



**REGULAR MEETING OF THE
PLANNING AND ZONING COMMISSION**

TUESDAY, OCTOBER 17, 2023

**ADDISON CONFERENCE CENTER
15650 ADDISON ROAD, ADDISON, TX 75001**

6:00 P.M. REGULAR MEETING

The Planning and Zoning Commission meeting and public hearing will be held at the Addison Conference Center, 15650 Addison Road, Addison, Texas 75001 on Tuesday, October 17, 2023 at 6:00 pm. For more information on the meeting location and ways to view and/or present comments, please contact Lesley Nyp prior to 3:00 pm on the day of the meeting at 972-450-2823 or by emailing zoninginput@addisontx.gov. Members of the public are entitled to participate remotely via Dial-in Number: 346.248.7799; Meeting ID: 319 628 1637; Participant ID: #. For more detailed instructions on how to participate in this meeting, visit our Agenda Page. The meeting will be live streamed on Addison's website at www.addisontexas.net.

Call Meeting to Order

Pledge of Allegiance

Consent Agenda: *All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.*

1. Consider Action on the Minutes from the September 19, 2023 Planning and Zoning Commission Meeting.

2. Present, discuss, and consider action on a Replat for Village on the Parkway, Lot 1R-2, for an office and retail development on 31.608± acres located at the southeast corner of Belt Line Road and Dallas Parkway, addressed as 5100 Belt Line Road. Case R2023-07/VOP Block 900.

Regular Agenda:

3. Hold a public hearing, present, discuss, and consider action on a request to amend Special Use Permit (SUP), Ordinance No. O13-051, for property located at 4875 Belt Line Road, that is currently zoned Commercial-2 (C-2), to allow modifications to the development plan. Case 1892-SUP/4875 Belt Line Road (Home2 Suites).
4. Hold a public hearing, present, discuss, and consider action on a request to amend Special Use Permit (SUP), Ordinance No. 098-022, for property located at 4960 Arapaho Road, that is currently zoned Planned Development (PD), Ordinance No 004-048, to allow modifications to the development plan. Case 1893-SUP/4960 Arapaho Road (Radisson Hotel).
5. Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 4006 Belt Line Road, Suite 100, that is currently zoned Planned Development (PD), through Ordinance No. 460, and amended by Ordinance No. 085-003, to allow an educational institution. 1897-SUP/4006 Belt Line Road, Suite 100 (Montessori Institute of North Texas).
6. Hold a public hearing, present, discuss, and consider action on a request to amend the development standards and approve a development plan for Phase II, for a 12.22± acre property located at 16675 Addison Road, currently zoned Planned Development (PD) Ordinance Nos. 023-32, to allow for the construction of an office/warehouse development with associated site improvements. Case 1900-Z/16675 Addison Road (Phase II).

Citizen Comments: *At this time citizens will be allowed to speak on any matter other than personnel matters under litigation, for a length of time not to exceed three minutes. No P&Z action or discussion may. No Council action or discussion may take place on any matter until such matter has been placed on an agenda and posted in accordance with law.*

Adjourn Meeting

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

THE TOWN OF ADDISON IS ACCESSIBLE TO PERSONS WITH DISABILITIES. PLEASE CALL (972) 450-7017 AT LEAST 48 HOURS IN ADVANCE IF YOU NEED ASSISTANCE.

POSTED BY: _____
Lesley Nyp, Planning & Development Manager

DATE POSTED: _____

TIME POSTED: _____

DATE REMOVED FROM BULLETIN BOARD: _____

REMOVED BY: _____

Planning & Zoning Commission

1.

Meeting Date: 10/17/2023

Agenda Caption:

Consider Action on the Minutes from the September 19, 2023 Planning and Zoning Commission Meeting.

Staff Report:

The minutes from the September 19, 2023 Planning and Zoning Commission Meeting have been prepared for consideration.

Recommendation:

Administration recommends approval.

Attachments

Minutes of the September 19, 2023 Planning & Zoning Commission Meeting

DRAFT

OFFICIAL ACTIONS OF THE ADDISON PLANNING AND ZONING COMMISSION

September 19, 2023
6:00 P.M. - Addison Conference Center
15650 Addison Road, Addison, TX 75001

Present: Chair Chris DeFrancisco; Vice Chair Denise Fansler; Commissioner Jimmy Barker;
Commissioner Robert Catalani; Commissioner Diane Chavez; Commissioner Zachary
Faircloth

Absent: Commissioner John Meleky

Call Meeting to Order

Chair DeFrancisco called the meeting to order.

Pledge of Allegiance

Chair DeFrancisco led the Pledge of Allegiance.

Consent Agenda: All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.

1. Consider Action on the Minutes from the August 15, 2023 Planning and Zoning Commission Meeting.

Motion: Recommend approval of the Consent Agenda, as presented.

Moved by Vice Chair Denise Fansler, Seconded by Commissioner
Robert Catalani

AYE: Chair Chris DeFrancisco, Vice Chair Denise Fansler,
Commissioner Jimmy Barker, Commissioner Robert Catalani,
Commissioner Diane Chavez, Commissioner Zachary Faircloth

Passed

Regular Agenda:

2. Present, discuss, and consider action on a Replat for Village on the Parkway, Lot 1R-2, for an office and retail development on 31.608± acres located at the southeast corner of Belt Line Road and Dallas Parkway, addressed as 5100 Belt Line Road. Case R2023-07/VOP Block 900.

Lesley Nyp, Planning and Development Manager, stated that the applicant has requested consideration and action on Case R2023-07/VOP Block 900 be granted a 30-day extension.

Motion: Recommend approval of a 30-day extension for Case R2023-07/VOP Block 900.

Moved by Commissioner Robert Catalani, Seconded by Vice Chair Denise Fansler

AYE: Chair Chris DeFrancisco, Vice Chair Denise Fansler,
Commissioner Jimmy Barker, Commissioner Robert Catalani,
Commissioner Diane Chavez, Commissioner Zachary Faircloth

Passed

3. Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 4980 Belt Line Road, Suite 200, that is currently zoned Planned Development (PD), through Ordinance No. 001-002, to allow a restaurant with the sale of alcoholic beverages for on-premises consumption. Case 1888-SUP/4980 Belt Line Road, Suite 200 (The Alley).

Lesley Nyp, Planning and Development Manager, presented the request to consider a Special Use Permit (SUP) for a property located at 4980 Belt Line Road, Suite 200, to allow a restaurant with the sale of alcoholic beverages for on-premises consumption.

The Alley is a full-service restaurant and sports bar that offers a

variety of upscale food offerings. Addison will be the first location for this concept; however, the applicant has experience in the restaurant industry, including operating a Wing Zone restaurant in Athens, Georgia. The applicant proposed initial operating hours of 4:00 PM – 2:00 AM, seven days a week, and eventually expanding to offer lunch with hours of 11:00 AM – 2:00 AM.

The restaurant proposes to include interior seating and will periodically feature entertainment opportunities, which may include trivia, karaoke, live music, board game nights, and beer/wine tasting events. The Alley would also offer alcohol sales for on-premises consumption. According to the applicant, BYOB will not be allowed. The applicant has made application for a TABC permit.

Staff recommends approval of these requests, subject to the following condition:

- The applicant shall not use any terms or graphic depictions that relate to alcoholic beverages in any exterior signage.

Public Hearing: The following individuals provided input during the public hearing.

Applicant:

- Sean Cooper, 7315 Venice Drive, Grand Prairie, TX 75054
- Frank Hallum, 1203 Niblick Circle, Dallas, TX 75232

Motion: Recommend approval of SUP, Case 1888-SUP/4980 Belt Line Road, Suite 200 (The Alley), as presented.

Moved by Commissioner Diane Chavez, Seconded by Commissioner Zachary Faircloth

AYE: Chair Chris DeFrancisco, Vice Chair Denise Fansler,
Commissioner Jimmy Barker, Commissioner Robert Catalani,
Commissioner Diane Chavez, Commissioner Zachary Faircloth

Passed

4. Hold a public hearing, present, discuss, and consider action on a request to rezone a 1.77± acre property located at 3790 Belt Line Road, from Planned Development (PD) to a new Planned Development (PD) zoning district with a Special Use Permit (SUP), to allow for the construction of a proposed restaurant with dine-in and drive-through facilities, through the approval of development plans.

Case 1891-Z/3790 Belt Line Road (Chick-Fil-A).

Lesley Nyp, Planning and Development Manager, presented the request to rezone a 1.77 acre property located at 3790 Belt Line Road from Planned Development (PD) to a new Planned Development (PD) zoning district, with a Special Use Permit (SUP) for a restaurant with dine-in and drive-through facilities, through the approval of a development plan.

Chick-Fil-A is a fast-food restaurant that was founded in 1967. Chick-Fil-A has had a location in Addison since 1994 at 3781 Belt Line Road, which is across the street from the subject property. The restaurant has expressed interest in expanding their restaurant and drive-through facilities, however, limitations at their existing site made that unfeasible. This request will allow a significant increase in drive-through stacking, covered ordering and pick-up areas, and an outdoor patio space. The applicant proposes to cease operations at the existing location (3781 Belt Line Road) with approval and development of this request.

Staff recommends approval of these requests.

Public Hearing: The following individuals provided input during the public hearing.

Applicant:

- Priya Acharya, 2201 E. Lamar Blvd., Suite 200E, Arlington, TX 76006

Motion: Recommend approval of Case 1891-Z/3790 Belt Line Road (Chick-Fil-A), as presented.

Moved by Vice Chair Denise Fansler, Seconded by Commissioner Diane Chavez

AYE: Chair Chris DeFrancisco, Vice Chair Denise Fansler, Commissioner Jimmy Barker, Commissioner Robert Catalani, Commissioner Diane Chavez, Commissioner Zachary Faircloth

Passed

5. Discuss and Consider Action on the appointment of a Planning and Zoning Commission representative to the Comprehensive Plan Advisory Committee (CPAC).

Jade Broadnax, Comprehensive Planning Manager, presented the background and responsibilities of the Comprehensive Plan Advisory Committee (CPAC).

Chair DeFrancisco appointed Vice Chair Denise Fansler to the Comprehensive Plan Advisory Committee.

Citizen Comments: *At this time citizens will be allowed to speak on any matter other than personnel matters under litigation, for a length of time not to exceed three minutes. No P&Z action or discussion may. No Council action or discussion may take place on any matter until such matter has been placed on an agenda and posted in accordance with law.*

Public Comment: No citizens requested to address the Commission.

Adjourn Meeting

There being no further business before the Commission, the meeting was adjourned.

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

Agenda Caption:

Present, discuss, and consider action on a Replat for Village on the Parkway, Lot 1R-2, for an office and retail development on 31.608± acres located at the southeast corner of Belt Line Road and Dallas Parkway, addressed as 5100 Belt Line Road. Case R2023-07/VOP Block 900.

Staff Report:

The request has been reviewed by Town staff, and it has been determined that the replat complies with the Town's subdivision regulations and development standards.

Recommendation:

Administration recommend approval.

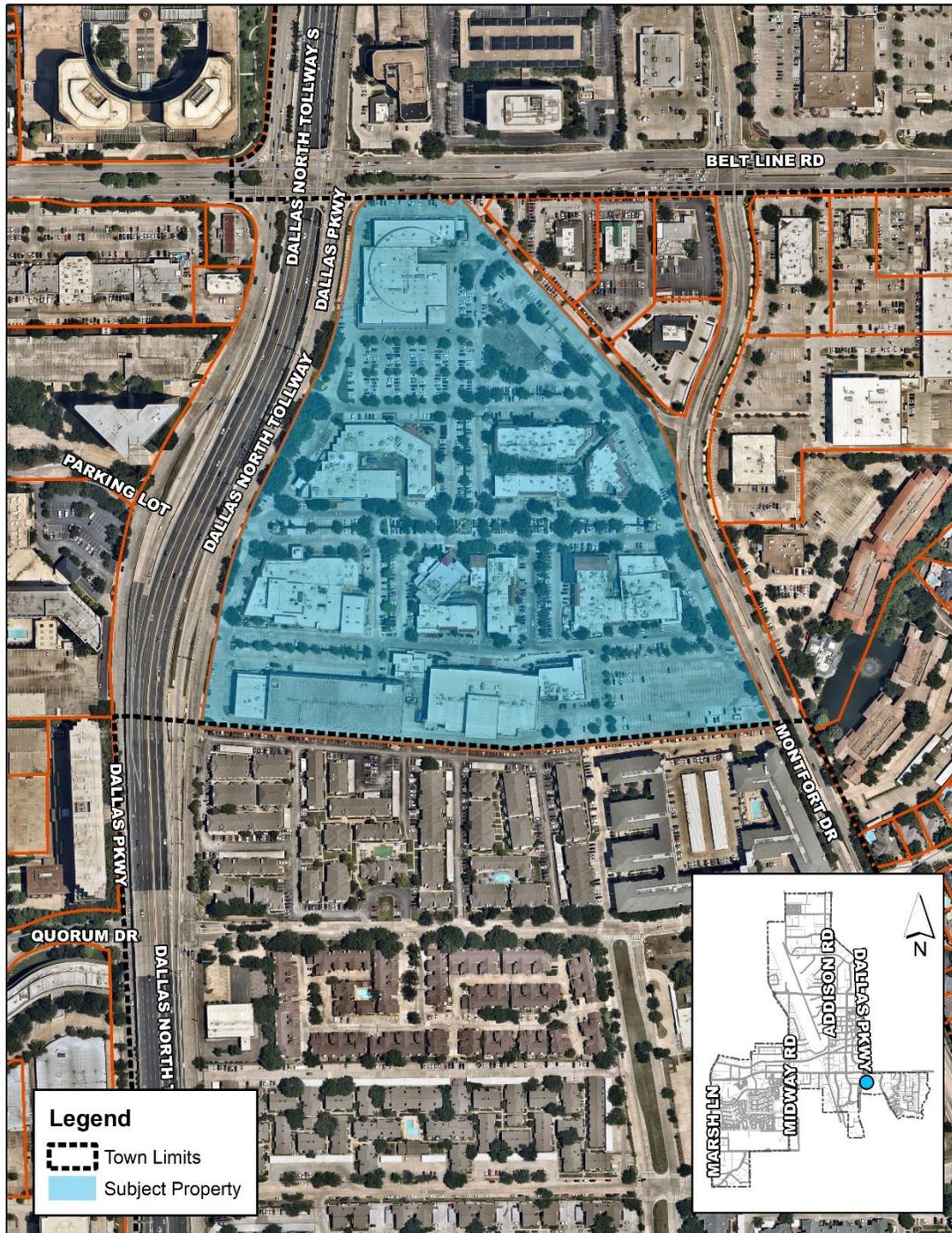
Attachments

R2023-07 Staff Report
R2023-07 Replat

R2023-07

Case R2023-07/VOP Block 900 (5100 Belt Line Road). Present, discuss, and consider action on a replat for Village on the Parkway, Lot 1R-2, for an office and retail development on 31.608± acres located at the southeast corner of Belt Line Road and Dallas Parkway, addressed as 5100 Belt Line Road.

LOCATION MAP





October 17, 2023

STAFF REPORT

RE: Replat for Village on the Parkway

LOCATION: 31.608 acres located at the southeast corner of Belt Line Road and Dallas Parkway

REQUEST: Approval of a Replat (Application Date: 08/21/2023)

APPLICANT: Caitlin Bobb, Kimley-Horn on behalf of VOP Partners LLC

DISCUSSION:

Background. The subject property is generally located at the southeast corner of Belt Line Road and Dallas Parkway, addressed as 5100 Belt Line Road. At the January 10, 2023 meeting, City Council approved Planned Development, [Ordinance No O23-03](#), to allow the construction of a three-story office/retail building and associated site improvements. The office/retail building will be located within Block 900 of the Village on the Parkway retail center.

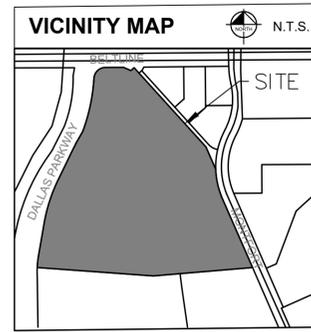
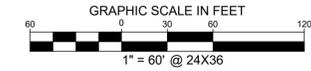
The purpose of this replat application is to abandon existing fire lane and utility easements and dedicate a new, relocated fire lane and utility easement to accommodate the construction of the office/retail building. This request was necessary due to the proposed reconfiguration of the existing parking lot and access drives.

This replat does not create any new lots or modify any existing lot lines.

Engineering Review: The replat has been reviewed by Town staff and it complies with the Town's subdivision regulations and development standards.

RECOMMENDATION:

Staff recommends approval of the replat.



- NOTES:**
- BEARING SYSTEM BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983.
 - NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
 - DEVELOPMENT STANDARDS OF THIS PLAT SHALL COMPLY WITH APPENDIX A OF THE ADDISON CODE OF ORDINANCES.
 - NO FLOODPLAIN EXISTS ON THE SITE.
 - PLACEMENT OF STREET TREES SHALL NOT INTERFERE WITH THE PLACEMENT OF TRAFFIC CONTROL DEVICES OR VISIBILITY AT INTERSECTION. EXISTING AND FUTURE TRAFFIC CONTROL DEVICES MAY REQUIRE THE REMOVAL OR PRECLUDE THE PLANTING OF STREET TREES.

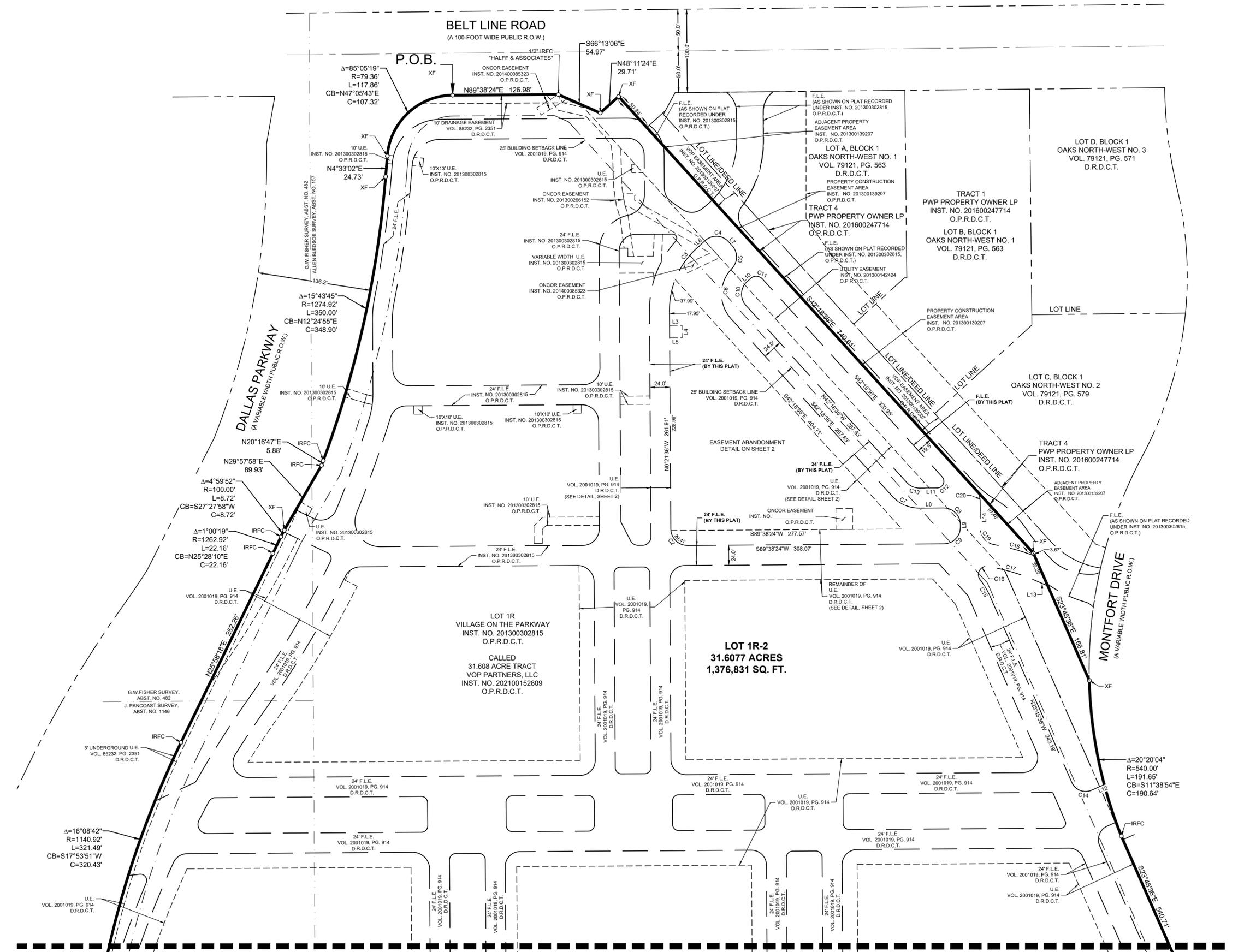
LINE TABLE			CURVE TABLE					
NO.	BEARING	LENGTH	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
L3	N89°38'24"E	15.00'	C2	90°00'00"	20.00'	31.42'	N45°21'36"W	28.28'
L4	S00°21'36"E	15.00'	C3	48°03'16"	100.00'	83.87'	N23°39'46"E	81.43'
L5	S89°38'24"W	15.00'	C4	90°00'00"	20.00'	31.42'	S87°18'36"E	28.28'
L6	N47°41'24"E	13.71'	C5	86°46'20"	20.00'	30.29'	S00°43'11"W	27.48'
L7	S42°18'36"E	6.35'	C6	86°25'00"	44.00'	66.36'	S00°53'54"W	60.25'
L8	N89°38'24"E	29.08'	C7	48°03'00"	44.00'	36.90'	S66°20'06"E	35.83'
L9	S00°21'36"E	3.02'	C8	90°00'00"	20.00'	31.42'	S45°21'36"E	28.28'
L10	N47°41'24"E	6.00'	C9	90°00'00"	20.00'	31.42'	S44°38'24"W	28.28'
L11	S89°38'24"W	21.54'	C10	90°00'00"	20.00'	31.42'	N02°41'24"E	28.28'
L12	S66°14'23"W	16.62'	C11	90°00'00"	10.00'	15.71'	S87°18'36"E	14.14'
L13	S66°35'53"E	16.17'	C12	131°57'00"	8.00'	18.42'	S23°39'54"W	14.61'
L14	S00°21'36"E	30.35'	C13	48°03'00"	20.00'	16.77'	N66°20'06"W	16.29'
C14	90°00'00"	18.00'	28.27'	N68°45'36"W	25.46'			
C15	14°00'28"	98.50'	24.08'	N30°45'50"W	24.02'			
C16	137°25'53"	10.00'	23.99'	N31°03'38"E	18.64'			
C17	13°37'32"	250.00'	59.45'	S73°24'39"E	59.31'			
C18	10°28'45"	277.00'	50.66'	S74°27'10"E	50.59'			
C19	79°19'57"	20.00'	27.69'	S40°01'34"E	25.53'			
C20	15°48'39"	44.00'	12.14'	S08°15'56"E	12.10'			

CASE NO. R2023-07
REPLAT
LOT 1R-2
VILLAGE ON THE PARKWAY
 BEING ALL OF LOT 1R
VILLAGE ON THE PARKWAY
 G.W. FISHER SURVEY, ABSTRACT NO. 482
 J. PANCOAST SURVEY, ABSTRACT NO. 1146 &
 ALLEN BLEDSOE SURVEY, ABSTRACT NO. 157
 TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	PCB	JAD	Oct. 2023	064612500	1 OF 3



MATCHLINE (SEE SHEET 2)

OWNER/APPLICANT:
 VOP PARTNERS, LLC
 5100 BELT LINE RD, SUITE 704
 ADDISON, TX 75254
 CONTACT: JASON JONES
 PHONE: 214-303-1500
 EMAIL: JASON.JONES@ACTIVECYBER.COM

SURVEYOR:
 KIMLEY-HORN AND ASSOCIATES, INC.
 13455 NOEL ROAD
 TWO GALLERIA OFFICE TOWER,
 SUITE 700
 DALLAS, TEXAS 75240
 CONTACT: J. ANDY DOBBS
 PHONE: 972-770-1300

ENGINEER:
 KIMLEY-HORN AND ASSOCIATES, INC.
 13455 NOEL ROAD
 TWO GALLERIA OFFICE TOWER,
 SUITE 700
 DALLAS, TEXAS 75240
 CONTACT: CAITLIN BOBB, P.E.
 PHONE: 972-770-1300

DRAWN: K. COAL SURVEY: 10/11/2023 VOP VILLAGE ON THE PARKWAY BLOCK 200 DWS: 10/11/2023 4:00 PALAST: 10/11/2023 3:58 PM

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS VOP PARTNERS, LLC is the owner of a tract of land situated in the G.W. Fisher Survey, Abstract No. 482, J. Pancoast Survey, Abstract No. 1146 and the Allen Bledsoe Survey, Abstract No. 157, Town of Addison, Dallas County, Texas, and being all of Lot 1R, Village on the Parkway, an addition to the Town of Addison, Texas according to the plat recorded in Instrument No. 201300302815, Official Public Records of Dallas County, Texas, being all of a called 31.608 acre tract of land described in Special Warranty Deed to VOP Partners, LLC, recorded in Instrument No. 202100152809, of said Official Public Records and being more particularly described as follows:

BEGINNING at an "X" cut in concrete found for the northernmost northwest corner of said Lot 1R and being in the south right-of-way line of Belt Line Road (a 100-foot wide public right-of-way);

THENCE with said south right-of-way line of Belt Line Road, the following courses and distances:

North 89°38'24" East, a distance of 126.98 feet to a 1/2-inch iron rod with plastic cap stamped "HALFF & ASSOCIATES" found for corner;
South 66°13'06" East, a distance of 54.97 feet to a "X" cut in concrete found for corner;
North 48°11'24" East, a distance of 29.71 feet to a "X" cut in concrete found for the northernmost east corner of said Lot 1R;

THENCE with the northeast line of said Lot 1R, the following courses and distances:

South 42°18'36" East, a distance of 740.61 feet to a "X" cut in concrete found for corner;
South 23°45'36" East, a distance of 166.81 feet to a "X" cut in concrete found for corner in the west right-of-way line of Montfort Drive (a variable width public right-of-way) and being at the beginning of a non-tangent curve to the left with a radius of 540.00 feet, a central angle of 20°20'04", and a chord bearing and distance of South 11°38'54" East, 190.64 feet;

THENCE with said west right-of-way line of Montfort Drive, the following courses and distances:

In a southerly direction, with said non-tangent curve to the left, an arc distance of 191.65 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found for corner;
South 23°45'36" East, a distance of 540.71 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found the southeast corner of said Lot 1R;

THENCE with the south line of said Lot 1R, the following courses and distances:

South 85°09'49" West, a distance of 691.03 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found for corner;
North 85°51'42" West, a distance of 807.47 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found for the southwest corner of said Lot 1R and being in the east right-of-way line of Dallas Parkway (a variable width right-of-way) and being at the beginning of a non-tangent curve to the right with a radius of 668.20 feet, a central angle of 06°56'16", and a chord bearing and distance of North 06°21'30" East, 80.86 feet;

THENCE with said east right-of-way line of Dallas Parkway, the following courses and distances:

In a northerly direction, with said non-tangent curve to the right, an arc distance of 80.91 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found for corner;
North 09°49'38" East, a distance of 225.13 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found for corner at the beginning of a non-tangent curve to the right with a radius of 1,140.92 feet, a central angle of 16°08'42", and a chord bearing and distance of North 17°53'51" East, 320.43 feet;
In a northeasterly direction, with said non-tangent curve to the right, an arc distance of 321.49 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found for corner;
North 25°58'18" East, a distance of 252.26 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found for corner at the beginning of a tangent curve to the left with a radius of 1,262.92 feet, a central angle of 01°00'19", and a chord bearing and distance of North 25°28'10" East, 22.16 feet;
In a northeasterly direction, with said tangent curve to the left, an arc distance of 22.16 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found for corner at the beginning of a reverse curve to the right with a radius of 100.00 feet, a central angle of 04°59'52", and a chord bearing and distance of North 27°27'58" East, 8.72 feet;
In a northeasterly direction, with said reverse curve to the right, an arc distance of 8.72 feet to an "X" cut in concrete found for corner;
North 29°57'58" East, a distance of 89.93 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" found for corner;
North 20°16'47" East, a distance of 5.88 feet to a point for corner at the beginning of a tangent curve to the left with a radius of 1,274.92 feet, a central angle of 15°43'45", and a chord bearing and distance of North 12°24'55" East, 348.90 feet;
In a northerly direction, with said tangent curve to the left, an arc distance of 350.00 feet to an "X" cut in concrete found for corner;
North 04°33'02" East, a distance of 24.73 feet to an "X" cut in concrete found for corner at the beginning of a tangent curve to the right with a radius of 79.36 feet, a central angle of 85°05'19", and a chord bearing and distance of North 47°05'43" East, 107.32 feet;
In a northeasterly direction, with said tangent curve to the right, an arc distance of 117.86 feet to the **POINT OF BEGINNING** and containing 1,376,831 square feet or 31.6077 acres of land.

Bearing system based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983. (2011)

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, **VOP PARTNERS, LLC**, acting by and through their duly authorized agent, do hereby adopt this plat, designating the herein described property as **LOTS 1R-2, VILLAGE ON THE PARKWAY**, an addition to the Town of Addison, Dallas County, Texas, and do hereby dedicate, in fee simple, to the public use forever any streets, alleys, and floodway management areas shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Addison.

WITNESS, my hand at Addison, Texas, this the ___ day of _____, 2023.

VOP PARTNERS, LLC
a Texas limited partnership

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ___ day of _____, 2023.

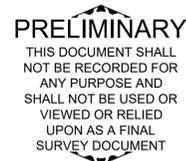
Notary Public in and for the State of Texas

SURVEYOR'S STATEMENT:

I, J. Andy Dobbs, a Registered Professional Land Surveyor in the State of Texas, do hereby declare that I have prepared this plat from an actual on the ground survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with Subdivision Regulations of the Town of Addison, Texas.

Dated this the _____ day of _____, 2023.

J. Andy Dobbs RPLS No. 6196
KIMLEY-HORN AND ASSOC., INC.
13455 Noel Road, Two Galleria Office Tower, Suite 700
Dallas, Texas 75240
972-770-1300
andy.dobbs@kimley-horn.com



STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared J. Andy Dobbs known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2023.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

Approved and accepted by the Planning and Zoning Commission of the Town of Addison dated this _____ day of _____, 2023.

Planning and Zoning Commission Chair

City Secretary, Town of Addison

CASE NO. R2023-07
REPLAT
LOT 1R-2
VILLAGE ON THE PARKWAY
BEING ALL OF LOT 1R
VILLAGE ON THE PARKWAY
G.W. FISHER SURVEY, ABSTRACT NO. 482
J. PANCOAST SURVEY, ABSTRACT NO. 1146 &
ALLEN BLEDSOE SURVEY, ABSTRACT NO. 157
TOWN OF ADDISON, DALLAS COUNTY, TEXAS



13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240		FIRM # 10115500		Tel. No. (972) 770-1300 Fax No. (972) 239-3820	
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	PCB	JAD	Oct. 2023	064612500	3 OF 3

OWNER/APPLICANT:
VOP PARTNERS, LLC
5100 BELT LINE RD, SUITE 704
ADDISON, TX 75254
CONTACT: JASON JONES
PHONE: 214-303-1500
EMAIL:
JASON.JONES@ACTIVECYBER.COM

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER,
SUITE 700
DALLAS, TEXAS 75240
CONTACT: J. ANDY DOBBS
PHONE: 972-770-1300

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER,
SUITE 700
DALLAS, TEXAS 75240
CONTACT: CAITLIN BOBB, P.E.
PHONE: 972-770-1300

DWG NAME: K:\DIAL_SURVEY\64642500-VOP-VILLAGE ON THE PARKWAY BLOCK 000.DWG\06462500-VOP-VILLAGE ON THE PARKWAY BLOCK 000.DWG\06462500-VOP-VILLAGE ON THE PARKWAY BLOCK 000.DWG PLOTTED BY: BOOTH, PENNY 10/11/2023 4:00 PALMIST SAVED 10/11/2023 3:58 PM

Planning & Zoning Commission

3.

Meeting Date: 10/17/2023

Agenda Caption:

Hold a public hearing, present, discuss, and consider action on a request to amend Special Use Permit (SUP), Ordinance No. O13-051, for property located at 4875 Belt Line Road, that is currently zoned Commercial-2 (C-2), to allow modifications to the development plan. Case 1892-SUP/4875 Belt Line Road (Home2 Suites).

Recommendation:

Administration recommends approval.

Attachments

1892-SUP Staff Report

1892-SUP Letter of Intent

1892-SUP Plans

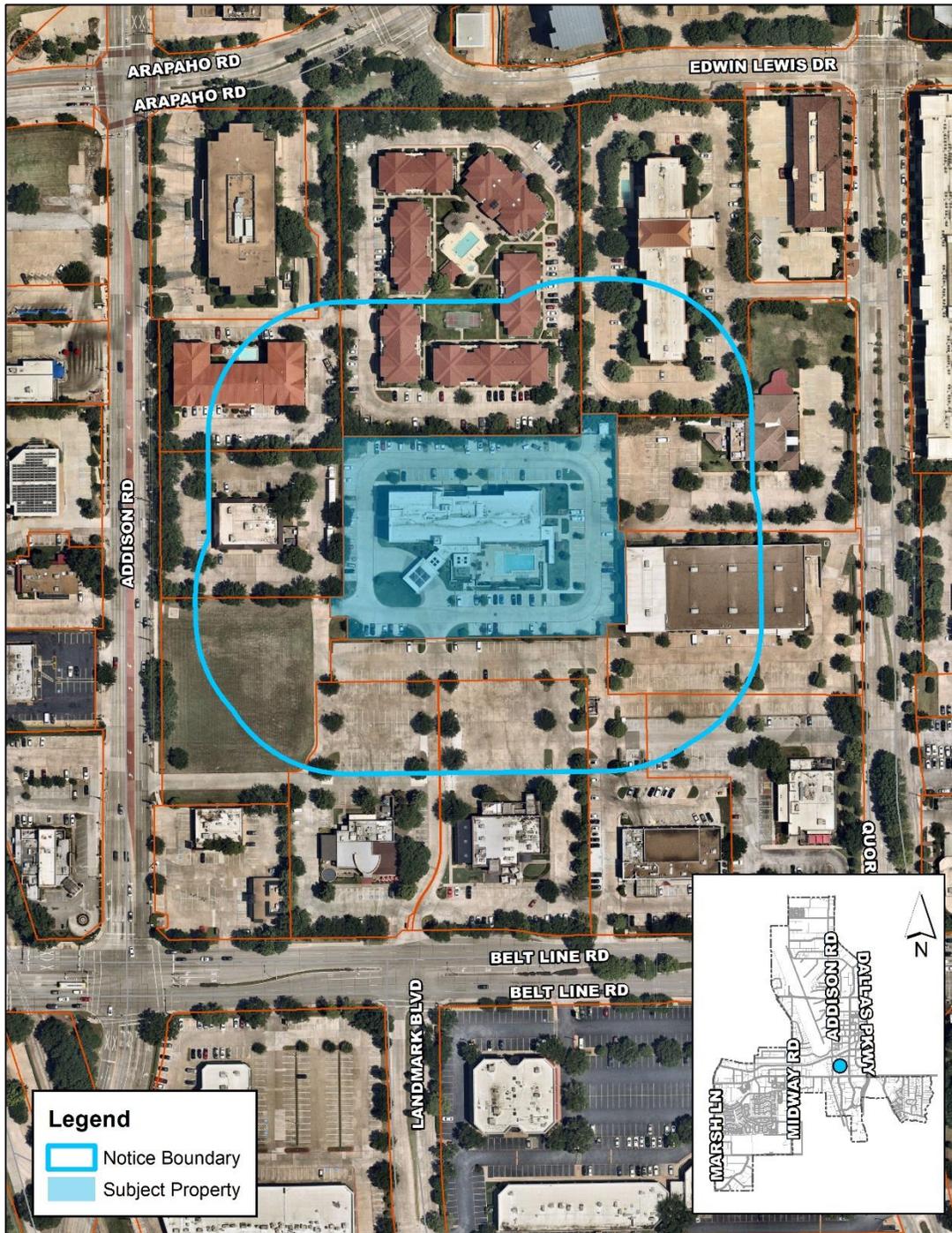
Ordinance No. O13-051

Ordinance No. O16-38

1892-SUP

PUBLIC HEARING Case 1892-SUP/4875 Belt Line Road (Home2 Suites). Hold a public hearing, present, discuss, and consider action on a request to amend Special Use Permit (SUP), Ordinance No. O13-051, for property located at 4875 Belt Line Road, that is currently zoned Commercial-2 (C-2), to allow modifications to the development plan.

