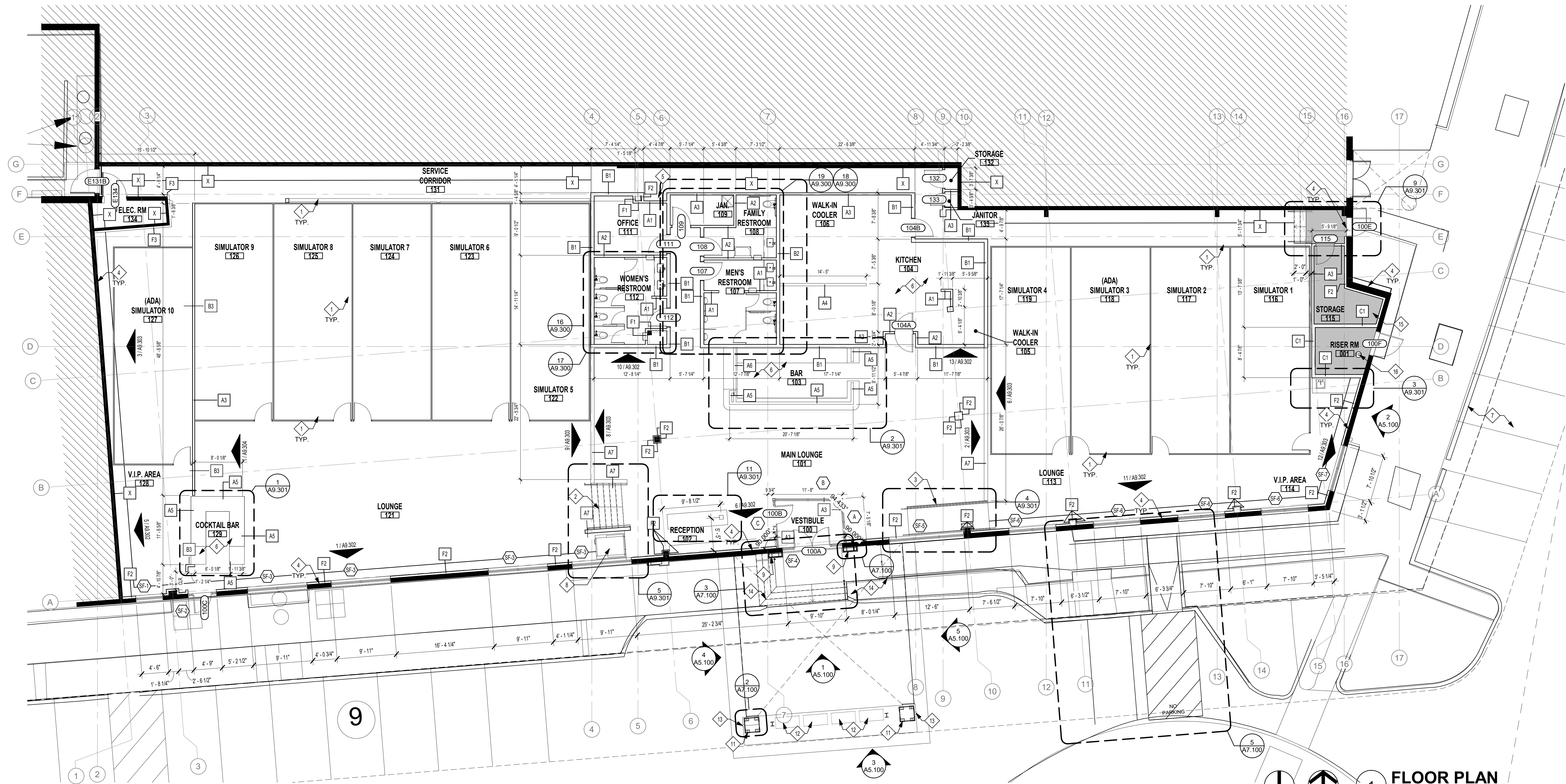
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH OR COLUMN CENTERLINES, U.N.O.
- PROVIDE FIRE PROTECTION AS REQUIRED. ALL DEVICES WHICH ARE AUDIBLE MUST ALSO BE VISUAL TO MEET ADA/TAS REQUIREMENTS. ALL DEVICES TO BE CEILING MOUNTED.
- GC TO PROVIDE FIRE EXTINGUISHER CABINETS PER CODE REQUIREMENTS
- PROVIDE BLACK NEOPRENE SPACER GLUED BETWEEN END WALL STUDS AND WINDOW MULLIONS TYPICAL. DO NOT SCREW THROUGH WINDOW MULLIONS. SOUND SEAL CONDITION BETWEEN SPACER AND ADJACENT DRYWALL.
- VERIFY/ COMPLY WITH ALL CONSTRUCTION PROCEDURES, REGULATIONS, AND INSURANCE REQUIREMENTS OF OWNER/ BUILDING MANAGEMENT.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CONSTRUCTION AND ENERGY CODES.
- CONSTRUCTION PHASE MOISTURE CONTROL - MATERIALS SHALL BE PROTECTED FROM MOISTURE.
- REF. A9 SERIES SHEETS FOR FINISHES, FINISH SCHEDULE, AND INTERIOR ELEVATIONS
- REF. A10.002 FOR WALL TYPE SCHEDULE
- REF. A2.200 FOR POWER/EQUIPMENT PLANS
- PREP/ LEVEL FLOOR AS REQUIRED TO RECEIVE NEW FINISHES
- ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS, U.N.O
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS. IN ADDITION TO MILLWORK OVERHEADS, ASSUME ALL OFFICES HAVE WALL MOUNTER BINDER STORAGE BINS AND PROVIDE ADDITIONAL SUPPORT AS REQUIRED.
- PROVIDE CASING/ CORNER BEADS ON ALL EXPOSED DRYWALL TERMINATIONS/ TRANSITIONS. TAPE/ FLOAT/ SAND.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS, REF. A10.002 FOR WALL TYPE SCHEDULE AND DETAILS.
- GC SHALL PROVIDE BLOCKING AROUND AND EXTEND ALL OUTLETS, SWITCHES, TSSTATS, ETC. TO FLUSH WITH FINISH FACE OF WALLS. ALL IN WALL DEVICES TO ALIGN ON WALL SURFACE WHERE NECESSARY OR ADJACENT TO OTHER DEVICES

FLOOR PLAN SYMBOLS



FLOOR PLAN KEYNOTES

- NETTING TO BE PROVIDED BY TENANT. SHOWN FOR REFERENCE ONLY. GC TO PROVIDE SUPPORT, POWER, AND EQUIPMENT AS REQUIRED.
- NEW STAIRS TO BE PROVIDED AS SHOWN. REF. A9.301 FOR ADDITIONAL DETAILS.
- NEW RAMP TO BE PROVIDED AS SHOWN. REF. A9.301 FOR ADDITIONAL DETAILS.
- PROVIDE NEW EXTERIOR WALL FURRING AS REQUIRED. AT OPEN TO DECK AREAS, WALL FURRING TO EXTEND TO B.O. DECK. AT AREAS WITH A CEILING, WALL FURRING TO EXTEND 6" ABOVE B.O. CEILING. COORDINATE WITH ARCHITECT AS REQUIRED.
- NEW LOCKERS AT NOOK SHOWN. GC TO PROVIDE WALL BLOCKING AS REQUIRED.
- ALL EQUIPMENT AND LAYOUT IN THIS AREA TO BE COORDINATED WITH KITCHEN CONSULTANT. REFER TO KITCHEN CONSULTANT DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE WITH ARCHITECT FOR ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND KITCHEN CONSULTANT PLANS.
- PROVIDE NEW GREASE TRAP AS REQUIRED. REFER TO MEP PLANS FOR ADDITIONAL INFORMATION.
- ADA VERTICAL WHEELCHAIR LIFT. GC TO PROVIDE POWER.
- THIN BRICK WRAP OVER NEW METAL FRAMED COLUMN.
- NEW THIN BRICK WRAP OVER EXISTING WALL SYSTEM. WALL SYSTEM BY LANDLORD.
- NEW THIN BRICK WRAP AT COLUMN
- NEW PLANTERS
- EXISTING ROOF DRAIN LEADER TO REMAIN
- NEW METAL MESH PANEL GUARDRAIL
- NEW ELEVATED FLOOR SYSTEM
- HUB DRAIN. GC TO COORDINATE LOCATION WITH SPRINKLER DESIGNER



TRUE NORTH
PLAN NORTH
1
FLOOR PLAN
1/8" = 1'-0"

DATE	DESCRIPTION	DELTA
12/20/2024	RESPONSE TO CITY COMMENTS	1
02/27/2025	SUP COMMENTS	4



LIFE SAFETY PLAN GENERAL NOTES

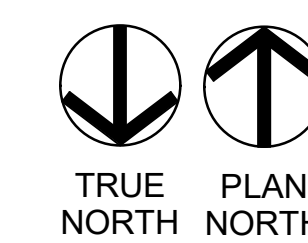
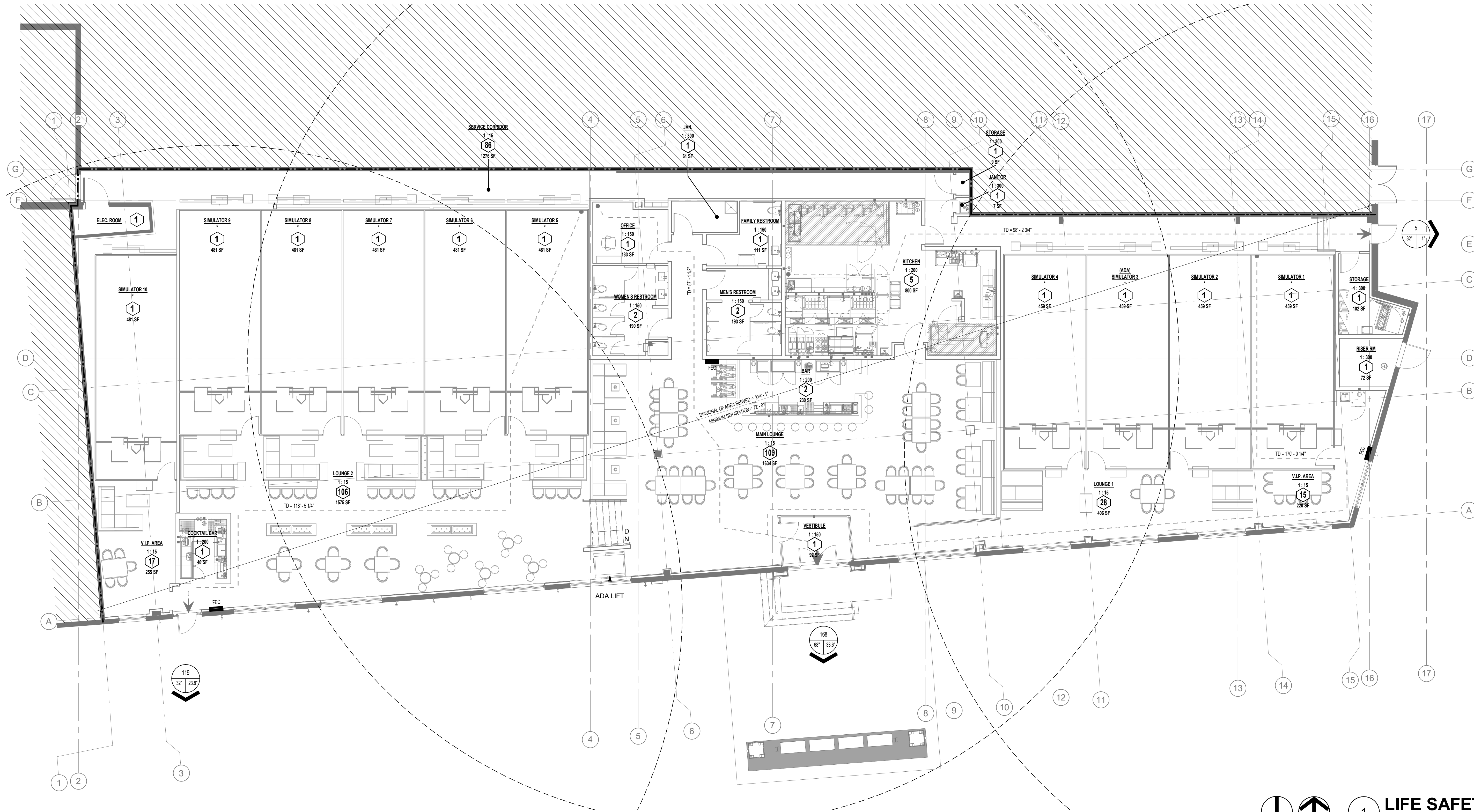
- * INDICATES BUSINESS USE THAT IS LESS THAN 10% OF THE FLOOR AREA IN THE STORY IN WHICH THEY ARE LOCATED AND ACCESSORY TO ANOTHER OCCUPANCY THEREFORE CLASSIFIED AS GROUP A OCCUPANCY PER SECTION 508.2.3.
- ** INDICATES KITCHEN USE THAT IS LESS THAN 10% OF THE FLOOR AREA IN THE STORY IN WHICH THEY ARE LOCATED AND ACCESSORY TO ANOTHER OCCUPANCY THEREFORE CLASSIFIED AS GROUP A OCCUPANCY PER SECTION 508.2.3.
- ALL ROOM OCCUPANCIES HAVE BEEN CALCULATED AT ONE (1) OCCUPANT PER FIFTEEN (15) SQUARE FEET, UNLESS NOTED OTHERWISE ON PLAN.
- FOR EGRESS COMPONENTS, A FACTOR OF 2 INCHES PER PERSON X OCCUPANCY LOAD = REQUIRED WIDTH OF EXIT DOORS (PER TABLE). BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.
- REQUIRED EXIT WIDTHS, NUMBER OF DOORS, AND EGRESS CAPACITIES ARE SHOWN FOR EACH EXIT.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- ALL ASSEMBLY ROOMS WITHOUT FIXED SEATING SHALL HAVE THE ROOM'S MAXIMUM OCCUPANT LOAD POSTED ON A SIGN PLACED NEAR THE MAIN EXIT FROM THE ROOM.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75-FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY AUTHORITY HAVING JURISDICTION.
- PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS AND AS REQUIRED BY APPLICABLE CODES, AND ADDITIONAL SIGNS AS REQUIRED BY AUTHORITY HAVING JURISDICTION. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS AS REQUIRED. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- DOORS OPENING INTO REQUIRED 1-HOUR, FIRE RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
- WOOD BLOCKING WHERE PERMITTED SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO AUTHORITY HAVING JURISDICTION AND OBTAIN APPROVAL PRIOR TO INSTALLATION.