LOCATION MAP





October 17, 2023

STAFF REPORT

RE: 1892-SUP/4875 Belt Line Road (Home2 Suites)
LOCATION: 4875 Belt Line Road
REQUEST: Approval of a request to amend Special Use Permit, Ordinance No. O13-051, to modify the development plan. (Application Date: 08/17/2023)
APPLICANT: Tommy Davis, Koper Enterprises Inc.

DISCUSSION:

Background: The subject property is located at 4875 Belt Line Road. The existing hotel, Home2 Suites, has been operating since 2017. The subject property is zoned Commercial-2 (C-2), with Special Use Permit (SUP), Ordinance No. O13-051, to allow a hotel. An additional SUP, Ordinance No. O16-038, was later granted to allow the sale of alcohol for off-premises consumption.

Home2 Suites is an existing hotel with 132 guest rooms. The hotel offers various guest amenities including a fitness center, business center, and outdoor pool. There is no restaurant or bar on site. The hotel requested an amendment to the existing SUP, Ordinance No. O13-051, to update the development plan to allow the construction of three shade structures on the outdoor patio. The shade structures will be located immediately surrounding the existing outdoor pool. The structures will be constructed of steel with a polyethylene cover. The hotel has expressed an interest in providing additional shade on the patio to make the outdoor space more enjoyable for guests.

Proposed Plan: With this request, Home2 Suites would construct three steel shade structures within the existing patio area, immediately surrounding the pool. The applicant proposes two 108 square foot (9' by 12') structures and one 192 square foot (8' by 24') structure. Both structures will be a maximum of 10 feet tall.

Parking: No modifications are proposed to the existing parking approved by Ordinance No. O13-051.

Exterior Facades: No modifications are proposed to the primary facade approved by Ordinance No. O13-051.

Landscaping and Open Space: No modifications are proposed to the existing landscaping and open space approved by O13-051.

RECOMMENDATION: APPROVAL

The addition of three shade structures on the patio will enhance an existing amenity for hotel guests. This improvement will not affect the existing site conditions including parking, landscaping, or open space. The request is unlikely to have a detrimental impact on the exterior appearance of the site.

Staff recommends approval of the request.

Special Use Permit Amendment Request

Home2 Suites by Hilton

4875 Beltline Road

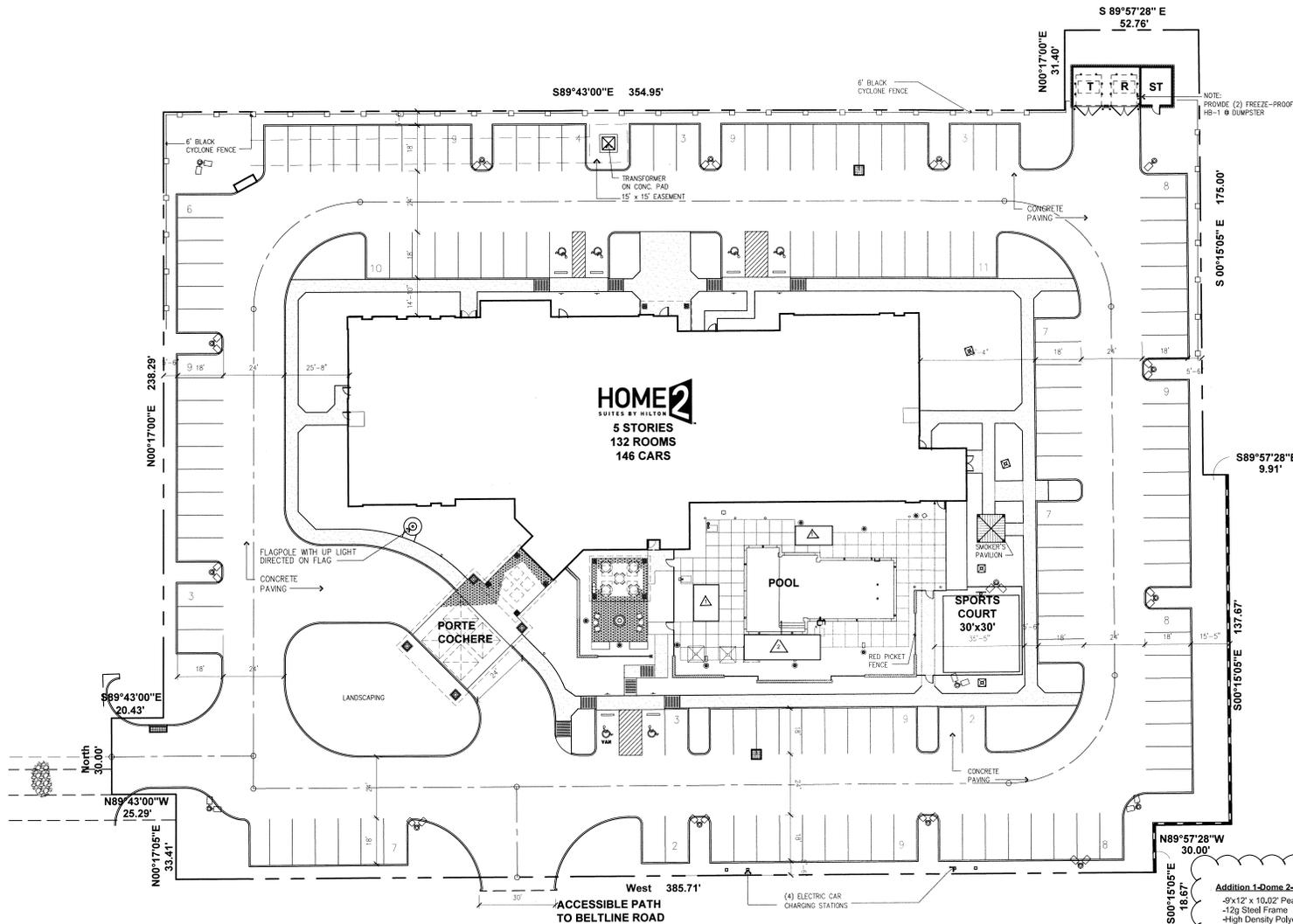
Addison, TX 75254

Application for an Amendment to the Special Use Permit for the Home2 Suites by Hilton Hotel located at Northeast Corner of Belt Line Road and Addison Road. A portion of Lot 3, Block A, Beltway-Quorum Addition, an addition to the Town of Addison as recorded in Volume 2005102, Page 184 Plat Records, Dallas County, Texas and a portion of Lot 2, Block A, Beltway-Quorum Addition, an addition to the Town of Addison as recorded in Volume 2004024, Page 9 Plat Records, Dallas County, Texas and a portion of a tract of land described in deed to Addison Quorum Partners, Ltd. as recorded in Instrument No. 200600031761 Official Public Records, Dallas County, Texas.

Home2 Suites proposes the addition of Three cantilever Shade Structures to the pool area using prefabricated steel framework with a High Density Polyethylene Cover. Drawings and engineering are included in the submittal. There are no proposed modifications to the existing structure, landscaping or open space with this request.

Tommy Davis

Director of Operations



1 AREA DEVELOPMENT PLAN (SITE PLAN)
SCALE: 1" = 20'

- Addition 1-Dome 2-Column Hanging Cantilever Hip Shade
 -5'x12' x 10.02' Peak Height, 8' Entry Height
 -12g Steel Frame
 -High Density Polyethylene Cover
- Addition 1-Dome 2-Column Hanging Cantilever Hip Shade
 -5' x 24' x 10.02' Peak Height, 8' Entry Height
 -12g Steel Frame
 -High Density Polyethylene Cover

BOUNDS + GILLESPIE ARCHITECTS, PLLC
7975 Dwyer Ave. Suite 100, Dallas, TX 75241
P: (972) 371-4400 F: (972) 371-4406
http://www.boundsgillespie.com

BOHANNON & CALDWELL ARCHITECTS, P.L.L.C.
11111 West Loop West, Suite 1000, Dallas, TX 75241
P: (972) 371-4400 F: (972) 371-4406
http://www.bohannoncaldwell.com

Consultant:



Mark	Date	Revision
1	8-10-23	Added (1) 24' Cantilever Shade Structure to Pool
2	8-10-23	Added (2) 12' Cantilever Shade Structure to Pool

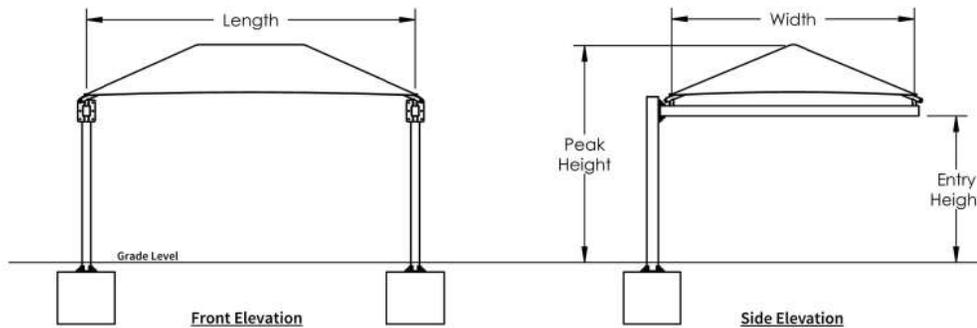
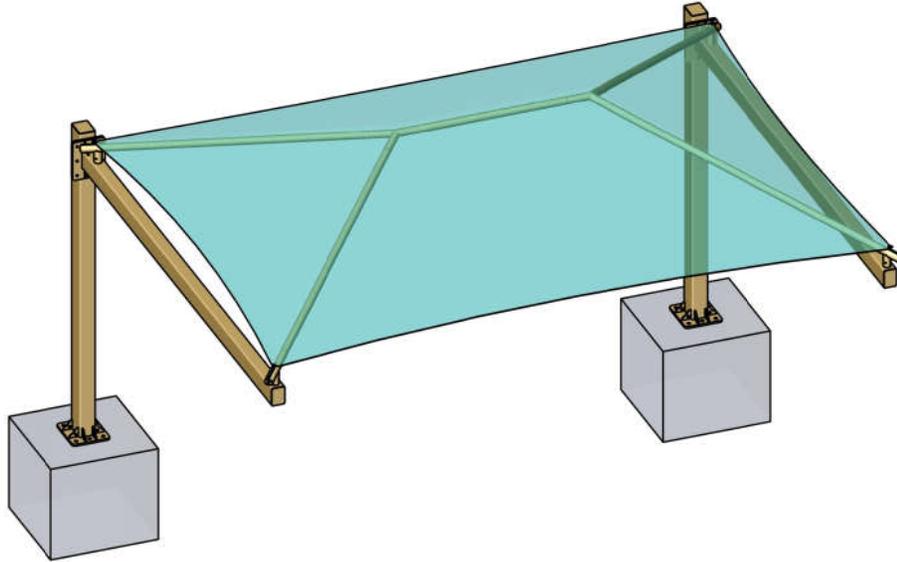
HOME2 SUITES BY HILTON
ADDITION, TEXAS
Case No. 18992-SUP

Project No: 061429
Date: 08-11-14
Sheet: A-101

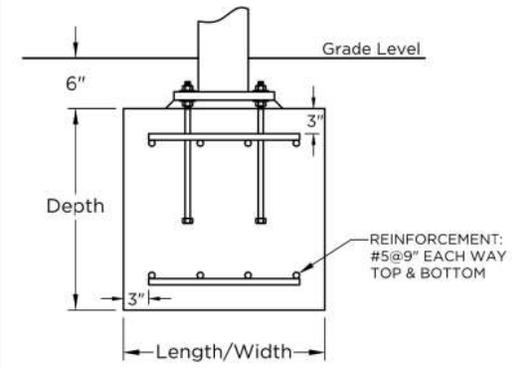
SITE PLAN

Hanging Cantilever Hip Shade

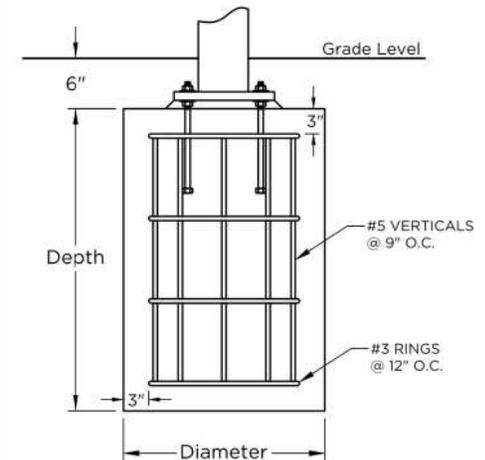
Length	12'	Width	9'	Entry Height	8'
Peak Height	9.82'	Elbow	Glide	Column Mount	Base Plate
Column Size	5"x5"x3/16"	Rafter Size	Ø2.5" 12-Ga	Ridge Size	Ø2.5" 12-Ga
Column Length	9.5'	Rafter Length	6.4'	Ridge Length	3.66'
Dome Qty.	1	Column Qty.	2	Beam Size	4"x4"x1/8"



Square Footing		
Column	Length & Width	Depth
Single Cap	2.12	3
Double Cap	N/A	3



Auger Footing		
Diameter	Single Cap Depth	Double Cap Depth
1'-6"		
2'-0"	3.44	N/A
2'-6"	Out of range	N/A
3'-0"	Out of range	N/A



SuperiorShade

QUOTE

SHADE SIZE

12' X 9'

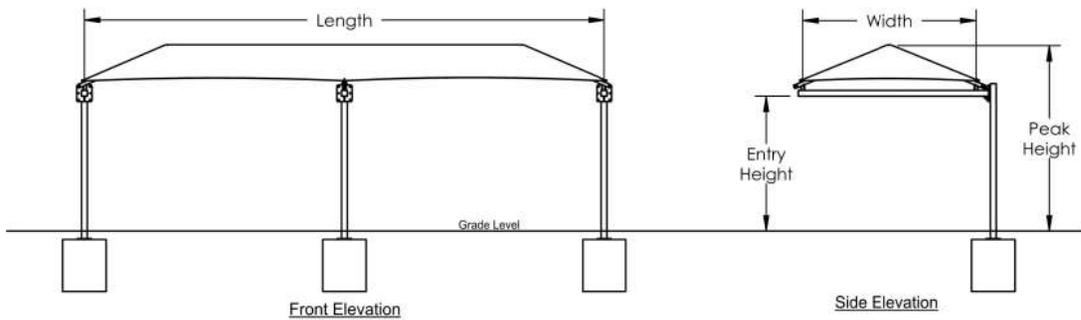
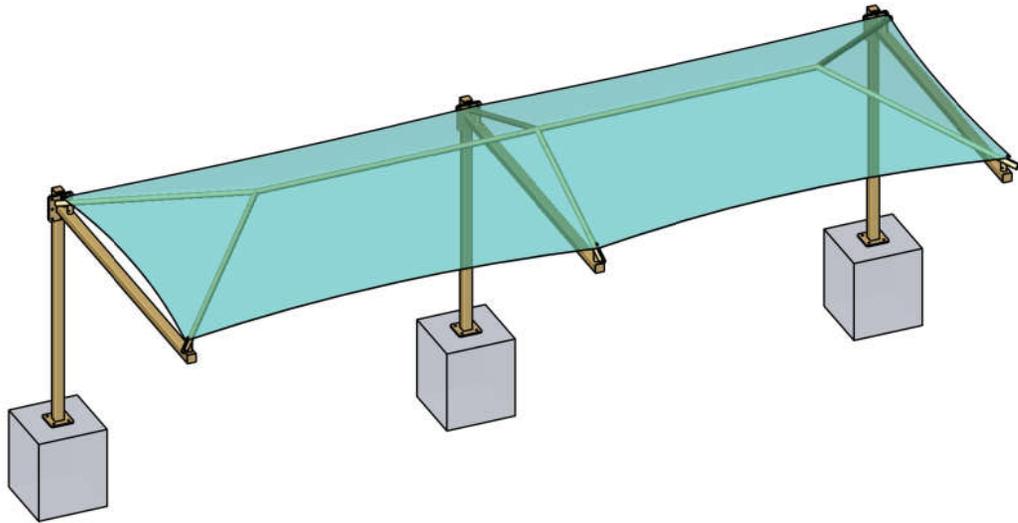
SHADE STYLE

**Hanging Cantilever
Hip Shade**

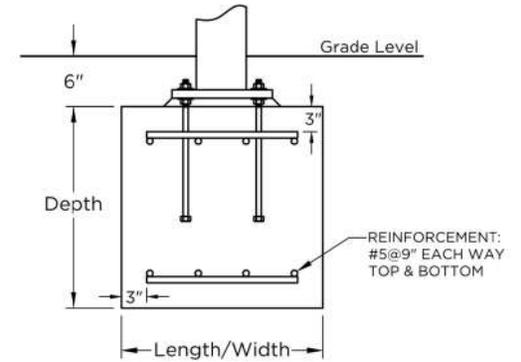
These drawings are for reference only and should not be used as construction details. They show the general character and rough dimensions of the structural features. Exact spans, fasteners, materials, and foundations can be determined by a licensed professional engineer upon request. Estimated footing size above is based on 1,500 PSF soil bearing pressure.

1-Dome 3-Column Hanging Cantilever Hip Shade

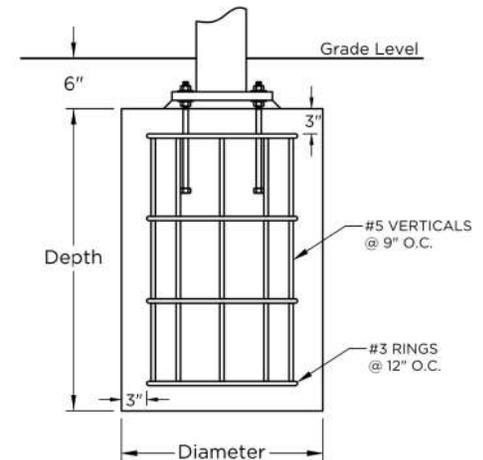
Length	24'	Width	8'	Entry Height	8'
Peak Height	9.62'	Elbow	Glide	Column Mount	Base Plate
Column Size	5"x5"x3/16"	Rafter Size	Ø2.875" 12-Ga	Ridge Size	Ø2.875" 12-Ga
Column Length	9.5'	Rafter Length	5.69'	Ridge Length	16.59'
Dome Qty.	1	Column Qty.	3	Beam Size	4"x4"x3/16"



Square Footing		
Column	Length & Width	Depth
Single Cap	2.31	3
Double Cap	N/A	3



Auger Footing		
Diameter	Single Cap Depth	Double Cap Depth
1'-6"		
2'-0"	4.08	N/A
2'-6"	Out of range	N/A
3'-0"	Out of range	N/A



SuperiorShade

QUOTE
QUO0260263

SHADE SIZE
24' X 8'

SHADE STYLE
1-Dome 3-Column
Hanging Cantilever
Hip Shade

These drawings are for reference only and should not be used as construction details. They show the general character and rough dimensions of the structural features. Exact spans, fasteners, materials, and foundations can be determined by a licensed professional engineer upon request. Estimated footing size above is based on 1,500 PSF soil bearing pressure.

ORDINANCE NO. 013-051

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, APPENDIX A OF THE TOWN'S CODE OF ORDINANCES, SO AS TO GRANT A SPECIAL USE PERMIT FOR A HOTEL, ON APPLICATION FROM MAGNOLIA LODGING DEVELOPMENT, LLC, LOCATED ON 2.897 ACRES OF LAND GENERALLY AT THE NORTHEAST CORNER OF BELT LINE ROAD AND ADDISON ROAD, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE, PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A SEVERABILITY CLAUSE. PROVIDING FOR A REPEAL CLAUSE; AND PROVIDING FOR A PENALTY CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, is hereby amended so as to grant a special use permit to a hotel. Said zoning amendment shall be noted on the official zoning map of the Town of Addison, Texas, and is situated on the following described land:

BEING a tract of land situated in the G.W. Fisher Survey, Abstract No. 482, said tract being a portion of Lot 3, Block A, Beltway-Quorum Addition, an addition to the Town of Addison as recorded in Volume 2005102, Page 184 Plat Records, Dallas County, Texas, and a portion of Lot 2, Block A, Beltway-Quorum Addition, an addition to the Town of Addison as recorded in Volume 2004024, Page 9 Plat Records, Dallas County, Texas and also being a portion of a tract of land described in deed to Addison Southwest Ltd. as recorded in Volume 90128, Page 2666, Deed Records, Dallas County, Texas and a portion of a tract of land described in deed to Addison Quorum Partners, Ltd as recorded in Instrument No. 200600031761 Official Public Records, Dallas County, Texas, said tract being more particularly described as follows:

BEGINNING at a capped 1/2" iron rod found for corner, said rod being the northwest corner of said Lot 3 and the southwest corner of Lot 1, Block A, Summerfield\Arapaho\Addison Addition, an addition to the Town of Addison as recorded in Volume 95119, Page 4232 Plat Records, Dallas County, Texas;

THENCE South 89°43'00" East, along the common line between said Lot 3 and said Lot 1 (Summerfield), passing the northeast corner of said Lot 3 at 346.07 feet and continuing along the southerly line of said Lot 1 (Summerfield) and a northerly line of aforementioned Lot 2 (Beltway-Quorum) for a total distance of 354.95 feet to a 5/8 inch iron rod found for corner;

THENCE North 00°17'00" East, along the easterly line of said Lot 1 (Summerfield) and a westerly line of said Lot 2 (Beltway-Quorum), for a distance of 31.40 feet to a 1/2 inch iron rod found for corner, said rod being a northwest corner of said Lot 2 (Beltway-Quorum) and the southwest corner of Lot 1, Quorum Centre - East No. 2, an addition to the Town of Addison as recorded in Volume 2001188, Page 145 Plat Records, Dallas County, Texas;

THENCE South 89°57'28" East, along the common line between said Lot 2 (Beltway-Quorum) and said Lot 1 (Quorum Centre-East No. 2), for a distance of 52.76 feet to a 1/2 inch iron rod with a plastic orange cap stamped "PIBURN PARTNERS" set for corner, said rod being a northeast corner of said Lot 2 (Beltway-Quorum) and a northwest corner of Quorum Centre-East No. 1, an addition to the Town of Addison as recorded in Volume 95100, Page 3266 Plat Records, Dallas County, Texas;

THENCE South 00°15'05" East, along the common line between said Lot 2 (Beltway-Quorum) and said Quorum Centre East-No. 1, for a distance of 175.00 feet to an "X" cut in concrete found for corner, said "X" being the southwest corner of said Quorum Centre-East No 1;

THENCE South 89°57'28" East, along the common line between said Lot 2 (Beltway-Quorum) and said Quorum Centre East-No. 1, for a distance of 9.91 feet to an "X" cut in concrete set for corner, said "X" being a northwest corner of Lot 1, Belt Line-Quorum Addition, an addition to the Town of Addison as recorded in Volume 91077, Page 4068 Plat Records, Dallas County, Texas;

THENCE South 00°15'05" East, along the common line between said Lot 2 (Beltway-Quorum) and said Lot 1 (Belt Line-Quorum), for a distance of 137.67 feet to an "X" cut in concrete set for corner;

THENCE North 89°57'28" West, along said common line, for a distance of 30.00 feet to an "X" cut in concrete set for corner;

THENCE South 00°15'05" East, continuing along said common line, for a distance of 18.67 feet to an "X" cut in concrete set for corner;

THENCE West, through said Lot 2 (Beltway-Quorum), passing an easterly line of aforementioned Lot 3 at 33.20 feet and continuing through said Lot 3 for a total distance of 385.71 feet to a 1/2 inch iron rod with a plastic orange cap stamped "PIBURN PARTNERS" set for corner;

THENCE North 00°17'00" East, for a distance of 33.41 feet to a 1/2 inch iron rod with a plastic orange cap stamped "PIBURN PARTNERS" set for corner;

THENCE North 89°43'00" West, for a distance of 25.29 feet to a 1/2 inch iron rod with a plastic orange cap stamped "PIBURN PARTNERS" set for corner;

THENCE North, for a distance of 30.00 feet to a 1/2 inch iron rod with a plastic orange cap stamped "PIBURN PARTNERS" set for corner in a northerly line of aforementioned Lot 3 and the southerly line of Lot 1, Addison Road-Quorum Addition, an addition to the Town of Addison as recorded in Volume 93041, Page 2824 Plat Records, Dallas County, Texas;

THENCE South 89°43'00" East, along the common line between said Lot 3 and said Lot 1 (Addison-Quorum) for a distance of 20.43 feet to a 5/8 inch iron rod found for corner, said rod being the southeast corner of said Lot 1 (Addison-Quorum);

THENCE North 00°17'00" East, along said common line, passing the northeast corner of said Lot 1 (Addison-Quorum) at a distance of 220.98 feet and continuing for a total distance of 238.29 feet to the POINT OF BEGINNING and containing 126,211 square feet or 2.897 acres of land, more or less.

SECTION 2. That the special use permit for a hotel is granted to the specific development plans proposed, and the above-described property shall be developed in accordance with the plans attached hereto and a part hereof for all purposes.

SECTION 3. That the special use permit for the hotel shall be granted subject to the following special conditions:

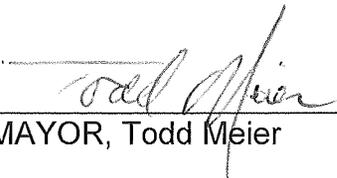
- The applicant shall provide the Town official height determination from the FAA (form 7460-1) before a building permit is issued.
- The property owner shall provide an Avigation Easement to the Town prior to the issuance of a building permit for the project.
- The applicant shall confirm where the future water/sewer/drainage connections are going to be made to this site, and clarify whether they will be in the proposed parking lot or on the hotel site. The applicant must submit drainage calculations and drawings to "prove up" the detention requirements.
- This site and the retail building site for Potbelly/Taco Diner must be replatted to accommodate the moved property lines and moving of parking areas between this site and the retail building site. This replat shall be completed prior to the issuance of a building permit for the hotel.

SECTION 4. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 10th day of December, 2013.


MAYOR, Todd Meier

ATTEST:


CITY SECRETARY, Matt McCombs

CASE NO. 1677-SUP/Home2 Suites by Hilton

APPROVED AS TO FORM:


DIRECTOR OF DEVELOPMENT SERVICES

published DMN 1-8-14

013-051

General Project Notes:

1. THE OWNER HAS REVIEWED ALL INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT AND HAS APPROVED THE INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT.
2. THE OWNER HAS REVIEWED ALL INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT AND HAS APPROVED THE INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT.
3. THE OWNER HAS REVIEWED ALL INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT AND HAS APPROVED THE INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT.
4. THE OWNER HAS REVIEWED ALL INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT AND HAS APPROVED THE INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT.
5. THE OWNER HAS REVIEWED ALL INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT AND HAS APPROVED THE INFORMATION AND DOCUMENTS SUBMITTED FOR THIS PROJECT.

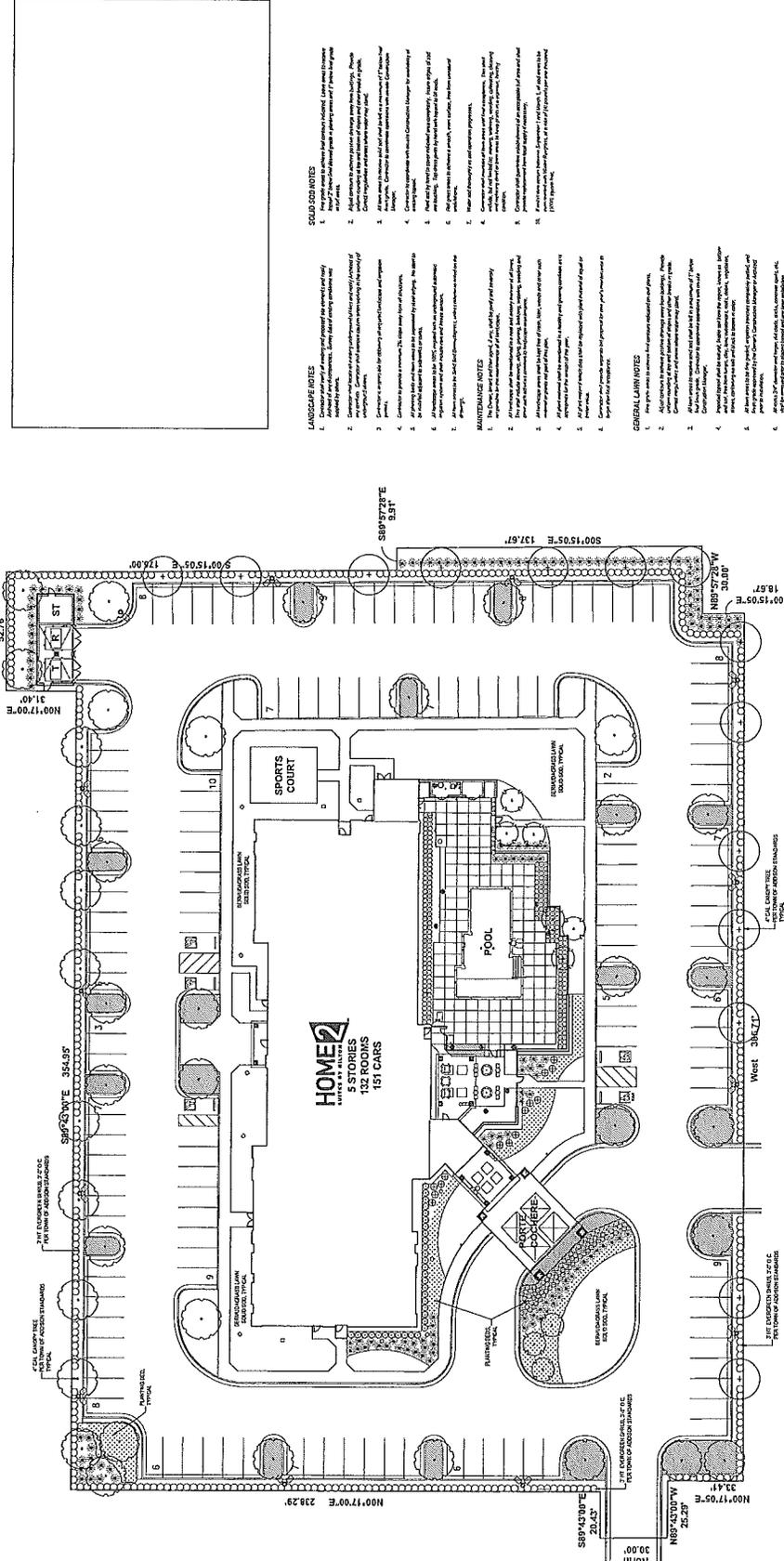
ISSUED AS REVISED

LOG

NO.	DATE	DESCRIPTION
1	10/01/13	ISSUED AS REVISED
2	10/01/13	ISSUED AS REVISED
3	10/01/13	ISSUED AS REVISED
4	10/01/13	ISSUED AS REVISED
5	10/01/13	ISSUED AS REVISED
6	10/01/13	ISSUED AS REVISED
7	10/01/13	ISSUED AS REVISED
8	10/01/13	ISSUED AS REVISED
9	10/01/13	ISSUED AS REVISED
10	10/01/13	ISSUED AS REVISED
11	10/01/13	ISSUED AS REVISED
12	10/01/13	ISSUED AS REVISED
13	10/01/13	ISSUED AS REVISED
14	10/01/13	ISSUED AS REVISED
15	10/01/13	ISSUED AS REVISED
16	10/01/13	ISSUED AS REVISED
17	10/01/13	ISSUED AS REVISED
18	10/01/13	ISSUED AS REVISED
19	10/01/13	ISSUED AS REVISED
20	10/01/13	ISSUED AS REVISED
21	10/01/13	ISSUED AS REVISED
22	10/01/13	ISSUED AS REVISED
23	10/01/13	ISSUED AS REVISED
24	10/01/13	ISSUED AS REVISED
25	10/01/13	ISSUED AS REVISED
26	10/01/13	ISSUED AS REVISED
27	10/01/13	ISSUED AS REVISED
28	10/01/13	ISSUED AS REVISED
29	10/01/13	ISSUED AS REVISED
30	10/01/13	ISSUED AS REVISED
31	10/01/13	ISSUED AS REVISED
32	10/01/13	ISSUED AS REVISED
33	10/01/13	ISSUED AS REVISED
34	10/01/13	ISSUED AS REVISED
35	10/01/13	ISSUED AS REVISED
36	10/01/13	ISSUED AS REVISED
37	10/01/13	ISSUED AS REVISED
38	10/01/13	ISSUED AS REVISED
39	10/01/13	ISSUED AS REVISED
40	10/01/13	ISSUED AS REVISED
41	10/01/13	ISSUED AS REVISED
42	10/01/13	ISSUED AS REVISED
43	10/01/13	ISSUED AS REVISED
44	10/01/13	ISSUED AS REVISED
45	10/01/13	ISSUED AS REVISED
46	10/01/13	ISSUED AS REVISED
47	10/01/13	ISSUED AS REVISED
48	10/01/13	ISSUED AS REVISED
49	10/01/13	ISSUED AS REVISED
50	10/01/13	ISSUED AS REVISED
51	10/01/13	ISSUED AS REVISED
52	10/01/13	ISSUED AS REVISED
53	10/01/13	ISSUED AS REVISED
54	10/01/13	ISSUED AS REVISED
55	10/01/13	ISSUED AS REVISED
56	10/01/13	ISSUED AS REVISED
57	10/01/13	ISSUED AS REVISED
58	10/01/13	ISSUED AS REVISED
59	10/01/13	ISSUED AS REVISED
60	10/01/13	ISSUED AS REVISED
61	10/01/13	ISSUED AS REVISED
62	10/01/13	ISSUED AS REVISED
63	10/01/13	ISSUED AS REVISED
64	10/01/13	ISSUED AS REVISED
65	10/01/13	ISSUED AS REVISED
66	10/01/13	ISSUED AS REVISED
67	10/01/13	ISSUED AS REVISED
68	10/01/13	ISSUED AS REVISED
69	10/01/13	ISSUED AS REVISED
70	10/01/13	ISSUED AS REVISED
71	10/01/13	ISSUED AS REVISED
72	10/01/13	ISSUED AS REVISED
73	10/01/13	ISSUED AS REVISED
74	10/01/13	ISSUED AS REVISED
75	10/01/13	ISSUED AS REVISED
76	10/01/13	ISSUED AS REVISED
77	10/01/13	ISSUED AS REVISED
78	10/01/13	ISSUED AS REVISED
79	10/01/13	ISSUED AS REVISED
80	10/01/13	ISSUED AS REVISED
81	10/01/13	ISSUED AS REVISED
82	10/01/13	ISSUED AS REVISED
83	10/01/13	ISSUED AS REVISED
84	10/01/13	ISSUED AS REVISED
85	10/01/13	ISSUED AS REVISED
86	10/01/13	ISSUED AS REVISED
87	10/01/13	ISSUED AS REVISED
88	10/01/13	ISSUED AS REVISED
89	10/01/13	ISSUED AS REVISED
90	10/01/13	ISSUED AS REVISED
91	10/01/13	ISSUED AS REVISED
92	10/01/13	ISSUED AS REVISED
93	10/01/13	ISSUED AS REVISED
94	10/01/13	ISSUED AS REVISED
95	10/01/13	ISSUED AS REVISED
96	10/01/13	ISSUED AS REVISED
97	10/01/13	ISSUED AS REVISED
98	10/01/13	ISSUED AS REVISED
99	10/01/13	ISSUED AS REVISED
100	10/01/13	ISSUED AS REVISED

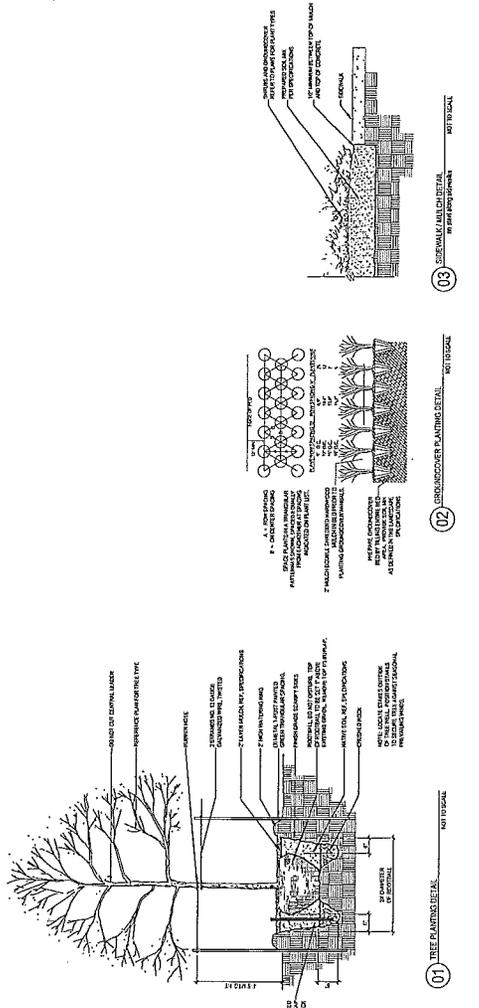
Vertical Room Chart

FLOOR	ROOM NO.	ROOM NAME	AREA (SQ FT)	TYPE
1	101	RECEPTION	1,200	RECEPTION
1	102	LOBBY	2,500	LOBBY
1	103	CONFERENCE	1,500	CONFERENCE
1	104	RESTAURANT	3,000	RESTAURANT
1	105	BAR	1,000	BAR
1	106	OFFICE	1,000	OFFICE
1	107	STORAGE	500	STORAGE
1	108	MECHANICAL	1,000	MECHANICAL
1	109	ELECTRICAL	500	ELECTRICAL
1	110	PLUMBING	500	PLUMBING
1	111	PAINT	500	PAINT
1	112	LANDSCAPE	500	LANDSCAPE
1	113	ASPH/FLT	500	ASPH/FLT
1	114	CONCRETE	500	CONCRETE
1	115	IRONING	500	IRONING
1	116	LAUNDRY	500	LAUNDRY
1	117	STORAGE	500	STORAGE
1	118	MECHANICAL	500	MECHANICAL
1	119	ELECTRICAL	500	ELECTRICAL
1	120	PLUMBING	500	PLUMBING
1	121	PAINT	500	PAINT
1	122	LANDSCAPE	500	LANDSCAPE
1	123	ASPH/FLT	500	ASPH/FLT
1	124	CONCRETE	500	CONCRETE
1	125	IRONING	500	IRONING
1	126	LAUNDRY	500	LAUNDRY
1	127	STORAGE	500	STORAGE
1	128	MECHANICAL	500	MECHANICAL
1	129	ELECTRICAL	500	ELECTRICAL
1	130	PLUMBING	500	PLUMBING
1	131	PAINT	500	PAINT
1	132	LANDSCAPE	500	LANDSCAPE
1	133	ASPH/FLT	500	ASPH/FLT
1	134	CONCRETE	500	CONCRETE
1	135	IRONING	500	IRONING
1	136	LAUNDRY	500	LAUNDRY
1	137	STORAGE	500	STORAGE
1	138	MECHANICAL	500	MECHANICAL
1	139	ELECTRICAL	500	ELECTRICAL
1	140	PLUMBING	500	PLUMBING
1	141	PAINT	500	PAINT
1	142	LANDSCAPE	500	LANDSCAPE
1	143	ASPH/FLT	500	ASPH/FLT
1	144	CONCRETE	500	CONCRETE
1	145	IRONING	500	IRONING
1	146	LAUNDRY	500	LAUNDRY
1	147	STORAGE	500	STORAGE
1	148	MECHANICAL	500	MECHANICAL
1	149	ELECTRICAL	500	ELECTRICAL
1	150	PLUMBING	500	PLUMBING
1	151	PAINT	500	PAINT
1	152	LANDSCAPE	500	LANDSCAPE
1	153	ASPH/FLT	500	ASPH/FLT
1	154	CONCRETE	500	CONCRETE
1	155	IRONING	500	IRONING
1	156	LAUNDRY	500	LAUNDRY
1	157	STORAGE	500	STORAGE
1	158	MECHANICAL	500	MECHANICAL
1	159	ELECTRICAL	500	ELECTRICAL
1	160	PLUMBING	500	PLUMBING
1	161	PAINT	500	PAINT
1	162	LANDSCAPE	500	LANDSCAPE
1	163	ASPH/FLT	500	ASPH/FLT
1	164	CONCRETE	500	CONCRETE
1	165	IRONING	500	IRONING
1	166	LAUNDRY	500	LAUNDRY
1	167	STORAGE	500	STORAGE
1	168	MECHANICAL	500	MECHANICAL
1	169	ELECTRICAL	500	ELECTRICAL
1	170	PLUMBING	500	PLUMBING
1	171	PAINT	500	PAINT
1	172	LANDSCAPE	500	LANDSCAPE
1	173	ASPH/FLT	500	ASPH/FLT
1	174	CONCRETE	500	CONCRETE
1	175	IRONING	500	IRONING
1	176	LAUNDRY	500	LAUNDRY
1	177	STORAGE	500	STORAGE
1	178	MECHANICAL	500	MECHANICAL
1	179	ELECTRICAL	500	ELECTRICAL
1	180	PLUMBING	500	PLUMBING
1	181	PAINT	500	PAINT
1	182	LANDSCAPE	500	LANDSCAPE
1	183	ASPH/FLT	500	ASPH/FLT
1	184	CONCRETE	500	CONCRETE
1	185	IRONING	500	IRONING
1	186	LAUNDRY	500	LAUNDRY
1	187	STORAGE	500	STORAGE
1	188	MECHANICAL	500	MECHANICAL
1	189	ELECTRICAL	500	ELECTRICAL
1	190	PLUMBING	500	PLUMBING
1	191	PAINT	500	PAINT
1	192	LANDSCAPE	500	LANDSCAPE
1	193	ASPH/FLT	500	ASPH/FLT
1	194	CONCRETE	500	CONCRETE
1	195	IRONING	500	IRONING
1	196	LAUNDRY	500	LAUNDRY
1	197	STORAGE	500	STORAGE
1	198	MECHANICAL	500	MECHANICAL
1	199	ELECTRICAL	500	ELECTRICAL
1	200	PLUMBING	500	PLUMBING
1	201	PAINT	500	PAINT
1	202	LANDSCAPE	500	LANDSCAPE
1	203	ASPH/FLT	500	ASPH/FLT
1	204	CONCRETE	500	CONCRETE
1	205	IRONING	500	IRONING
1	206	LAUNDRY	500	LAUNDRY
1	207	STORAGE	500	STORAGE
1	208	MECHANICAL	500	MECHANICAL
1	209	ELECTRICAL	500	ELECTRICAL
1	210	PLUMBING	500	PLUMBING
1	211	PAINT	500	PAINT
1	212	LANDSCAPE	500	LANDSCAPE
1	213	ASPH/FLT	500	ASPH/FLT
1	214	CONCRETE	500	CONCRETE
1	215	IRONING	500	IRONING
1	216	LAUNDRY	500	LAUNDRY
1	217	STORAGE	500	STORAGE
1	218	MECHANICAL	500	MECHANICAL
1	219	ELECTRICAL	500	ELECTRICAL
1	220	PLUMBING	500	PLUMBING
1	221	PAINT	500	PAINT
1	222	LANDSCAPE	500	LANDSCAPE
1	223	ASPH/FLT	500	ASPH/FLT
1	224	CONCRETE	500	CONCRETE
1	225	IRONING	500	IRONING
1	226	LAUNDRY	500	LAUNDRY
1	227	STORAGE	500	STORAGE
1	228	MECHANICAL	500	MECHANICAL
1	229	ELECTRICAL	500	ELECTRICAL
1	230	PLUMBING	500	PLUMBING
1	231	PAINT	500	PAINT
1	232	LANDSCAPE	500	LANDSCAPE
1	233	ASPH/FLT	500	ASPH/FLT
1	234	CONCRETE	500	CONCRETE
1	235	IRONING	500	IRONING
1	236	LAUNDRY	500	LAUNDRY
1	237	STORAGE	500	STORAGE
1	238	MECHANICAL	500	MECHANICAL
1	239	ELECTRICAL	500	ELECTRICAL
1	240	PLUMBING	500	PLUMBING
1	241	PAINT	500	PAINT
1	242	LANDSCAPE	500	LANDSCAPE
1	243	ASPH/FLT	500	ASPH/FLT
1	244	CONCRETE	500	CONCRETE
1	245	IRONING	500	IRONING
1	246	LAUNDRY	500	LAUNDRY
1	247	STORAGE	500	STORAGE
1	248	MECHANICAL	500	MECHANICAL
1	249	ELECTRICAL	500	ELECTRICAL
1	250	PLUMBING	500	PLUMBING
1	251	PAINT	500	PAINT
1	252	LANDSCAPE	500	LANDSCAPE
1	253	ASPH/FLT	500	ASPH/FLT
1	254	CONCRETE	500	CONCRETE
1				



01 LANDSCAPE PLAN
SCALE: 1" = 20' 0"

- LANDSCAPE NOTES**
1. All trees to be planted at the time of construction. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 2. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 3. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 4. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 5. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 6. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 7. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 8. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 9. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 10. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 11. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 12. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 13. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 14. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 15. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 16. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 17. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 18. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 19. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 20. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
- GENERAL LAYOUT NOTES**
1. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 2. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 3. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 4. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 5. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 6. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 7. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 8. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 9. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 10. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 11. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 12. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 13. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 14. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 15. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 16. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 17. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 18. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 19. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.
 20. All trees to be planted in the same manner as shown on the plan. All trees to be planted in the same manner as shown on the plan.



STIP
STIPPLED AREA INDICATES
EXISTING GRADE
UNSTIPPLED AREA INDICATES
PROPOSED GRADE

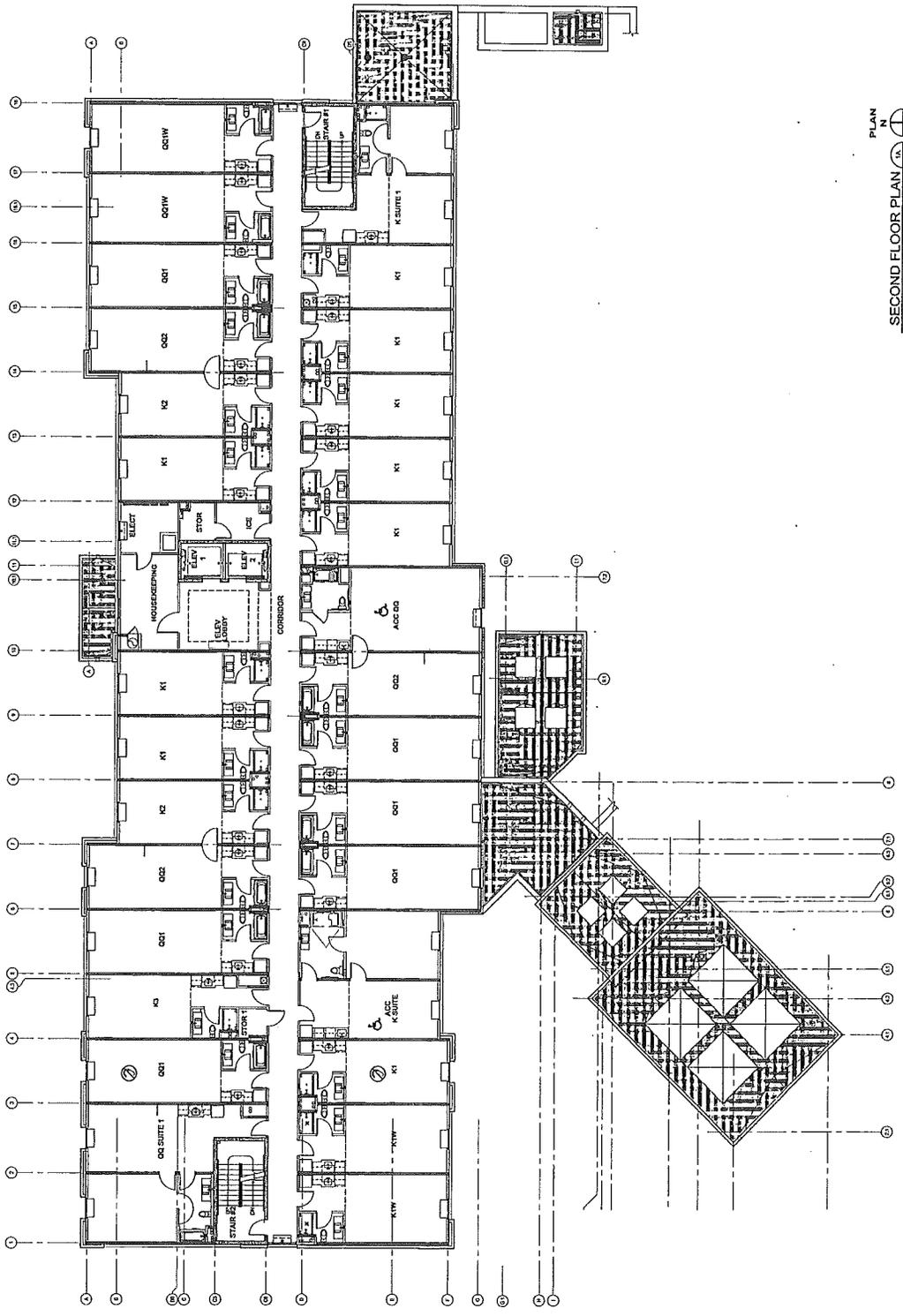
01 TREE PLANTING DETAIL - NOT TO SCALE

02 LANDSCAPE PLANTING DETAIL - NOT TO SCALE

03 ELEVATION AND SECTION DETAIL - NOT TO SCALE

04 STEEL ELEVATION DETAIL - NOT TO SCALE

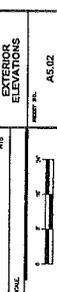
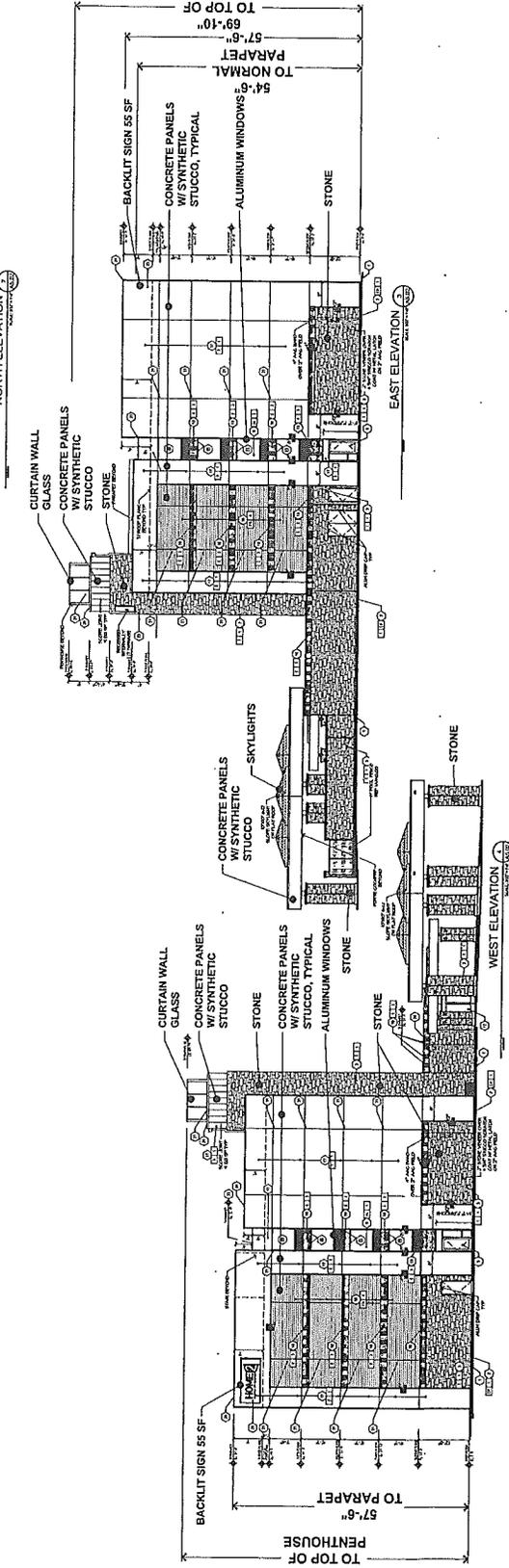
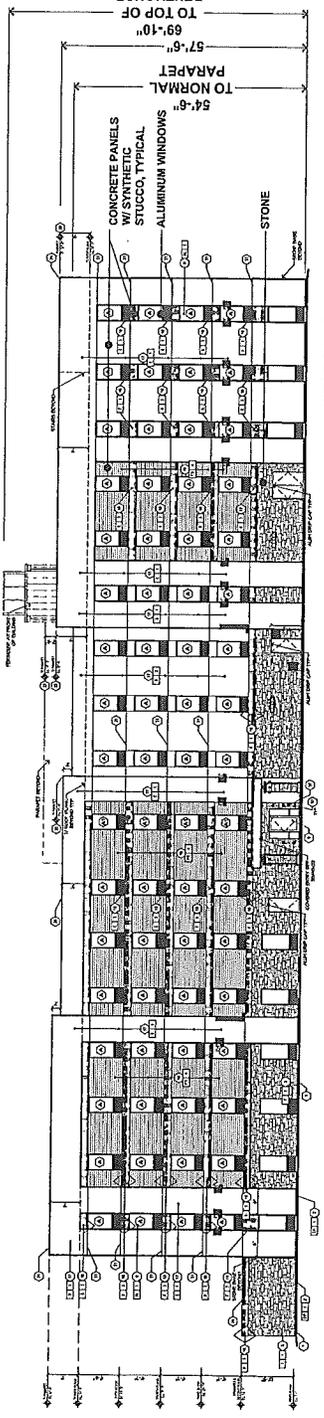
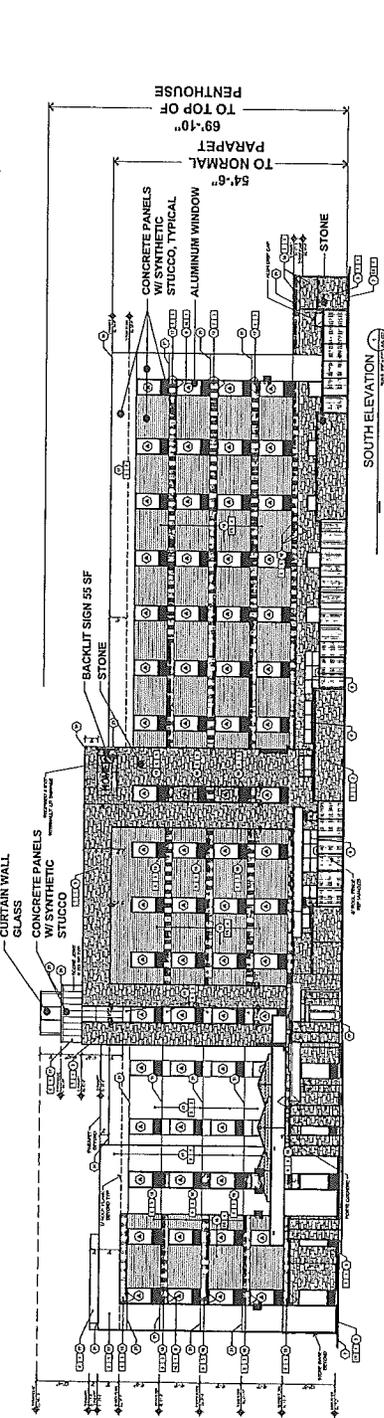
05 CONCRETE PLANTING DETAIL - NOT TO SCALE



PLAN
N
SECOND FLOOR PLAN (A2.02)
SCALE: 1/8" = 1'-0"

KEY NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
2. ALL FINISHES TO BE AS SHOWN ON THIS SET.
3. ALL MATERIALS TO BE APPROVED BY ARCHITECT PRIOR TO ORDERING.
4. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
5. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS.
6. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH NATIONAL BUILDING CODES.
7. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES.
8. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS.
9. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH CANADIAN NATIONAL STANDARDS.
10. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH EUROPEAN NATIONAL STANDARDS.
11. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH JAPANESE NATIONAL STANDARDS.
12. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIAN NATIONAL STANDARDS.
13. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH NEW ZEALAND NATIONAL STANDARDS.
14. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SOUTH AFRICAN NATIONAL STANDARDS.
15. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDIAN NATIONAL STANDARDS.
16. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH CHINESE NATIONAL STANDARDS.
17. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH KOREAN NATIONAL STANDARDS.
18. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH HONG KONG NATIONAL STANDARDS.
19. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH TAIWAN NATIONAL STANDARDS.
20. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SINGAPORE NATIONAL STANDARDS.
21. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MALAYSIA NATIONAL STANDARDS.
22. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THAILAND NATIONAL STANDARDS.
23. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH VIETNAM NATIONAL STANDARDS.
24. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH PHILIPPINE NATIONAL STANDARDS.
25. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDONESIA NATIONAL STANDARDS.
26. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIA NATIONAL STANDARDS.
27. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH NEW ZEALAND NATIONAL STANDARDS.
28. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SOUTH AFRICA NATIONAL STANDARDS.
29. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDIA NATIONAL STANDARDS.
30. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH CHINA NATIONAL STANDARDS.
31. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH KOREA NATIONAL STANDARDS.
32. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH HONG KONG NATIONAL STANDARDS.
33. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH TAIWAN NATIONAL STANDARDS.
34. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SINGAPORE NATIONAL STANDARDS.
35. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MALAYSIA NATIONAL STANDARDS.
36. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THAILAND NATIONAL STANDARDS.
37. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH VIETNAM NATIONAL STANDARDS.
38. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH PHILIPPINE NATIONAL STANDARDS.
39. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDONESIA NATIONAL STANDARDS.
40. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIA NATIONAL STANDARDS.
41. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH NEW ZEALAND NATIONAL STANDARDS.
42. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SOUTH AFRICA NATIONAL STANDARDS.
43. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDIA NATIONAL STANDARDS.
44. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH CHINA NATIONAL STANDARDS.
45. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH KOREA NATIONAL STANDARDS.
46. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH HONG KONG NATIONAL STANDARDS.
47. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH TAIWAN NATIONAL STANDARDS.
48. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SINGAPORE NATIONAL STANDARDS.
49. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MALAYSIA NATIONAL STANDARDS.
50. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THAILAND NATIONAL STANDARDS.
51. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH VIETNAM NATIONAL STANDARDS.
52. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH PHILIPPINE NATIONAL STANDARDS.
53. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDONESIA NATIONAL STANDARDS.
54. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIA NATIONAL STANDARDS.
55. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH NEW ZEALAND NATIONAL STANDARDS.
56. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SOUTH AFRICA NATIONAL STANDARDS.
57. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDIA NATIONAL STANDARDS.
58. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH CHINA NATIONAL STANDARDS.
59. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH KOREA NATIONAL STANDARDS.
60. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH HONG KONG NATIONAL STANDARDS.
61. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH TAIWAN NATIONAL STANDARDS.
62. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SINGAPORE NATIONAL STANDARDS.
63. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MALAYSIA NATIONAL STANDARDS.
64. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THAILAND NATIONAL STANDARDS.
65. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH VIETNAM NATIONAL STANDARDS.
66. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH PHILIPPINE NATIONAL STANDARDS.
67. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDONESIA NATIONAL STANDARDS.
68. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIA NATIONAL STANDARDS.
69. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH NEW ZEALAND NATIONAL STANDARDS.
70. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SOUTH AFRICA NATIONAL STANDARDS.
71. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDIA NATIONAL STANDARDS.
72. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH CHINA NATIONAL STANDARDS.
73. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH KOREA NATIONAL STANDARDS.
74. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH HONG KONG NATIONAL STANDARDS.
75. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH TAIWAN NATIONAL STANDARDS.
76. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SINGAPORE NATIONAL STANDARDS.
77. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MALAYSIA NATIONAL STANDARDS.
78. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THAILAND NATIONAL STANDARDS.
79. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH VIETNAM NATIONAL STANDARDS.
80. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH PHILIPPINE NATIONAL STANDARDS.
81. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDONESIA NATIONAL STANDARDS.
82. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIA NATIONAL STANDARDS.
83. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH NEW ZEALAND NATIONAL STANDARDS.
84. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SOUTH AFRICA NATIONAL STANDARDS.
85. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDIA NATIONAL STANDARDS.
86. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH CHINA NATIONAL STANDARDS.
87. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH KOREA NATIONAL STANDARDS.
88. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH HONG KONG NATIONAL STANDARDS.
89. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH TAIWAN NATIONAL STANDARDS.
90. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SINGAPORE NATIONAL STANDARDS.
91. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MALAYSIA NATIONAL STANDARDS.
92. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THAILAND NATIONAL STANDARDS.
93. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH VIETNAM NATIONAL STANDARDS.
94. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH PHILIPPINE NATIONAL STANDARDS.
95. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDONESIA NATIONAL STANDARDS.
96. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIA NATIONAL STANDARDS.
97. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH NEW ZEALAND NATIONAL STANDARDS.
98. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SOUTH AFRICA NATIONAL STANDARDS.
99. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH INDIA NATIONAL STANDARDS.
100. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH CHINA NATIONAL STANDARDS.



FINISH KEY

1	CONCRETE
2	STUCCO
3	STONE
4	ALUMINUM
5	GLASS
6	SYNTHETIC STUCCO
7	ALUMINUM WINDOW
8	SKYLIGHT
9	BACKLIT SIGN

BUILDING DETAILS

1. CURTAIN WALL GLASS
2. CONCRETE PANELS W/ SYNTHETIC STUCCO
3. STONE
4. ALUMINUM WINDOW
5. SKYLIGHT
6. BACKLIT SIGN

TOWN OF ADDISON, TEXAS
ORDINANCE NO. 016-038

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE TO GRANT A SPECIAL USE PERMIT FOR THE SALE OF BEER AND WINE FOR OFF-PREMISES CONSUMPTION ONLY, ON APPLICATION FROM HOME 2 SUITES BY HILTON, FOR PROPERTY LOCATED AT 4875 BELT LINE ROAD; PROVIDING A PENALTY NOT TO EXCEED TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; SAVINGS, NO SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the property located at 4875 Belt Line Road is zoned C-2, Commercial-2, with a Special Use Permit for a hotel; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at a public hearing, and other relevant information and materials, the City Council of the Town of Addison, Texas finds that this ordinance promotes the general welfare and safety of this community.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

Section 1. That the recitals and findings set forth above are hereby found to be true and correct and incorporated as if fully set forth herein.

Section 2. That a Special Use Permit authorizing the sale of beer and wine for off-premises consumption only, on the property located 4875 Belt Line Road, is hereby granted subject to the following conditions:

- (a) Prior to the issuance of a Certificate of Occupancy, said Property shall be improved in accordance with the floor plan attached hereto as **Exhibit A** and made a part hereof for all purposes.
- (b) The sale of beer and wine shall be limited to the area indicated on the floor plan.

Section 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

Section 4. That it is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

Section 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

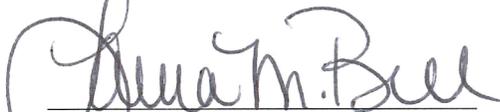
Section 6. That this Ordinance shall become effective from and after its passage and approval and after publication as may be required by law or by the City Charter or ordinance.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 11th day of October, 2016.



Todd Meier, Mayor

ATTEST:



Laura Bell, City Secretary

CASE NO: 1745-SUP/Home2 Suites by Hilton

APPROVED AS TO FORM:

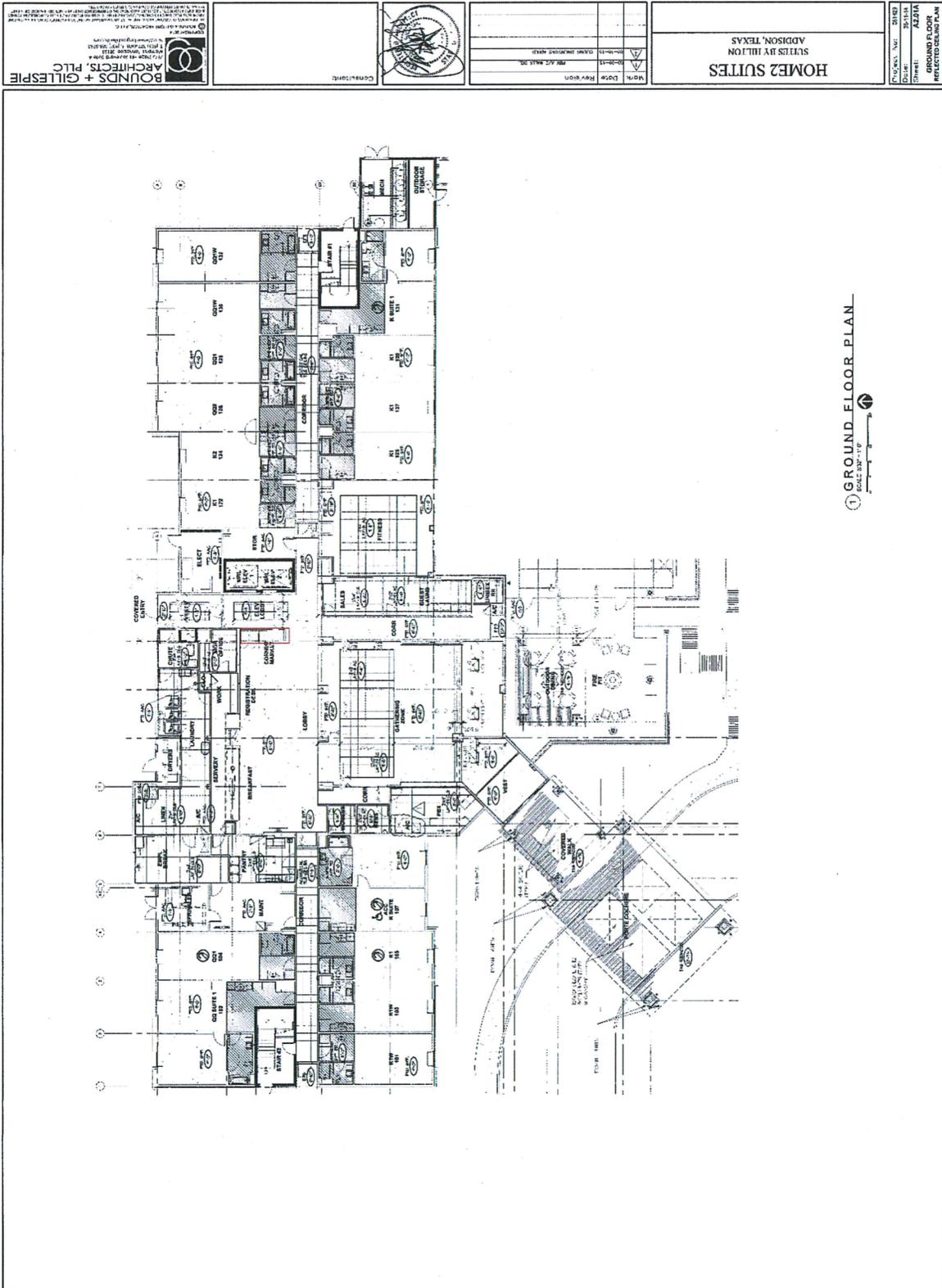


Brenda N. McDonald, City Attorney



PUBLISHED ON: _____

EXHIBIT A



Planning & Zoning Commission

4.

Meeting Date: 10/17/2023

Agenda Caption:

Hold a public hearing, present, discuss, and consider action on a request to amend Special Use Permit (SUP), Ordinance No. 098-022, for property located at 4960 Arapaho Road, that is currently zoned Planned Development (PD), Ordinance No 004-048, to allow modifications to the development plan. Case 1893-SUP/4960 Arapaho Road (Radisson Hotel).

Recommendation:

Administration recommends approval.

Attachments

1893-SUP Staff Report

1893-SUP Letter of Intent

1893-SUP Plans

Ordinance No. 098-022

Ordinance No. 004-048

1893-SUP

PUBLIC HEARING Case 1893-SUP/4960 Arapaho Road (Radisson Hotel). Hold a public hearing, present, discuss, and consider action on a request to amend Special Use Permit (SUP), Ordinance No. 098-022, for property located at 4960 Arapaho Road, that is currently zoned Planned Development (PD), Ordinance No 004-048, to allow modifications to the development plan.