LIFE SAFETY PLAN INFORMATION

- APPLICABLE CODES:
 - BUILDING CODE - 2024 IBC W/ AMENDMENTS
 - PLUMBING CODE - 2024 IBC W/ AMENDMENTS
 - MECHANICAL CODE - 2024 IMC W/ AMENDMENTS
 - ELECTRICAL CODE - 2023 NEC W/ AMENDMENTS
 - FIRE / LIFE SAFETY CODE - 2024 IFC W/ AMENDMENTS
 - ACCESSIBILITY CODE - T.A.S. 2012
 - ENERGY CODE - 2019 IECC W/ AMENDMENTS
 - BUILDING INFO:
 - CONSTRUCTION TYPE: IIB - FULLY SPRINKLERED
 - OCCUPANCY: B-BUSINESS; A-ASSEMBLY
 - TOTAL GROSS FLOOR AREA: 13,207 SF
 - FIRE SUPPRESSION SYSTEM:
 - FULLY SPRINKLERED, ESFR
 - OCCUPANT LOAD:
 - GROUP A-3: ASSEMBLY (BATTING CAGES)
 - 4,723 SF = 1 OCCUPANT PER BATTING CAGE = 16 OCCUPANTS
 - GROUP A-3: ASSEMBLY
 - 3,929 SF / 15 = 263 OCCUPANTS
 - GROUP B: BUSINESS
 - 133 SF / 150 = 1 OCCUPANT
 - TOTAL OCCUPANTS = 284 OCCUPANTS
 - EXIT CAPACITY:
 - OFFICE (B): 1 OCC. X 2" = 0.2" REQUIRED
 - ASSEMBLY (A): 283 OCC. X 2" = 566" REQUIRED
 - (3) DOORS @ 32" CLEAR + (1) DOOR @ 66" CLEAR = 164" PROVIDED
 - ARRANGEMENTS OF EXITS:
 - 300'-0" MAXIMUM TRAVEL DISTANCE TO AN EXIT FOR BUSINESS; 250'-0" FOR ASSEMBLY
 - AT LEAST (2) EXITS SHALL BE PLACED A DISTANCE APART EQUAL TO, BUT NOT LESS THAN (1/3) OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA BEING SERVED.
- FIRE SPRINKLER/ ALARM IS A DEFERRED SUBMITTAL BY CONTRACTOR.
CONTRACTOR TO VERIFY ALL EXIT SIGNS ARE IN WORKING ORDER. REPLACE BULBS AS NEEDED.

LIFE SAFETY PLAN LEGEND

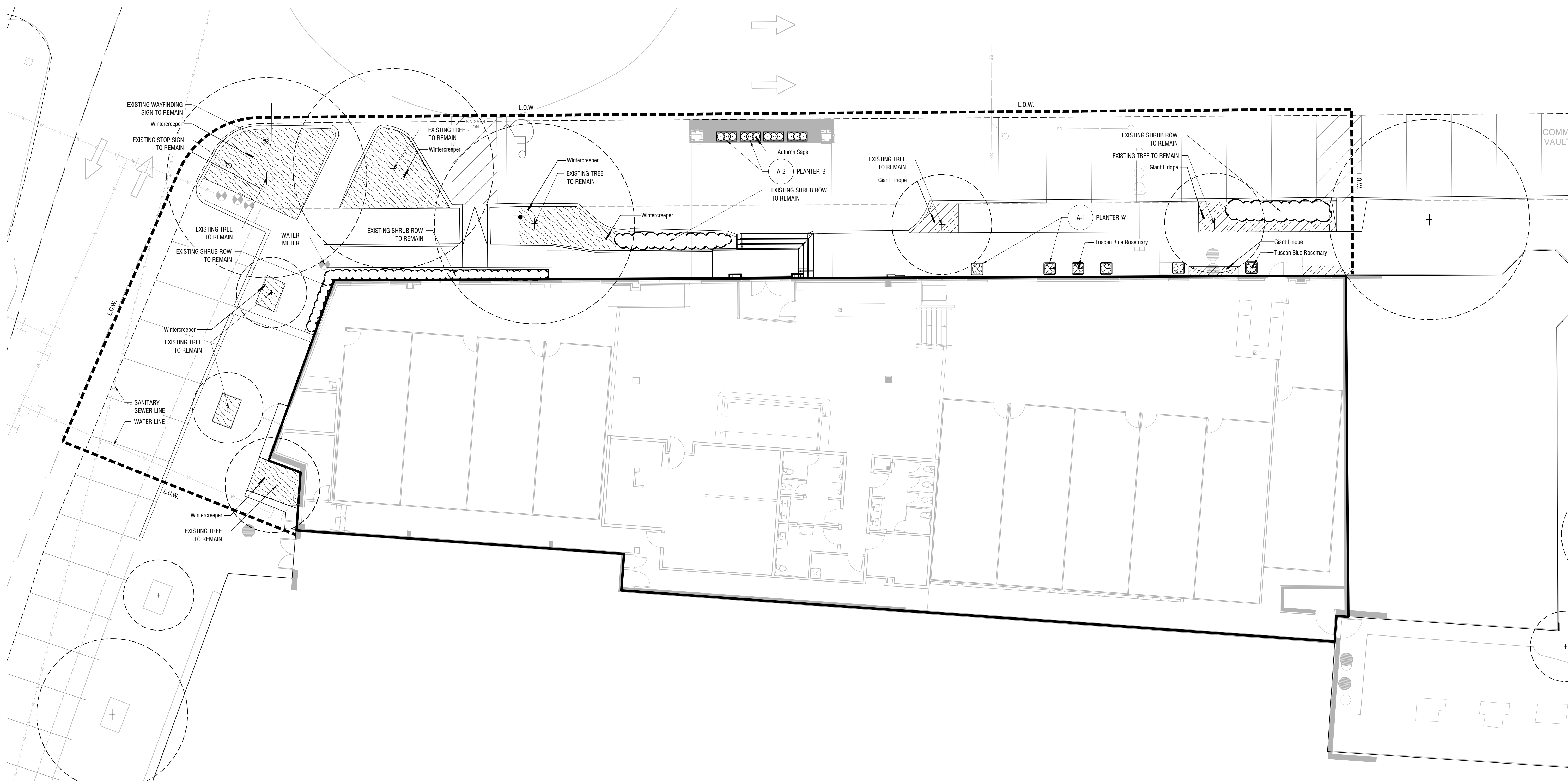
- PATH OF TRAVEL:
- SMOKE PARTITION / BARRIER:
- 1-HR FIRE RATED WALL:
- 2-HR FIRE RATED WALL:
- FIRE EXTINGUISHER CABINET:
- ROOM TAG:
- OCCUPANCY LOAD TAG:
- NO WORK, NOT IN CONTRACT, U.N.O.



1 LIFE SAFETY PLAN
1/8" = 1'-0"

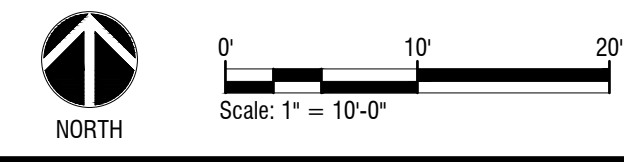
KIMLEY-HORN AND ASSOCIATES, INC.
 2610 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
 PHONE: 469-301-2560 FAX: 972-239-8320
 WWW.KIMLEY-HORN.COM TX F-928

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PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
SHRUBS	
	Autumn Sage / <i>Salvia greggii</i>
	Tuscan Blue Rosemary / <i>Rosmarinus officinalis 'Tuscan Blue'</i>
GROUND COVERS	
	Giant Liriope / <i>Liriope gigantea</i>
	Wintercreeper / <i>Euonymus fortunei</i>



Landscape Plan
Scale: 1" = 10' - 0"

A

No.	REVISIONS	DATE	BY

Kimley-Horn

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 2610 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
 PHONE: 469-301-2560 FAX: 972-239-8320
 WWW.KIMLEY-HORN.COM TX F-928

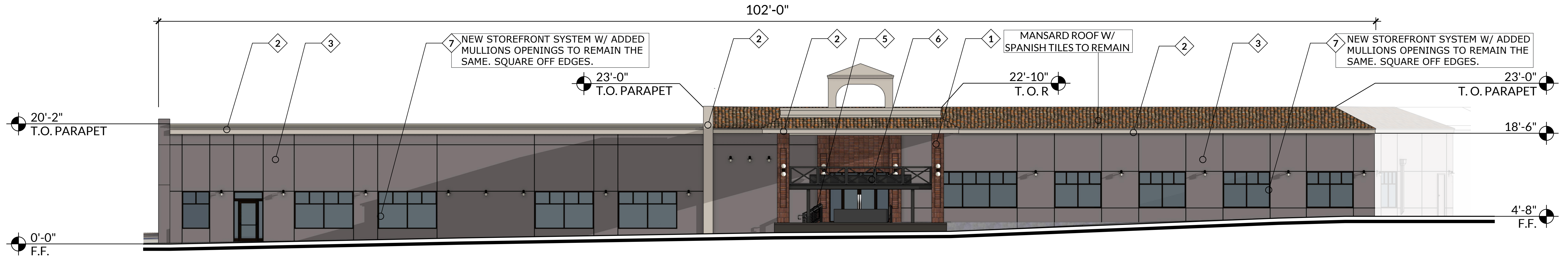


RHA PROJECT	060048000
DATE	03/10/2025
SCALE	AS SHOWN
DESIGNED BY	JK
DRAWN BY	JK
CHECKED BY	AMH

BATBOX
ADDISON, TEXAS
CASE # 1928-SUP

LANDSCAPE PLAN

SHEET NUMBER
L1.00

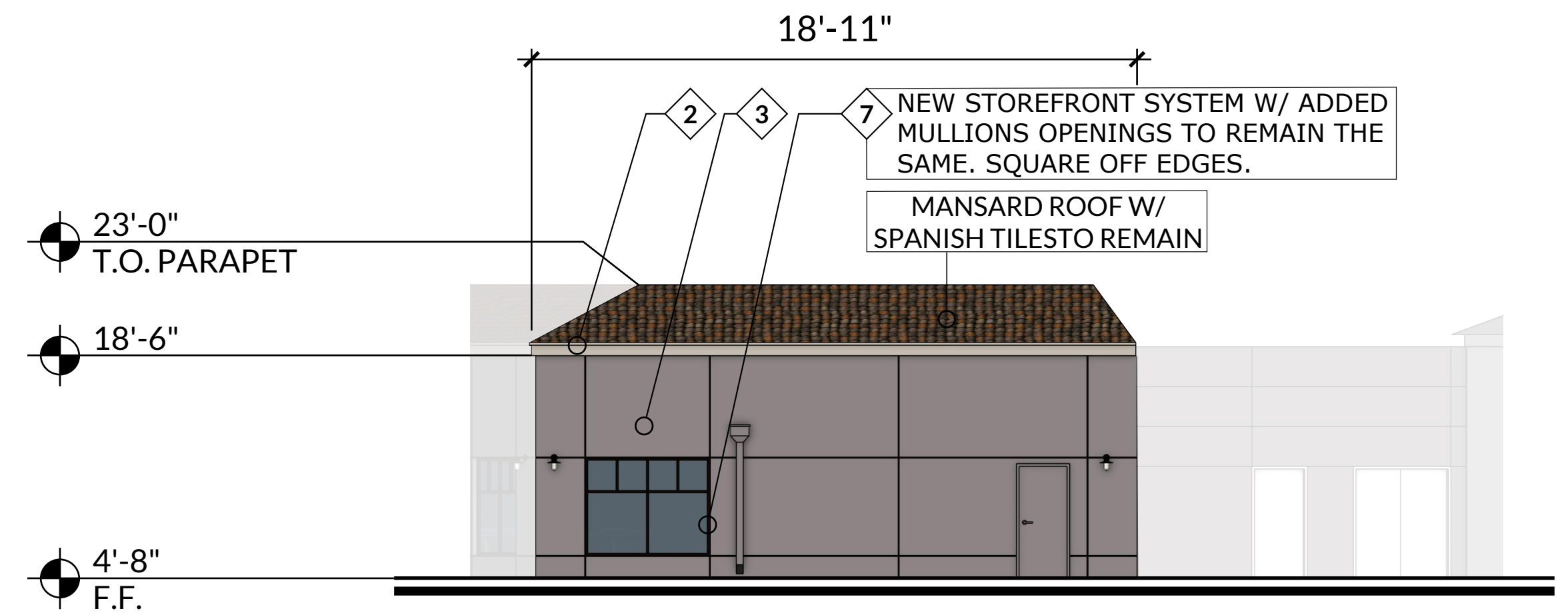


2 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

DESIGN ENHANCEMENTS

- PAINT EXISTING FACADES.
- MANSARD ROOF W/ SPANISH TILES & CUPOLA AT THE DROP OFF AREA TO REMAIN.
- PROVIDE NEW STOREFRONT SYSTEM IN EXISTING OPENINGS.
- CLAD EXISTING COLUMNS ON THE DROP OFF AREA WITH BRICK.
- CLAD ADJACENT WALLS TO MAIN ENTRY WITH BRICK.
- PAINT EXISTING STRUCTURE ON THE DROP OFF AREA.
- NEW INTERNALLY ILLUMINATED SIGNS BY OTHERS.
- PROVIDE A NEW STEEL BACKER STRUCTURE FOR SIGNAGE ON THE DROP OFF AREA PROVIDED BY OTHERS.
- ORIGINAL TRIM AROUND THE OPENINGS TO BE REMOVED.
- REMOVE TWO OPENINGS ON THE WEST FACADE.
- PAINT SOFFIT AT THE DROP OFF AREA SW 7043 AMAZING GRAY.
- PROVIDE NEW RECESSED DOWNLIGHTS FOR SOFFIT AT THE DROP OFF AREA.
- ONE MURAL ON THE NORTH FACADE BY TENANT
- DECORATIVE WALL SCONCES.
- PLANTERS PROVIDED BY TENANT
- DECORATIVE FLAGS PROVIDED BY TENANT.