LOCATION MAP





October 17, 2023

STAFF REPORT

RE: 1893-SUP/4960 Arapaho Road (Radisson Hotel)

LOCATION: 4960 Arapaho Road

REQUEST: Approval of a request to amend Special Use Permit, Ordinance No. 098-022, to modify the development plan. (Application Date: 08/17/2023)

APPLICANT: Fidelina Ramirez, Legacy ADPR

DISCUSSION:

Background: The subject property is located at 4960 Arapaho Road. A hotel has been operating on the site since 2000. The subject property is zoned Planned Development (PD), Ordinance No. 004-048, with Special Use Permits (SUP) to allow a restaurant and the sale of alcohol for on-premises consumption, and SUP, Ordinance No. 098-022, to allow a hotel.

The [Radisson Hotel](#) is an existing hotel with 101 guest rooms. The hotel offers various guest amenities including a fitness center, meeting space, business center, restaurant, and outdoor pool. The hotel requested an amendment to the existing SUP, Ordinance No. 098-022, to update the development plan to allow updates to the building façade and floor plan. The building modifications are proposed in order to meet the Hampton by Hilton design brand standards. There are no proposed modifications to existing services offered on site.

Proposed Plan: With this request, the Radisson Hotel is proposing an exterior and interior remodel to rebrand to a Hampton by Hilton. The improvements include a modernized building entry and updated materials throughout the façade. The interior remodel will modify the first floor to provide an enhanced lobby, restaurant/bar, and fitness areas. The proposal does not include changes to the gross floor area or the number of guest rooms.

Parking: No modifications are proposed to the existing parking. The development plan approved by Ordinance No. 098-022 identified 101 parking spaces on site. The property currently has 97 spaces. It appears the parking deficit was created due to the construction of an outdoor pool at the southeast corner of the building in 2004. Staff has no knowledge of issues related to lack of parking on the subject property.

Exterior Facades: An exterior remodel is proposed with this request. The changes will include a new porte cochere on the north façade, new awnings on the east and west façades, a new fin wall and windows at the entrance, and updated exterior materials. The updated façade materials include brick, EFIS, and wood paneling. The new fin wall will increase the maximum height of the building by 3.5 feet, for an overall maximum height of 50 feet.

Landscaping and Open Space: No modifications are proposed to the existing landscaping and open space approved by Ordinance No. 098-022.

RECOMMENDATION: APPROVAL

Approval of this request will allow reinvestment in the existing hotel site. The proposed modifications will provide enhanced accommodations and amenities for hotel guests and an updated exterior appearance. The improvements will not negatively impact the existing site conditions, including parking, landscaping, or open space.

Staff recommends approval of the request.



1245 SOUTHRIDGE COURT, SUITE 102, HURST, TEXAS 76053

(817) 864-8702 TEL.

WWW.LEGACYADPR.COM

August 18, 2023

#23021BHA

ATTN: Lesley Nyp, AICP, CNU-A
Planning & Development Manager
Town of Addison Planning Department
16801 Westgrove Drive
Addison, Texas 75001

**RE: Hotel Conversion – SUP Letter of Intent
4960 Arapaho Road
Lot 2, Block A
Wingate Inn of Addison Addition
Addison, TX. 75001**

Legacy ADPR in conjunction with Paras "Max" Bhagat of J-Idol Hotels, LLC. request a Special Use Permit Amendment to allow for the exterior and interior remodel of the existing 16,635 square foot Radisson Hotel. The property is located on Arapaho Rd. just west of Quorum Dr.

The building's exterior façade will be composed of a combination of brick, EIFS, and the addition of Nichiha Architectural Wood Panel which still conforms with 90% masonry requirements set forth by the existing SUP Amendment. The interior changes will require minimal wall demolition and construction.

Mr. Bhagat of J-Idol Hotels, LLC. is requesting the SUP Amendment to make the necessary building upgrades to meet the Hamptons Inn by Hilton Desing Brand Standards in addition to fulfilling the existing Town of Addison ordinances. J-Idol Hotels, LLC. greatly appreciates your consideration for this SUP Amendment.

If you have any questions, comments, or concerns please feel free to contact us at any time for assistance.

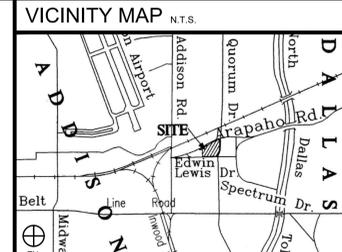
Sincerely,

A handwritten signature in black ink, appearing to read 'F. Ramirez'.

Fidelina E. Ramirez, R.A.
Legacy ADPR
Texas Architect Registration No. 26463

August 18, 2023

Date



SITE DATA SUMMARY CHART

(A) LOT AREA (ENTIRE SITE)	96,586 S.F. / 2.22 AC.
(B) SETBACK REQUIRED BY ZONING	
FRONT BUILDING LINE	25' FRONT B.L.
SIDE BUILDING LINE	25' SIDE B.L. TO STREET
SIDE BUILDING LINE	10' SIDE B.L. TO RES.
REAR BUILDING LINE	10' REAR B.L. TO RES.
(C) PROPOSED DEVELOPMENT	
ZONING EXISTING USE	PD/ PLANNED DEVELP.
HOTEL - HOSPITALITY	16,635 S.F.
(D) PARKING SUMMARY	
REQUIRED	101 SPACES
PROVIDED	97 SPACES
PARKING RATIO	1 STALL PER GST. ROOM
(F) OPEN SPACE	
LANDSCAPE AREA REQUIRED	19,514 S.F. (20%)
LANDSCAPE AREA PROVIDED	24,700 S.F. (26%)
IMPERVIOUS COV. EX. BLDG.	55,251 S.F. (57%)
IMPERVIOUS COV. INC. BLDG.	71,886 S.F. (74%)
BUILDING COVERAGE	16,635 S.F. (17%)
(G) BUILDING HEIGHT	49'-11" - 4 STORY

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF FIDELINA RAMIREZ, REGISTRATION #26483 ON 10/06/23. THIS FILE IS USED AS A BACKGROUND DRAWING PURSUANT TO RULE 1.03 OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION. ALL RESPONSIBILITY FOR ANY MODIFICATION OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION SHALL BE THE RESPONSIBILITY OF THE USER. TO THIS ELECTRONIC DRAWING FILE WITHOUT THE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

HATCH LEGEND

PAVERS	[Hatch Pattern]
EXISTING CONCRETE	[Hatch Pattern]
LANDSCAPE	[Hatch Pattern]
BUILDING AREA	[Hatch Pattern]

GENERAL SITE PLAN NOTES:

1. ALL DEBRIS AND MATERIALS TO BE REMOVED ON A REGULAR BASIS.
2. PROTECT EXISTING LANDSCAPING AND ITEMS TO REMAIN AS REQUIRED DURING CONSTRUCTION.
3. REFER TO GENERAL NOTES AND BALANCE OF DRAWINGS FOR ADDITIONAL INFORMATION.
4. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING LOCATIONS.
5. THE EXTERIOR LIGHTING DEPICTED ON THE SITE PLAN MUST COMPLY WITH THE REQUIREMENTS OF THE TOWN OF ADDISON ZONING ORDINANCE.
6. ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
7. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
8. BUILDINGS WITH AN AGGREGATE SUM OF 500 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
9. ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
10. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO TOWN INSPECTION DIVISION APPROVAL.
11. THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.

SITE PLAN KEY NOTES:

1. REPAIR ALL CRACKED AREAS IN PARKING LOT
2. RE-STRIPE ENTIRE PARKING LOT
3. INSTALL NEW PARKING DISCLAIMER SIGNAGE
4. SHED NEXT TO ENCLOSED DUMPSTER TO BE REMOVED
5. REPAIR OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS
6. TRIM / PRUNE ALL TREES AND SHRUBS
7. REPLACE SHRUBS AROUND THE SMOKING AREA
8. PROVIDE AND INSTALL SCREENING FOR ALL MECHANICAL EQUIPMENT, TRANSFORMERS, ETC. EQUAL IN HEIGHT TO THE EQUIPMENT. SCREENING SHALL BE A SCREENING WALL OR LIVING SCREEN EQUAL IN HEIGHT TO THE UNIT. THE SCREENING MAY BE WOOD OR EVERGREEN PLANT MATERIAL OR A COMBINATION OF BOTH AND SHALL COMPLY WITH THE TOWN OF ADDISON ZONING ORDINANCE.
9. ENCLOSED DUMPSTER TO BE RENOVATED PER DESIGN STANDARDS. REFER TO SHEET A1.1
10. PROVIDE NEW PERMANENT STRUCTURE AT SMOKING AREA
11. REPLACE ALL EXTERIOR SIGNAGE. NEW SIGNS TO COMPLY WITH THE REQUIREMENTS OF THE TOWN OF ADDISON ZONING ORDINANCE IN ADDITION TO BRAND STANDARDS
12. SIGNAGE WILL BE REVIEWED AT A SEPARATE TIME AND WILL REQUIRE SEPARATE PERMITS
13. INSTALL DIRECTIONAL SIGNS AT PARKING LOT ENTRANCE

CONTACT INFORMATION

ARCHITECT:	LEGACY ADPR FIDELINA RAMIREZ 1245 SOUTHRIDGE CT, SUITE 102 HURST, TEXAS 76053 PHONE: (817) 864-8702
OWNER:	J-IDOL HOTELS, LLC PARAS' MAX' BHAGAT 420 SUNFLOWER AVE. ARGYLE, TEXAS 76226 PHONE: (267) 342-1891

CONTACT INFORMATION

CASE NAME:	WINGATE INN OF ADDISON ADDITION LOT 2, BLOCK A
CASE ADDRESS:	4960 ARAPAHO RD. ADDISON, TX 75001
PREPARED BY:	FIDELINA E. RAMIREZ, ARCHITECT
DATE PREPARED:	OCTOBER 6, 2023
CASE NUMBER:	1893-SUP

J-IDOL HOTELS, LLC.
HOTEL CONVERSION
4960 ARAPAHO ROAD
ADDISON, TX 75001



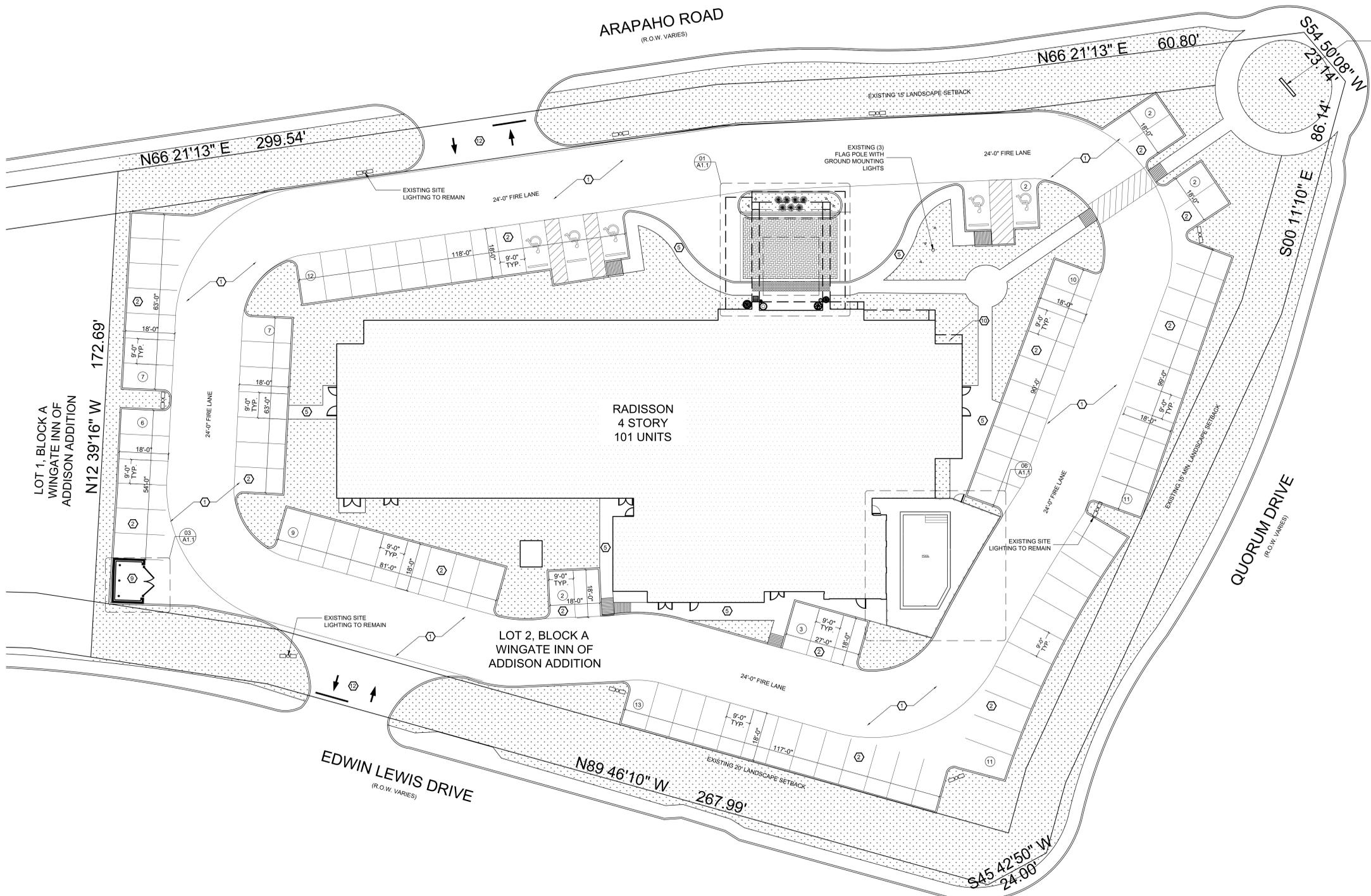
DRAWN: V.V.
CHECKED BY: F.E.R.
DATE: 10/06/23
ISSUED FOR: REVIEW

© COPYRIGHT 2023

SITE PLAN

SHEET

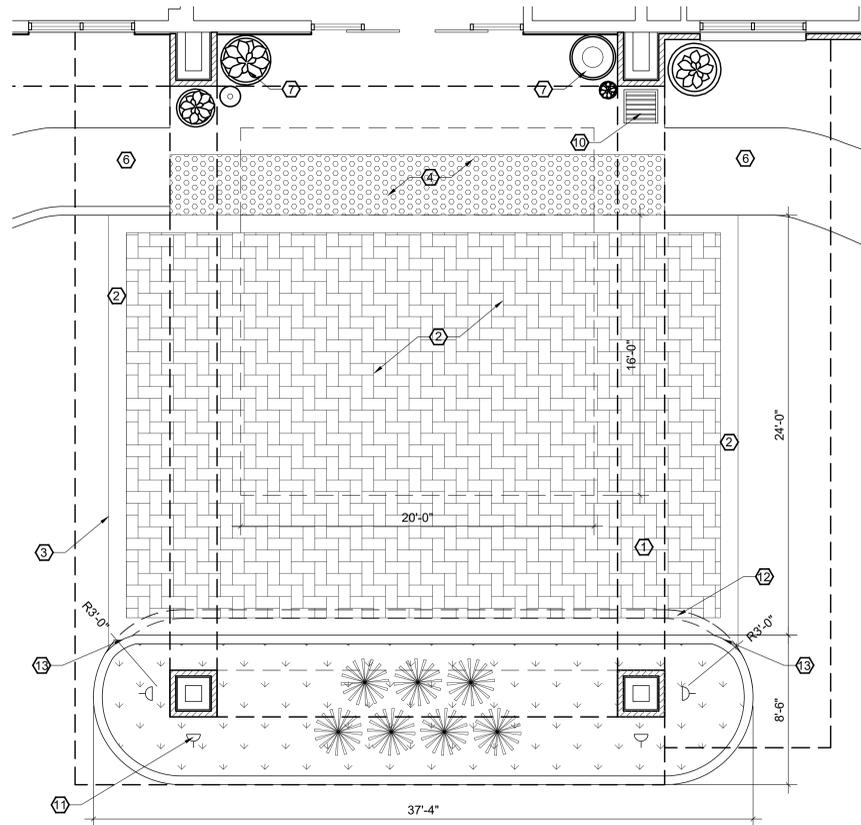
A1.0
23021BHA



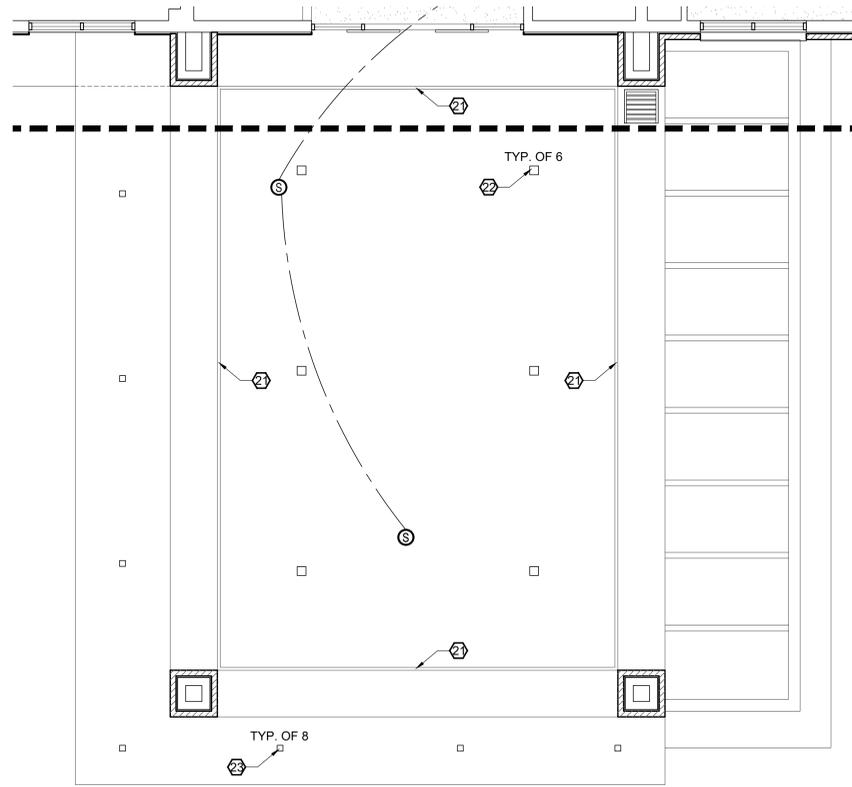
TN

PN

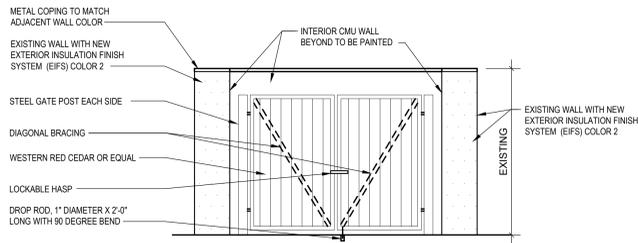
01 **SITE PLAN**
SCALE 1/16"=1'-0"



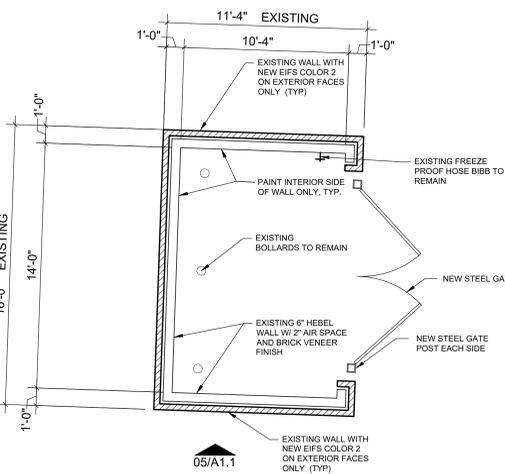
TN PN 01 PORTE COCHERE - FLOOR PLAN
SCALE 1/4"=1'-0"



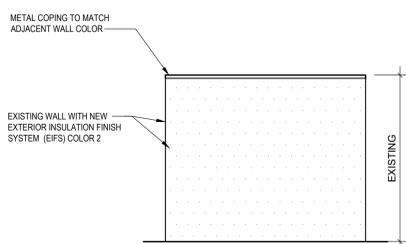
TN PN 02 PORTE COCHERE - RCP
SCALE 1/4"=1'-0"



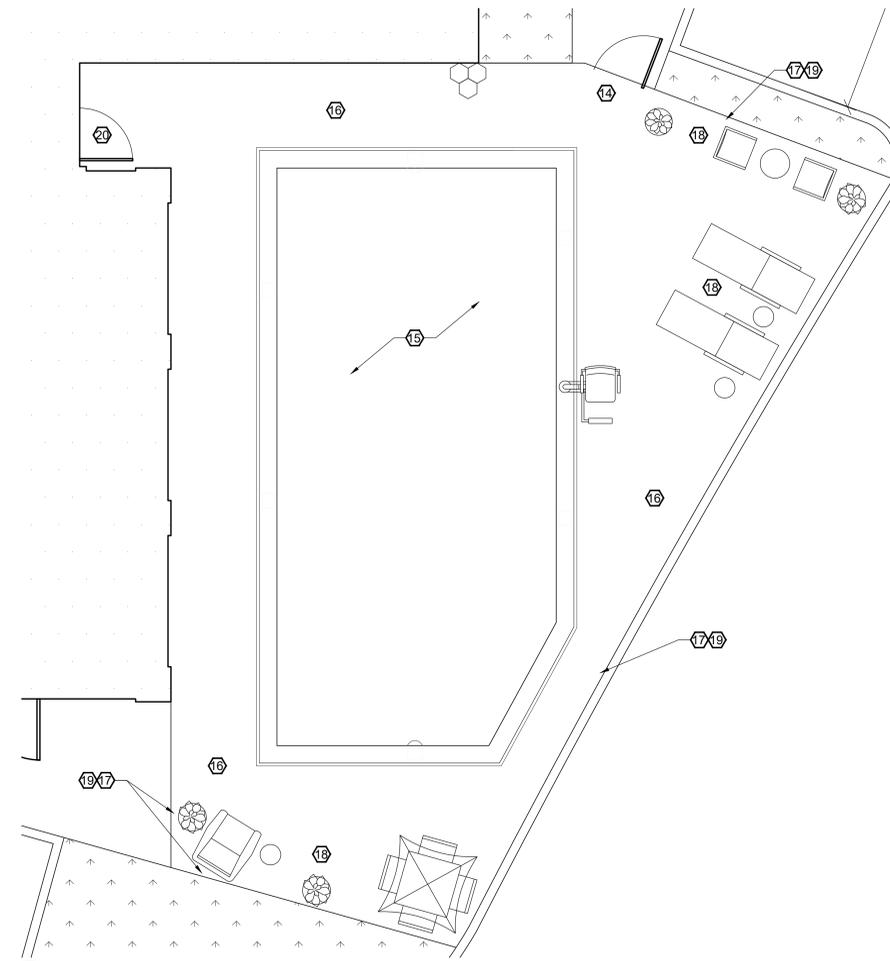
04 FRONT ELEVATION - DUMPSTER
SCALE 1/4"=1'-0"



TN PN 03 PLAN - ENCLOSED DUMPSTER
SCALE 1/4"=1'-0"



05 SIDE ELEVATION - DUMPSTER
SCALE 1/4"=1'-0"



TN PN 06 SITE PLAN
SCALE 1/16"=1'-0"



SITE PLAN GENERAL NOTES:

- COORDINATE LIGHTING LOCATIONS WITH LANDSCAPE PLANTINGS. BUILDING UPLIGHTING SHALL NOT BE OBSTRUCTED BY LANDSCAPE PLANTINGS.
- REFER TO HAMPTON SIGNAGE STANDARDS FOR ADDITIONAL INFORMATION AND PRECISE SIGNAGE REQUIREMENTS. ELECTRICAL FOR BUILDING SIGNAGE AND MONUMENT SIGNAGE SHALL BE PROVIDED AND CONNECTED BY THE CONTRACTOR. VERIFY IRRIGATION FOR ALL LANDSCAPED AREAS.
- SOD ALL AREAS NOT WITHIN PLANTING BEDS.
- INSTALL ACCENT PLANTINGS OF ANNUALS AND PERENNIALS AT MAIN ENTRANCE, BUILDING ENTRY, AND SIGNAGE AREAS.
- THE DRAWINGS ARE DESIGNED TO MEET ACCESSIBILITY STANDARDS AT A MINIMUM. LOCAL AND STATE REQUIREMENTS OR CODES MAY HAVE ADDITIONAL STANDARDS.
- PROVIDE DENSE LANDSCAPE SCREENING AT TRANSFORMER PAD PER LOCAL UTILITY COMPANY STANDARDS.
- ALL EQUIPMENT (INCLUDING DRYER VENTS) MUST BE SCREENED WITH LANDSCAPING OR OTHER MEANS.
- SURFACE CONDITIONS AT ACCESSIBLE WALKWAYS AND ACCESSIBLE AREAS (PAVER SYSTEMS AND/OR CONC. SURFACES) SHALL NOT INCLUDE GAPS GREATER THAN 1/2" OR VERTICAL LEVEL CHANGES AT JOINTS OR BETWEEN UNITS GREATER THAN 1/4" - UNLESS THE OVERALL LEVEL CHANGE DOES NOT EXCEED 1/2" AND THE LEVEL CHANGE IS BEVELED AT 1:2.
- THE POOL DRAWINGS & RELATED SPECS. ARE TO BE CONSIDERED AS MINIMUM REQUIREMENTS WHICH MAY CHANGE AS A RESULT OF STATE OR LOCAL CODE & HEALTH DEPARTMENT REQUIREMENTS. THE G.C. AND POOL CONTRACTOR ARE RESPONSIBLE FOR THE IMPLEMENTATION OF ALL APPLICABLE CODES ASSOCIATED WITH THE CONSTRUCTION TECHNIQUE OF THE POOL AREA & THE POOL EQUIPMENT ROOM.
- REFER TO HAMPTON STANDARDS FOR FLOORING OR DECK REQUIREMENTS IN EACH AREA.
- CONTROLS FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 48" AFF AND 15" AFF AND PROVIDE AN ACCESSIBLE 30"MIN X 48"MIN CLEAR FLOOR SPACE. OPERABLE CONTROLS LOCATED OVER AN OBSTRUCTION THAT IS DEEPER THAN 10" MUST BE MOUNTED NO HIGHER THAN 46" AFF. ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- ANY PORTION OF WALL SCONCE OR OTHER OBJECT THAT PROJECTS INTO THE CIRCULATION PATH ABOVE 27" OR BELOW 80" IS LIMITED TO A 4" MAXIMUM PROJECTION.
- ALL PHONES INTENDED FOR GUEST USE MUST BE EQUIPPED WITH VOLUME CONTROL AND A CORD THAT IS 28" LONG MINIMUM.
- FENCING IS REQUIRED AROUND ALL EXTERIOR SWIMMING POOL AREAS. TOP RAIL MUST BE ROUNDED. POINTED FINALS AND EXPOSED ENDS OF PICKETS ARE NOT PERMITTED. HEIGHT OF FENCING MUST MEET LOCAL HEALTH CODE REQUIREMENTS. ALL SWIMMING POOL GATES MUST BE SELF-CLOSING AND SELF-LATCHING.

HATCH LEGEND

PAVERS	
EXISTING CONCRETE	
LANDSCAPE	
BUILDING AREA	

SITE PLAN KEY NOTES:

- ACCESSIBLE PASSENGER DROP OFF AREA WITH ADJACENT CLEAR ACCESS AISLE - DROP OFF & ACCESS AISLE SHALL BE AT THE SAME LEVEL & SHALL HAVE A SLOPE NOT TO EXCEED 1:48 (1:64 RECOMMENDED) - REFER TO MATERIAL LEGEND FOR SPECIFIC PAVING OF THIS AREA. REFER TO THE HADG FOR MORE INFORMATION REGARDING ACCESSIBLE PASSENGER LOADING ZONES.
- 1'-0" WIDE CONCRETE APRON / BORDER
- EDGE OF CONCRETE APRON
- EXISTING CLEAR ACCESS AISLE ADJACENT TO DROP OFF AREA - DROP OFF & ACCESS AISLE WITH THE SAME LEVEL WITH A SLOPE THAT DOES NOT EXCEED 1:48
- EXISTING DECORATIVE NON-SLIP SURFACE
- EXISTING ACCESSIBLE PATH/WALKWAY, 5'-0" WIDE
- PLANTERS @ ACCESSORIES AT ENTRY MUST BE LOCATED IN A WAY THAT MAINTAINS A 36" WIDE (5'-0" WIDE AT VEHICLE DROP-OFF) ACCESSIBLE ROUTE MINIMUM
- LOW PLANTINGS AT TURN-IN THAT REFLECT LOCAL COLOR AND SEASONALITY
- PROVIDE LIGHTING AT ENTRY LANDSCAPE ELEMENTS
- OUTDOOR ENTRY SEATING
- GROUND-MOUNTED UP LIGHTING
- LINE OF EXISTING CURB TO BE REMOVED. PUSH BACK CURB TO ALLOW A MIN. 24'-0" CLEAR DRIVE AISLE PER BRAND STANDARD
- NEW CONCRETE CURB
- INSTALL A LOCK AT EXISTING POOL GATE
- REPAIR EXISTING POOL SHELL PER BRAND STANDARDS
- REPAIR EXISTING POOL DECK AND INSTALL A NEW DECORATIVE POOL DECK SURFACE. DECK MINIMUM FINISH: BROOM FINISH CONCRETE WITH CONTROL JOINTS AT 5' CENTERS.
- REFINISH POOL FENCE AND REPLACE EXISTING STRING LIGHTING
- REPLACE ALL POOL FURNITURE. ARRANGE/MAINTAIN MOVEABLE FURNITURE SO AS TO PROVIDE ACCESSIBLE GUEST ACCESS TO THIS AREA.
- DECORATIVE SCREEN WALL BETWEEN POOL AREA AND PARKING LOT
- INSTALL ACCESS CARD CONTROL AT EXTERIOR DOOR
- LED STRIP LIGHT EQUIVALENT TO ACCLAIM MODEL: FLEXP3 WITH FLKXL TRACK RATED AT 3000K AND 5.5 W/FT.
- LED CAN LIGHT EQUIVALENT TO GOTHAM LIGHTING EVO SQ 30 / 30 BARBLANK LSS MVOLT E210
- LED CAN LIGHT EQUIVALENT TO GOTHAM LIGHTING EVO SQ 30 / 15 4ARBLANK LSS MVOLT E210



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF FIDELINA RAMIREZ, REGISTRATION #26483 ON 10/06/23. WHO HAS ASSIGNED HER AUTHORITY TO THE ARCHITECT. THIS DRAWING FILE IS TO BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 1.03(B) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION, THE ARCHITECT ASSUMES ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION. THE ARCHITECT'S EXPRESS WRITTEN PERMISSION IS REQUIRED FOR ANY SUCH MODIFICATION.

J-IDOL HOTELS, LLC.
HOTEL CONVERSION
4960 ARAPAHO ROAD
ADDISON, TX 75001



DRAWN: W.V.
CHECKED BY: F.E.R.
DATE ISSUED FOR: 10/06/23 REVIEW

CONTACT INFORMATION

ARCHITECT:	LEGACY ADPR FIDELINA RAMIREZ 1245 SCOTTHURDIE CT, SUITE 102 HURST, TEXAS 76053 PHONE: (817) 864-8702
OWNER:	J-IDOL HOTELS, LLC. PARAS "MAX" BHAGAT 420 SUNFLOWER AVE. ARGYLE, TEXAS 76226 PHONE: (267) 342-1891

CONTACT INFORMATION

CASE NAME:	WINGATE INN OF ADDISON ADDITION LOT 2, BLOCK A
CASE ADDRESS:	4960 ARAPAHO RD. ADDISON, TX 75001
PREPARED BY:	FIDELINA E. RAMIREZ, ARCHITECT
DATE PREPARED:	OCTOBER 6, 2023

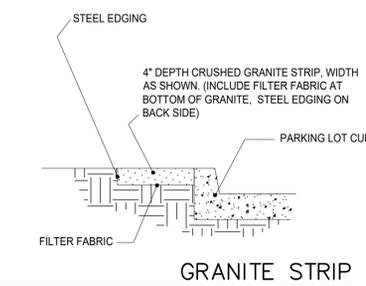
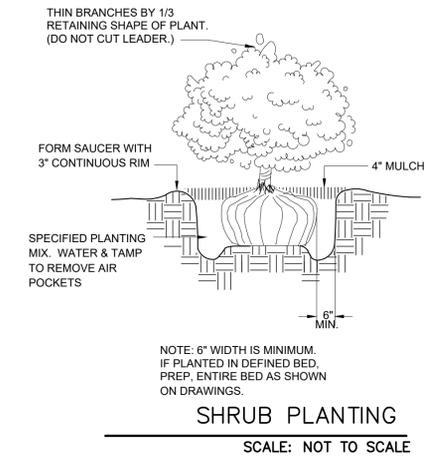
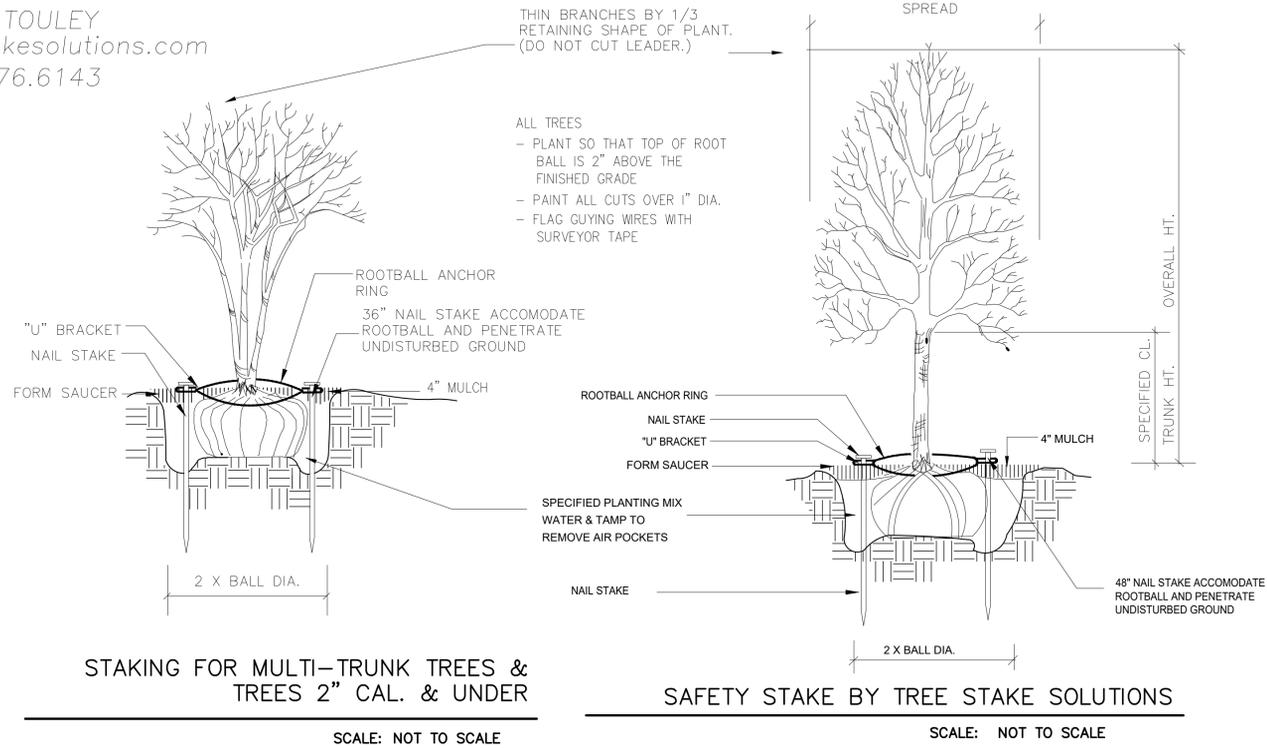
CASE NUMBER: 1893-SUP

PORTE COCHERE & ENCLOSED DUMPSTER

SHEET

A1.1
23021BHA

Contact Information:
 JEFF TOULEY
 www.treestakesolutions.com
 903.676.6143

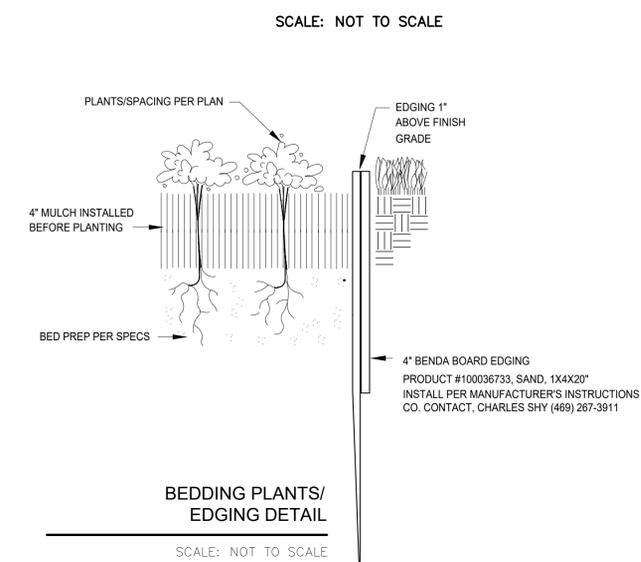


PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS	
	LAG IND	18	Lagerstroemia indica	Crape Myrtle	Existing				
	LAG WHI	2	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle Multi-Trunk	Existing				
	QUE SH2	1	Quercus shumardii	Shumard Oak	4" Cal.	12' Height Min	As Shown		
	QUE SHU	41	Quercus shumardii	Shumard Oak	Existing				
	QUE VI2	1	Quercus virginiana	Southern Live Oak	4" Cal.	12' Height Min			
	QUE VIR	10	Quercus virginiana	Southern Live Oak	Existing				
	ULM CR2	2	Ulmus crassifolia	Cedar Elm	4" Cal.	12' Height Min	As Shown	single Straight Trunk	
	ULM CRA	3	Ulmus crassifolia	Cedar Elm	Existing				
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS	
	ELA MA2	46	Elaeagnus macrophylla	Oleaster	5 gal.	24" min.	36" O.C.		
	ILE DWA	340	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	5' Ht.	24" min.	36" O.C.		
	LIG FNJ	10	Ligustrum japonicum	Waxleaf ligustum	Existing				
	NAN LBO	29	Nandina domestica	Heavenly Bamboo	5 gal.		48" O.C.		
	RHA SNW	50	Rhaphiolepis indica 'Snow White'	Snow White Indian Hawthorn	5 gal.	18"-24"	36" O.C.		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	SPACING	REMARKS
	CYN DAC	26,583 sf	Cynodon dactylon	Bermudagrass	Existing				
	LIR BIG	507	Liriope muscari 'Big Blue'	Big Blue Lilyturf	4" pots		12" O.C.	12" o.c.	
	TRA ASI	1,079	Trachelospermum asiaticum	Asiatic Jasmine	4" pots		12" O.C.	12" o.c.	

REFERENCE NOTES SCHEDULE

SYMBOL	01 GENERAL DESCRIPTION	QTY	DETAIL
	Steel Edging	841	1f



Date SEP 27, 2023
 Drawn By GAC
 Checked By GAC
 Revisions

FAIN • CUPPETT
 LANDSCAPE ARCHITECTS, LLC
 1921 MAPLEWOOD DR
 WEATHERFORD, TX 76087
 817-215-9151
 PLANNING AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FAIN • CUPPETT LANDSCAPE ARCHITECTS, LLC. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO THE TERMS AND CONDITIONS OF THE LICENSE AND TO HOLD FAIN • CUPPETT LANDSCAPE ARCHITECTS, LLC HARMLESS FROM AND AGAINST ALL LIABILITY, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY FAIN • CUPPETT LANDSCAPE ARCHITECTS, LLC AS A RESULT OF THE USER'S USE OF THIS ELECTRONIC DRAWING FILE WITHOUT THE WRITTEN PERMISSION OF FAIN • CUPPETT LANDSCAPE ARCHITECTS, LLC.

HAMPTON BY HILTON
 ARAPAHO ROAD
 ADDISON, TEXAS

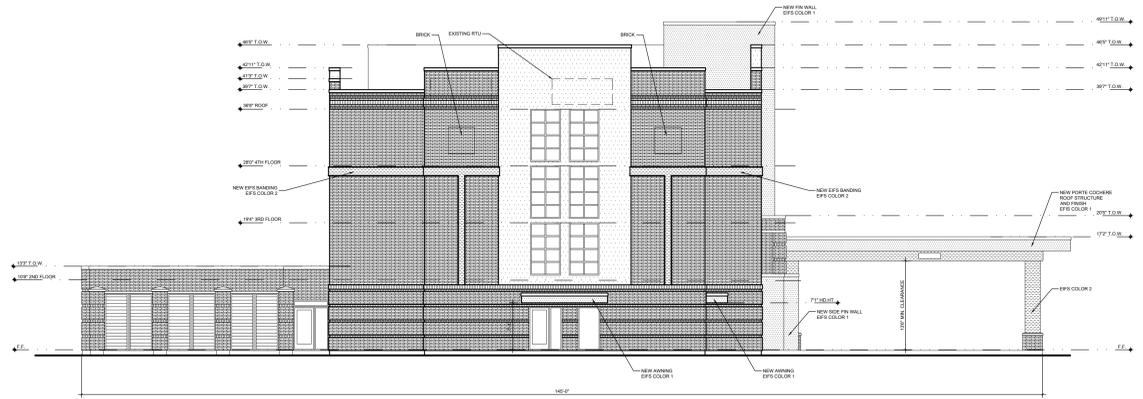
Sheet No.

© DFL GROUP LLC. 2014. ALL RIGHTS RESERVED. THE LANDSCAPE ARCHITECTURE DESIGN, DETAIL AND IRRIGATION DRAWINGS FOR THIS PROJECT AND/OR OVERALL PROJECT ARE THE LEGAL PROPERTY OF DFL GROUP LLC. THEIR USE FOR REPRODUCTION, CONSTRUCTION, OR DISTRIBUTION IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY DFL GROUP LLC.

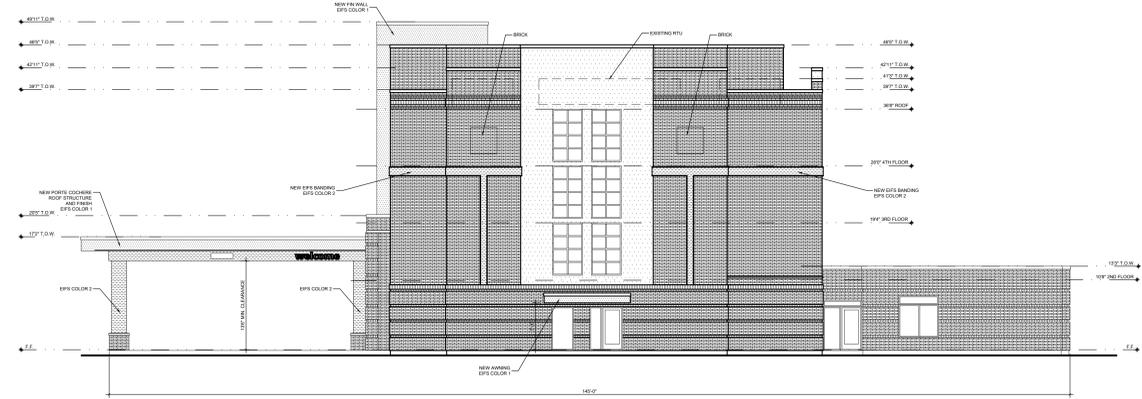


02 NORTH ELEVATION - FRONT
SCALE 3/32"=1'-0"

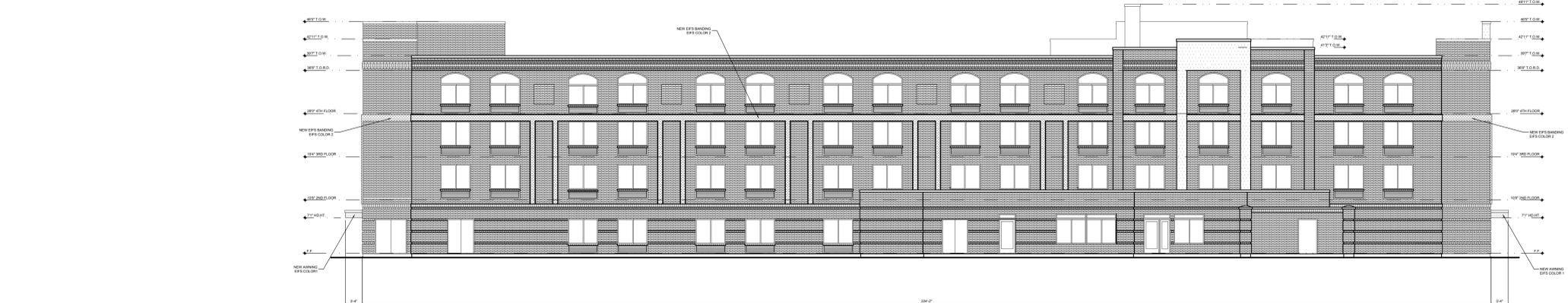
DIRECTION	WALL AREA	BRICK %	EIFS %	WOOD PANEL %	MTL. FASCIA %	DOOR & GLAZING %
NORTH ELEVATION	9,423 SQ.FT.	5,533 SQ.FT.- 59%	1,102 SQ.FT.- 12%	398 SQ.FT.- 4%	173 SQ.FT.- 2%	2,217 SQ.FT.- 25%
EAST ELEVATION	3,766 SQ.FT.	2,169 SQ.FT.- 58%	1,002 SQ.FT.- 27%	0 SQ.FT.- 0%	89 SQ.FT.- 2%	506 SQ.FT.- 13%
SOUTH ELEVATION	9,238 SQ.FT.	6,447 SQ.FT.- 70%	638 SQ.FT.- 7%	0 SQ.FT.- 0%	164 SQ.FT.- 2%	1,989 SQ.FT.- 22%
WEST ELEVATION	3,881 SQ.FT.	2,548 SQ.FT.- 66%	877 SQ.FT.- 23%	0 SQ.FT.- 0%	103 SQ.FT.- 3%	383 SQ.FT.- 9%
TOTALS	26,308 SQ.FT.	16,697 SQ.FT.- 63%	3,619 SQ.FT.- 14%	398 SQ.FT.- 2%	529 SQ.FT.- 2%	5,065 SQ.FT.- 19%



02 EAST ELEVATION
SCALE 3/32"=1'-0"



02 WEST ELEVATION
SCALE 3/32"=1'-0"



02 SOUTH ELEVATION
SCALE 3/32"=1'-0"

ELEVATION GEN. NOTES:

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE UTILITIES AND AUTHORITIES HAVING JURISDICTION.
2. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATION & INSTRUCTIONS, IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS AND AS SPECIFIED.
3. REFER TO FLOOR PLAN FOR OVERALL DIMENSIONS AND WINDOW TYPES.
4. THE GC SHALL CONFIRM AND COORDINATE ALL CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS.
5. ALL METAL TRIM, GUTTERS, DOWNSPOUTS, CONDUCTORS HEADS, EXPOSED FLASHING TO BE PRE-FINISHED PER OWNER'S COLOR SELECTION.
6. WINDOW AND ENTRY DOOR FRAMES TO BE PRE-FINISHED PER OWNER'S COLOR SELECTION.
7. EXTERIOR GLAZING TO BE AS NOTED ON THE BUILDING ENERGY REPORT. CAULK/SEALANT TO MATCH ADJACENT MATERIAL COLOR. CONFIRM WITH OWNER.
8. REPLACE ALL WINDOWS WITH DAMAGED SEALS.

- BUILDING SIGNAGE**
1. ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
 2. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
 3. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
 4. RACEWAYS / WIREWAYS ARE NOT ALLOWED.
 5. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
 6. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

EXTERIOR MATERIAL LEGEND:

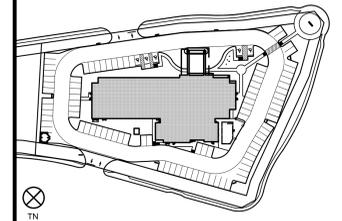
- EXISTING BRICK TO REMAIN
- EIFS COLOR 1 CHAMPION COBALT BM 2061-20
- EIFS COLOR 2 PALE OAK BM OC-20
- NICHHA VINTAGEWOOD WOOD SERIES - CEDAR
- EXISTING EIFS TO REMAIN - PAINT PALE OAK BM OC-20
- EXISTING EIFS TO REMAIN - PAINT CHAMPION COBALT BM 2061-20
- MTL. FASCIA TO MATCH ADJACENT SURFACE

NOTE:
ALL EIFS THICKNESS IS 3" UNLESS NOTED OTHERWISE

FACADE PLAN NOTES:

1. THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
2. ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
3. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
4. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
5. ROOF ACCESS SHALL BE PROVIDED INTERNALLY UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.

KEY SITE PLAN N.T.S.



CONTACT INFORMATION

ARCHITECT: LEGACY ADPR
FIDELINA RAMIREZ
1245 SOUTHRIDGE CT, SUITE 102
HURST, TEXAS 76053
PHONE: (817) 864-8702

OWNER: J-IDOL HOTELS, LLC
PARAS MAY BHAGAT
420 SUNFLOWER AVE.
ARGYLE, TEXAS 76226
PHONE: (207) 342-1891

CONTACT INFORMATION

CASE NAME: WINGATE INN OF ADDISON ADDISON
CASE ADDRESS: 4960 ARAPAHO RD. ADDISON, TX. 75001
PREPARED BY: FIDELINA E. RAMIREZ, ARCHITECT
DATE PREPARED: OCTOBER 6, 2023
CASE NUMBER: 1893-SUP



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF FIDELINA E. RAMIREZ, REGISTRATION #26483 ON 10/06/23. THIS FILE IS USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 1.03 OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION, THE ARCHITECT ASSUMES ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION. NO EXPRESS OR IMPLIED WARRANTY IS MADE TO THIS ELECTRONIC DRAWING FILE WITHOUT THE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

J-IDOL HOTELS, LLC.
HOTEL CONVERSION
4960 ARAPAHO ROAD
ADDISON, TX 75001



DRAWN: W.V.
CHECKED BY: F.E.R.
DATE ISSUED FOR: 10/06/23
REVIEW:

© COPYRIGHT 2023

EXTERIOR ELEVATIONS

SHEET

A5.0
23021BHA

FLOOR PLAN GENERAL NOTES:

- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE UTILITIES AND AUTHORITIES HAVING JURISDICTION.
- PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATION & INSTRUCTIONS, IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS AND AS SPECIFIED.
- NEW WALLS SHALL BE LOCATED AS DETERMINED BY THE FOLLOWING PRIORITY:
 - PERPENDICULAR TO THE EXISTING WALL WHICH IT ABUTS
 - PARALLEL AND IN LINE WITH EXISTING WALL IT EXTENDS FROM
 - PARALLEL TO WALL FROM WHICH IT IS DIMENSIONED
 - ON COLUMN OR WINDOW MILLION CENTERLINE, U.N.O.
- WALL CONSTRUCTION:
 - ALL WALLS TO BE TYPE "1" UNLESS OTHERWISE NOTED. REFER TO SHEET A0.3 FOR WALL DETAILS.
 - ALL DIMENSIONS TO FACE OF GYP. UNLESS OTHERWISE NOTED ON PLANS.
 - GYP/SUM BOARD ABOVE CEILING TO BE TAPED AND FLOATED ONLY.
 - DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DIMENSIONS GOVERN OVER SMALL SCALE.
 - PROVIDE BRACING ABOVE CEILING HEIGHT PARTITIONS WHEN LONG UNBRACED WALL LENGTHS OCCUR, AND AT ALL DOOR AND GLAZED OPENINGS. JAMBS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
 - DEMISING PARTITIONS TO GO TO DECK. GC TO VERIFY AND PONY WALL TO DECK WHERE NEEDED.
- CONTRACTOR TO PROVIDE FINISHED GWB AND SOUND INSULATION AT ALL PARTITIONS AS REQUIRED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR BRACING AND BLOCKING OF WALLS RECEIVING MILLWORK, SHELVING, TELEPHONE BOARDS, WALL MOUNTED EQUIPMENT, ETC. ALL WOOD BLOCKING, GROUNDING, ROUGH BRUCKS, AND MISCELLANEOUS BLOCKING IS TO BE FIRE-RETARDANT TREATED.
- THE GENERAL CONTRACTOR SHALL PATCH AND FINISH TO MATCH EXISTING ANY ADJACENT WALLS, FINISHES, ETC. AFFECTED IN ANY MANNER, BY CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF ANY ACCIDENTAL DAMAGE HE OR HIS EMPLOYEES INFLECT UPON THE EXISTING WORK TO REMAIN. IF FOR ANY REASON, DAMAGE TO EXISTING WORK OR UTILITIES IS CONSIDERED TO BE UNAVOIDABLE, SUBMIT WRITTEN NOTIFICATION OF THIS BEFORE SIGNING THE CONTRACT. IN THE ABSENCE OF SUCH NOTIFICATION, THE GENERAL CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DAMAGE AND THE COST OF SATISFACTORILY REPAIRING OR REPLACING THE DAMAGE WORK.
- ALL EXISTING TELEPHONE DATA AND ELECTRICAL OUTLETS TO REMAIN U.N.O. GC SHALL VERIFY THAT THEY OUTLETS ARE LOCATED AT 18" TO CENTER OF FIXTURE ABOVE FINISHED FLOOR, U.N.O.
- PATCH ALL HOLES IN FLOOR AND KNOW DOWN ALL HIGH AREAS AS REQUIRED. PROVIDE SMOOTH, LEVEL CONC. SLAB SURFACE READY TO RECEIVE NEW FINISHES.
- COORDINATE WITH MEP DRAWINGS FOR DUCTWORK, PIPE, CONDUIT, ETC. THROUGH WALLS AND SLABS. CUT ANY NEW HOLES AS REQUIRED. FILL ANY HOLES, VOIDS, AND OPENINGS WITH MATCHING MATERIALS. SEAL PENETRATIONS THROUGH SMOKE-TIGHT OR FIRE-RATED CONSTRUCTION AS SPECIFIED.
- ALL PREVIOUS BRASS SIGNAGE TO BE REMOVED. NEW ROOM SIGNAGE IN ALL ROOMS AND COMMON AREAS SHALL BE PROVIDED PER SIGNAGE PACKAGE PROVIDED BY OWNER AND SHALL MEET TASA/DA STANDARDS.
- INSTALL NEW "BRAND" OPERATING SUPPLIES AND EQUIPMENT (OS&E).
- REPLACE ALL BRASS OR BRONZE HARDWARE IN ALL PUBLIC SPACES AND INSTALL CHROME DOOR HARDWARE.
- ALL EXISTING CORRIDOR DOORS: STRIP AND REFINISH ALL DOORS. REPLACE ALL DAMAGED GUESTROOM AND GUEST FACING DOORS. REFINISH ALL WORN EXIT DOORS. REPLACE ANY MISSING ITEMS.
- INSTALL DOOR FRAME SOUND STRIPPING, THRESHOLD, AND DOOR SWEEP AT ALL ENTRY AND CONNECTING DOORS.
- INSTALL A ONE-PIECE 90 DEGREE FLIP TYPE SAFETY LATCH AT THE CONNECTING DOOR.
- INSTALL A HYDRAULIC DOOR CLOSER AND TAMPER RESISTANT DOOR VIEWER COVER AT THE ROOM ENTRY DOOR.
- INSTALL TAMPER RESISTANT STOPS TO PREVENT WINDOWS FROM OPENING 4" OR MORE.
- ALL CEILINGS TO REMAIN. REPLACE ANY DAMAGED PORTIONS AND MATCH TO EXISTING. REF. TO RCP PLAN FOR FINISHES.
- ALL TOILET ROOMS AND OFFICES SHALL HAVE SOUND INSULATION U.N.O.



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF FIDELINA RAMIREZ, REGISTRATION #26483 ON 10/06/23. THIS FILE IS USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 1.03 OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION, THE ARCHITECT ASSUMES ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION. THE ARCHITECT'S BOARD OF ARCHITECTS EXPRESS WRITTEN PERMISSION.

J-IDOL HOTELS, LLC.
HOTEL CONVERSION
4960 ARAPAHO ROAD
ADDISON, TX 75001



DRAWN: W.V.
CHECKED BY: F.E.R.
DATE ISSUED FOR: 10/06/23 REVIEW

© COPYRIGHT 2023

FLOOR PLANS

SHEET

A2.1
23021BHA

FLOOR PLAN LEGEND:

- PROPOSED STUD WALL
- PROPOSED BRICK / STONE WALL
- DOOR AS PER PLAN
- WALL TYPE - REFER TO SHEET A0.6 FOR DETAILS
- SHEET REVISION NO.
- NEW MILLWORK W/ UPPER CABINET (SHOWN DASHED)
- ELEVATION DESIGNATION
- RM. NAME / NUMBER / CEILING, HT.
- 1-HR FIRE RATED PARTITION

FLOOR PLAN KEY NOTES:

- CLEAN AND SEAL CONCRETE STAIR TREADS.
- REPAINT ALL WALLS AND RAILS.
- REPLACE DAMAGED FLOOR TILES AND MATCH TO EXISTING.
- INSTALL A FULL SIZE REFRIGERATOR.
- REPLACE ALL DAMAGED VCT FLOOR TILES AND MATCH TO EXISTING.
- REPAIR AND REPAINT ALL WALLS.
- REPLACE DAMAGED VCT FLOOR TILES AND MATCH TO EXISTING.
- INSTALL CARBON MONOXIDE DETECTOR.
- EXISTING FIRE PULL STATION TO REMAIN.
- INSTALL TASA/DA WATER DRINKING FOUNTAIN WITH WATER BOTTLE FILLER. CLEAR SPACE FOR FRONT OR PARALLEL APPROACH.
- INSTALL HOUSE PHONE. CLEAR SPACE AND REACH RANGE TO COMPLY WITH TASA/DA. CLEAR SPACE FOR FRONT OR PARALLEL APPROACH. PHONE MUST BE EQUIPPED WITH VOLUME CONTROL AND A MIN. 28" LONG COIL.
- REPAIR AND REPAINT ALL WALLS.
- INSTALL ELECTRIC CARD READER. CLEAR SPACE AND REACH RANGE TO COMPLY WITH TASA/DA. CLEAR SPACE FOR FRONT OR PARALLEL APPROACH.
- INSTALL AFTER-HOURS INTERCOM. MOUNT WITHIN REACH RANGE TO COMPLY WITH TASA/DA. CLEAR SPACE FOR FRONT OR PARALLEL APPROACH.
- INSTALL ELECTRIC CARD READER. CLEAR SPACE AND REACH RANGE TO COMPLY WITH TASA/DA. CLEAR SPACE FOR FRONT OR PARALLEL APPROACH.
- FRONT DESK WALL TO REMAIN CLEAR. INSTALL HAMPTON GRAPHICS PER SIGNAGE PACKAGE.
- INSTRUCTIONAL SIGNAGE.
- DECORATIVE ACCENT WALL
- GREEN ACCENT WALL
- INSTALL ACCESSIBLE ICE MACHINE. 30"48" CLEAR SPACE REQUIRED.

CONTACT INFORMATION

ARCHITECT: LEGACY ADPR
FIDELINA RAMIREZ
1245 SOUTHRIDGE CT, SUITE 102
HURST, TEXAS 76053
PHONE: (817) 864-8702

OWNER: J-IDOL HOTELS, LLC.
PARAS MARY BHAGAT
420 SUNFLOWER AVE.
ARGYLE, TEXAS 76226
PHONE: (267) 342-1891

CONTACT INFORMATION

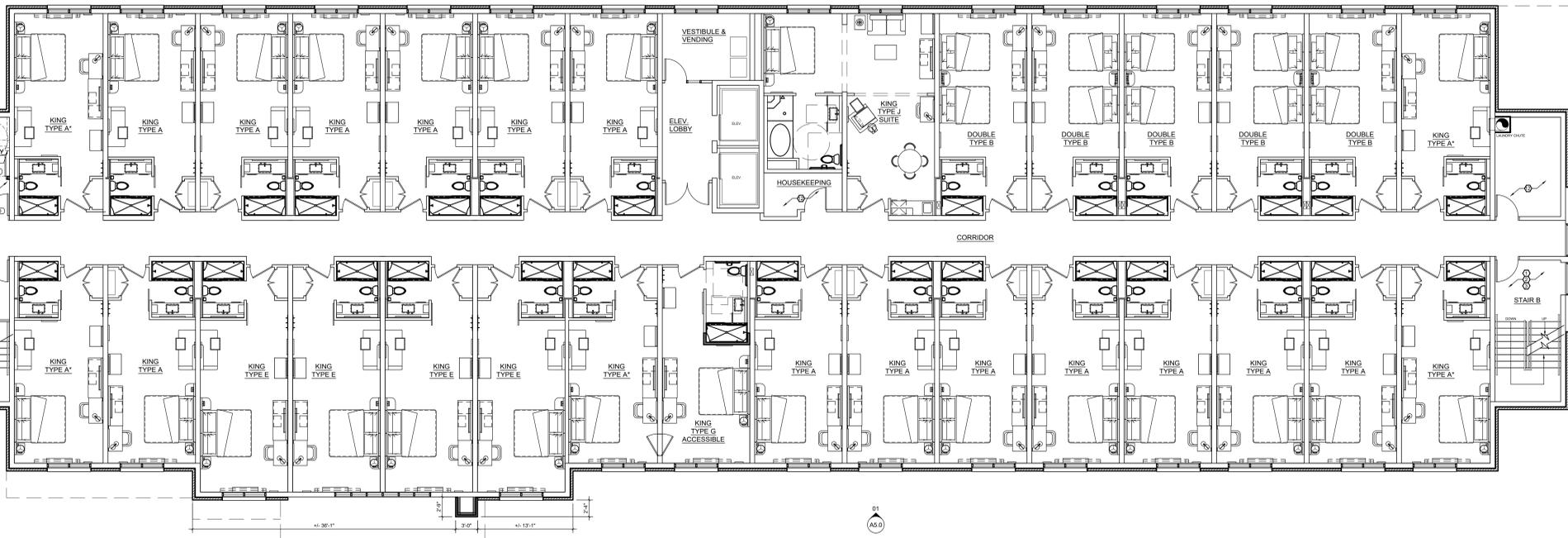
CASE NAME: WINGATE INN OF ADDISON ADDITION
LOT 2, BLOCK A

CASE ADDRESS: 4960 ARAPAHO RD.
ADDISON, TX 75001

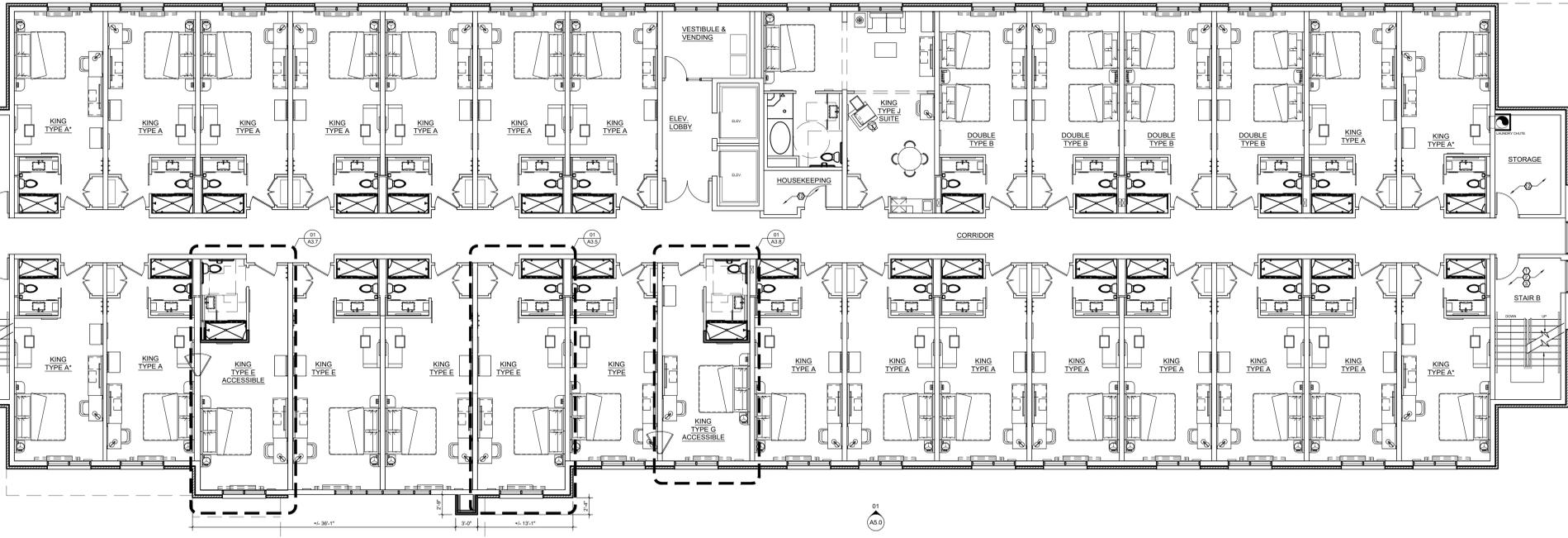
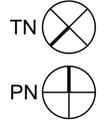
PREPARED BY: FIDELINA E. RAMIREZ, ARCHITECT

DATE PREPARED: OCTOBER 6, 2023

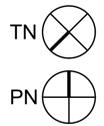
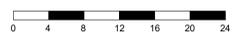
CASE NUMBER: 1893-SUP



02 TYPICAL GUESTROOM FLOOR PLAN (FLOOR 4)
SCALE 1/8"=1'-0"



01 TYPICAL GUESTROOM FLOOR PLAN (FLOOR 3)
SCALE 1/8"=1'-0"





THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF FIDELINA E. RAMIREZ, REGISTRATION #26483 ON 10/06/23. THIS FILE IS TO BE USED AS A BACKGROUND DRAWING PURSUANT TO RULE 1.03 OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION. THE ARCHITECT ASSUMES ALL RESPONSIBILITY FOR ANY MODIFICATION OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL REGULATION. THE ARCHITECT HAS NOT CONSENTED TO THIS ELECTRONIC DRAWING FILE WITHOUT THE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

J-IDOL HOTELS, LLC.
HOTEL CONVERSION
4960 ARAPAHO ROAD
ADDISON, TX 75001



10/06/23
DRAWN: V.V.
CHECKED BY: F.E.R.
DATE ISSUED FOR: 10/06/23
REVIEW

CONTACT INFORMATION

ARCHITECT: LEGACY ADPR
FIDELINA RAMIREZ
1245 SOUTHRIDGE CT, SUITE 102
HURST, TEXAS 76053
PHONE: (817) 864-8702
OWNER: J-IDOL HOTELS, LLC.
PARAS "MAX" BHAGAT
420 SUNFLOWER AVE.
ARGYLE, TEXAS 76226
PHONE: (267) 342-1891

© COPYRIGHT 2023

CONTACT INFORMATION

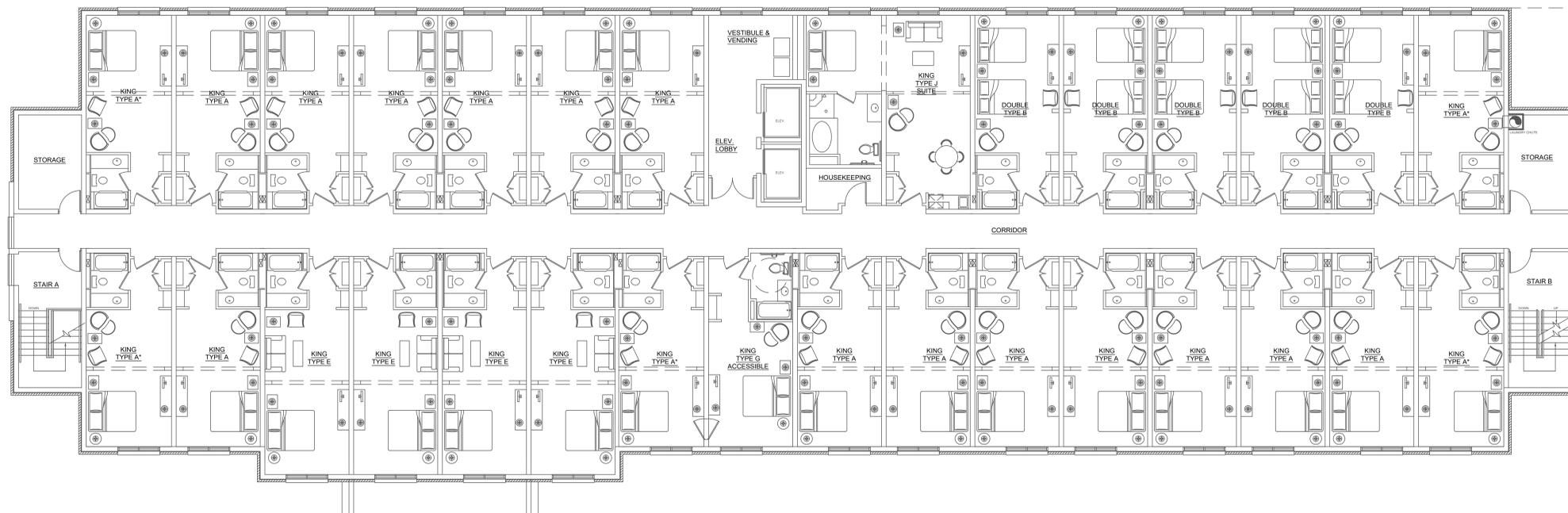
CASE NAME: WINGATE INN OF ADDISON ADDITION
LOT 2, BLOCK A
CASE ADDRESS: 4960 ARAPAHO RD.
ADDISON, TX, 75001
PREPARED BY: FIDELINA E. RAMIREZ, ARCHITECT
DATE PREPARED: OCTOBER 6, 2023