1 WEST ELEVATION

SCALE: 1/8" = 1'-0"

FACADE PLAN NOTES

- 1) THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- 2) ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
- 3) WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- 4) ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL DEVELOPMENT SERVICES.
- 5) ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.

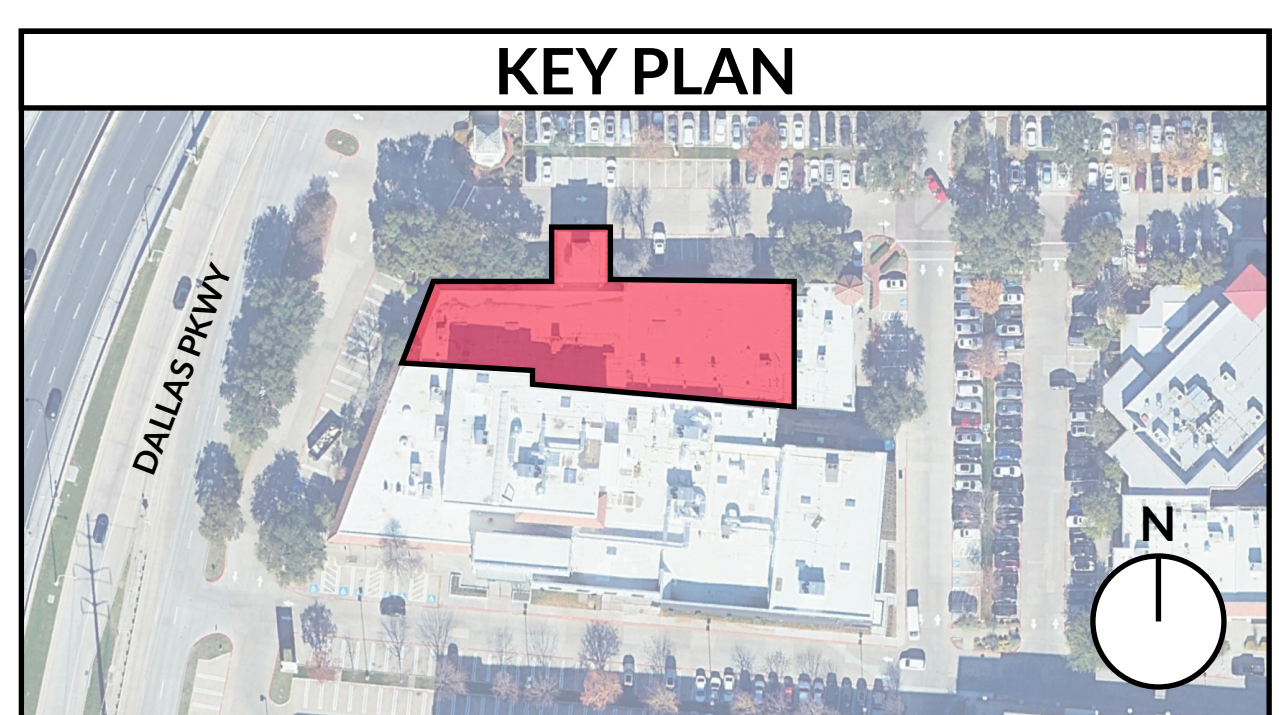
FACADE PLAN

BATBOX RENOVATION
CBLD2024-10-1574
CASE #1228- SUP
TOWN OF ADDISON,
DALLAS COUNTY, TEXAS
SUBMITTED:
02/26/2025

<p>OWNER: BATBOX USA 5100 BELT LINE RD #612 DALLAS, TX 75254 CONTACT: CRAIG WINNING PHONE: (210)968-8585</p>	<p>GENERAL CONTRACTOR: GORDON HIGHLANDER 4464 SIGMA ROAD, SUITE 150 DALLAS, TEXAS 75244 CONTACT: TIM ROBINSON PHONE: (972)679-2979</p>	<p>ARCHITECT: O'BRIEN ARCHITECTS 1722 ROUTH ST., SUITE 122 DALLAS, TEXAS 75201 CONTACT: CAITLIN HUSTON PHONE: (972) 788-1010</p>
--	--	--

MATERIAL KEYNOTES	
	1 ACME BRICK - QUORUM KING SIZE
	2 SW 7043 - AMAZING GRAY
	3 SW 7019 - GAUNTLET GRAY
	4 SW 7048 - URBANE BRONZE
	5 NEW METAL MESH RAILING BY OTHERS (SW 7048 - URBANE BRONZE)
	6 NEW STEEL BACKER FRAM FOR SIGNAGE BY OTHERS (SW 7048 - URBANE BRONZE)
	7 DARK BRONZE

MATERIAL CALCULATIONS						
ELEVATION ORIENTATION	WEST		NORTH		BUILDING TOTALS	
MATERIALS	TOTAL SF	%	TOTAL SF	%	TOTAL SF	%
STUCCO	506	80.91%	2,438	71.51%	2,944	72.97%
BRICK	0	0.00%	500	14.66%	500	12.39%
METAL	0	0.00%	122	3.58%	122	3.03%
ROOF	119	19.08%	349	10.23%	468	11.60%
TOTAL WALL AREA (NO GLAZING)	625		3,410		4,035	
GLAZING	47		638		685	
TOTAL MASONRY AREA	506	81%	2,938	86%	3,444	85%
TOTAL WALL AREA (W/ GLAZING)	672		4,048		4,720	







Planning & Zoning Commission

4.

Meeting Date: 03/18/2025

Agenda Caption:

Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 4951 Belt Line Road, that is currently zoned Local Retail (LR), to allow a restaurant with the sale of alcoholic beverages for on-premises consumption. Case 1930-SUP/4951 Belt Line Road (Mexican Sugar).

Recommendation:

Staff recommends approval of these requests, with the following conditions:

- Prior to issuance of a Certificate of Occupancy for Mexican Sugar, easements must be recorded via separate instrument as shown on the site plan for pedestrian connectivity purposes.
- Repeal previous Special Use Ordinance's for the subject property including Ordinance No. 085-027, 089-036, 094-023, and 014-002.

Attachments

1930-SUP Staff Report

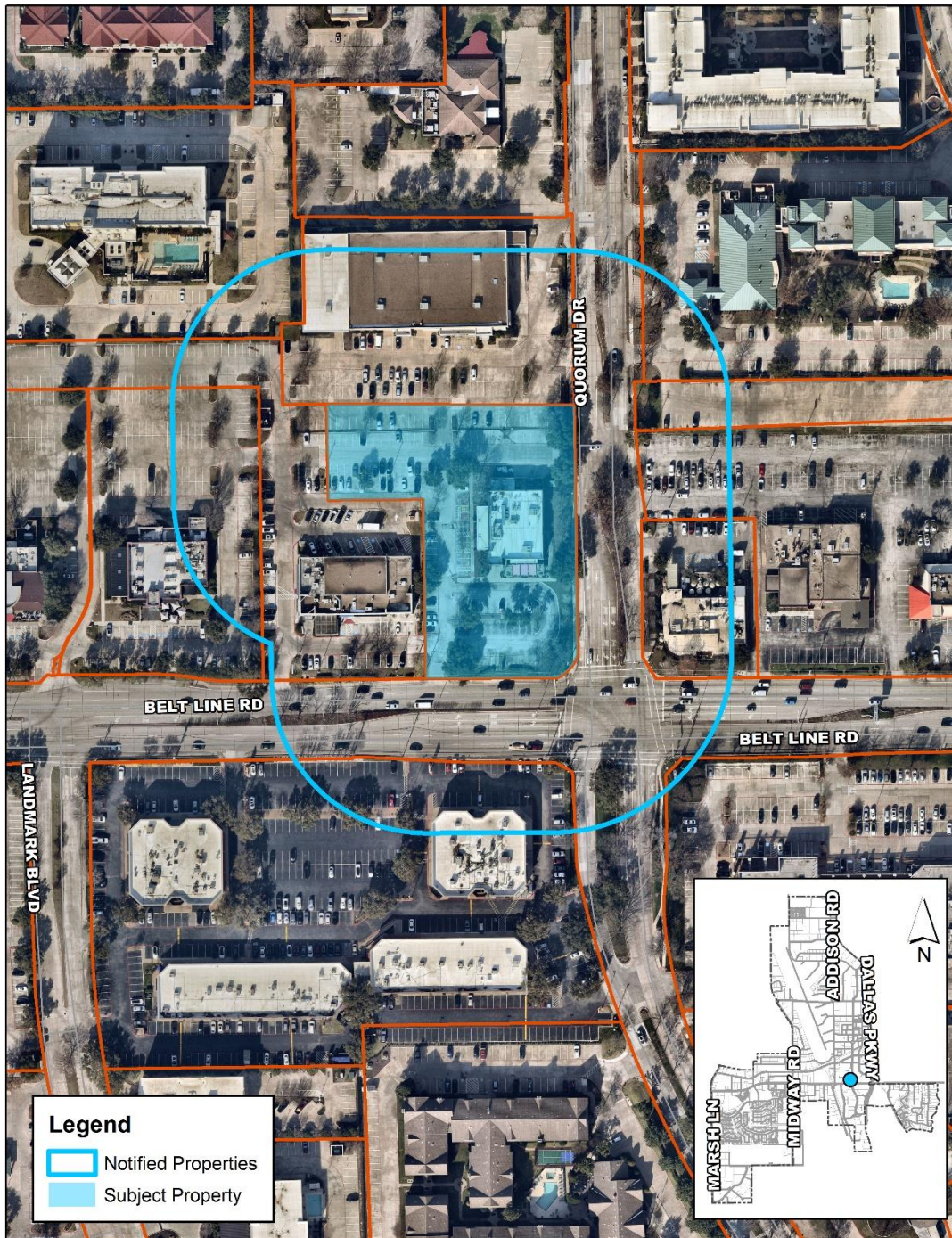
1930-SUP Letter of Intent

1930-SUP Plans

1930-SUP

PUBLIC HEARING Case 1930-SUP/4951 Belt Line Road (Mexican Sugar). Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 4951 Belt Line Road, that is currently zoned Local Retail (LR), to allow a restaurant with the sale of alcoholic beverages for on-premises consumption.

LOCATION MAP





March 18, 2025

STAFF REPORT

RE: Case 1930-SUP/4951 Belt Line Road (Mexican Sugar)

LOCATION: 4951 Belt Line Road

REQUEST: Approval of a Special Use Permit (SUP) for a restaurant with the sale of alcoholic beverages for on-premises consumption. (Application Date: 02/03/2025)

APPLICANT: Stephen Gallant, Mexican Sugar

DISCUSSION:

Background: The subject property is located at 4951 Belt Line Road, which is located at the northwest corner of the Belt Line Road and Quorum Road intersection. The proposed restaurant would occupy a currently vacant restaurant, that was formerly operated as TGI Fridays. The property is zoned Local Retail (LR).

[Mexican Sugar](#) is a full-service restaurant featuring traditional Mexican flavors with a modern twist. The operator has several locations in the Metroplex, including Plano, Las Colinas, and Uptown Dallas. The owner, FB Society, also operates concepts like Ida Claire, which has a location in Addison. This proposal includes an interior and exterior remodel to refresh the site. There is also a 952 square foot patio expansion near the building entry. Mexican Sugar proposes to offer alcoholic beverages for on-premises consumption. The proposed operating hours are 11:00 am – 10:00 pm, Monday through Thursday, 11:00 am – 11:00 pm, Friday and Saturday, and 10:00 am – 9:00 pm on Sundays. It is anticipated that Mexican Sugar will have approximately 125 employees, with up to 65 present during peak hours.

The zoning ordinance allows restaurants with the sale of alcoholic beverages for on-premises consumption through the approval of an SUP. The proposed use complies with the site development standards associated with these ordinances.

Proposed Plan: With this request, Mexican Sugar proposes interior and exterior alterations to the structure and the expansion of the patio space at the southwest corner of the building. The patio expansion will be constructed over the existing sidewalk and landscape bed. The proposed restaurant will provide seating for approximately 305 individuals (253 indoor and 52 patio seats). The interior floor plan is comprised of kitchen and service areas, a bar, and table, booth, and bar seating throughout. The restaurant will utilize the existing solid waste facilities at the northeast corner of the building.

Parking: The Local Retail district requires restaurants to provide parking at a ratio of 1 space for each 70 square feet of gross-floor area. The 7,844 square foot structure and 952 square foot patio

requires 126 parking spaces on site. Mexican Sugar proposes to provide 149 parking spaces, exceeding the requirement. The site currently has 154 spaces; however, 5 spaces are proposed to be removed to achieve adequate emergency access. These spaces will be replaced with fire lane or landscape islands. The restaurant has approximately 65 employees on site at peak times and it was important to ensure ample parking for employees and patrons.

Exterior Facades: The applicant proposes minor modifications to the building façade, which will enhance the visual appeal and align with Mexican Sugar’s aesthetic. The outdoor patio expansion will be at the southwest corner of the building, providing an inviting entrance to the restaurant. The patio space will be enhanced with lighting and landscape planters.