EXISTING FLOOR PLANS

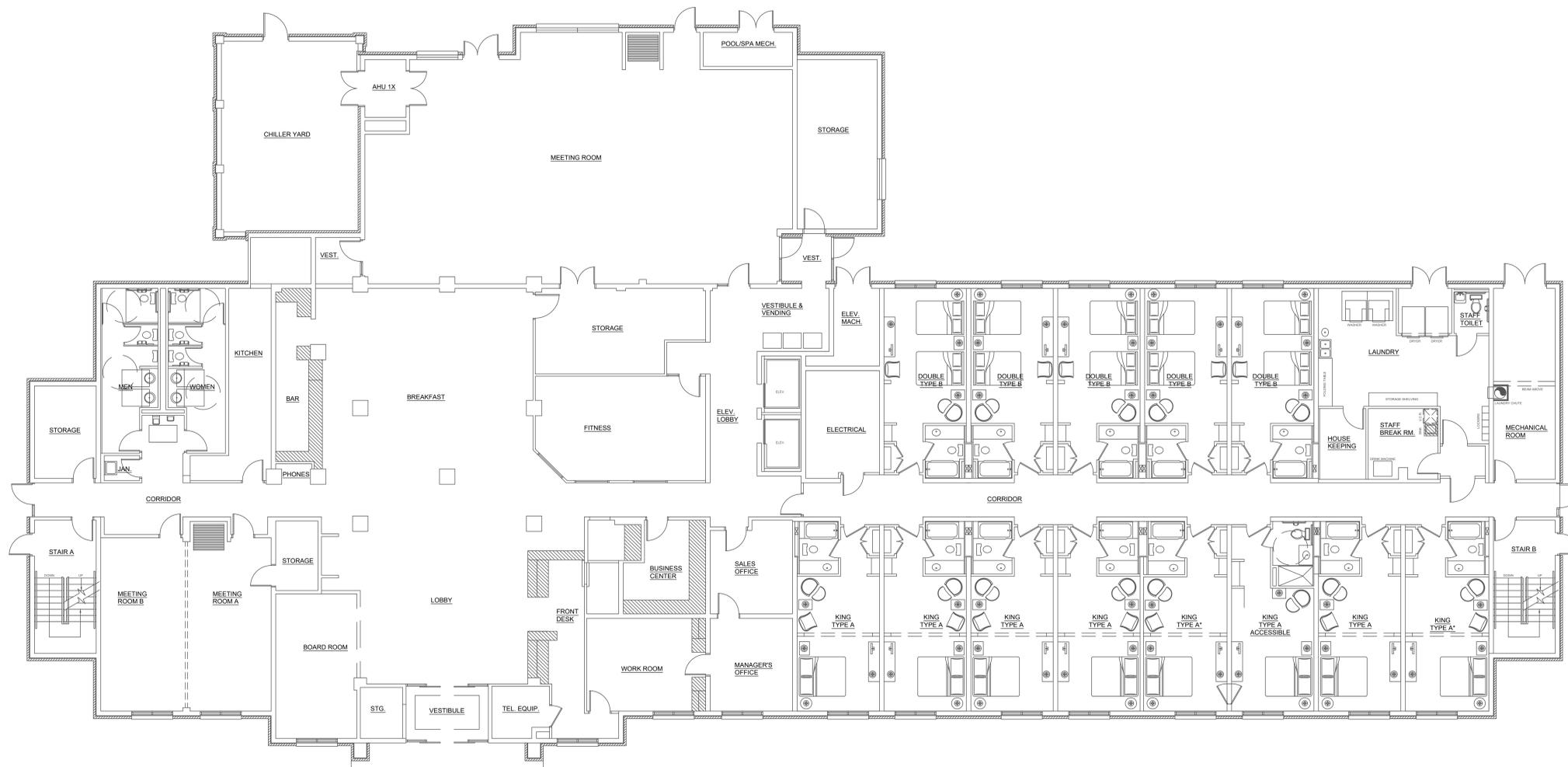
SHEET

A2.2
23021BHA

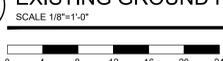
CASE NUMBER: 1893-SUP



02 EXISTING GUESTROOM FLOOR PLAN (FLOOR 4)



01 EXISTING GROUND FLOOR PLAN



ORDINANCE NO. 098- 022

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, SO AS TO GRANT A SPECIAL USE PERMIT FOR A HOTEL/MOTEL, ON APPLICATION WITH WINGATE INNS, LOCATED ON 2.788 ACRES AT THE NORTHWEST CORNER OF QUORUM DRIVE AND ARAPAHO ROAD (FUTURE EDWIN LEWIS DRIVE); PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A REPEAL CLAUSE; PROVIDING FOR A PENALTY CLAUSE; AND PROVIDING FOR A SEVERABILITY CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, is hereby amended so as to grant a special use permit

to a hotel/motel. Said zoning amendment shall be noted on the official zoning map of the Town of Addison, Texas, and is situated on the following described land:

WHEREAS, MCM Company are the owners of a 2.788 acres tract of land situated in the G.W. Fisher Survey, Abstract no. 482, Town of Addison, Dallas County, Texas and being a portion of five tracts of land described in instruments to MCM Company as recorded in Volume 78212, page 3704; Volume 83179, page 1556; Volume 82179; page 1559 and Volume 84004, page 1944 of the deed of records, Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a 5/8 inch iron for found at the Southwest corner of the tract of land described in said instrument recorded in Volume 84133, page 0532 of the deed of records of Dallas County, Texas, said point also being the Southwest corner of a tract of land described in instrument to Southwestern Bell Telephone Company as recorded in Volume 86207, page 3192 of the deed of records, Dallas County, Texas, said point also being on the North right-of-way line;

THENCE South 89 degrees 35 minutes 00 seconds East along the said North right-of-way line of Arapaho Road and the North right-of-way line of Arapaho Road as established by instrument to the city of Addison, Texas as recorded in Volume 84075, page 4952 of the deed of records of Dallas County, Texas and along the South line of said Southwestern Bell Telephone Company (SWBT) tract a distance of 79.64 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the POINT OF BEGINNING;

THENCE North 00 degrees 16 minutes 34 seconds East parallel with and 20 Easterly from the East line of said SWBT tract a distance of 157.20 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap on the Southerly line of a 168,918 square foot tract of land as described in instrument to the town of Addison as recorded in Volume 86009, page 00027, deed records, Dallas County, Texas said point being the beginning of a non-tangent curve to the right having a central angle of 4 degrees 47 minutes 46 seconds, a radius of 778.00 feet, and being subtended by a 65.11 foot chord bearing North 63 degrees 57 minutes 20 seconds East;

THENCE Northeasterly along said curve to the right, along the Southerly line of said town of Addison tract a distance of 65.12 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of tangency of said curve;

THENCE North 66 degrees 21 minutes 13 seconds East along the Southerly line of said town of Addison tract a distance of 299.54 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of curvature of a curve to the right, having a

central angle of 11 degrees 28 minutes 42 seconds, a radius of 240.00 feet, and being subtended by a 48.00 foot chord bearing North 72 degrees 05 minutes 34 seconds East;

THENCE Northeasterly along said curve to the right, along the Southerly line of said town of Addison tract an arc distance of 48.08 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of reverse curvature of a curve to the left, having a central angle of 11 degrees 28 minutes 42 seconds, a radius of 260.00 feet, and being subtended by a 52.00 foot chord bearing North 72 degrees 05 minutes 34 seconds East;

THENCE Northeasterly along said curve to the left, along the Southerly line of said town of Addison tract an arc distance of 52.09 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of tangency of said curve;

THENCE North 66 degrees 21 minutes 13 seconds East along the Southerly line of said town of Addison tract a distance of 60.80 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of curvature of a curve to the right, having a central angle of 3 degrees 29 minutes 00 seconds, a radius of 848.00 feet, and being subtended by a 51.55 foot chord bearing North 68 degrees 05 minutes 43 seconds East;

THENCE Northeasterly along said curve to the right, along the Southerly line of said town of Addison tract an arc distance of 51.55 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the end of said curve;

THENCE South 54 degrees 50 minutes 08 seconds East along the Southerly line of said town of Addison tract a distance of 23.14 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for a corner on the West right-of-way line of Quorum Drive (80 foot wide right-of-way) as established by the instrument to the town of Addison, Texas as recorded in Volume 82149, page 0240 of the deed of records of Dallas County, Texas;

THENCE South 00 degrees 11 minutes 10 seconds East along the west right-of-way line of Quorum Drive a distance of 86.14 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of curvature of a curve to the right, having a central angle of 18 degrees 40 minutes 18 seconds, a radius of 380.00 feet, and being subtended by a 123.29 foot chord bearing South 09 degrees 08 minutes 59 seconds West;

THENCE Southerly along said curve to the right and West right-of-way line of Quorum Drive an arc distance of 123.83 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of reverse curvature of a curve to the left, having a central angle of 18 degrees 40 minutes 18 seconds, a radius of 190.00 feet, and being subtended by a 61.65 foot chord bearing South 09 degrees 08 minutes 59 seconds West;

THENCE Southerly along said curve to the left and West right-of-way line of Quorum Drive an arc distance of 123.83 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of tangency of said curve;

THENCE South 00 degrees 11 minutes 10 seconds East along the west right-of-way line of Quorum Drive a distance of 26.09 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for a corner;

THENCE South 45 degrees 42 minutes 50 seconds West along the Westerly right-of-way line of Quorum Drive a distance of 24.00 feet to an "X" cut found in concrete for a corner on the North right-of-way line of Arapaho Road as established by instrument to city of Addison, Texas as recorded in Volume 82117, Page 1657 of the Deed records of Dallas County, Texas;

THENCE North 89 degrees 46 minutes 10 seconds West along the North right-of-way line of Arapaho Road a distance of 267.99 feet to a 1/0 inch iron rod found with "Huitt-Zollars" cap for the point of curvature of a curve to the left, having a central angle of 13 degrees 35 minutes 07 seconds, a radius of 359.31 feet, and being subtended by a 85.00 foot chord bearing South 83 degrees 26 minutes 16 seconds West;

THENCE Westerly along said curve to the left and North right-of-way line of Arapaho Road an arc distance of 85.20 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap on the North line of an easement for the street purposes granted to the city of Addison, Texas described in instrument recorded in Volume 78212, page 3699 of the deed records of Dallas County, Texas;

THENCE South 76 degrees 05 minutes 32 seconds West a distance of 43.41 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the Southeast corner of that tract of land described in instruments to MCM Company as recorded in Volume 82179, Page 1559 of the deed records of Dallas County, Texas said point also being on the North right-of-way line of Arapaho Road as established by instrument to the city of Addison, Texas as recorded in Volume 82117, Page 4654 of the deed records of Dallas County, Texas, said point being the beginning of a non-tangent curve to the right, having a central angle of 12 degrees 31 minutes 42 seconds, a radius of 299.31 feet, and being subtended by a 65.32 foot chord bearing south 84 degrees 09 minutes 00 seconds West;

THENCE Westerly along said curve to the right and said North right-of-way line of Arapaho Road an arc distance of 65.45 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of tangency of said curve;

THENCE North 89 degrees 35 minutes 00 seconds West along the North right-of-way line of Arapaho Road as per last mentioned instrument and an instrument to the city of Addison, Texas as recorded in Volume 84075, Page 4952 of the deed records of Dallas County, Texas for a distance of 45.33 feet to the POINT OF BEGINNING.

CONTAINING 2.788 acres of land, more or less.

SECTION 2. That the Special Use Permit for a hotel/motel is approved subject to the following special conditions:

-The facades for the building shall be constructed of 90% brick or a combination of brick and E.I.F.S. (rendering #3, as presented by the applicant).

-The applicant/developer shall provide on-site detention storage for storm water runoff.

-This property is located within the 70 to 75 ldn noise contours. In accordance with the adopted airport master plan, an aviation easement is required, (form is attached).

-Prior to any development the applicant shall submit plans to the FAA for review/approval to determine compliance with Addison's height hazard zoning.

-Prior to acquiring a building permit, and upon completion of the building, the applicant/developer shall provide verification from a certified acoustical expert that the structure, outside to inside, meets sound attenuation of 30 dB.

-The entrance on the north side must match up with the median opening in the proposed Arapaho Road, and should be a minimum of 36-feet wide.

-At the time of subdivision platting, the applicant shall dedicate a landscape, sidewalk, and utility easement on the northeast corner of the property for the Arapaho/Quorum streetscape improvements.

-At the time of platting, the applicant shall dedicate a 16-foot landscape, sidewalk, and utility easement from back of the curb along Quorum Drive for future Quorum streetscape improvements. The width of the property required to be dedicated by the applicant will vary from approximately one foot to eight feet from the right-of-way line.

-Placement of trees along the Arapaho and Quorum Drive frontages shall be coordinated with the Town's streetscape plan for tree spacing.

-The undeveloped open space shown west of the building shall be irrigated and maintained with the rest of the site.

-A detailed landscape and irrigation plan shall be submitted for review and approval before a building permit is issued.

-The dumpster enclosure shall be constructed out of the same material as the building and shall be large enough to hold all dumpsters on the site.

-All mechanical equipment shall be screened by either a parapet wall or screening device. The screening shall be architecturally compatible with the building, and the Staff shall make the determination as to what is "architecturally compatible."

-The building and site must meet all requirements of the fire code.

SECTION 3. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 5. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 14th day of April, 1998.


MAYOR

ATTEST:

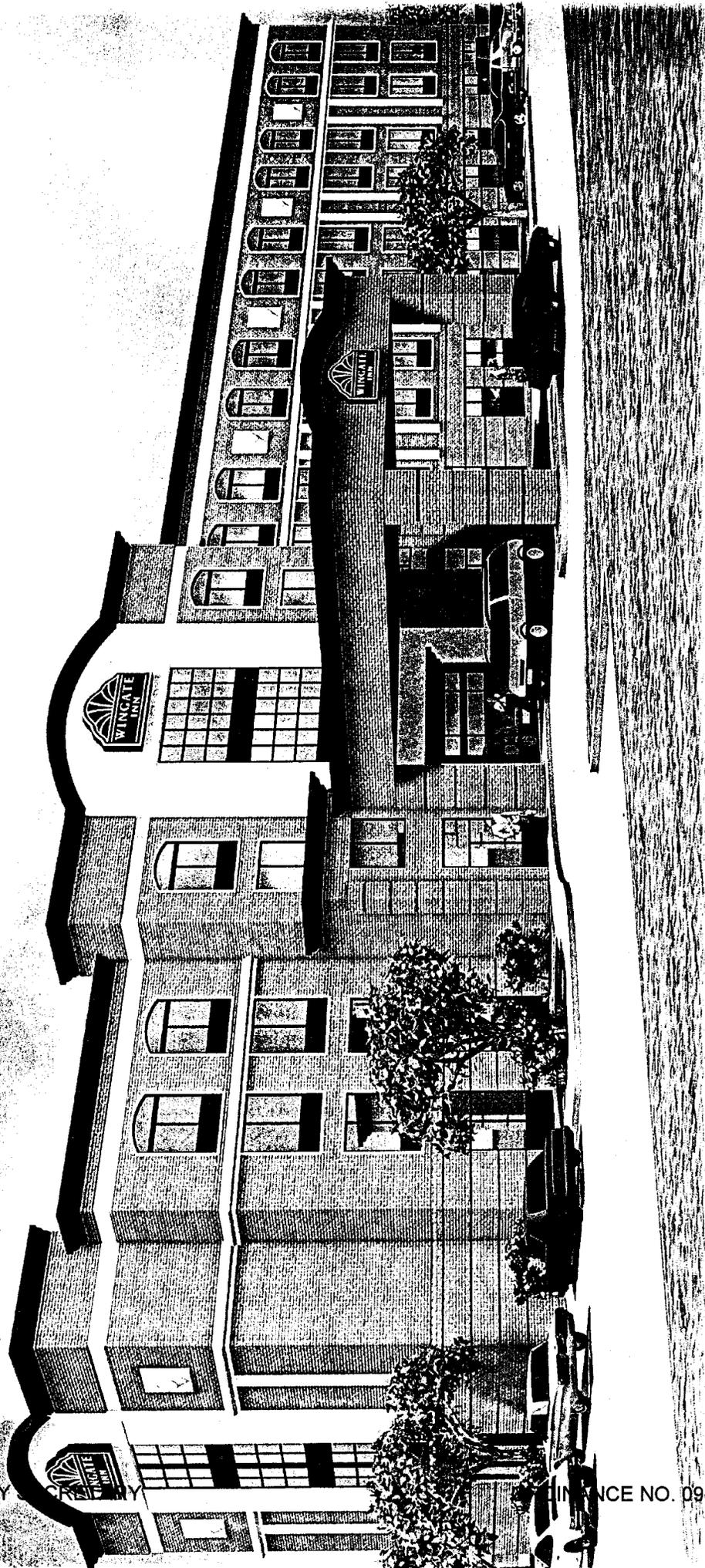

CITY SECRETARY

CASE NO. 1325-SUP

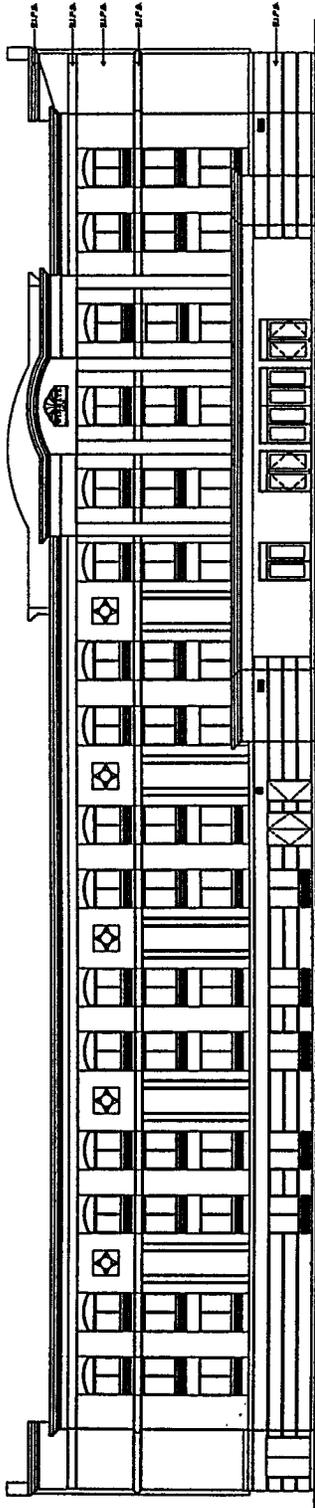
APPROVED AS TO FORM:


DIRECTOR OF DEVELOPMENT SERVICES

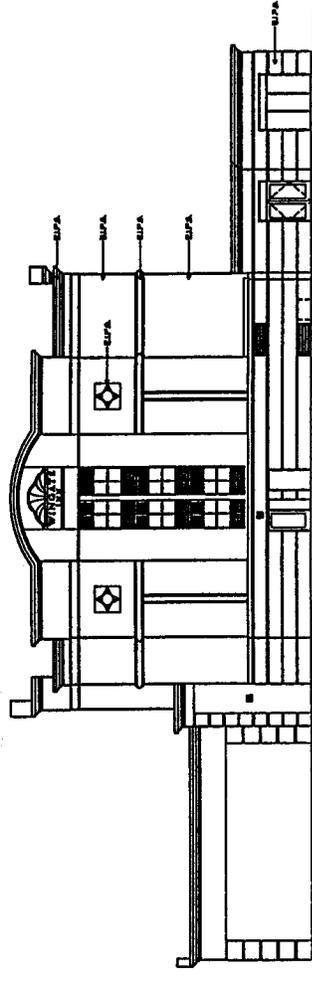
PUBLISHED ON: 7/17/98



**Wingate Inn
Rendering #3
EIFS & Brick**



SOUTH ELEVATION
W-1

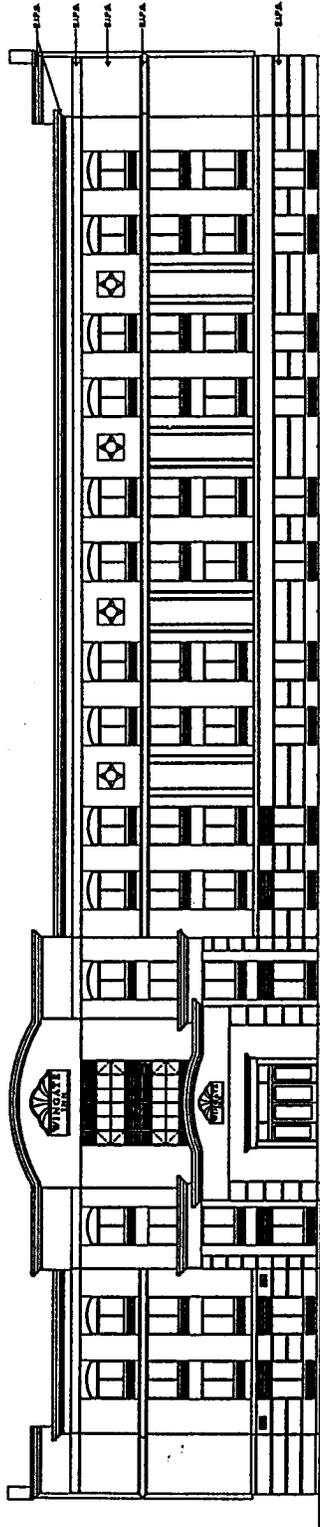


WEST SIDE ELEVATION
W-2

WINGATE INN
ROBERT BOYD ARCHITECTS

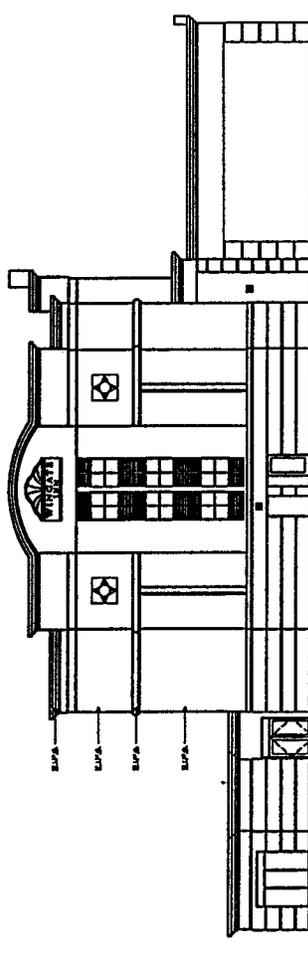
ADDISON, TEXAS
Scale: 1" = 30'

02-20-98



NORTH ELEVATION

1/8" = 1'



EAST ELEVATION

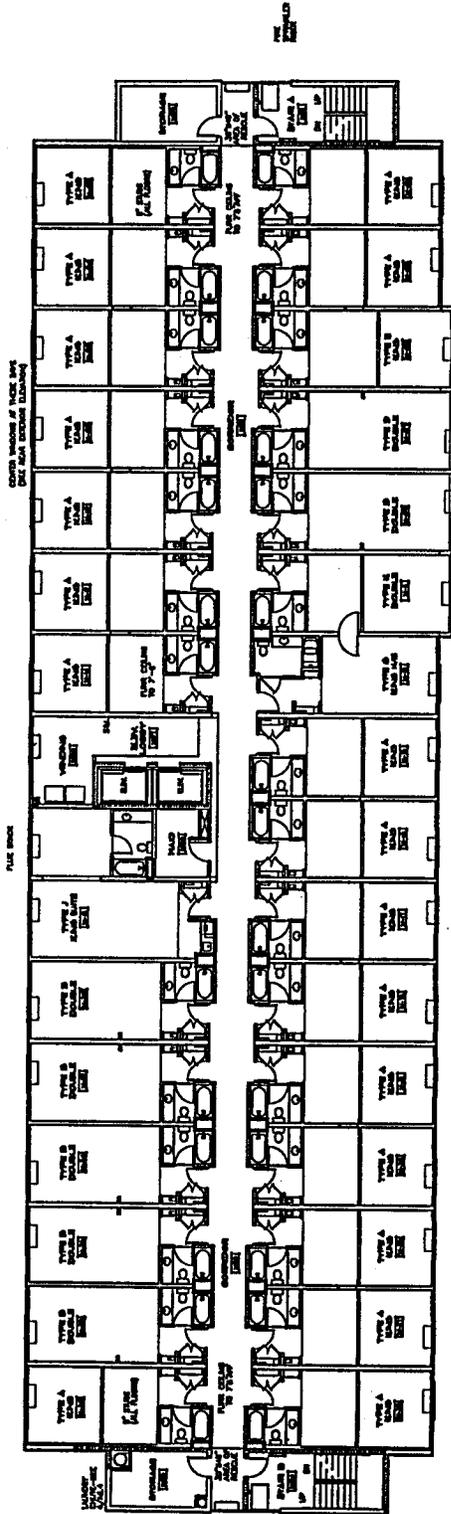
1/8" = 1'

WINGATE INN
 ROBERT BOYD ARCHITECTS

ADDISON, TEXAS

Scale: 1" = 30'

02-20-98



BUILDING PLAN TYPICAL FLOOR

1/2" = 1'

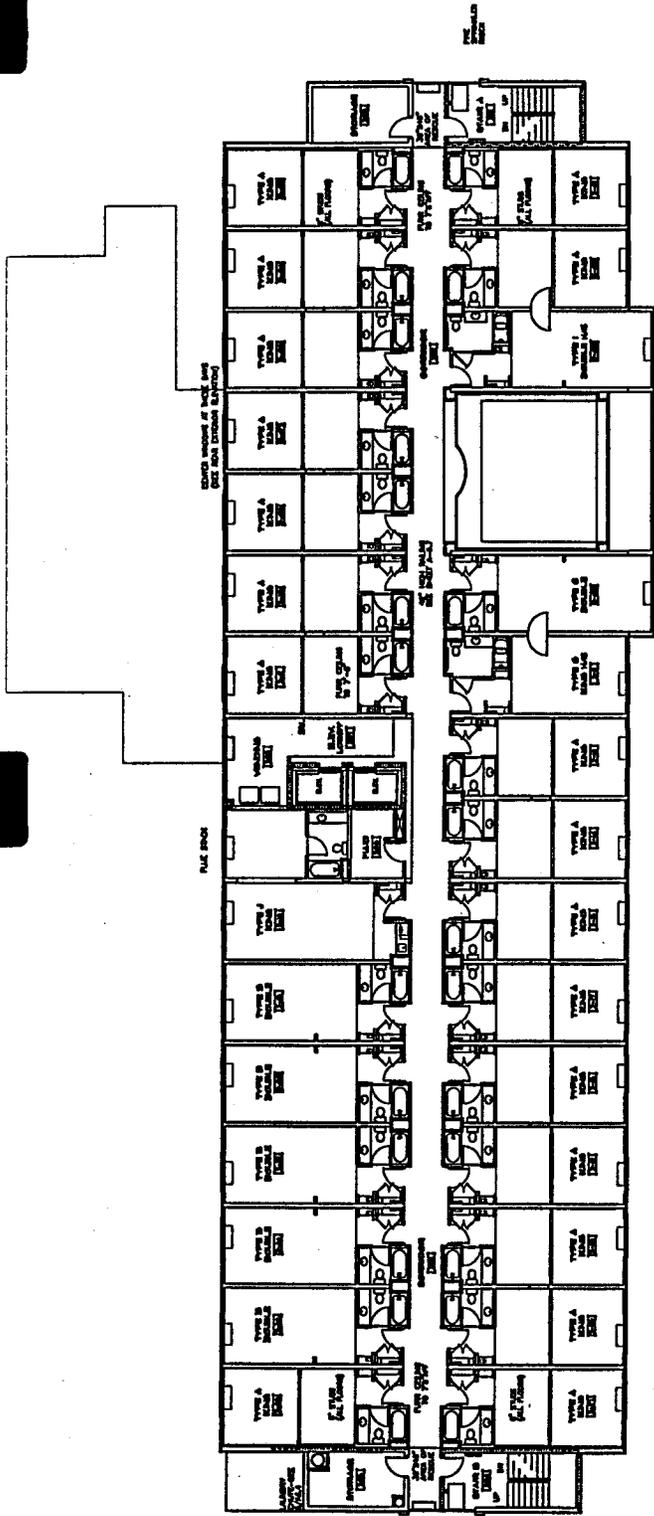
1/8" = 1'

WINGATE INN

ROBERT BOYD ARCHITECTS

ADDISON, TEXAS

02-20-98



BUILDING PLAN 2nd FLOOR

1/8" = 1'

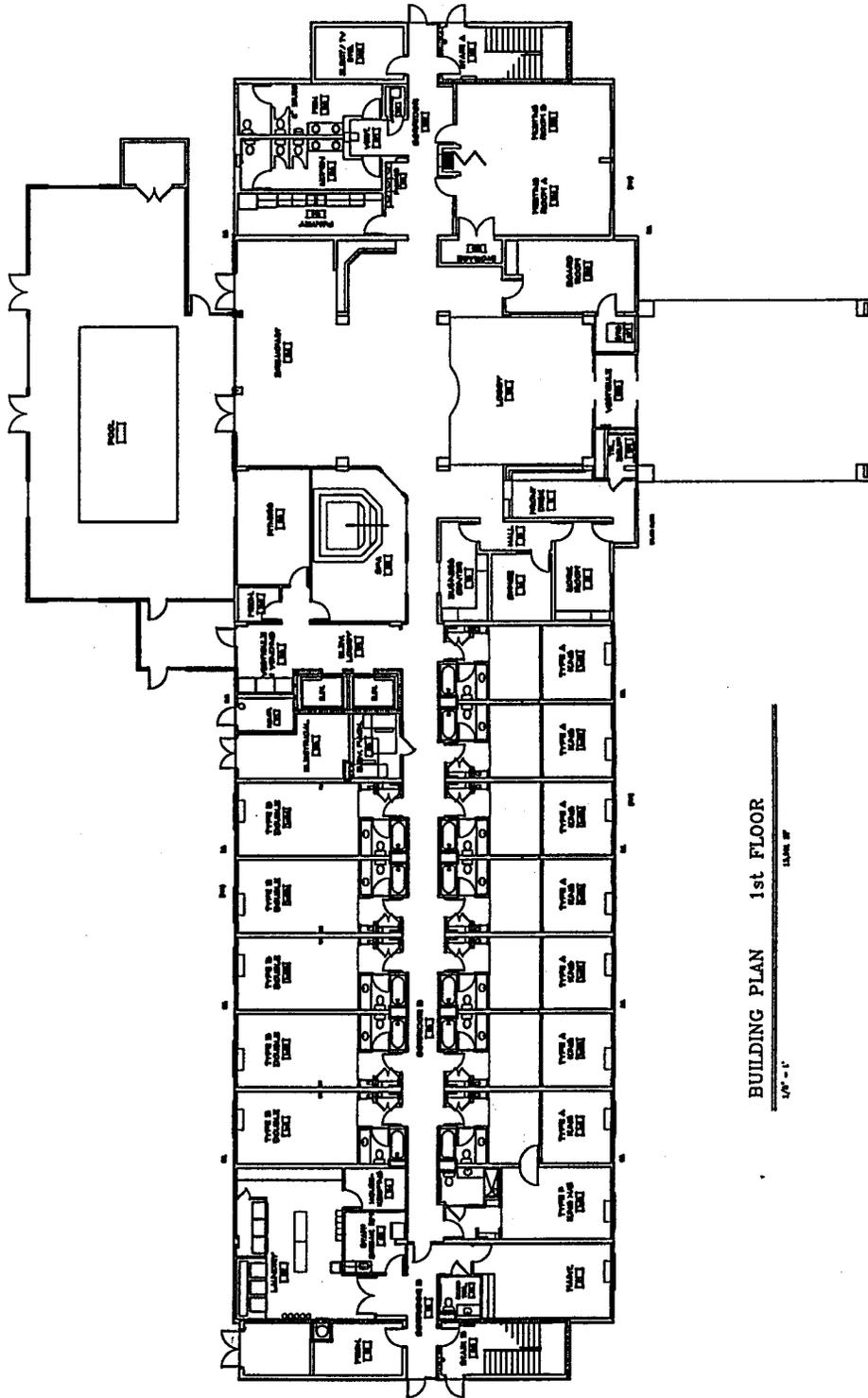
SHEET #

WINGATE INN

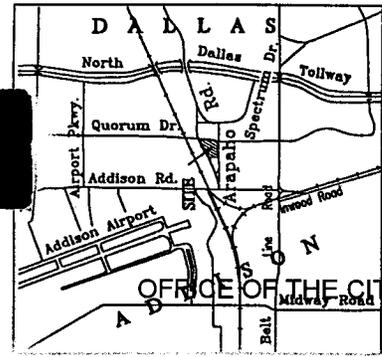
ROBERT BOYD ARCHITECTS

02-20-98

ADDISON, TEXAS



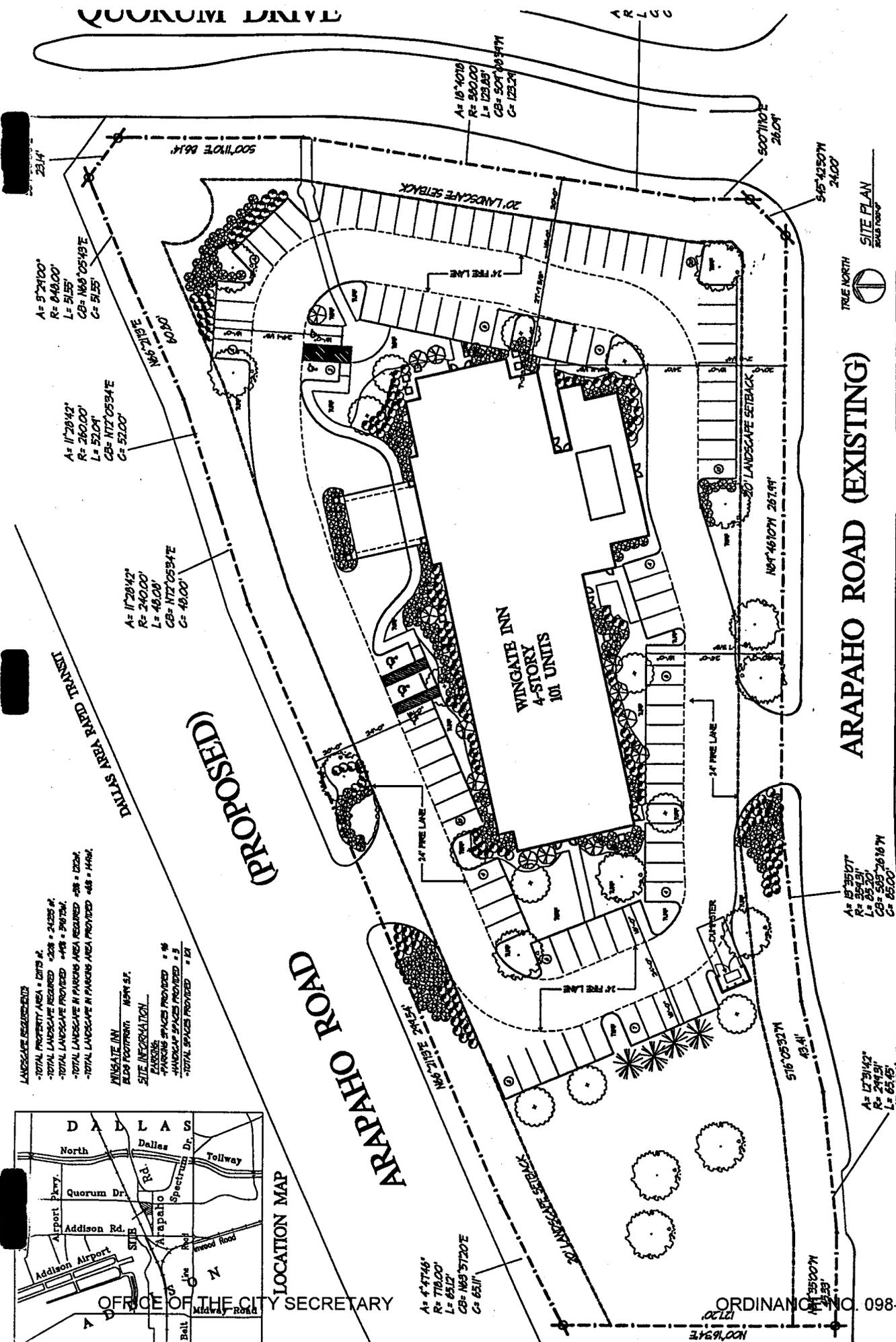
BUILDING PLAN 1st FLOOR
1/8" = 1'



OFFICE OF THE CITY SECRETARY

- LANDSCAPE REQUIREMENTS**
- TOTAL PROPERTY AREA = 101.00 ±
 - TOTAL LANDSCAPE REQUIRED = 228 ± 24,239 ±
 - TOTAL LANDSCAPE PROVIDED = 448 ± 39,734 ±
 - TOTAL LANDSCAPE IN PARKING AREA REQUIRED = 28 ± 1,224 ±
 - TOTAL LANDSCAPE IN PARKING AREA PROVIDED = 48 ± 4,464 ±
- WINGATE INN**
 4-STOREY
 101 UNITS
- SITE INFORMATION**
- PARKING SPACES PROVIDED = 16
 - HANDICAP SPACES PROVIDED = 3
 - TOTAL SPACES PROVIDED = 19

LOCATION MAP



ARAPAHO ROAD (EXISTING)



A = 15°35'07"
 R = 55'19"
 L = 85'20"
 CB = 555'26.1671
 C = 65'00"

A = 17°31'42"
 R = 24'8.21"
 L = 65'16"
 CB = 504'01.0771
 C = 65'52"

A = 4°47'49"
 R = 71'00"
 L = 65'12"
 CB = 183'57.2076
 C = 65'11"

ORDINANCE NO. 098-022

WINGATE INN
 ROBERT BOYD ARCHITECTS

ADDISON, TEXAS

02-20-98

Scale: N.T.S.

ORDINANCE NO. 004-048

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM COMMERCIAL-1 (C-1) TO PLANNED DEVELOPMENT (PD), TO APPROVE A SPECIAL USE PERMIT FOR A RESTAURANT, AND TO APPROVE A SPECIAL USE PERMIT FOR THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISES CONSUMPTION ONLY, ON APPLICATION FROM WINGATE INN, LOCATED AT 4960 ARAPAHO ROAD, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A NO SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the Town of Addison, Texas, be, and the same is hereby amended by amending the zoning map of the Town of Addison, Texas, so as to give the hereinafter described property the zoning district classification, to-wit: Planned Development. Said property being in the Town of Addison, Texas, and being described as follows:

WHEREAS, MCM Company are the owners of a 2.788 acres tract of land situated in the G.W. Fisher Survey, Abstract no. 482, Town of Addison, Dallas County, Texas and being a portion of five tracts of land described in instruments to MCM Company as recorded in Volume 78212, page 3704; Volume 83179, page 1556; Volume 82179; page 1559 and Volume 84004, page 1944 of the deed of records, Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a 5/8 inch iron for found at the Southwest corner of the tract of land described in said instrument recorded in Volume 84133, page 0532 of the deed of records of Dallas County, Texas, said point also being the Southwest corner of a tract of land described in instrument to Southwestern Bell Telephone Company as recorded in Volume 86207, page 3192 of the deed of records, Dallas County, Texas, said point also being on the North right-of-way line;

THENCE South 89 degrees 35 minutes 00 seconds East along the said North right-of-way line of Arapaho Road and the North right-of-way line of Arapaho Road as established by instrument to the city of Addison, Texas as recorded in Volume 84075, page 4952 of the deed of records of Dallas County, Texas and along the South line of said Southwestern Bell Telephone Company (SWBT) tract a distance of 79.64 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the POINT OF BEGINNING;

THENCE North 00 degrees 16 minutes 34 seconds East parallel with and 20 Easterly from the East line of said SWBT tract a distance of 157.20 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap on the Southerly line of a 168,918 square foot tract of land as described in instrument to the town of Addison as recorded in Volume 86009, page 00027, deed records, Dallas County, Texas said point being the beginning of a non-tangent curve to the right having a central angle of 4 degrees 47 minutes 46 seconds, a radius of 778.00 feet, and being subtended by a 65.11 foot chord bearing North 63 degrees 57 minutes 20 seconds East;

THENCE Northeasterly along said curve to the right, along the Southerly line of said town of Addison tract a distance of 65.12 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of tangency of said curve;

THENCE North 66 degrees 21 minutes 13 seconds East along the Southerly line of said town of Addison tract a distance of 299.54 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of curvature of a curve to the right, having a central angle of 11 degrees 28 minutes 42 seconds, a radius of 240.00 feet, and being subtended by a 48.00 foot chord bearing North 72 degrees 05 minutes 34 seconds East;

THENCE Northeasterly along said curve to the right, along the Southerly line of said town of Addison tract an arc distance of 48.08 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of reverse curvature of a curve to the left, having a central angle of 11 degrees 28 minutes 42 seconds, a radius of 260.00 feet, and being subtended by a 52.00 foot chord bearing North 72 degrees 05 minutes 34 seconds East;

THENCE Northeasterly along said curve to the left, along the Southerly line of said town of Addison tract an arc distance of 52.09 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of tangency of said curve;

THENCE North 66 degrees 21 minutes 13 seconds East along the Southerly line of said town of Addison tract a distance of 60.80 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of curvature of a curve to the right, having a central angle of 3 degrees 29 minutes 00 seconds, a radius of 848.00 feet, and being subtended by a 51.55 foot chord bearing North 68 degrees 05 minutes 43 seconds East;

THENCE Northeasterly along said curve to the right, along the Southerly line of said town of Addison tract an arc distance of 51.55 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the end of said curve;

THENCE South 54 degrees 50 minutes 08 seconds East along the Southerly line of said town of Addison tract a distance of 23.14 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for a corner on the West right-of-way line of Quorum Drive (80 foot wide right-of-way) as established by the instrument to the town of Addison, Texas as recorded in Volume 82149, page 0240 of the deed of records of Dallas County, Texas;

THENCE South 00 degrees 11 minutes 10 seconds East along the west right-of-way line of Quorum Drive a distance of 86.14 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of curvature of a curve to the right, having a central angle of 18 degrees 40 minutes 18 seconds, a radius of 380.00 feet, and being subtended by a 123.29 foot chord bearing South 09 degrees 08 minutes 59 seconds West;

THENCE Southerly along said curve to the right and West right-of-way line of Quorum Drive an arc distance of 123.83 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of reverse curvature of a curve to the left, having a central angle of 18 degrees 40 minutes 18 seconds, a radius of 190.00 feet, and being subtended by a 61.65 foot chord bearing South 09 degrees 08 minutes 59 seconds West;

THENCE Southerly along said curve to the left and West right-of-way line of Quorum Drive an arc distance of 123.83 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of tangency of said curve;

THENCE South 00 degrees 11 minutes 10 seconds East along the west right-of-way line of Quorum Drive a distance of 26.09 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for a corner;

THENCE South 45 degrees 42 minutes 50 seconds West along the Westerly right-of-way line of Quorum Drive a distance of 24.00 feet to an "X" cut found I concrete for a corner on the North right-of-way line of Arapaho Road as established by instrument to city of Addison, Texas as recorded in Volume 82117, Page 1657 of the Deed records of Dallas County, Texas;

THENCE North 89 degrees 46 minutes 10 seconds West along the North right-of-way line of Arapaho Road a distance of 267.99 feet to a 1/0 inch iron rod found with "Huitt-Zollars" cap for the point of curvature of a curve to the left, having a central angle of 13 degrees 35 minutes 07 seconds, a radius of 359.31 feet, and being subtended by a 85.00 foot chord bearing South 83 degrees 26 minutes 16 seconds West;

THENCE Westerly along said curve to the left and North right-of-way line of Arapaho Road an arc distance of 85.20 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap on the North line of an easement for the street purposes granted to the city of Addison, Texas described in instrument recorded in Volume 78212, page 3699 of the deed records of Dallas County, Texas;

THENCE South 76 degrees 05 minutes 32 seconds West a distance of 43.41 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the Southeast corner of that tract of land described in instruments to MCM Company as recorded in Volume 82179, Page 1559 of the deed records of Dallas County, Texas said point also being on the North right-of-way line of Arapaho Road as established by instrument to the city of Addison, Texas as recorded in Volume 82117, Page 4654 of the deed records of Dallas County, Texas, said point being the beginning of a non-tangent curve to the right, having a central angle of 12 degrees 31 minutes 42 seconds, a radius of 299.31 feet, and being subtended by a 65.32 foot chord bearing south 84 degrees 09 minutes 00 seconds West;

THENCE Westerly along said curve to the right and said North right-of-way line of Arapaho Road an arc distance of 65.45 feet to a 1/2 inch iron rod found with "Huitt-Zollars" cap for the point of tangency of said curve;

THENCE North 89 degrees 35 minutes 00 seconds West along the North right-of-way line of Arapaho Road as per last mentioned instrument and an

instrument to the city of Addison, Texas as recorded in Volume 84075, Page 4952 of the deed records of Dallas County, Texas for a distance of 45.33 feet to the POINT OF BEGINNING.

CONTAINING 2.788 acres of land, more or less.

SECTION 2. As provided in Planned Development District Article of the Comprehensive Zoning Ordinance, said property shall be improved in accordance with the development plans which are attached hereto and made a part hereof for all purposes.

SECTION 3. The following special conditions are placed on the above described property:

1. The facades for the building shall be constructed of 90% brick or a combination of brick and E.I.F.S. (rendering #3, as presented by the applicant).
2. The applicant/developer shall provide on-site detention storage for storm water runoff.
3. This property is located within the 70 to 75 ldn noise contours. In accordance with the adopted airport master plan, an aviation easement is required.
4. Prior to any development the applicant shall submit plans to the FAA for review/approval to determine compliance with Addison's height hazard zoning.
5. Prior to acquiring a building permit, and upon completion of the building, the applicant/developer shall provide verification from a certified acoustical expert that the structure, outside to inside, meets sound attenuation of 30 dB.
6. The entrance on the north side must match up with the median opening in the proposed Arapaho Road, and should be a minimum of 36-feet wide.
7. Placement of trees along the Arapaho and Quorum Drive frontages shall be coordinated with the Town's streetscape plan for tree spacing.
8. The undeveloped open space shown west of the building shall be irrigated and maintained with the rest of the site.

9. A detailed landscape and irrigation plan shall be submitted for review and approval before a building permit is issued.
10. The dumpster enclosure shall be constructed out of the same material as the building and shall be large enough to hold all dumpsters on the site.
11. All mechanical equipment shall be screened by either a parapet wall or screening device. The screening shall be architecturally compatible with the building, and the Staff shall make the determination as to what is "architecturally compatible."
12. The building and site must meet all requirements of the fire code.
13. No signs advertising the sale of alcoholic beverages shall be permitted other than those authorized under the Liquor Control Act of the State of Texas, and any sign ordinance of the Town of Addison Texas. No terms such as "bar", "tavern" or any terms or graphic depictions that relate to the sale of alcoholic beverages shall be used in exterior signs
14. That the sale of alcoholic beverages under this special use permit shall be Permitted in restaurants. Restaurants are hereby defined as establishments that receive at least sixty percent (60%) of their gross revenues from the sale of food.
15. Said establishment shall make available to the city or its agents, during reasonable hours its bookkeeping records for inspection, if required, by the city to insure that the conditions of Paragraph 4 are being met.
16. If a license or permit to sell alcoholic beverages on property covered by this special use permit is revoked, terminated, or canceled by proper authorities, the City Council may authorize hearings to be held for the purpose for considering a change of zoning.
17. The term "bar", "tavern", or any equivalent term, or graphic depiction, associated with alcoholic beverages shall not be used in exterior signs.

SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 5. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 6. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 9th day of November, 2004.



MAYOR

ATTEST:



CITY SECRETARY

CASE NO: 1473-SUP

APPROVED AS TO FORM:



DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: _____

Planning & Zoning Commission

5.

Meeting Date: 10/17/2023

Agenda Caption:

Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 4006 Belt Line Road, Suite 100, that is currently zoned Planned Development (PD), through Ordinance No. 460, and amended by Ordinance No. 085-003, to allow an educational institution. 1897-SUP/4006 Belt Line Road, Suite 100 (Montessori Institute of North Texas).

Recommendation:

Administration recommends approval.

Attachments

1897-SUP Staff Report

1897-SUP Letter of Intent

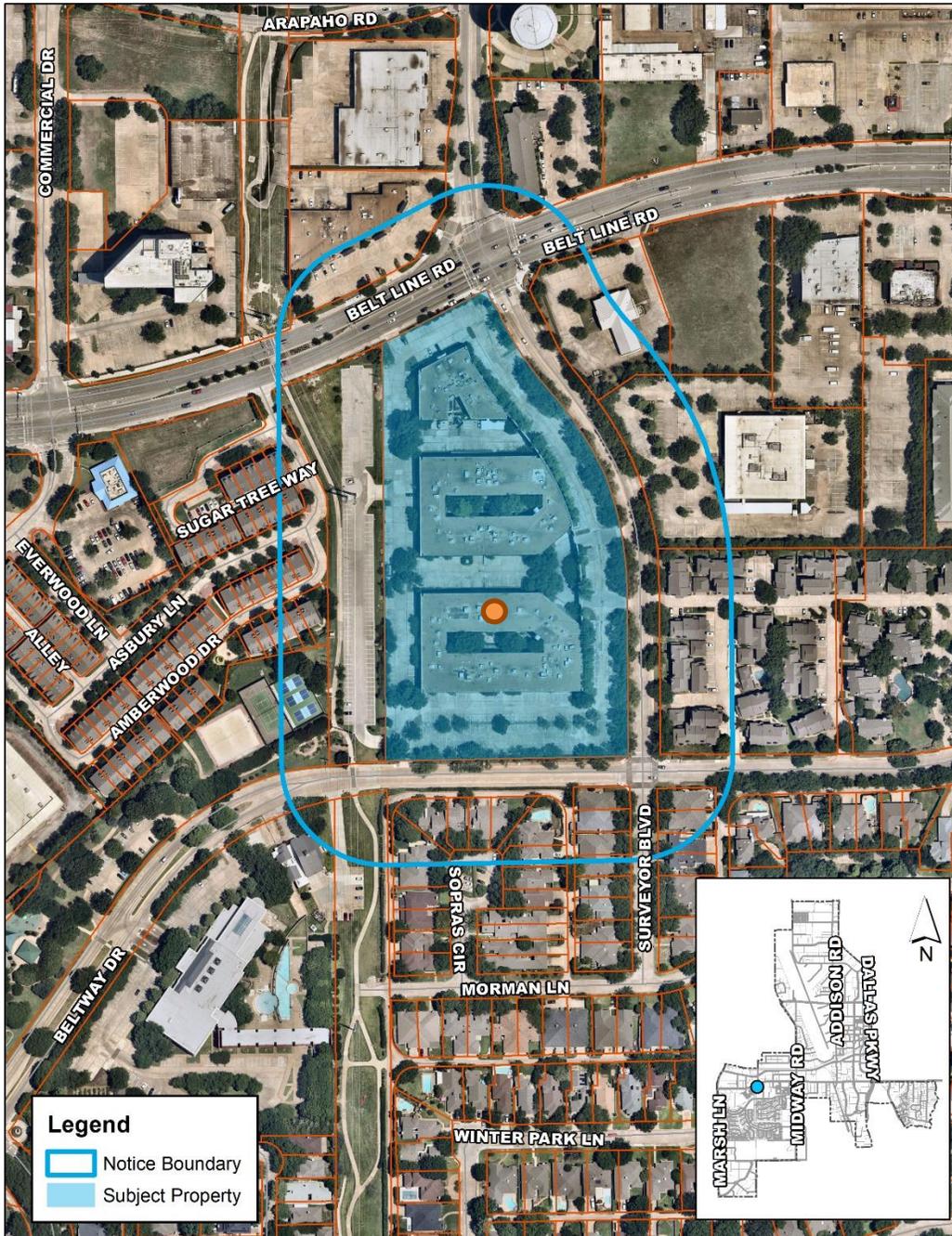
1897-SUP Plans

Ordinance No. 460

1897-SUP

PUBLIC HEARING 1897-SUP/4006 Belt Line Road, Suite 100 (Montessori Institute of North Texas). Hold a public hearing, present, discuss, and consider action on a request for a Special Use Permit (SUP) for property located at 4006 Belt Line Road, Suite 100, that is currently zoned Planned Development (PD), through Ordinance No. 460, and amended by Ordinance No. 085-003, to allow an educational institution.

LOCATION MAP





October 17, 2023

STAFF REPORT

RE: 1897-SUP/4006 Belt Line Road, Suite 100
(Montessori Institute of North Texas)

LOCATION: 4006 Belt Line Road, Suite 100

REQUEST: Approval of a Special Use Permit for an educational institution. (Application Date: 08/31/2023)

APPLICANT: Virginia Wannamaker Brooks, Montessori Institute of North Texas

DISCUSSION:

Background: The subject property is located at 4006 Belt Line Road. The proposed business, Montessori Institute of North Texas, would be located within Suite 100, which is within the southernmost building. The subject property is zoned Planned Development (PD), Ordinance No. 460, as amended by Ordinance No. 085-003.

The [Montessori Institute of North Texas](#) (MINT) is requesting a Special Use Permit (SUP) to allow a Montessori training center for teachers. This program will provide Montessori certification for teachers and serve as a resource for professional development. This institute is the only Montessori teacher training center in Texas that is affiliated with the Association Montessori Internationale (AMI). MINT will not provide schooling for children.

MINT is proposed to be open 8:00 AM – 5:00 PM Monday through Friday. The anticipated class size will vary between 6-30 adults. Approximately 50% of the training takes place virtually. Courses are offered year-round; however, a majority of the classes are offered during the summer months while teachers are on summer vacation.

The zoning ordinance allows educational institutions through the approval of an SUP within any zoning district. The proposed use complies with the ordinance.

Proposed Plan: With this request, MINT would utilize an existing 14,742 square foot suite to conduct training. The space will offer offices, classrooms, breakrooms, and a reception area. The classrooms are furnished with tables and chairs of various configurations for learning and as a mock classroom.

Parking: PD, Ordinance No. 460, specifies the following parking ratios for the site:

Land Use	Parking Ratio
Retail	1 space for each 200 SF
Restaurant	1 space for each 100 SF

Movie Theater	1 space for each 4 seats
All Other Uses	1 space for each 300 SF

The site was originally approved with 678 spaces in 1983. Currently, the site plan identifies 621 parking spaces to serve 206,303 square feet of office and restaurant space. The deficit appears to have been created due to the removal of parking spaces to accommodate accessible spaces and to provide driveway connections to the parking lot that is situated on the adjacent Texas power and light right-of-way. Staff has no knowledge of issues related to lack of parking on the subject property.

Exterior Facades: No modifications are proposed to the existing facades on the subject property.

Landscaping and Open Space: No modifications are proposed to the existing landscaping and open space.

Code Violations: Currently, there is one outstanding code violation on the subject property. Town staff identified that the existing monument sign is in disrepair and is proceeding with standing enforcement processes. Staff does not believe this should delay consideration of this request as they are unrelated to the applicant.

RECOMMENDATION: **APPROVAL**

As proposed, this training center will function similarly to an office setting and will operate during typical business hours. The classes will be small and operate in a hybrid capacity, both on site and virtually, which is unlikely to create conditions that would affect adjacent businesses.

Staff recommends approval of this request.



MONTESSORI INSTITUTE
OF NORTH TEXAS

EXECUTIVE DIRECTOR

Virginia Wannamaker Brooks

August 30, 2023

BOARD OF DIRECTORS

Teresa Aquino

Charlane Baccus

Jodi Campbell

Sylvie Fitzgerald

Cecilia Galbraith

Peggy Larson

Eleanor Latimer

Kathleen Muirhead

Zoning Commission Town of Addison
16801 Westgrove Drive
Addison, TX 75001

To whom it may concern,

This letter of intent is in reference to Montessori Institute of North Texas's request for a special use permit. The property is currently zoned as Planned Development, Ordinance No. 460, as amended by Ordinance No. 085-003, which allows offices uses. We are requesting a Special Use Permit to allow a Montessori teacher training center.

ADVISORY BOARD

Cheryl and Wayne Bazzle

Serena Simmons Connelly*

Carol and John Demlow

Sally A. Dom*

Terry N. Ford

Kyle and Jimmy Galbraith

Barbara Gordon

Barbara and Carl Lee

Amy and Roger Ochs

Walter M. Sorensen

Natalie and Michael Sorrell

Temple Wynne

History: The Montessori Institute of North Texas (MINT) was founded in 2003 as a Texas nonprofit corporation under the name Montessori Training and Research Center of Dallas. The product of a collaborative effort among local Montessori schools, MINT is the only Montessori teacher training center in the state of Texas affiliated with the Association Montessori Internationale (AMI), the organization founded by Dr. Maria Montessori in 1929 to preserve the authenticity and integrity of her work.

MINT was created by community collaboration, out of a strong community need for AMI teacher training. Its deep roots in the community and commitment to serving the community remain its most striking characteristics. MINT has developed a reputation for training teachers who will serve ALL children – the children of the most vulnerable and at-risk families, as well as children from affluent families who can afford to pay tuition at private schools.

Description: MINT's purpose is to meet a critical need for children and families – to provide qualified, highly trained Montessori teachers certified by AMI - MINT is not a school for children. We offer AMI teacher training for adult learners on a year-round basis. The majority of our training courses take place during the summer months when teachers are out of school and free to take courses. Approximately 50% of training takes place online with adult learners working remotely. Class sizes range from 6-30 adult learners.

MINT also serves as a resource center for the Montessori community, offering continuing support for MINT graduates, educational opportunities for Montessori teachers and administrators throughout the community.

Location/Hours: The Montessori Institute of North Texas is located at 4006 Belt Line Road, Suite 100, Addison, TX 75001. The office will be open Monday-Friday 8:00am-5:00pm as classes are scheduled.

Services: AMI Montessori teacher training, professional development and mentoring for teachers and consulting for Montessori schools.

We thank all involved for your time and consideration in this matter.

Sincerely,

Virginia Wannamaker Brooks, M.Ed.
Executive Director

DIRECTORS OF TRAINING

Kim Altmeyer, M.Ed.

Sara Brady, M.Ed.

Uma Ramani, M.A.

BethAnn Slater, M.Ed.

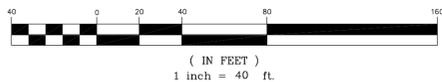
Chris Trostel, M.S.Ed.

Virginia Viscovic, M.A.

*In Memoriam



GRAPHIC SCALE



SCHEDULE "B" ITEMS

100. THE FOLLOWING EASEMENTS AND BUILDING SETBACK LINES AS SHOWN ON PLAT IN VOLUME 84013, PAGE 3322, MAP RECORDS, DALLAS COUNTY, TEXAS, AS SHOWN HEREON:
- 1) 10 FOOT LONE STAR GAS EASEMENT;
- 2) 80 FOOT BUILDING SETBACK LINE;
- 3) 10 FOOT WATER EASEMENT;
- 4) 15 FOOT TPL EASEMENT; AND
- 5) 136 BUILDING SETBACK LINE.

10D. EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: CITY OF ADDISON
 PURPOSE: AS PROVIDED IN SAID DOCUMENT
 RECORDING DATE: AUGUST 20, 1979
 RECORDING NO: IN VOLUME 79163, PAGE 343, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS AND AS SHOWN ON PLAT IN VOLUME 84013, PAGE 3322, MAP RECORDS, DALLAS COUNTY, TEXAS

LEGAL DESCRIPTION

BEING A 8.1415 ACRE TRACT OF LAND OUT OF THE THOMAS L. CHENOWETH SURVEY, ABSTRACT NO. 273, DALLAS COUNTY, TEXAS AND BEING ALL OF SAC/BELTLINE ADDITION, AN ADDITION TO THE CITY OF ADDISON, TEXAS AS RECORDED IN VOLUME 84013, PAGE 3322 OF THE DEED RECORDS, DALLAS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A CROSS FOUND FOR A CORNER IN THE SOUTHERLY RIGHT OF WAY LINE OF BELT LINE ROAD (100 FEET WIDE) AT ITS INTERSECTION WITH WESTERLY RIGHT OF WAY LINE OF SURVEYOR BOULEVARD (60 FEET WIDE);

THENCE SOUTH 24 DEGREES 07 MINUTES 30 SECONDS EAST, ALONG THE SAID WESTERLY LINE OF SURVEYOR BOULEVARD, 49.76 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE BEGINNING OF A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 630.00 FEET;

THENCE SOUTHEASTERLY, CONTINUING ALONG THE ABOVE SAID WESTERLY LINE OF SURVEYOR BOULEVARD AND WITH ABOVE SAID CIRCULAR CURVE TO THE LEFT, THRU A CENTRAL ANGLE OF 14 DEGREES 19 MINUTES 26 SECONDS, AN ARC DISTANCE OF 157.50 FEET HAVING A CHORD BEARING AND DISTANCE OF SOUTH 31 DEGREES 17 MINUTES 13 SECONDS EAST, 157.09 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE POINT OF TANGENCY;

THENCE SOUTH 38 DEGREES 26 MINUTES 56 SECONDS EAST, CONTINUING ALONG THE SAID ABOVE WESTERLY LINE OF SURVEYOR BOULEVARD, 60.86 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE BEGINNING OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 570.00 FEET;

THENCE SOUTHEASTERLY TO SOUTHWESTERLY, CONTINUING ALONG THE SAID WESTERLY LINE OF SURVEYOR BOULEVARD AND WITH SAID CIRCULAR CURVE TO THE RIGHT THRU A CENTRAL ANGLE OF 38 DEGREES 38 MINUTES 30 SECONDS AN ARC DISTANCE OF 384.42 FEET AND HAVING A CHORD BEARING AND DISTANCE OF SOUTH 19 DEGREES 07 MINUTES 41 SECONDS EAST, 377.18 FEET TO A 3/8 INCH IRON ROD FOUND FOR THE POINT OF TANGENCY;

THENCE SOUTH 0 DEGREES 11 MINUTES 34 SECONDS WEST, CONTINUING ALONG THE ABOVE SAID WESTERLY LINE OF SURVEYOR BOULEVARD, 321.34 FEET TO A CROSS FOUND FOR CORNER AT THE INTERSECTION OF SAID WESTERLY LINE OF SURVEYOR BOULEVARD, WITH THE NORTH LINE OF BELTWAY DRIVE (60 FEET WIDE);

THENCE SOUTH 89 DEGREES 52 MINUTES 20 SECONDS WEST, ALONG THE ABOVE SAID NORTH LINE OF BELTWAY DRIVE, 470.00 FEET TO A 3/8 IRON ROD FOUND IN THE EAST LINE OF A 100 FOOT RIGHT-OF-WAY CONVEYED TO TEXAS POWER & LIGHT;

THENCE NORTH 0 DEGREES 11 MINUTES 34 SECONDS EAST, ALONG THE ABOVE SAID EAST LINE OF TEXAS POWER & LIGHT RIGHT-OF-WAY, 803.90 FEET TO A 1/2 INCH IRON ROD FOUND FOR A CORNER IN THE ABOVE REFERENCED SOUTHERLY LINE OF BELT LINE ROAD, SAID POINT BEING IN A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 1960.08 FEET;

THENCE NORTHEASTERLY, ALONG THE ABOVE SAID SOUTHERLY LINE OF BELT LINE ROAD AND WITH ABOVE SAID CIRCULAR CURVE TO THE LEFT THRU A CENTRAL ANGLE OF 1 DEGREE 30 MINUTES 27 SECONDS AN ARC DISTANCE OF 51.57 FEET AND HAVING A CHORD BEARING AND DISTANCE OF NORTH 63 DEGREES 51 MINUTES 24 SECONDS EAST, 51.57 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE POINT OF TANGENCY;

THENCE NORTH 63 DEGREES 06 MINUTES 10 SECONDS EAST, CONTINUING ALONG THE ABOVE SAID SOUTHERLY LINE OF BELT LINE ROAD, 117.50 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE BEGINNING OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 1860.00 FEET;

THENCE NORTHEASTERLY, CONTINUING ALONG THE ABOVE SAID SOUTHERLY LINE OF BELT LINE ROAD AND WITH ABOVE SAID CIRCULAR CURVE TO THE RIGHT THRU A CENTRAL ANGLE OF 1 DEGREE 50 MINUTES 54 SECONDS AN ARC DISTANCE OF 60.00 FEET AND HAVING A CHORD BEARING AND DISTANCE OF NORTH 64 DEGREES 00 MINUTES 59 SECONDS EAST, 60.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 354,645 SQUARE FEET OR 8.1432 ACRES OF LAND, MORE OR LESS.

BELT LINE ROAD
 (PUBLIC R.O.W. VARIES)

SURVEYOR BOULEVARD
 (60' PUBLIC R.O.W.)

BELTWAY DRIVE
 (60' PUBLIC R.O.W.)

- LEGEND:**
- AE - AERIAL EASEMENT
 - BL - BUILDING LINE
 - BLDG - BUILDING
 - ESMT - EASEMENT
 - FND - FOUND
 - IP - IRON PIPE
 - IR - IRON ROD
 - POB - POINT OF BEGINNING
 - POC - POINT OF COMMENCING
 - PS - PARKING SPACES
 - ROW - RIGHT OF WAY
 - SQ. FT. - SQUARE FEET
 - UE - UTILITY EASEMENT
 - WB - BARBED WIRE FENCE
 - CL - CHAIN LINK FENCE
 - CONC - CONCRETE
 - CC - COVERED CONCRETE
 - OE - OVERHEAD ELECTRIC LINES
 - WF - WOOD FENCE
 - WIF - WROUGHT IRON FENCE
 - CB - CATCH BASIN
 - CBX - CABLE BOX
 - EBX - ELECTRIC BOX
 - EMH - ELECTRIC MH
 - FH - FIRE HYDRANT
 - FOM - FIBER OPTIC MARKER
 - FP - FLAG POLE
 - GM - GAS METER
 - GV - GAS VALVE
 - CI - CURB INLET
 - LP - LIGHT POLE
 - MH - MANHOLE
 - MW - MONITORING WELL
 - PM - PIPELINE MARKER
 - PP - POWER POLE
 - SP - SERVICE POLE
 - SMH - SANITARY MANHOLE
 - SM - STORM MANHOLE
 - TR - TRANSFORMER
 - TSB - TRAFFIC SIGNAL BOX
 - TSP - TRAFFIC SIGNAL POLE
 - UCM - UNDERGROUND CABLE MARKER
 - WW - WATER WELL
 - WM - WATER METER
 - WV - WATER VALVE
 - B - BENCHMARK

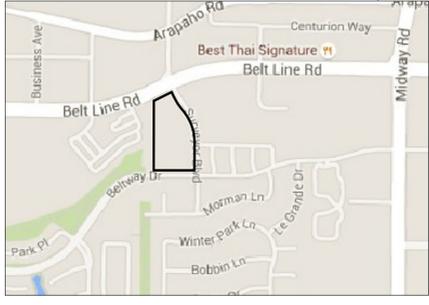
EXISTING PARKING SPACES

REGULAR	605
HANDICAP	11
COVERED	5
TOTAL	621

ENCROACHMENTS

- ▲ NORTHWEST BUILDING CORNER OVER 80' BUILDING LINE 0.8' TO NORTH
- ▲ NORTHEAST BUILDING CORNER OVER 80' BUILDING LINE 0.6' TO NORTH
- ▲ NORTHEAST BUILDING CORNER OVER 80' BUILDING LINE 3.3' TO EAST
- ▲ SOUTHEAST BUILDING CORNER OVER 136' BUILDING LINE 2.4' TO SOUTH
- ▲ SOUTHWEST BUILDING CORNER OVER 136' BUILDING LINE 0.3' TO SOUTH

VICINITY MAP



- NOTES:**
1. ALL BEARINGS AND STREET RIGHT OF WAYS ARE BASED ON RECORDED PLAT.
 2. SURVEYOR DID NOT ABSTRACT PROPERTY. SURVEY BASED ON LEGAL DESCRIPTIONS SUPPLIED BY TITLE COMPANY. EASEMENTS, BUILDING LINES, ETC. SHOWN ARE AS IDENTIFIED BY GF NO. 4713007748 OF CHICAGO TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF APRIL 6, 2015.
 3. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
 4. THE WORD CERTIFY IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL JUDGMENT BY THE SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF.
 5. SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.
 6. THE FINDINGS AND OPINIONS OF LANDCO, L.P. REFLECTED HEREON ARE PRIVILEGED, CONFIDENTIAL AND INTENDED FOR THE USE OF THE INDIVIDUAL OR ENTITY FOR WHOM THIS WORK WAS PREPARED. IT IS UNDERSTOOD THAT THE USE OF, RELIANCE ON, OR REPRODUCTION OF SAME, IN WHOLE OR IN PART, BY OTHERS WITHOUT THE EXPRESS WRITTEN CONSENT OF LANDCO, L.P. IS PROHIBITED AND WITHOUT WARRANTY, EXPRESS OR IMPLIED, LANDCO, L.P. SHALL BE HELD HARMLESS AGAINST DAMAGES OR EXPENSES RESULTING FROM SUCH UNAUTHORIZED USE, RELIANCE OR REPRODUCTION. COPYRIGHT 2015. ALL RIGHTS RESERVED.
 7. (TABLE A ITEM 6) NO ZONING INFORMATION PROVIDED BY INSURER.
 8. (TABLE A ITEM 16) THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS IN RECENT MONTHS.
 9. (TABLE A ITEM 17) THERE IS NO EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED; NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 10. (TABLE A ITEM 18) THERE IS NO OBSERVABLE EVIDENCE OF SITE USED AS A DUMP, SUMP, OR LANDFILL.

FLOOD NOTE:

PROPERTY LIES WITHIN FLOOD ZONE "X", ACCORDING TO F.I.R.M. MAP NO. 48113C 0180K, DATE 7-7-14, BY GRAPHING PLOTTING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION. BEFORE ANY DEVELOPMENT PLANNING DESIGN OR CONSTRUCTION IS STARTED, THE COMMUNITY, CITY AND COUNTY IN WHICH SUBJECT TRACT EXISTS SHOULD BE CONTACTED. SAID ENTITIES MAY IMPOSE LARGER FLOOD PLAN AND FLOODWAY AREAS THAN SHOWN BY F.I.R.M. MAPS THAT WILL AFFECT DEVELOPMENT.