Landscaping and Open Space: To achieve compliance with emergency access, the proposal includes the removal of two existing trees. There are also four trees on site that have been damaged by recent weather events or have died, those are also proposed to be removed and mitigated with this project. Full tree mitigation will be provided with this proposal, which exceeds the requirement by 1 caliper inch (58 caliper inches required, 59 caliper inches provided). The proposal includes the removal and replacement of any other plant material in poor or declining health such as shrubs and groundcover. The outdoor dining area includes masonry planters surrounding the patio space, which will also serve as a protective barrier.

The property owner has agreed to grant the Town pedestrian access and maintenance easements for possible future improvements to the public realm, which may include sidewalks, landscaping, and other pedestrian amenities. The easements include a 7-foot-wide easement along Belt Line Road and a variable width easement along Quorum Drive. If approved, these easements will be dedicated to the Town via separate instrument.

RECOMMENDATION: **APPROVAL WITH CONDITIONS**

The proposal includes reinvestment of a former restaurant site, which is consistent with other uses along Belt Line Road. Given the anticipated public investment in this area, compatible reactivation of this corner is vital. With this project, the Town is also able to secure necessary easements for future pedestrian improvements.

Staff recommends approval of these requests, with the following conditions:

- Prior to issuance of a Certificate of Occupancy for Mexican Sugar, easements must be recorded via separate instrument as shown on the site plan for pedestrian connectivity purposes.
- Repeal previous Special Use Ordinance’s for the subject property including Ordinance No. 085-027, 089-036, 094-023, and 014-002.



Letter of Intent for Mexican Sugar Addison

Date: February 7, 2025

Applicant:

Mexican Sugar Addison, LLC is asking for Special Use Permit to be able to (1) obtain City approval to serve alcohol on site under a TABC Mixed Beverage Permit, (2) revise landscaping on site, (3) revise parking turning radiuses to allow for fire department access to the site, (4) modify the exterior finishes of the existing building and to modify the entry area.

Site/Use:

The proposed location for Mexican Sugar in Addison is at 4951 Belt Line Rd. The building offers approximately 7,923 square feet of interior space, complemented by 944 square feet of patio area. Currently vacant, the site was previously home to TGI Fridays, presenting an ideal opportunity to revitalize the space with a fresh, dynamic concept. Mexican Sugar brings the heart of Mexico to every meal with bold flavors, fresh, scratch-made dishes, and handcrafted cocktails. Known for its lively atmosphere and modern twist on traditional Mexican fare, Mexican Sugar will be a standout addition to Addison's dining and entertainment scene.

Exterior:

Mexican Sugar plans to make minimal modifications to the building's exterior, preserving its overall structure while enhancing its visual appeal. Planned updates include adding exterior partitions at the entryway, updating a small section of the façade with decorative finishes for aesthetic enhancement, and replacing existing signage to align with Mexican Sugar's branding. Additional patio lighting will be installed to create a warm, inviting ambiance, complemented by new landscape planters and fresh greenery. No changes to the current parking layout are anticipated.

The Company:

Mexican Sugar offers a vibrant dining destination that infuses traditional Mexican flavors with a modern, cosmopolitan twist. The restaurant is known for its lively ambiance, scratch-made dishes, and an Agave Library featuring an extensive selection of tequilas and mezcals, creating a one-of-a-kind tasting experience. With successful locations in Plano, Las Colinas, Uptown Dallas, and Houston, Mexican Sugar has established itself as a premier spot for gatherings, celebrations, and laid-back brunches.

Mexican Sugar is part of FB Society, an award-winning restaurant incubator and operator celebrated for its innovative approach to hospitality. Led by CEO Jack Gibbons, FB Society has conceptualized and launched over 20 unique brands, including Haywire, The Ranch at Las Colinas, Whiskey Cake, Sixty Vines, Ida Claire, Son of a Butcher, Legacy Food Hall, Assembly Food Hall, and the upcoming Midtown Manhattan Shaver Hall. With a commitment to crafting unforgettable dining experiences, FB Society continues to expand its diverse portfolio, redefining the culinary landscape with each new concept.

Operations:

The following information represents general and specific details regarding Mexican Sugar's operations:

Operating Hours:

Mexican Sugar will be open seven days a week, operating from 11 a.m. to 10 p.m. Monday through Thursday, 11 a.m. to 11 p.m. on Fridays and Saturdays, and 10 a.m. to 9 p.m. on Sundays.

Employees:

Mexican Sugar will employ approximately 125 team members. At peak times, up to 65 employees will be on-site, with an average of 40 employees present during standard operations.

Deliveries:

Deliveries are anticipated most days of the week and will be managed through the north end of the building. Smaller deliveries from carriers such as UPS, FedEx, and USPS will be received via the front entrance on the south side of the building.

Food Ordering:

Most food orders will be placed and enjoyed on-site, though to-go services will also be available for guest convenience.

Trash/Recycling:

Mexican Sugar will utilize the existing trash facilities located at the northeast corner of the property and will actively participate in recycling efforts, adhering to legal requirements and sustainability practices.

KEYNOTES	
1	EXIST. SIDEWALK
2	EXIST. LANDSCAPING
3	EXIST. ELECTRICAL PANELS
4	EXIST. ROOF LADDER
5	EXIST. DUMPSTER
6	ADA RAMP
7	PATIO PLANTER WALL
8	PATIO LOW WALL
9	PATIO SLAB
10	EXIST. SITE LIGHTING
11	PATIO FIREPLACE
12	PATIO WALL
13	PATIO GATE
14	EXIST. MONUMENT SIGN
15	EXIST. METAL PANEL SCREENING FOR COOLERS, DUMPSTERS & REAR SERVICE COURTYARD
16	EXIST. ADA RAMP
17	7' EASEMENT FOR BELT LINE MASTER TRANSPORTATION PLAN SIDEWALK, DEDICATED TO THE TOWN OF ADDISON THROUGH SEPARATE INSTRUMENT
18	12' EASEMENT FOR QUORUM BIKE LANE PROJECT, DEDICATED TO THE TOWN OF ADDISON THROUGH SEPARATE INSTRUMENT.
19	20' EASEMENT FOR QUORUM BIKE LANE PROJECT, DEDICATED TO THE TOWN OF ADDISON THROUGH SEPARATE INSTRUMENT.
20	PROPOSED FIRE HYDRANT
21	PROPOSED REMOTE FDC
22	PROPOSED RELOCATED WATER METER VAULT
23	EXIST. TRANSFORMER
24	EXIST. GAS METER
25	HATCHED LINE INDICATED FIRE LANE

SITE DATA	
EXISTING ZONING:	LR - LOCAL RETAIL DISTRICT
PROPOSED ZONING:	LR - LOCAL RETAIL DISTRICT
PROPOSED USE:	RESTAURANT
LOT AREA:	82,986 S.F. / 1.90509 ACRES
BUILDING AREA:	7,844 S.F.
BUILDING HEIGHT:	1 STORY / 24'-8" ABV. SLAB
TOTAL PARKING REQUIRED:	1 SPACE PER 70 S.F. = 126 SPACES
TOTAL PARKING PROVIDED:	149 SPACES PROVIDED
TOTAL ADA PARKING PROVIDED:	6 SPACES
NOTE: "HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS."	

SITE PLAN NOTES	
A.	"ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS."
B.	"OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH TOWN REGULATIONS."
C.	"BUILDINGS WITH AN AGGREGATE SUM OF 0 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE MARSHAL."
D.	"ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL VIA A SIGN PERMIT."
E.	"ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL."
F.	"THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL."

CONTACT INFORMATION	
<ul style="list-style-type: none"> OWNER: MEXICAN SUGAR ADDISON, LLC 16400 DALLAS PKWY, SUITE 100 DALLAS, TX 75248 	<ul style="list-style-type: none"> ARCHITECT: CIVITARESE MORGAN ARCHITECTURE 3341 REGENT BLVD. IRVING, TEXAS 75063 TEL.: 214.613.0680 FACSIMILE: 469.730.3341 CONTACT: RICK CIVITARESE

SEAL

03-04-2025

ARCHITECTURAL PROJECT NO.: 055-45



CASE NO. 1930-SUP

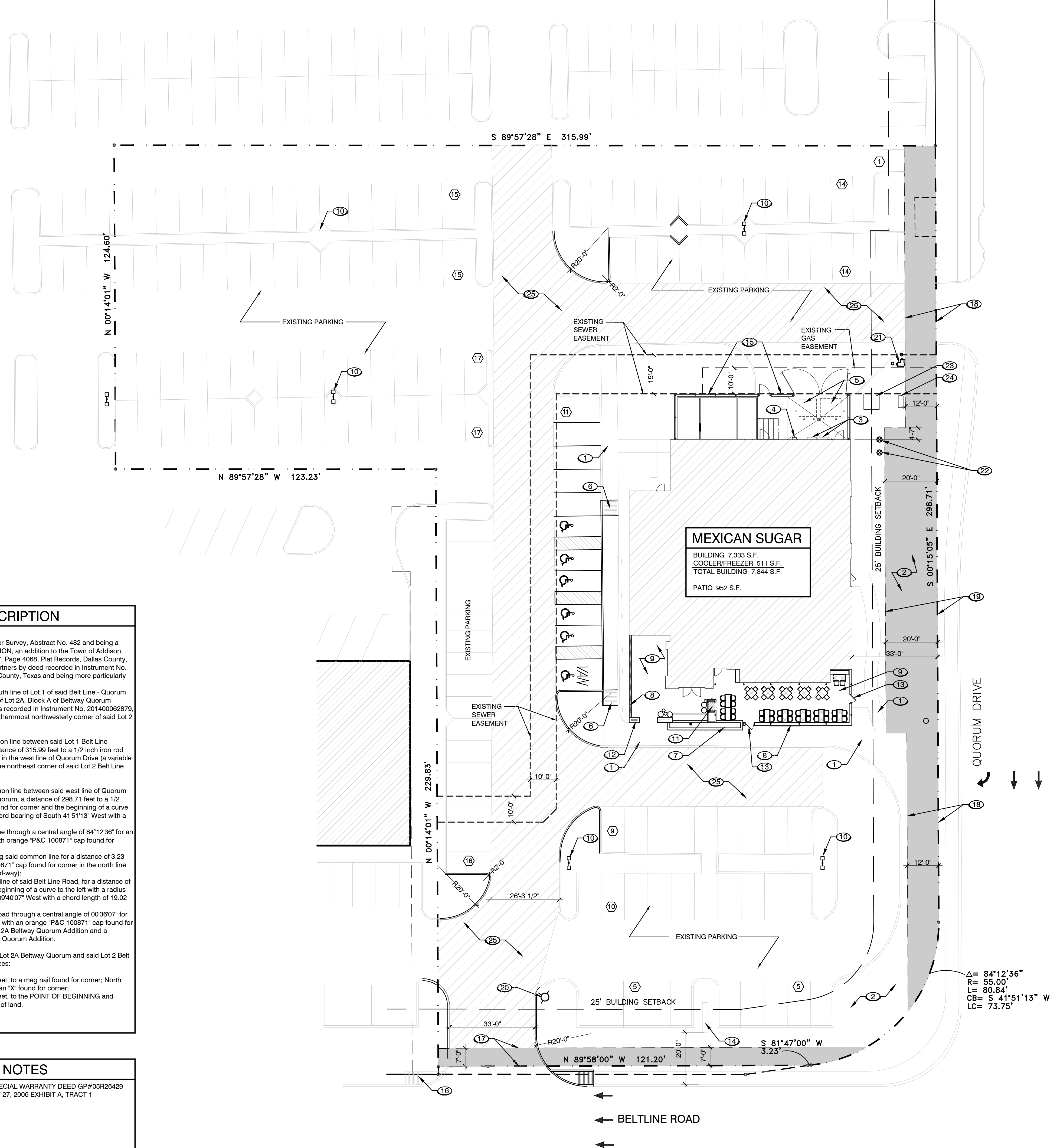
4951 BELT LINE RD.
DALLAS, TX 75254

NO.	REVISIONS:	DATE:

TENANT REVIEW ISSUE DATE: 01-30-25
 LANDLORD REVIEW ISSUE DATE: 01-30-25
 PERMIT ISSUE DATE: 01-30-25
 BID ISSUE DATE: XX.XX.25
 CONSTRUCTION ISSUE DATE: XX.XX.25

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
A1.0

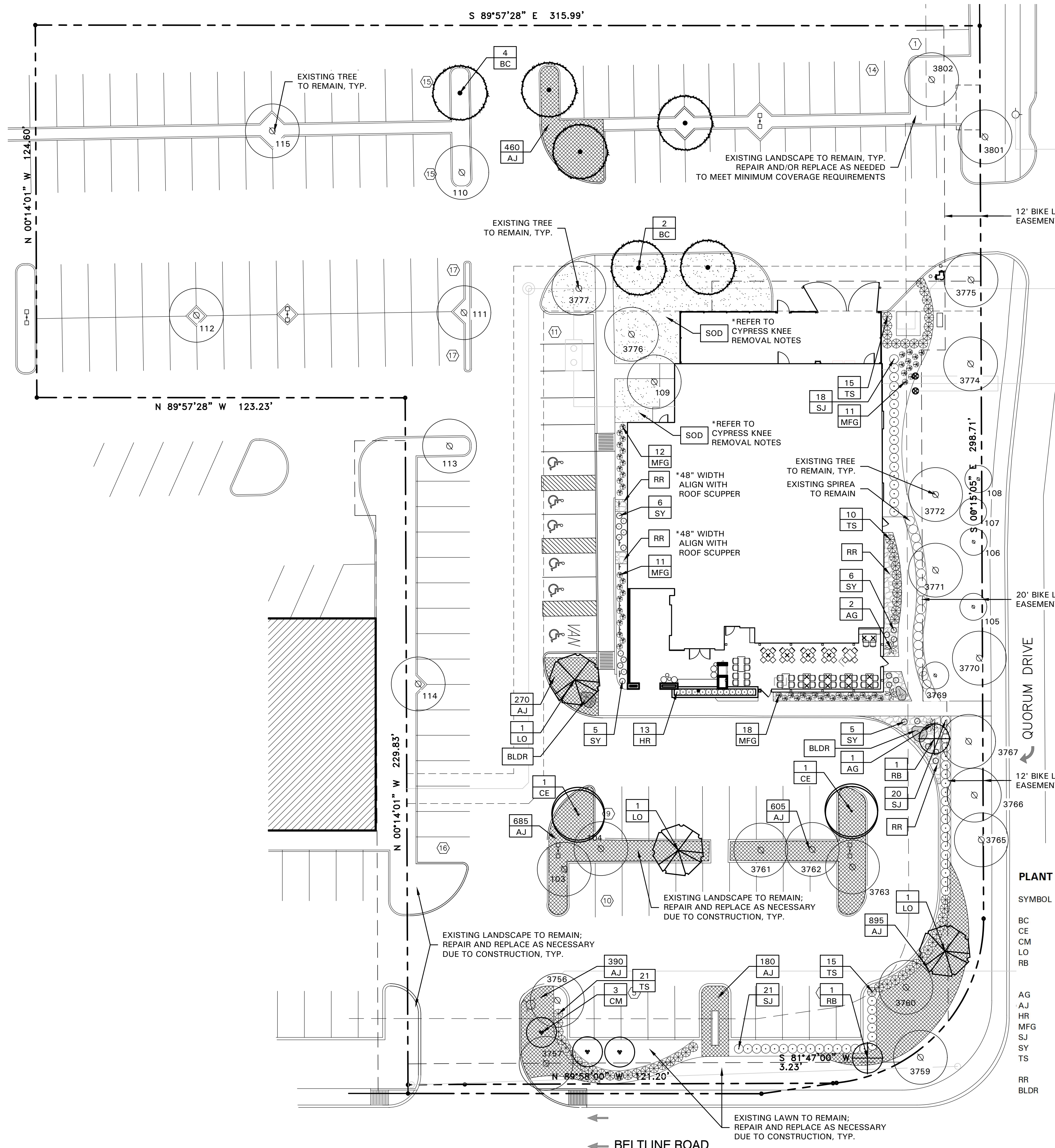


LEGAL DESCRIPTION

PROPERTY DESCRIPTION
 BEING a tract of land situated in the G. W. Fisher Survey, Abstract No. 482 and being a portion of Lot 2, of BELT LINE QUORUM ADDITION, an addition to the Town of Addison, according to the Plat recorded in Volume 91077, Page 4068, Plat Records, Dallas County, Texas and as conveyed to Addison Quorum Partners by deed recorded in Instrument No. 200503550897, Official Public Records, Dallas County, Texas and being more particularly described as follows:
 BEGINNING at an "X" found for corner in the south line of Lot 1 of said Belt Line - Quorum Addition, said "X" being a northeasterly corner of Lot 2A, Block A of Beltway Quorum Addition, an addition to the Town of Addison, as recorded in Instrument No. 201400062879, Plat Records, Dallas County, Texas and the northernmost northwesterly corner of said Lot 2 Belt Line-Quorum;
 THENCE South 89°57'28" East, along the common line between said Lot 1 Belt Line Quorum and said Lot 2 Belt Line Quorum, a distance of 315.99 feet to a 1/2 inch iron rod with orange "P&C 100871" cap found for corner in the west line of Quorum Drive (a variable width public right-of-way), said iron rod being the northeast corner of said Lot 2 Belt Line-Quorum;
 THENCE South 00°15'05" East, along the common line between said west line of Quorum Drive and the east line of said Lot 2 Belt Line Quorum, a distance of 298.71 feet to a 1/2 inch iron rod with orange "P&C 100871" cap found for corner and the beginning of a curve to the right with a radius of 55.00 feet, and a chord bearing of South 41°51'13" West with a chord length of 73.75 feet;
 THENCE along said curve and said common line through a central angle of 84°12'36" for an arc length of 80.84 feet to a 1/2 inch iron rod with orange "P&C 100871" cap found for corner;
 THENCE South 81°47'00" West, continuing along said common line for a distance of 3.23 feet to a 1/2 inch iron rod with orange "P&C 100871" cap found for corner in the north line of Belt Line Road (a variable width public right-of-way);
 THENCE North 89°58'00" West, along the north line of said Belt Line Road, for a distance of 121.20 feet to an "X" found for corner and the beginning of a curve to the left with a radius of 1,809.84 feet, and a chord bearing of South 89°40'07" West with a chord length of 19.02 feet;
 THENCE along said curve and said Belt Line Road through a central angle of 00°36'07" for an arc length of 19.02 feet to a 1/2 inch iron rod with an orange "P&C 100871" cap found for corner in an easterly line of aforementioned Lot 2A Beltway Quorum Addition and a westerly line of aforementioned Lot 2 Belt Line - Quorum Addition;
 THENCE along the common line between said Lot 2A Beltway Quorum and said Lot 2 Belt Line Quorum the following bearings and distances:
 North 00°14'01" West, for a distance of 229.83 feet, to a mag nail found for corner; North 89°57'28" West, for a distance of 123.23 feet, to an "X" found for corner;
 North 00°14'01" West, for a distance of 124.60 feet, to the POINT OF BEGINNING and containing 1.90509 acres or 82,986 square feet of land.

GENERAL NOTES

1. LEGAL DESCRIPTION TAKEN FROM SPECIAL WARRANTY DEED GP#05R26429 FILED AND RECORDED DATE JANUARY 27, 2006 EXHIBIT A, TRACT 1



LANDSCAPE NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- 2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- 3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- 4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- 5. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- 6. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 7. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A LICENSED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- 8. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

GENERAL LAWN NOTES

- 1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- 2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- 3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- 4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- 5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- 6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- 7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

MAINTENANCE NOTES

- 1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- 2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- 3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- 4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- 6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

SOLID SOD NOTES

- 1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- 2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- 3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- 4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS TOWN OF ADDISON, TEXAS

Table with columns: Required, Provided, and descriptions for Site Landscape, Street Landscape Buffer, and specific streets (Quorum Drive, Beltline Drive).

CYPRESS KNEE REMOVAL NOTES

- 1. CONTRACTOR TO REMOVE EXISTING CYPRESS KNEES IN AREAS OF PROPOSED SOD TO A DEPTH OF 3" BELOW SOIL LINE WITH HAND TOOLS PRIOR TO CONSTRUCTION.
- 2. ALL ROOTS TO BE HAND-PRUNED AND CUT CLEANLY WITH SHARP SAW.
- 3. EXPOSED FINE ROOTS TO BE COVERED WITH BURLAP AND SPRAYED WITH WATER TO PREVENT DESICCATION PRIOR TO BACKFILL AND COMPLETION OF WORK.
- 4. ALL CYPRESS KNEE REMOVAL TO BE PERFORMED UNDER THE SUPERVISION OF A LICENSED ARBORIST.

PARKING LOT SCREENING

- 1. Evergreen shrubs, 3' ht., planted 3' on center in a single row in a bed at least 42" wide.
- 2. Evergreen shrubs, 3' ht., must be at least 3.5' higher than the finished elevation of the adjacent parking lot.

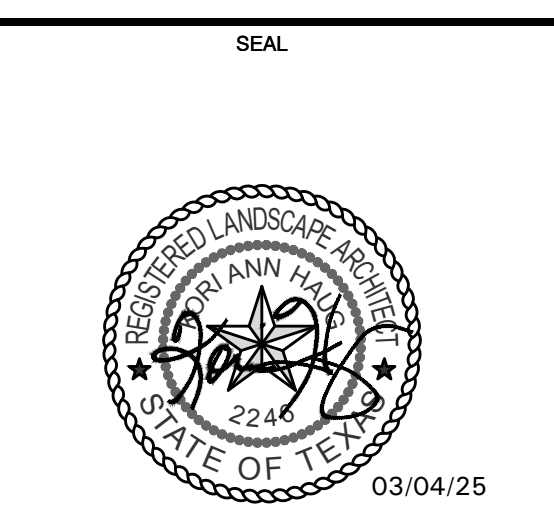
PARKING LOT LANDSCAPE

- 1. 8% of the total parking area to be landscaped.
- 2. One (1) large shade tree per 10 parking spaces.

PLANT LIST

Table with columns: SYMBOL, BOTANICAL NAME, COMMON NAME, QTY., SIZE, REMARKS. Lists various trees, shrubs, and groundcover plants.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



ARCHITECTURAL PROJECT NO.: 055-45



CASE NO. 1930-SUP

4951 BELT LINE RD. DALLAS, TX 75254

Table with columns: NO., REVISIONS, DATE. Shows a grid for tracking revisions.

TENANT REVIEW ISSUE DATE: 01-30-25
LANDLORD REVIEW ISSUE DATE: 01-30-25
PERMIT ISSUE DATE: 01-30-25
BID ISSUE DATE: XX.XX.25
CONSTRUCTION ISSUE DATE: XX.XX.25

DRAWING TITLE: LANDSCAPE PLAN

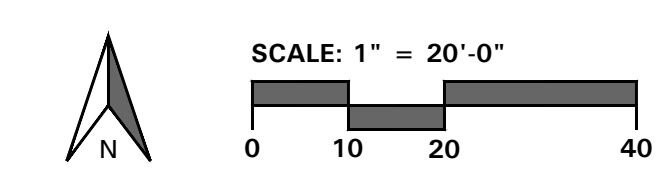
DRAWING NUMBER:

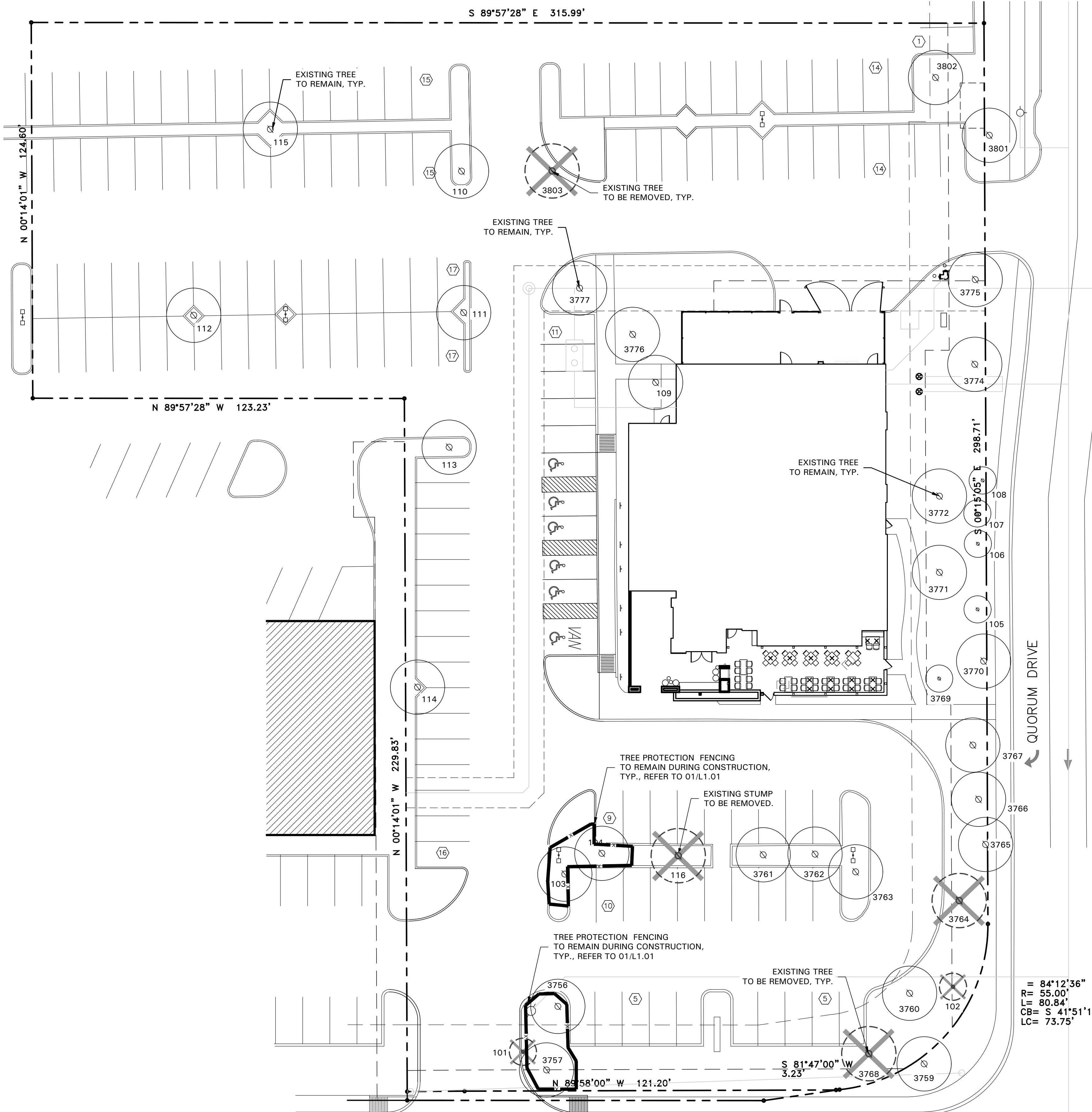
L2.01

Owner: Beltway Commercial Real Estate
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Suite 301
Addison, Texas 75001
972.628.3464

Architect/Applicant: Civitarese Morgan Architecture
3341 Regent Boulevard.
Suite 130-321
Irving, Texas 75063
214.613.0680

12801 N. Central Expy
Dallas, Texas 75243
(214) 865-7192





$R = 84'12'36''$
 $R\pi = 55.00'$
 $L = 80.84'$
 $CB = S 41^{\circ}51'13''$
 $LC = 73.75'$

EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.02



SCALE: 1" = 20'-0"

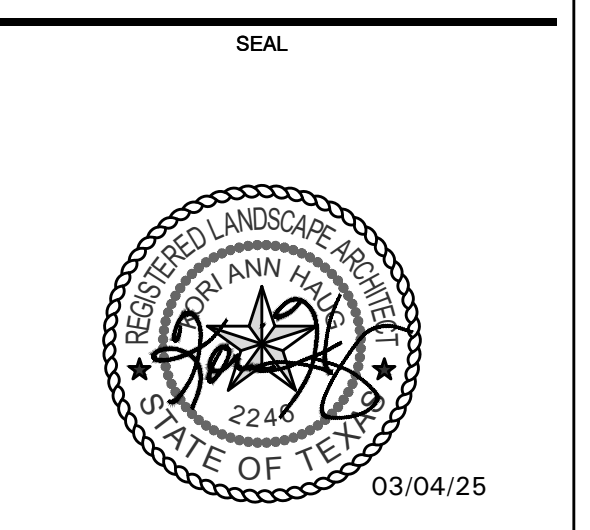


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ARCHITECTURAL PROJECT NO.: 055-45



CASE NO. 1930-SUP

4951 BELT LINE RD.
DALLAS, TX 75254

NO.	REVISIONS:	DATE:

TENANT REVIEW ISSUE DATE: 01.30.25
LANDLORD REVIEW ISSUE DATE: 01.30.25
PERMIT ISSUE DATE: 01.30.25
BID ISSUE DATE: XXXX.25
CONSTRUCTION ISSUE DATE: XXXX.25

DRAWING TITLE:
TREE PRESERVATION PLAN

DRAWING NUMBER:

L1.01

ISSUED FOR PERMIT 01/30/2025

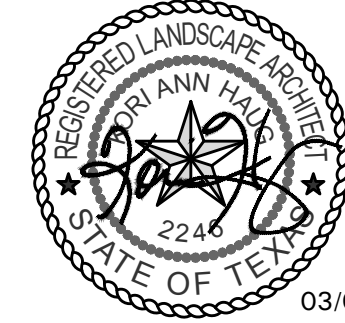


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SEAL



ARCHITECTURAL PROJECT NO.: 055-45



CASE NO. 1930-SUP

4951 BELT LINE RD.
DALLAS, TX 75254

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TENANT REVIEW ISSUE DATE: 01.30.25
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 PERMIT ISSUE DATE: 01.30.25
 BID ISSUE DATE: XX.XX.25
 CONSTRUCTION ISSUE DATE: XX.XX.25

DRAWING TITLE:
TREE PRESERVATION NOTES

DRAWING NUMBER:

L1.02

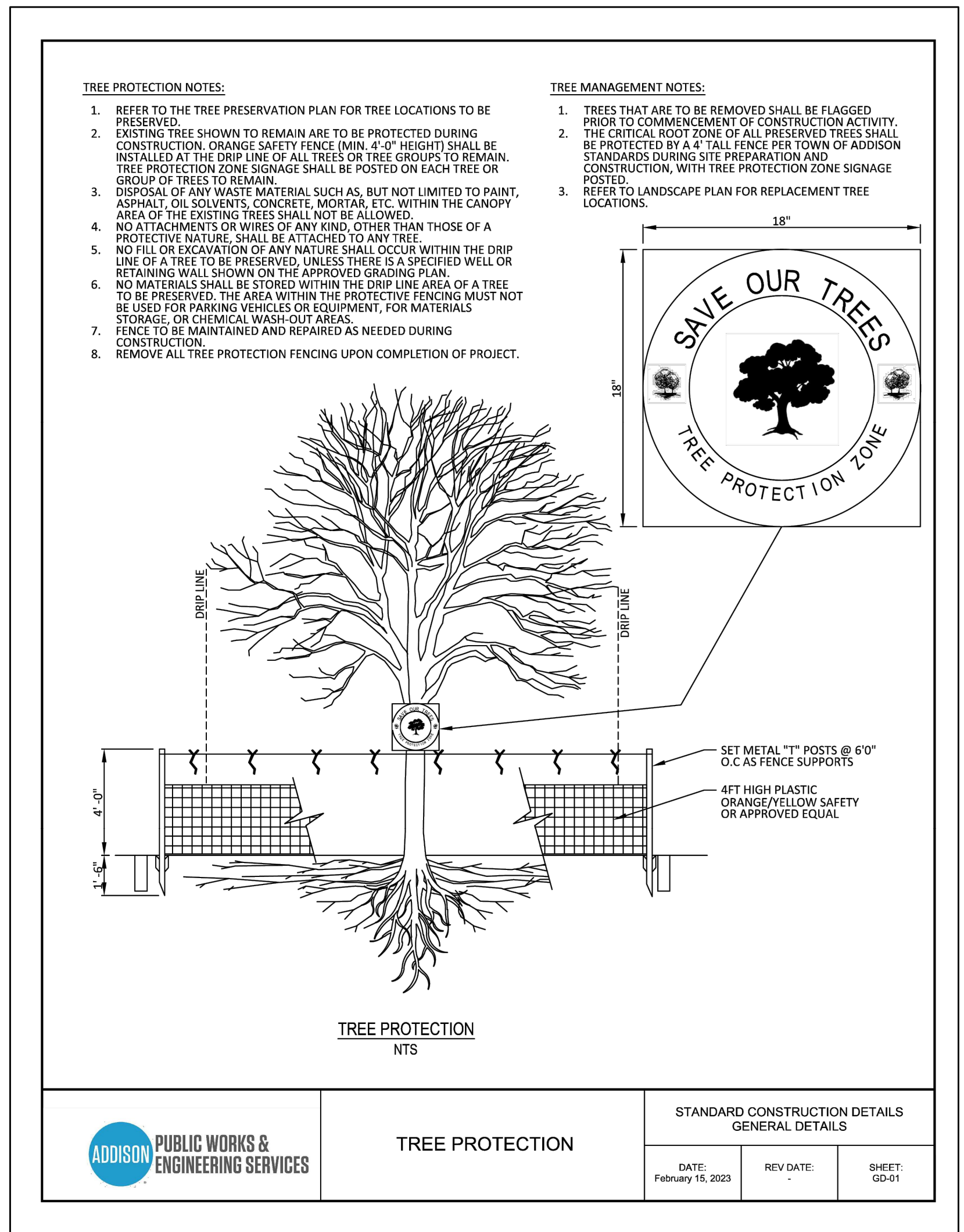
TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMER, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL TREE PRUNING TO BE PERFORMED UNDER THE SUPERVISION OF A LICENSED ARBORIST.

TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
101	10	CREPE MYRTLE	TO BE REMOVED	MULTI-TRUNK
102	7	CREPE MYRTLE	TO BE REMOVED	MULTI-TRUNK
103	17	CEDAR ELM	TO REMAIN	
104	16	LIVE OAK	TO REMAIN	
105	8	CREPE MYRTLE	TO REMAIN	MULTI-TRUNK
106	9	CREPE MYRTLE	TO REMAIN	MULTI-TRUNK
107	4	CREPE MYRTLE	TO REMAIN	
108	6	CREPE MYRTLE	TO REMAIN	MULTI-TRUNK
109	16	BALD CYPRESS	TO REMAIN	
110	13	BALD CYPRESS	TO REMAIN	
111	14	LIVE OAK	TO REMAIN	
112	10	LIVE OAK	TO REMAIN	
113	14	BALD CYPRESS	TO REMAIN	
114	21	LIVE OAK	TO REMAIN	
115	8	BALD CYPRESS	TO REMAIN	
115	8	LIVE OAK	TO BE REMOVED	STUMP
3756	21	LIVE OAK	TO REMAIN	MULTI-TRUNK
3757	30	LIVE OAK	TO REMAIN	MULTI-TRUNK
3760	16	CEDAR ELM	TO REMAIN	
3761	15	LIVE OAK	TO REMAIN	
3762	12	LIVE OAK	TO REMAIN	
3763	9	CEDAR ELM	TO REMAIN	
3764	7	BALD CYPRESS	TO BE REMOVED	
3765	8	BALD CYPRESS	TO REMAIN	
3766	7	BALD CYPRESS	TO REMAIN	
3767	7	BALD CYPRESS	TO REMAIN	
3768	13	CEDAR ELM	TO BE REMOVED	DEAD
3769	15	CEDAR ELM	TO REMAIN	
3769	10	YAUPON HOLLY	TO REMAIN	MULTI-TRUNK
3770	24	LIVE OAK	TO REMAIN	
3771	8	RED OAK	TO REMAIN	
3772	8	RED OAK	TO REMAIN	
3774	10	RED OAK	TO REMAIN	
3775	24	LIVE OAK	TO REMAIN	
3776	18	BALD CYPRESS	TO REMAIN	
3777	30	LIVE OAK	TO REMAIN	
3801	20	LIVE OAK	TO REMAIN	
3802	17	CEDAR ELM	TO REMAIN	
3803	13	BALD CYPRESS	TO BE REMOVED	
Total Caliper Inches on Site				342
Total Caliper Inches Removed				58
Total Mitigation Inches Required				58
Total Mitigation Inches Provided				59

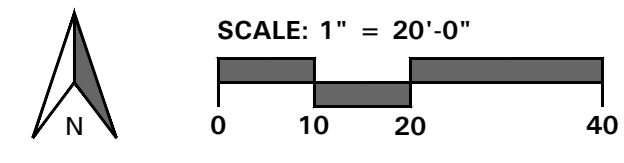
EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.02



01 TREE PROTECTIVE FENCING

NOT TO SCALE



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 Suite 1760
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 (214) 865-7192

Owner:
 Beltway Commercial Real Estate
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SEAL



03-04-2025

ARCHITECTURAL PROJECT NO.: 055-45



CASE NO. 1930-SUP

4951 BELT LINE RD. DALLAS, TX 75254

NO.	REVISIONS:	DATE:

TENANT REVIEW ISSUE DATE:	01.30.25
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BID ISSUE DATE:	XX.XX.25
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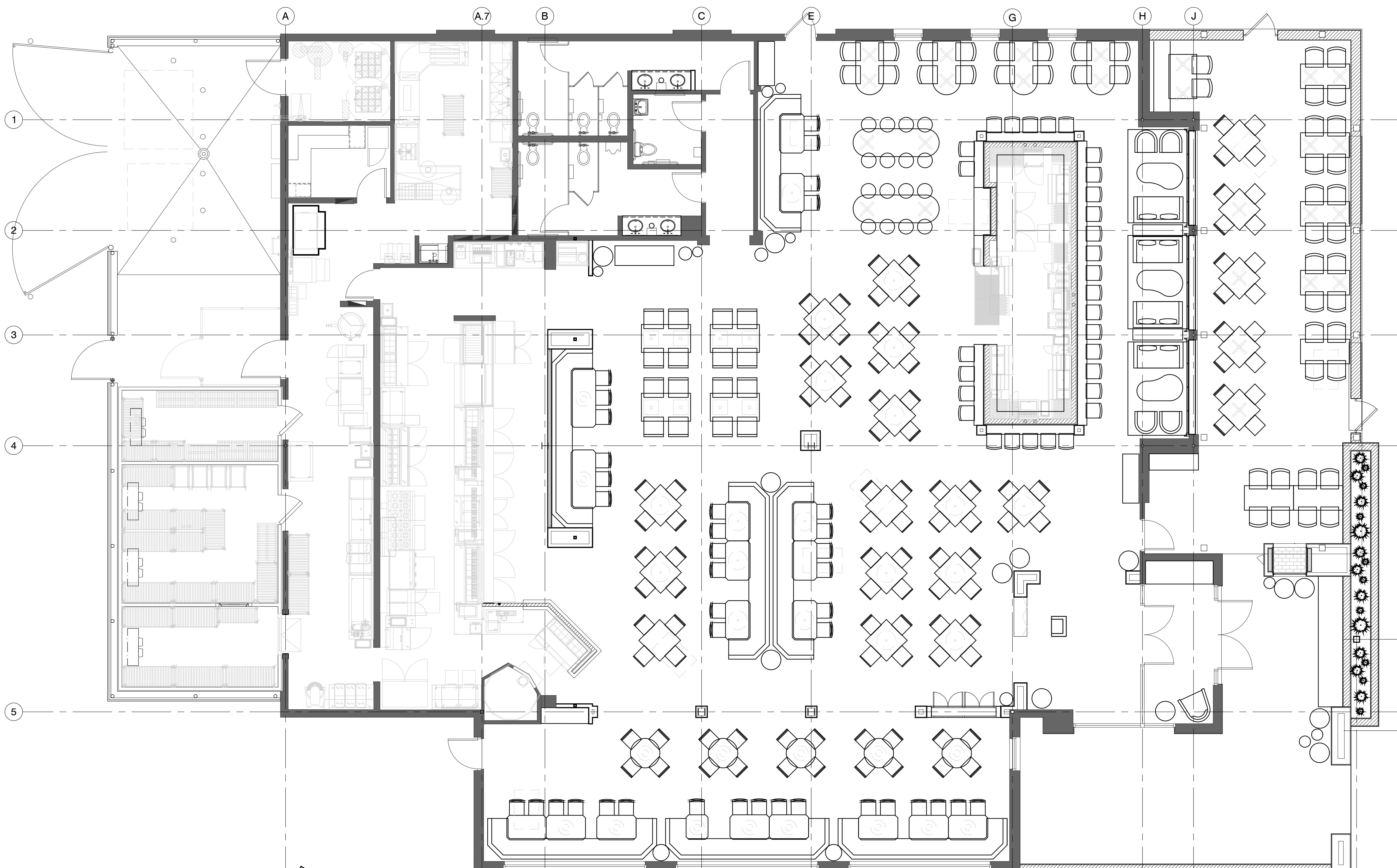
DRAWING TITLE:
FURNITURE & FURNISHINGS PLAN

DRAWING NUMBER:

A2.7

SEATING COUNTS			
INTERIOR			
DINING	TYPE	TABLE COUNT	SEAT COUNT
	2-TOPS	1	2
	4-TOPS	44	176
	6-TOPS	2	12
	8-TOPS	2	16
	BAR STOOLS		31
	LOUNGE		16
	TOTAL INTERIOR SEATING		253
PATIO			
DINING	TYPE	TABLE COUNT	SEAT COUNT
	4-TOPS	13	52
	TOTAL SEATING		52

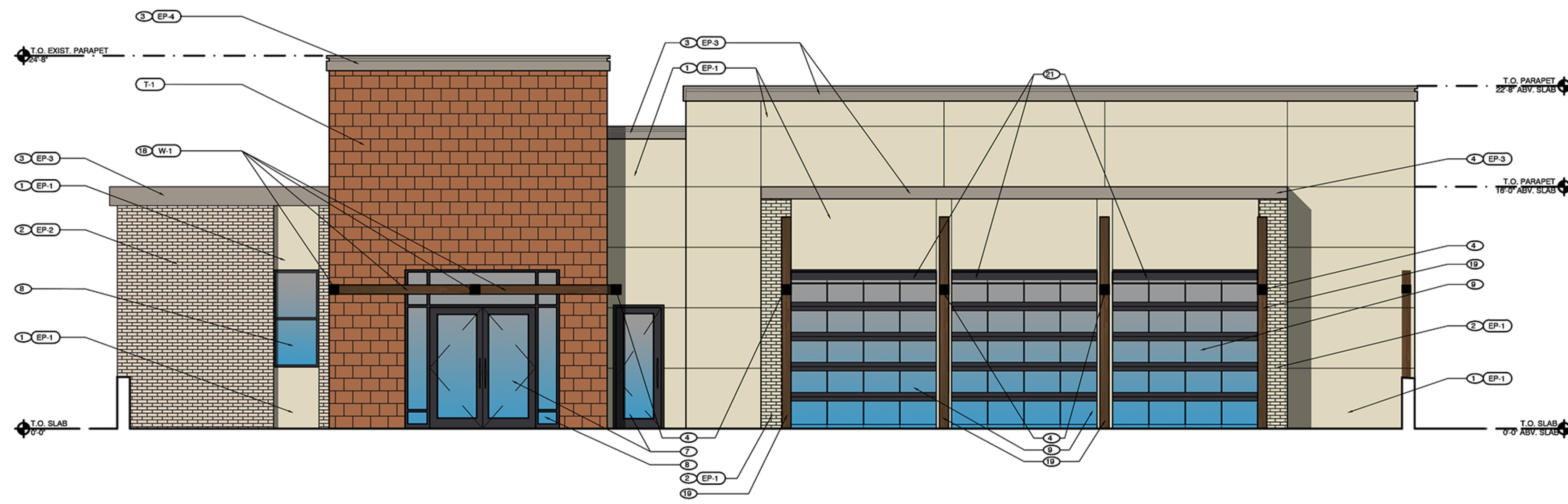
OCCUPANCY CALCULATIONS			
LEASE SPACE AREA:	2024 IBC	7,333 SQ. FT	
	INSIDE OF EXTERIOR WALLS AND SEPARATION WALLS		
OCCUPANCY CLASSIFICATION:	GROUP A-2		
BUILDING TYPE:	TYPE V-B - SPRINKLERED		
OCCUPANT LOAD:	INTERIOR OCC. LOAD		
	KITCHEN - UNCONCENTRATED	1,551 SF / 200	= 9
	RESTROOMS -	369 SF / 0	= 0
	COOLER/FREEZER	511 SF / 0	= 0
	OFFICE	67 SF / 100	= 1
	WAITING	177 SF / 5	= 36
	SUBTOTAL		46
	DINING INSIDE - UNCONCENTRATED	2,864 SF / 15	= 191
	BANQUETTE SEATING - 24" PER SEAT	136'-0" L/F / 24"	= 68
	BAR SEATING - 24" PER SEAT	60'-0" L/F / 24"	= 30
	SUBTOTAL		289
	DINING AREA - INSIDE (ACTUAL SEATING)		253
	KITCHEN & QUEUING -		46
	DINING INSIDE - UNCONCENTRATED		191
	BANQUETTE SEATING - 24" PER SEAT		68
	BAR SEATING - 24" PER SEAT		30
	TOTAL INTERIOR OCC. LOAD		335
	PATIO OCC. LOAD		
	DINING PATIO - UNCONCENTRATED	962 SF / 15	= 64
	DINING AREA - PATIO (ACTUAL SEATING)		52
	TOTAL ACTUAL SEAT COUNT:		305



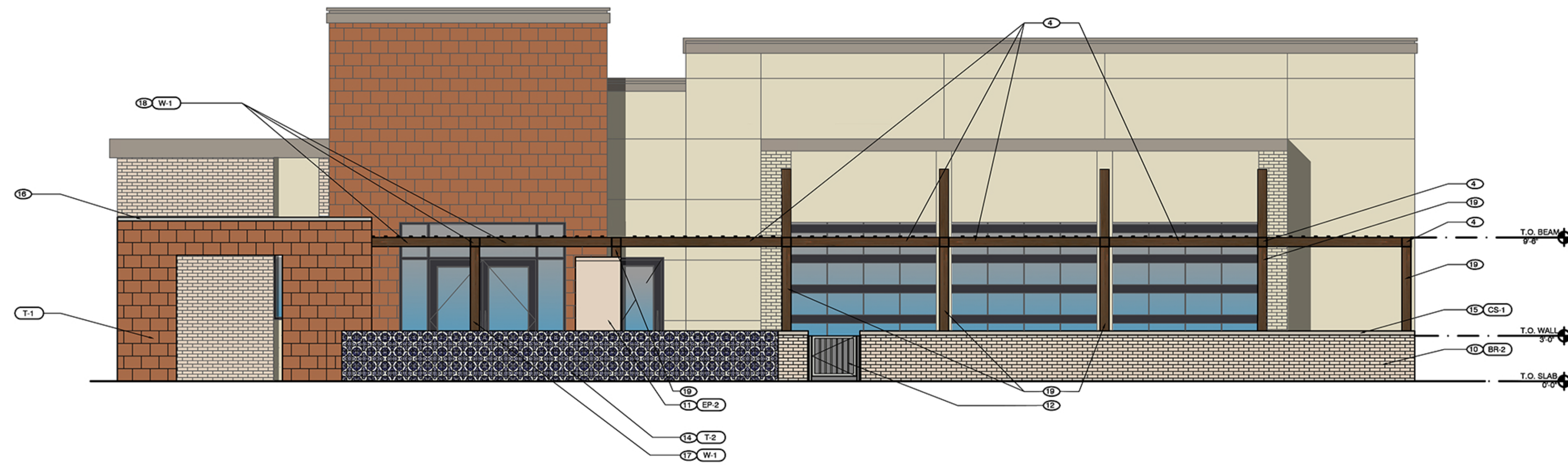
01 Furniture Fixture Plan SCALE: 3/16" = 1'-0" NORTH

ISSUED FOR PERMIT 01/30/2025

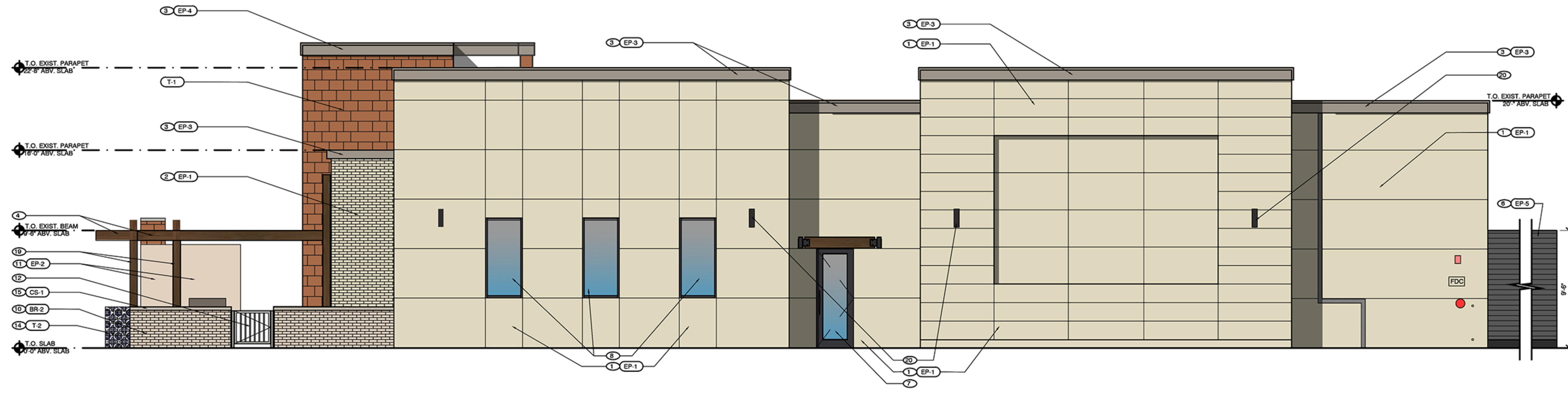
ISSUED FOR PERMIT 01/30/2025



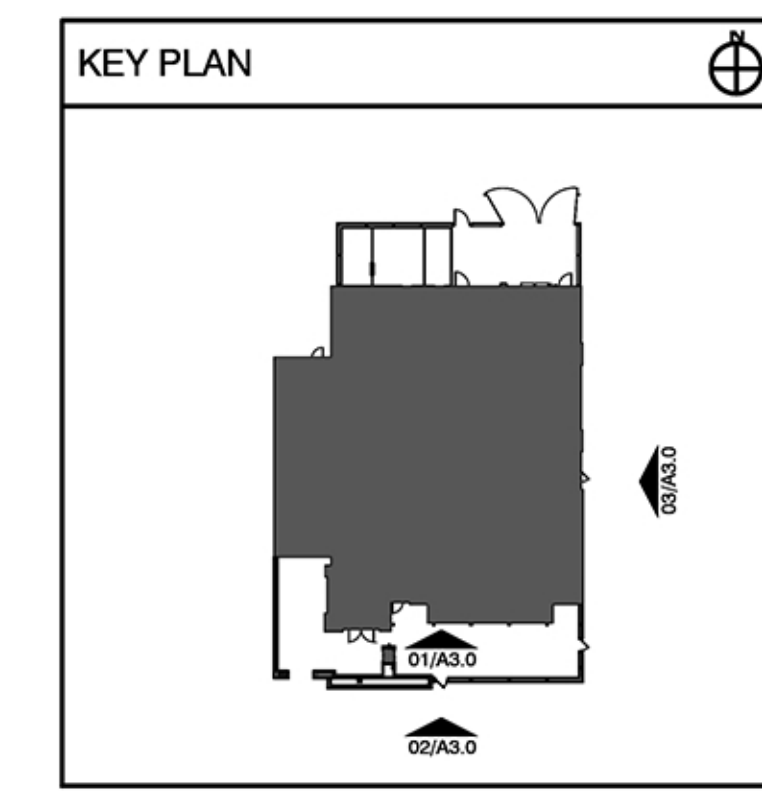
01 Exterior Elevation - South
SCALE: 3/16" = 1'-0"



02 Exterior Elevation - South
SCALE: 3/16" = 1'-0"



03 Exterior Elevation - East
SCALE: 3/16" = 1'-0"



KEYNOTES	
(X)	DESCRIPTION
1	EXIST. E.I.F.S. FINISH
2	EXIST. BRICK FINISH
3	EXIST. MTL. COPING
4	EXIST. HEAVY TIMBER BEAM
5	EXIST. METAL TRASH ENCLOSURE GATE
6	EXIST. METAL TRASH ENCLOSURE
7	EXIST. DOOR
8	EXIST. WINDOW
9	EXIST. GARAGE DOOR
10	PATIO LOW WALL
11	FIREPLACE WALL
12	PATIO GATE
13	EXIST. MECHANICAL SCREENING
14	PLANTER LOW WALL
15	WALL CAP
16	MTL. COPING CAP
17	HEAVY TIMBER POST TO MATCH EXIST.
18	HEAVY TIMBER BEAM TO MATCH EXIST.
19	EXIST. HEAVY TIMBER POST
20	EXTERIOR LIGHT FIXTURE
21	AIR CURTAIN

EXTERIOR FINISHES	
(X-X)	DESCRIPTION
PAINT	
EP-1	MANUFACTURER: JH PAINTS COLOR / FINISH: COLOR MATCH JH PAINTS 106, FLAT
EP-2	MANUFACTURER: SOURCED LOCALLY COLOR / FINISH: LIME WASH, FLAT
EP-3	MANUFACTURER: JH PAINTS COLOR / FINISH: COLOR MATCH JH PAINTS 109, FLAT
EP-4	MANUFACTURER: JH PAINTS COLOR / FINISH: COLOR MATCH JH PAINTS 109, FLAT
EP-5	MANUFACTURER: SHERWIN WILLIAMS COLOR: SHERWIN WILLIAMS PEPPER CORN SW 7674, MATTE
EXTERIOR TILE	
ET-1	MANUFACTURER: CLAY IMPORTS STYLE: KNOTCH COLOR: SATIN ANTIQUE SATIN VARIATION LEVEL 3 SIZE: 10" x 14" GROUT: GRAY / NON-PIGMENTED
ET-2	MANUFACTURER: LA FUENTE STYLE: TALAVERA - CRUZ ELEGANTE COLOR: BLUE AND WHITE GROUT: MAPEI, BISCUIT #14 SIZE: 4 1/4" x 4 1/4"
BRICK	
BR-2	SUPPLIER: FRONT BURNER PRODUCT: THIN BRICK - USE LEFTOVER BRICK FROM PLANO LOCATION GROUT: GRAY / NON-PIGMENTED NOTES: PATIO LOW WALL FACING PARKING LOT
WOOD	
EW-1	MANUFACTURER: SOURCED LOCALLY STYLE: TO MATCH EXISTING COLOR: TO MATCH EXISTING MATERIAL AND STAIN. NOTES: PATIO COVER PERGOLA
WOOD VENEER	
SF-1	MANUFACTURER: SOURCED LOCALLY STYLE: BAMBOO - PALO DE ARCO COLOR: T.B.D. NOTES: INSTALLED OVER EXISTING PERGOLA
CAST STONE	
CS-1	MANUFACTURER: TBD PRODUCT: CAST STONE CAP, 12" W x 4" H COLOR: NATURAL LIMESTONE NOTES: PATIO LOW WALL CAP

CONTACT INFORMATION	
OWNER: MEXICAN SUGAR ADDISON, LLC 16400 DALLAS PKWY, SUITE 100 DALLAS, TX 75248	ARCHITECT: CIVITARESE MORGAN ARCHITECTURE 3341 REGENT BLVD. STE 130-321 IRVING, TEXAS 75063 TEL.: 214.613.0680 FACSIMILE: 469.730.3341 CONTACT: RICK CIVITARESE

FACADE PLAN NOTES	
<input type="checkbox"/>	THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
<input type="checkbox"/>	ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE
<input type="checkbox"/>	WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
<input type="checkbox"/>	ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
<input type="checkbox"/>	ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL

ARCHITECT

CIVITARESE | MORGAN ARCHITECTURE
3341 REGENT BLVD. SUITE 130-321
IRVING, TEXAS 75063
TEL: 214-613-0680 FAX: 469.730.3341

SEAL

11-30-2025

ARCHITECTURAL PROJECT NO.: 095-45

CASE NO. 1930-SUP

4951 BELT LINE RD.
DALLAS, TX 75254

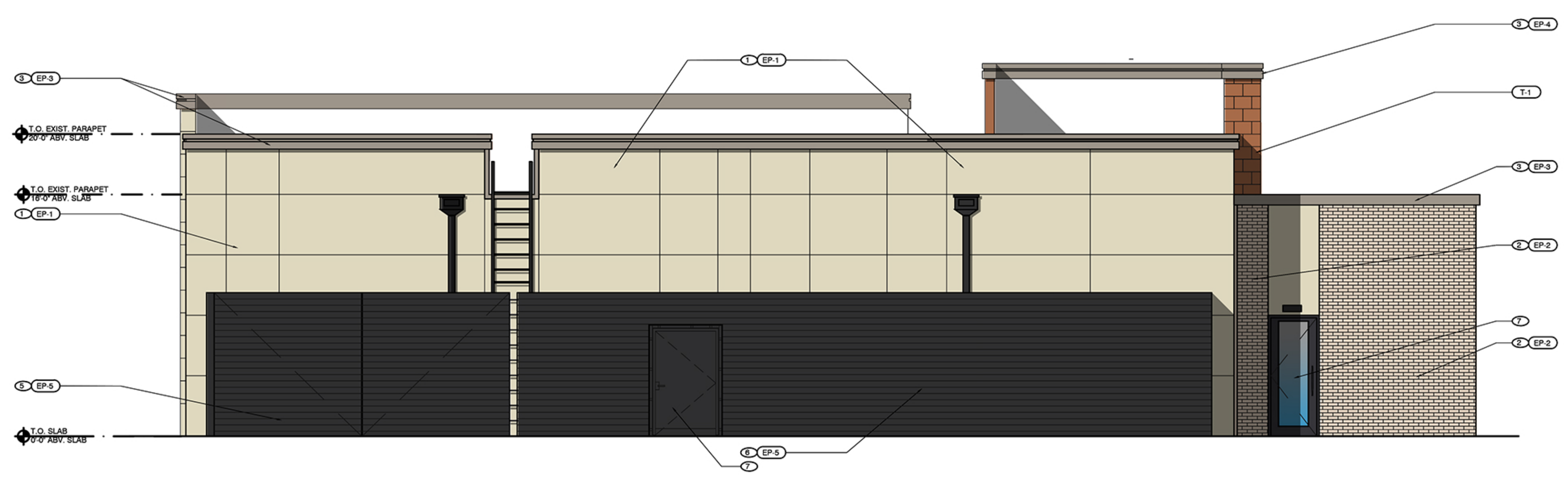
NO.	REVISIONS:	DATE:

TENANT REVIEW ISSUE DATE: 01.30.25
 LANDLORD REVIEW ISSUE DATE: 01.30.25
 PERMIT ISSUE DATE: 01.30.25
 BID ISSUE DATE: XX.XX.25
 CONSTRUCTION ISSUE DATE: XX.XX.25

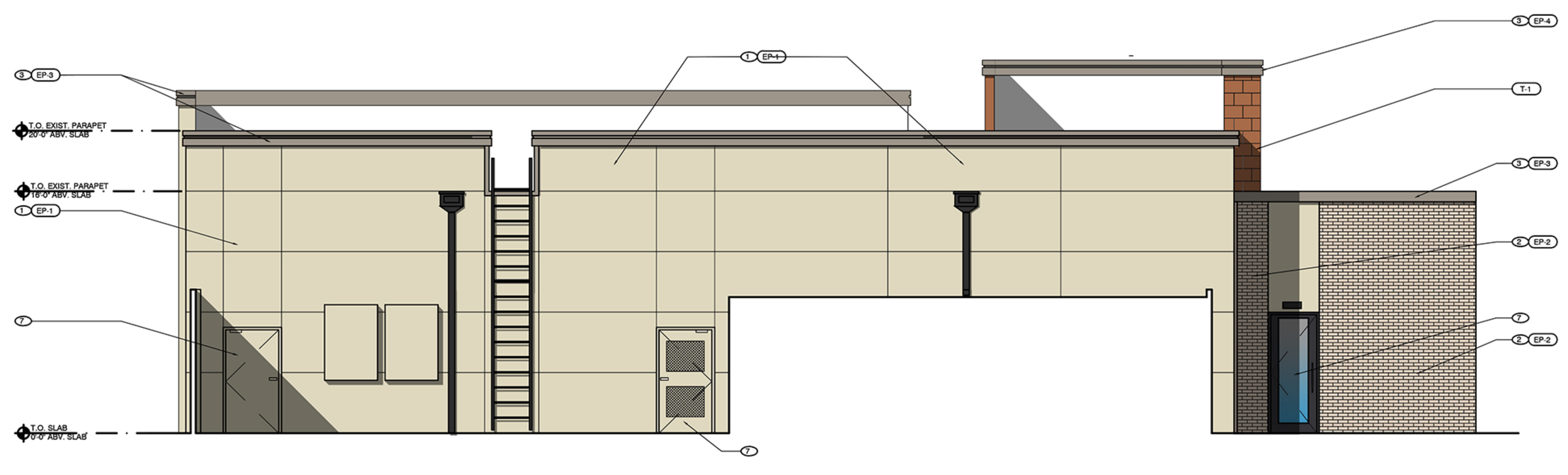
DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWING NUMBER:
A3.0

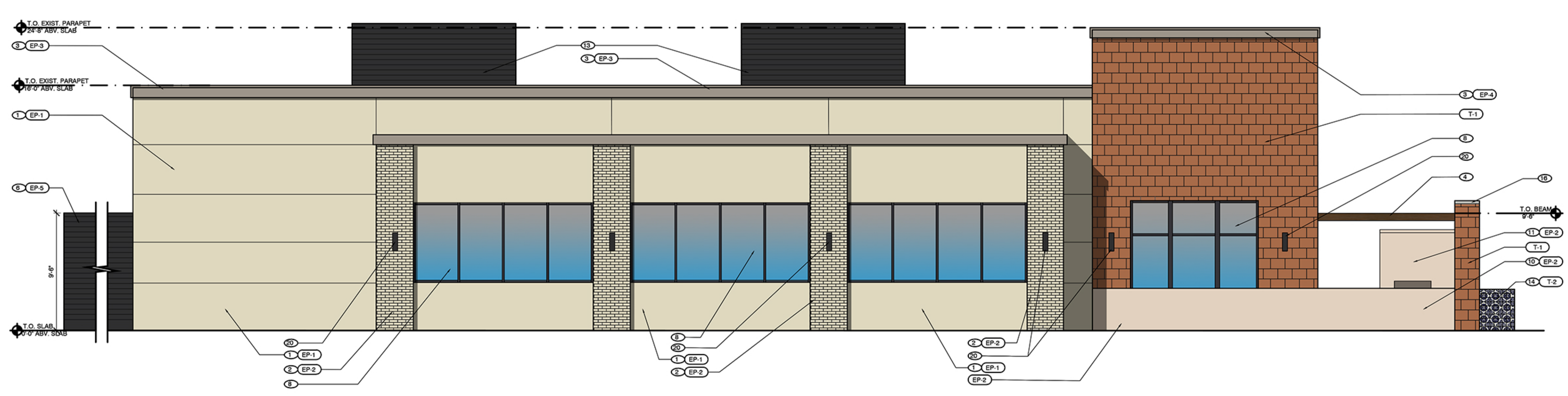
ISSUED FOR PERMIT 01/30/2025



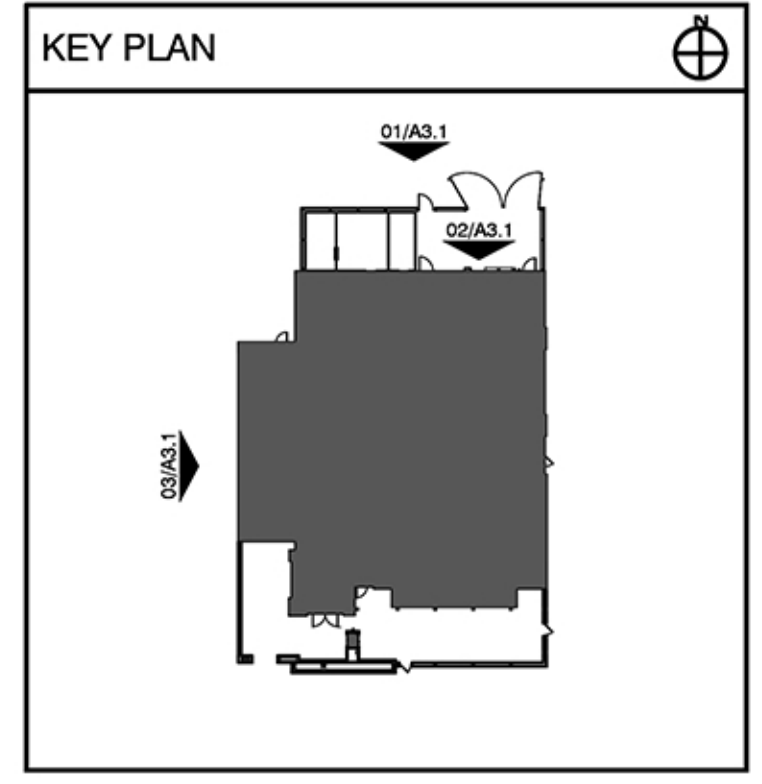
01 Exterior Elevation - North
SCALE: 3/16" = 1'-0"



02 Exterior Elevation - North
SCALE: 3/16" = 1'-0"



03 Exterior Elevation - West
SCALE: 3/16" = 1'-0"



KEYNOTES	DESCRIPTION
1	EXIST. E.I.F.S. FINISH
2	EXIST. BRICK FINISH
3	EXIST. MTL. COPING
4	EXIST. HEAVY TIMBER BEAM
5	EXIST. METAL TRASH ENCLOSURE GATE
6	EXIST. METAL TRASH ENCLOSURE
7	EXIST. DOOR
8	EXIST. WINDOW
9	EXIST. GARAGE DOOR
10	PATIO LOW WALL
11	FIREPLACE WALL
12	PATIO GATE
13	EXIST. MECHANICAL SCREENING
14	PLANTER LOW WALL
15	WALL CAP
16	MTL. COPING CAP
17	HEAVY TIMBER POST TO MATCH EXIST.
18	HEAVY TIMBER BEAM TO MATCH EXIST.
19	EXIST. HEAVY TIMBER POST
20	EXTERIOR LIGHT FIXTURE
21	AIR CURTAIN

EXTERIOR FINISHES	DESCRIPTION
PAINT	
EP-1	MANUFACTURER: JH PAINTS COLOR / FINISH: COLOR MATCH JH PAINTS 106, FLAT
EP-2	MANUFACTURER: SOURCED LOCALLY COLOR / FINISH: LIME WASH, FLAT
EP-3	MANUFACTURER: JH PAINTS COLOR / FINISH: COLOR MATCH JH PAINTS 109, FLAT
EP-4	MANUFACTURER: JH PAINTS COLOR / FINISH: COLOR MATCH JH PAINTS 109, FLAT
EP-5	MANUFACTURER: SHERWIN WILLIAMS COLOR: SHERWIN WILLIAMS PEPPER CORN SW 7674, MATTE
EXTERIOR TILE	
ET-1	MANUFACTURER: CLAY IMPORTS STYLE: KNOTCH COLOR: SATIN ANTIQUE SATIN VARIATION LEVEL 3 SIZE: 10" x 14" GROUT: GRAY / NON-PIGMENTED
ET-2	MANUFACTURER: LA FUENTE STYLE: TALAVERA - CRUZ ELEGANTE COLOR: BLUE AND WHITE GROUT: MAPEI BISCUIT #14 SIZE: 4 1/4" x 4 1/4"
BRICK	
BR-2	SUPPLIER: FRONT BURNER PRODUCT: USE LEFTOVER BRICK FROM MEXICAN SUGAR PLANO GROUT: GRAY / NON-PIGMENTED NOTES: PATIO LOW WALL FACING PARKING LOT
WOOD	
EW-1	MANUFACTURER: SOURCED LOCALLY STYLE: TO MATCH EXISTING COLOR: TO MATCH EXISTING MATERIAL AND STAIN. NOTES: PATIO COVER PERGOLA
WOOD VENEER	
SF-1	MANUFACTURER: SOURCED LOCALLY STYLE: BAMBOO - PALO DE ARCO COLOR: T.B.D. NOTES: INSTALLED OVER EXISTING PERGOLA
CAST STONE	
CS-1	MANUFACTURER: TBD PRODUCT: CAST STONE CAP, 12" W x 4" H COLOR: NATURAL LIMESTONE NOTES: PATIO LOW WALL CAP

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