SURVEYOR'S CERTIFICATION

TO: ARI FORUM, LLC, A DELAWARE LIMITED LIABILITY COMPANY & CHICAGO TITLE INSURANCE COMPANY
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7A, 7B, 7C, 8, 9, 11A, 13, 14, 16, 17 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 4-26-15.
 DATE OF PLAT OR MAP: 4-26-15.

Fred W. Lawton, Registered Professional Land Surveyor No. 2321
 Fred.Lawton@LANDCOSERVICES.COM



ALTA/ACSM LAND TITLE SURVEY OF

BEING A 8.1432 ACRE TRACT OF LAND OUT OF THE THOMAS L. CHENOWETH SURVEY, ABSTRACT NO. 273, DALLAS COUNTY, TEXAS AND BEING ALL OF SAC/BELTLINE ADDITION, AN ADDITION TO THE CITY OF ADDISON, TEXAS AS RECORDED IN VOLUME 84013, PAGE 3322 OF THE DEED RECORDS, DALLAS COUNTY, TEXAS.

ADDRESS: 4002 BELT LINE ROAD ADDISON, TEXAS 75001	SHEET 1 OF 1	REVISIONS:
SITE NAME: FORUM AT BELT LINE	JOB NO: 15-6527/552-15 DATE: 4-25-15 SCALE: 1" = 40'	NO. DATE DESCRIPTION



LANDCO, L.P.

11281 RICHMOND, BLDG. J SUITE 105, HOUSTON, TEXAS 77082
 OFFICE (281) 556-1202 FAX (281) 606-1202
 VIP@LANDCOSERVICES.COM
 Copyright 2015 Landco, L.P.
 Firm Number: 10045300

TEXAS POWER & LIGHT 100' R.O.W.



HARWOOD K. SMITH & PARTNERS
Architects, Engineers, Planners
1111 Plaza of the Americas North, LB 307
Dallas, Texas 75201 214/748-5261

HKS



A COMMERCIAL AND OFFICE COMPLEX IN ADDISON TEXAS
SAC / BELTLINE
SUBURBAN AMERICAN COMPANY, INC.

Job No: 1573

Revision:

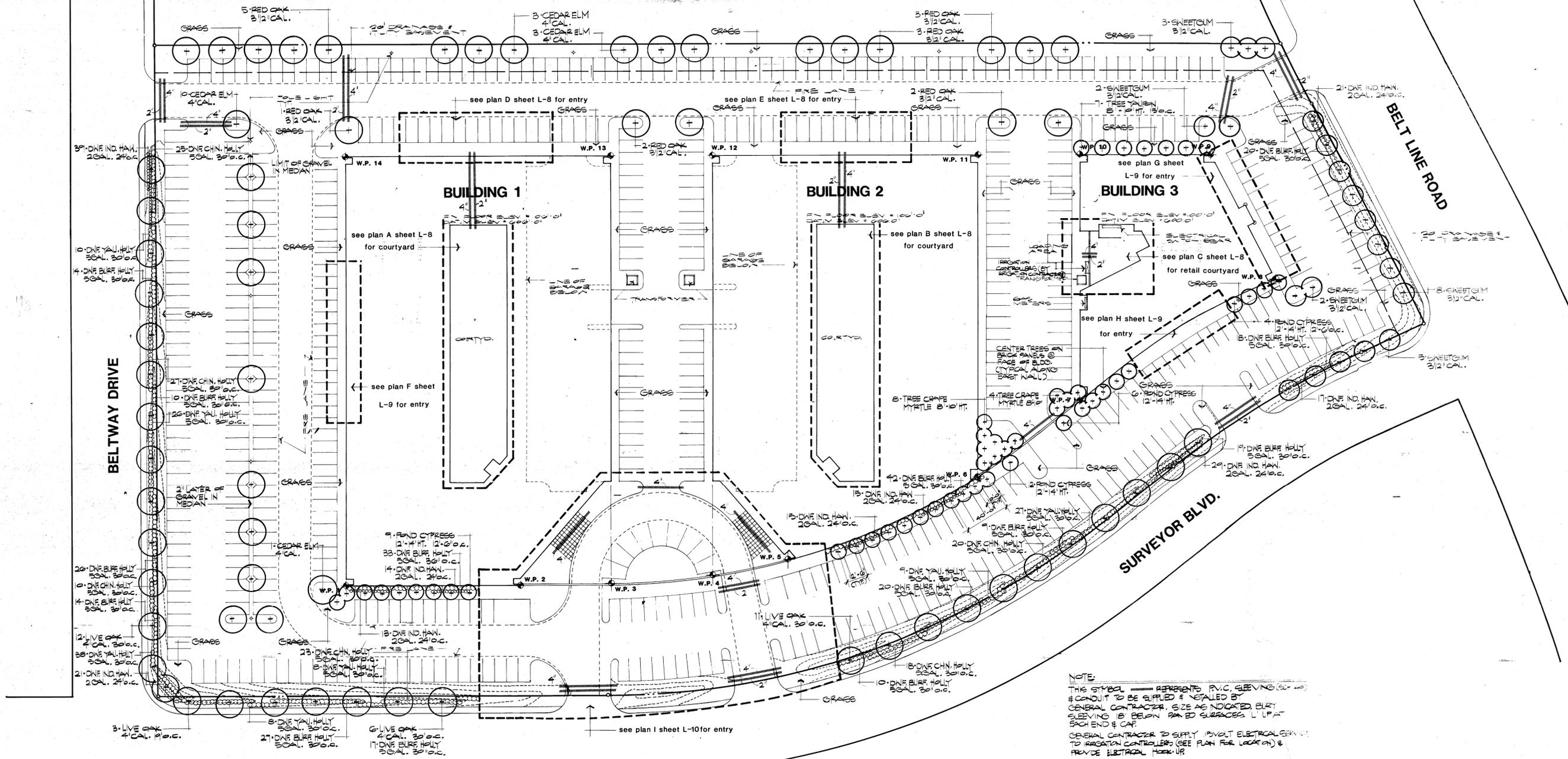
Sheet Title
SITE PLAN
PLANTING

Date

Drawn: DCS

Sheet No

L-7



01 SITE PLAN
1"=30'



PLANT LIST (SEE SHEET L-8 FOR COURTYARD PLANT LIST)

QUANTITY	DESCRIPTION	PLAN NAME	SIZE/SPACING	MIN. HT./SPREAD
17	Cedar Elm		4" cal.	12'/6"
32	Live Oak		4" cal.	12'/5"
8	Live Oak		7" cal.	14'/6"
47	Pond Cypress		12"-14' ht.	12'/14"
16	Red Oak		3 3/4" cal.	9'/5"
20	Sweetgum		3 3/4" cal.	9'/5"
18	Tree Crape Myrtle	Crape Myrtle	8"-10' ht.	6 trunk minimum; red
16	Tree Crape Myrtle	Crape Myrtle	10"-12' ht.	6 trunk minimum; red
8	Tree Crape Myrtle	Crape Myrtle	12"-14' ht.	8 trunk minimum; red
19	Tree Yaupon	Crape Myrtle	8"-10' ht.	6 trunk minimum; female
28	Compact Nandina		5 gal.; 24" o.c.	24"/16"
359	Dwarf Burford Holly	Dwf. Burf. Holly	5 gal.; see plan	24"/24"
176	Dwarf Chinese Holly	Dwf. Chin. Holly	5 gal.; see plan	18"/18"
472	Dwarf Indian Hawthorn "Clara"	Dwf. Ind. Haw.	2 gal.; 24" o.c.	12"/15"
356	Dwarf Yaupon Holly	Dwf. Yau. Holly	5 gal.; see plan	18"/18"
1,912	Asian Jasmine		4" pots; 12" o.c.	min. 3 runners/pot
110	English Ivy		4" pots; 12" o.c.	min. 3 runners/pot
500 SY	St. Augustine Sod			



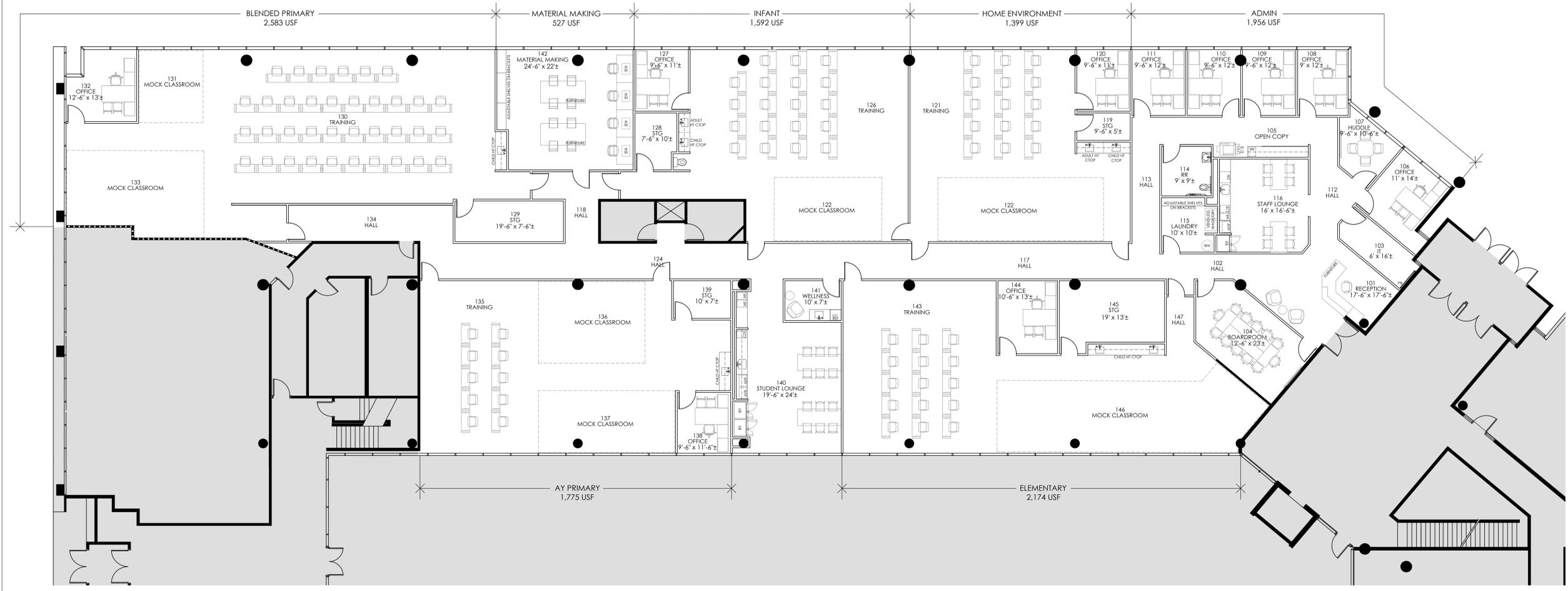
entos design

5400 LBJ Freeway, Suite 125 Dallas, Texas 75240
P. 972.770.2222 | www.entosdesign.com

ISSUED FOR ZONING REVIEW ONLY.

THESE DOCUMENTS MAY NOT BE USED FOR PERMITTING OR CONSTRUCTION. These drawings are assumed to be complete and final. It shall be the tenant/client's responsibility to review and bring in writing any design discrepancies to the designer's attention. Any design changes will be at additional expense. The designer shall not be held responsible for city, state and federal code/regulation authority's interpretations.

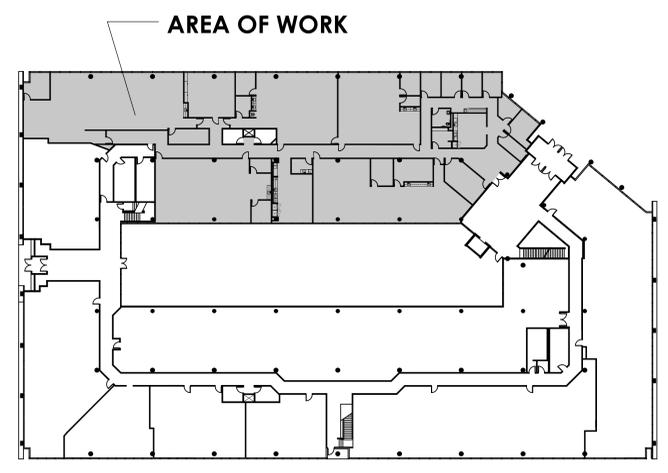
Approved: _____ Date: _____



01 Floor Plan
Scale: 1/8" = 1'-0"



PREPARED BY: KR CHECKED BY: KR



Key Plan
Not to Scale

CODE INFORMATION

CODE COMPLIANCE

- BUILDING - 2018 IBC
- FIRE SAFETY - 2018 IFC
- MECHANICAL - 2018 IMC
- PLUMBING - 2018 IPC
- ELECTRICAL - 2017 NEC
- ENERGY - 2018 IECC
- ACCESSIBILITY - 2012 TAS

OTHER

- FULLY FIRE SPRINKLERED - NO
- OCCUPANCY GROUP - BUSINESS

OCCUPANCY LOAD SUMMARY - SCOPE OF WORK

FUNCTION OF SPACE	LOAD FACTOR	AREA (S.F.)	# OF OCCUPANTS
BUSINESS AREAS	150 GROSS	13046	87
WAITING AREAS	15 NET	39	3
ASSEMBLY - UNCONCENTRATED	15 GROSS	1092	73
STORAGE AREAS	300 GROSS	565	2
TOTAL		14742	165

EGRESS

- 75' COMMON PATH OF EGRESS (MAX. ALLOWED)
- 56' COMMON PATH OF EGRESS (ACTUAL)
- 2 EXITS (MIN. REQUIRED)
- 2 EXITS (ACTUAL)
- 251' LONGEST DIAGONAL
- 125' EXIT SEPARATION (MIN. REQUIRED)
- 169' EXIT SEPARATION (ACTUAL)
- 20' DEAD END (MAX. ALLOWED)
- 20' DEAD END (ACTUAL)

LEGEND

(ALL SYMBOLS MAY NOT APPLY)

GENERAL

- 0000 ROOM NUMBER
- OFFICE ROOM NAME
- PHONE BOARD
- WATER LINE WITH SHUT-OFF VALVE
- FIRE EXTINGUISHER W/ CABINET
- FIRE EXTINGUISHER ON HOOK
- EXISTING PARTITION
- NEW PARTITION
- DEMISING PARTITION W/ SOUND INSULATION
- PARTITION WITH SOUND INSULATION
- ONE HOUR PARTITION W/ SOUND INSULATION
- TWO HOUR PARTITION W/ SOUND INSULATION
- SIDE LIGHT/WINDOW

ROOM SIZES ARE APPROXIMATE ONLY AND ARE NOT TO BE USED FOR FINAL DETERMINATION OF FURNITURE SIZES OR PLACEMENT.

1.4	For Review	01/13/2022
1.3	For Review	12/15/2021
1.2	For Review	11/10/2021
1.1	For Review	10/12/2021
1.0	For Review	10/11/2021
No.	Issued	Date

Montessori Institute

Forum III
4006 Beltline Road
Suite 100
Addison, TX 75001

Case No. 1897-SUP

17,128 RSF
Project ID: 21-1145-L001

Sheet Title
Floor Plan

Sheet Number © 2021

1.3

ORDINANCE NO. 460

AN ORDINANCE OF THE CITY OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE NO. 66 OF THE CITY OF ADDISON, TEXAS, AS HERETOFORE AMENDED SO AS TO CHANGE THE HEREINAFTER DESCRIBED PROPERTY BEING SITUATED IN DALLAS COUNTY, TEXAS, AND GENERALLY LOCATED WEST OF MIDWAY ROAD AND SOUTH OF BELT LINE ROAD, BEING IN THE THOMAS L. CHENOWETH SURVEY, ABSTRACT NO. 273, AND CONTAINING 31.6016 ACRES OF LAND, WHICH IS PRESENTLY ZONED RESIDENTIAL TO BE USED UNDER PLANNED DEVELOPMENT NO. 5 SHALL BE GRANTED WITH REFERENCE TO THE HEREIN DESCRIBED PROPERTY SUBJECT, HOWEVER, TO THE SPECIAL CONDITIONS HEREINAFTER MORE FULLY EXPRESSED; PROVIDING FOR A PENALTY NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND DECLARING AN EMERGENCY.

WHEREAS, the City Zoning Commission of the City of Addison, Texas, and the City Council of the City of Addison, Texas, in compliance with the laws of the State of Texas with reference to the granting of zoning changes under the zoning ordinance and zoning map, have given requisite notices by publication and otherwise, and, after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the area, the City of Addison, Texas, is of the opinion that the said change of zoning on application of Corporate Realty No. 71, Case #362, should be granted and the Comprehensive Zoning

should be amended in the exercise of its legislative direction:

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ADDISON,
TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance No. 66 of the City of Addison, Texas, be, and the same is hereby amended so as to give the hereinafter described property the following zoning district classification, to-wit: Planned Development District No. 5. Said property being in the City of Addison, Dallas County, Texas, and being described as follows:

Being several tracts of land situated in the Thomas L. Chenoweth Survey, Abstract No. 273 in the City of Addison, Dallas County, Texas and being more particularly described as follows:

FROM a point in the south line of Belt Line Road (a 100' R.O.W.), said point being N 89° 25' 00" W, 60.00 feet and south 50.00 feet from the intersection of the centerline of Belt Line Road with the centerline of Midway Road (a 100' R.O.W.); thence, N 89° 25' 00" W, with the south line of Belt Line Road, 1254.41 feet to the POINT OF BEGINNING:

THENCE, S 00° 01' 18" W, 997.88 feet to a point, said point being the beginning of a curve to the left having a back tangent bearing of N 70° 32' 41" E, a central angle of 07° 37' 01", a radius of 1050.00 feet, and a tangent length of 69.90 feet;

THENCE, along said curve to the left an arc distance of 139.59 feet to the beginning of a reverse curve to the right having a central angle of 26° 56' 39", a radius of 480.00 feet, and a tangent length of 114.99 feet;

THENCE, along said curve to the right an arc distance of 225.73 feet to its point of tangency;

THENCE S 89° 52' 20" W, 478.72 feet to a point;

THENCE S 00° 11' 34" W, 30.00 feet to a point;

THENCE S 89° 52' 20" W, 500.00 feet to a point;

THENCE N 00° 11' 34" E, 863.90 feet to a point on the south right of way of Belt Line Road, said point also being the beginning of a curve to the left having a back tangent bearing of S 64° 36' 37" W, a central angle of 01° 30' 27", a radius of 1960.08 feet, and a tangent length of 25.79 feet;

THENCE, along said curve to the left, and with the south right of way of Belt Line Road, an arc distance of 51.57 feet to its point of tangency;

THENCE, N 63° 06' 10" E, 117.50 feet along the south right of way of Belt Line Road to a point, said point being the beginning of a curve to the right having a central angle of 27° 28' 50", a radius of 1860.08 feet, and a tangent length of 454.82 feet;

THENCE, along said curve to the right and with the south right of way, an arc distance of 892.14 feet to its point of tangency;

THENCE, S 88° 25' 00" E, 310.33 feet along the south right of way of Belt Line Road to the POINT OF BEGINNING and containing 31.6016 acres (1,376.565 square feet) of land, more or less.

SECTION 2. In the herein above described land or building, no land shall be used, erected or converted to any ~~use~~ other than:

1. Antique shop;
2. Aquarium;
3. Art gallery;
4. Bakery, retail sales only;
5. Bank, office, wholesale sales office or sample room, barber or beauty shops;
6. Bird and pet shops, retail;
7. Book or stationery store;
8. Cafeteria;
9. Camera shop;
10. Candy, cigars and tobaccos, retail sales only;
11. Caterer and wedding service;
12. Cleaning, dyeing and laundry pick-up station for receiving and delivery of articles to be cleaned;
13. Cleaning and pressing shops having an area of not more than 6000 square feet;
14. Curtain cleaning shop having an area of not more than 6000 square feet;
15. Department store, novelty or variety shop, retail sales only;
16. Drug store, retail sales only;
17. Florist, retail sales only;
18. Furniture store, retail only;
19. Grocery store, retail sales only;
20. Hardware, sporting goods, toys, paints, wall paper, clothing, retail sales only;
21. Household and office furniture, furnishings and appliances, retail;
22. Job printing;
23. Jewelry, optical goods, photographic supplies, retail sales only in the home where custom laundering and finishing may be done. The shop shall not exceed 6000 square feet

- in area and no pick-up and delivery shall be operated;
24. Letter and mimeograph shop;
 25. Library, retail;
 26. Meat market, retail sales only;
 27. Moving picture theater;
 28. Nursery, retail sale of plants and trees;
 29. Office building;
 30. Photographers or artists studio;
 31. Parking lot without public garage or automobile facilities for the parking of passenger cars and trucks of less than one (1) ton capacity only;
 32. Professional offices for architect, attorney, engineer and real estate;
 33. Public garage, parking, no repairs;
 34. Piano and musical instruments, retail sales only;
 35. Restaurant without curb or drive-in service (service to be entirely within the building);
 36. Retail store or shop for custom work or the making of articles to be sold for retail on the premises;
 37. Seamstress, dressmaker or tailor;
 38. Shoe repair shop, retail sales only;
 39. Studios, dance, music, drama, health, massage, and reducing;
 40. Studio for the display and sale of glass, china, art objects, cloth and draperies;
 41. Taxi stand;
 42. Washateria, equipped with automatic washing machines of the type customarily found in a home and where the customers may personally supervise the washing and handling of his laundry;
 43. Wearing apparel, including clothing, shoes, hats, millinery and accessories;
 44. Accessory buildings and uses customarily incident to the above uses;

SECTION 3. The following special conditions are placed upon the above described property:

- (a) As provided in Planned Development Article of the Comprehensive Zoning Ordinance, said property shall be improved in accordance with the development plans which are attached hereto and made a part hereof for all purposes.
- (b) No building shall exceed two stories of thirty-five (35) feet in height.
- (c) No building within 100 feet of a residential area shall exceed one story or twenty-five (25) feet in height.
- (d) All general retail businesses shall provide off-street parking at a ratio of one (1) space for each 200 square feet of floor area. Establishments for the sale and consumption on the premises of food and refreshments shall provide off-street parking at a ratio of one (1) space for each one hundred (100) square feet of floor area.

Motion picture theaters shall provide off-street parking at a ratio of one space for each four (4) seats based on maximum occupancy load. All other businesses shall provide off-street parking at a ratio of one space for each three hundred (300) feet of floor area.

- (e) All yard, set-back, parking, service and recreational area shall be landscaped and maintained in a neat and orderly manner.
- (f) At least eighty percent (80%) of the exterior walls of all structures shall be of masonry construction. The front and side walls shall be brick or stone veneer, tilt wall or stucco finish to blend with the adjacent structure. Wood-frame construction of exterior walls shall be prohibited, although wood veneer placed over will be allowed.
- (g) All outside lighting features shall be placed and reflected in such a manner so as not to create annoyance, nuisances or hazards.
- (h) Lighting shall be provided along all driveways and emergency access easements and parking areas.
- (i) Mechanical equipment shall be constructed, located, and screened so as not to interfere with the peace, comfort and response of the occupants of any adjoining building or residence.
- (j) All refuse and refuse containers shall be screened from the view of all public streets adjacent to the property by a solid fence or wall of at least six (6) feet in height.
- (k) No accessory use shall be constructed to permit the keeping of articles, goods, or materials in the open or exposed to public view.
- (l) A minimum of eight (8) feet in height solid masonry site-barring wall or better shall be constructed and maintained between retail and residential area.
- (m) No more than twenty-five percent (25%) of the land described herein and property as zoned through Ordinance No. 459 shall be developed until at least one-third of the land contained in Tract III as zoned through Ordinance No. 461 has a bona fide contract between the developer and contractors, approved by the city, providing for the installation of street paving, sanitary sewer, and storm sewer conforming to the requirements therefore of the City of Addison.

SECTION 4. All paved areas, permanent drives, streets and drainage structures shall be constructed in accordance with standard City of Addison specifications adopted for such purpose, and the same shall be done to the satisfaction of the Director of Public Works.

SECTION 5. This Planned Development District is established pursuant to the Comprehensive Zoning Ordinance of the City of Addison as amended, and the provisions thereof unless directly conflict herewith, shall be applicable to the Planned Development District No. 5.

SECTION 6. That all ordinances of the City in conflict with the provisions of this Ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof other than the part so decided to be invalid, illegal, or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 8. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Hundred

Dollars (\$200.00) for each offense and that each day such violation shall continue to exist shall constitute a separate offense.

SECTION 9. Whereas, the above described property requires that it be given the above zoning classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare of the City and creates an urgency and an emergency for the preservation of the public health, safety, and welfare and requires that this ordinance shall take effect immediately from and after its passage and publication of the caption as the law in such cases provides.

DULY PASSED BY THE CITY COUNCIL OF THE CITY OF ADDISON,
TEXAS, this the 12th day of December, 1978.

MAYOR



ATTEST:

Jacque Sharp
CITY SECRETARY

Planning & Zoning Commission

6.

Meeting Date: 10/17/2023

Agenda Caption:

Hold a public hearing, present, discuss, and consider action on a request to amend the development standards and approve a development plan for Phase II, for a 12.22± acre property located at 16675 Addison Road, currently zoned Planned Development (PD) Ordinance Nos. 023-32, to allow for the construction of an office/warehouse development with associated site improvements. Case 1900-Z/16675 Addison Road (Phase II).

Recommendation:

Administration recommends approval, subject to the use and site development conditions and development plans presented by the applicant.

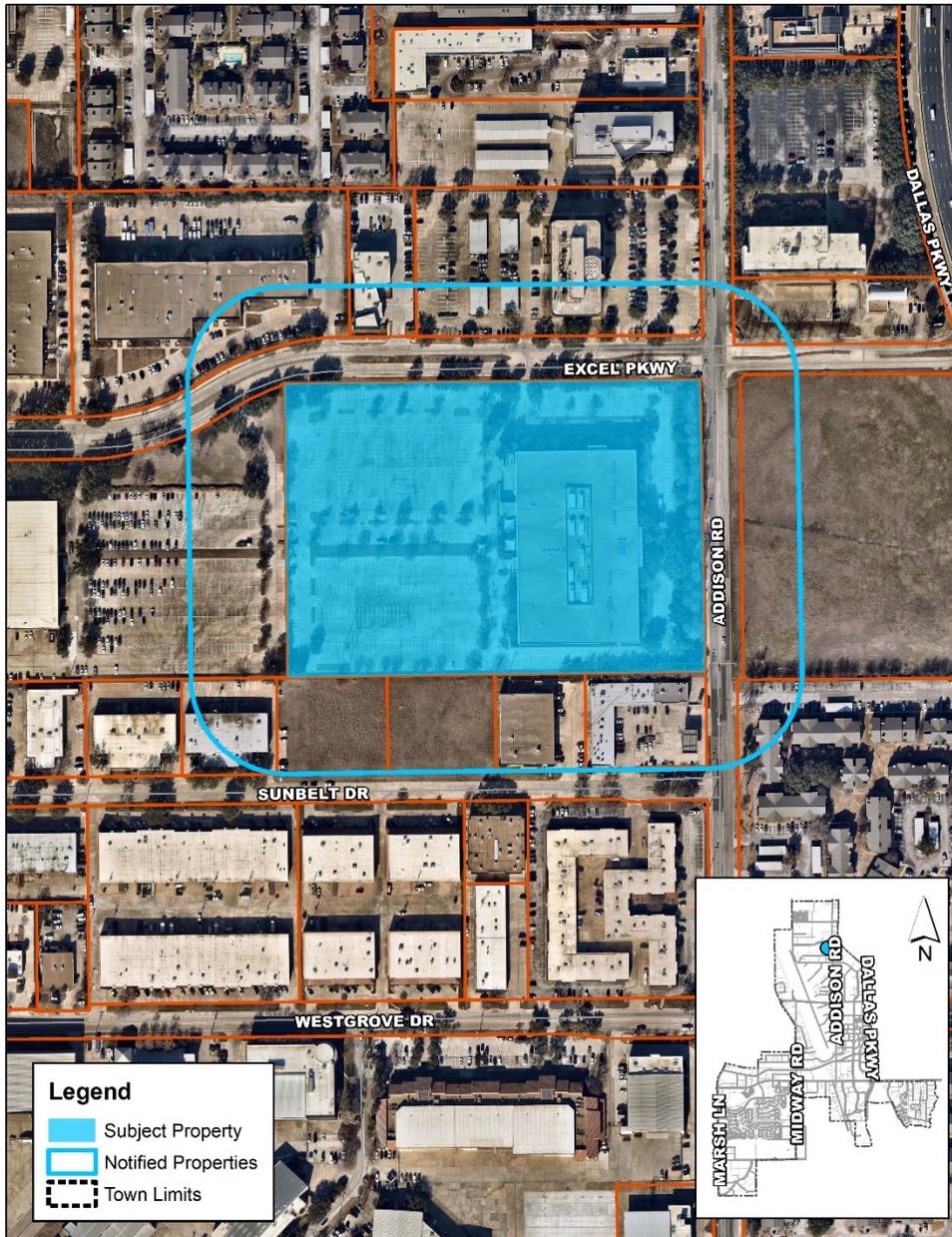
Attachments

1900-Z Staff Report
1900-Z Letter of Intent
1900-Z Plans
1900-Z Use and Development Standards
Ordinance No. 023-32

1900-Z

PUBLIC HEARING Case 1900-Z/16675 Addison Road (Phase II). Hold a public hearing, present, discuss, and consider action on a request to amend the development standards and approve a development plan for Phase II, for a 12.22± acre property located at 16675 Addison Road, currently zoned Planned Development (PD) Ordinance Nos. 023-32, to allow for the construction of an office/warehouse development with associated site improvements.

LOCATION MAP





October 17, 2023

STAFF REPORT

RE: 1900-Z/16675 Addison Road (Phase II)

LOCATION: 16675 Addison Road

REQUEST: Approval of a request to amend Planned Development (PD) District Ordinance No. 023-32, to modify development standards and development plans. (Application Date: 09/15/2023)

APPLICANT: Ronald Loken, Winkelmann & Associates, Inc. on behalf of Lovett Industrial

DISCUSSION:

Background: This request is specific to the former call center site located at 16675 Addison Road. The site is 12.22 acres, located at the southwest corner of Addison Road and Excel Parkway, approximately 600 feet west of the Dallas North Tollway. On July 11, 2023, the City Council approved Planned Development (PD), Ordinance No. 023-32, which provided permitted uses, development standards, a development plan for Phase I, and a concept plan for Phase II to allow the redevelopment of the site.

It was the intent of the previous applicant for Ordinance No. 023-32, Brockett Street Capital, to develop the property in two phases. The first phase would include the conversion of the existing 138,000 square foot call center into a multi-tenant office/warehouse structure. Phase II proposed a second 97,000 square foot multi-tenant office/warehouse structure within the existing concrete parking area.

Lovett Industrial is currently in the process of acquiring the subject property and intends to complete the project in one phase. Lovett Industrial is a Houston based real estate developer with a local office in Dallas.

This request will amend the existing PD to allow minor modifications to the development standards and adopt an updated development plan for the entire site (Phases I and II). Tenants for this site have not yet been identified.

Permitted Use and Development Standards: Minor modifications are proposed to the Permitted Use and Development Standards approved via Ordinance No. 023-32. The following modifications are specific to the floor plan development standards:

- A 495 square foot increase to the maximum tenant occupancy within Building 2; and

- To allow doors or windows, which can provide access or visibility into an interior lobby or office space, on the north façade of Building 2.

The remaining use and development standards are proposed to remain as previously approved.

Development Plan: The development plan includes a site plan, landscape plan, tree survey, façade plan, and floor plan for the western half of the site to allow a new 100,990 square foot office/warehouse structure and associated site improvements. This area has previously been referred to as Phase II of the project and is identified as Building 2 on the development plan.

Uses: The site is being constructed for speculative office/warehouse space. All tenants must comply with the Permitted Use and Development Standards.

Parking: A minimum of 1 space for each 1,000 square feet of gross floor area is proposed for the site. Building 2 is a 100,990 square foot structure, requiring 101 spaces. The site is exceeding this requirement by providing 144 spaces.

Exterior Facades: The east elevation will be used as the service area and truck courtyard, providing thirteen loading dock doors. A proposed masonry screening wall at the northeast corner of the building, landscaping, and Building 1 will provide screening for the service area. Primary entrances will be situated on the north, west, and south facades. The building will be concrete tilt wall construction and be aesthetically compatible with Building 1.

Landscape and Open Space: The site will meet the minimum landscaping requirements requested by staff, including open space, landscape buffers along Addison Road and Excel Parkway, and parking lot landscaping. An enhanced landscaping treatment is proposed at the northeast corner of the building and along Excel Parkway to provide screening for the service area.

With the development of Building 2, the applicant has proposed to remove 20 trees, or 304 caliper inches. Mitigation has been proposed through 20 replacement trees and providing fee in lieu of to the Town's tree mitigation fund. Tree mitigation on site was challenging due to several existing utility easements and an increase in the density. 80 caliper inches will be mitigated on site and 228 caliper inches will be mitigated at \$192.00 per caliper inch, resulting in a \$43,776 fee.

Staff Review: The development plan is generally consistent with the concept plan approved via PD, Ordinance No. 023-32. The structure increased by 3,990 square feet, however, the site still meets the intent and character of the concept plan, as well as all Town requirements and the Permitted Use and Development Standards.

RECOMMENDATION: **APPROVAL**

This request is consistent with the previously approved development standards and concept plan approved with PD, Ordinance No, 023-32. This project will provide increased density through the redevelopment of an underutilized and aesthetically challenged surface parking lot. The development plan for the site is compatible with the development pattern in the area.

Staff recommends approval of the Planned Development Amendment, to include the Use and Development Conditions and Development Plans.

LOVETT

INDUSTRIAL

127 Howell St
Dallas, TX 75207

Lesley Nyp

Town of Addison
16801 Westgrove Dr
Addison, TX 75001

Dear Ms. Lesley Nyp:

Lovett Industrial is acquiring the property at 16675 Addison Rd and is requesting an amendment to the Planned Development site plan. The original submittal provided the zoning needs and development plan for the existing building. The current submittal provides an updated conceptual site plan, elevations for the proposed building, and preliminary engineering plans.

Lovett Industrial has been one of the most active developers in Texas. We have over 5 million square feet of industrial buildings built or under construction in the Dallas-Fort Worth area. We have a strong team locally, and several offices across the United States with a proven track record.

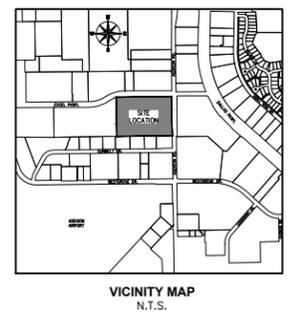
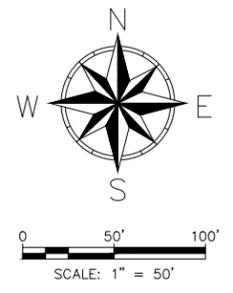
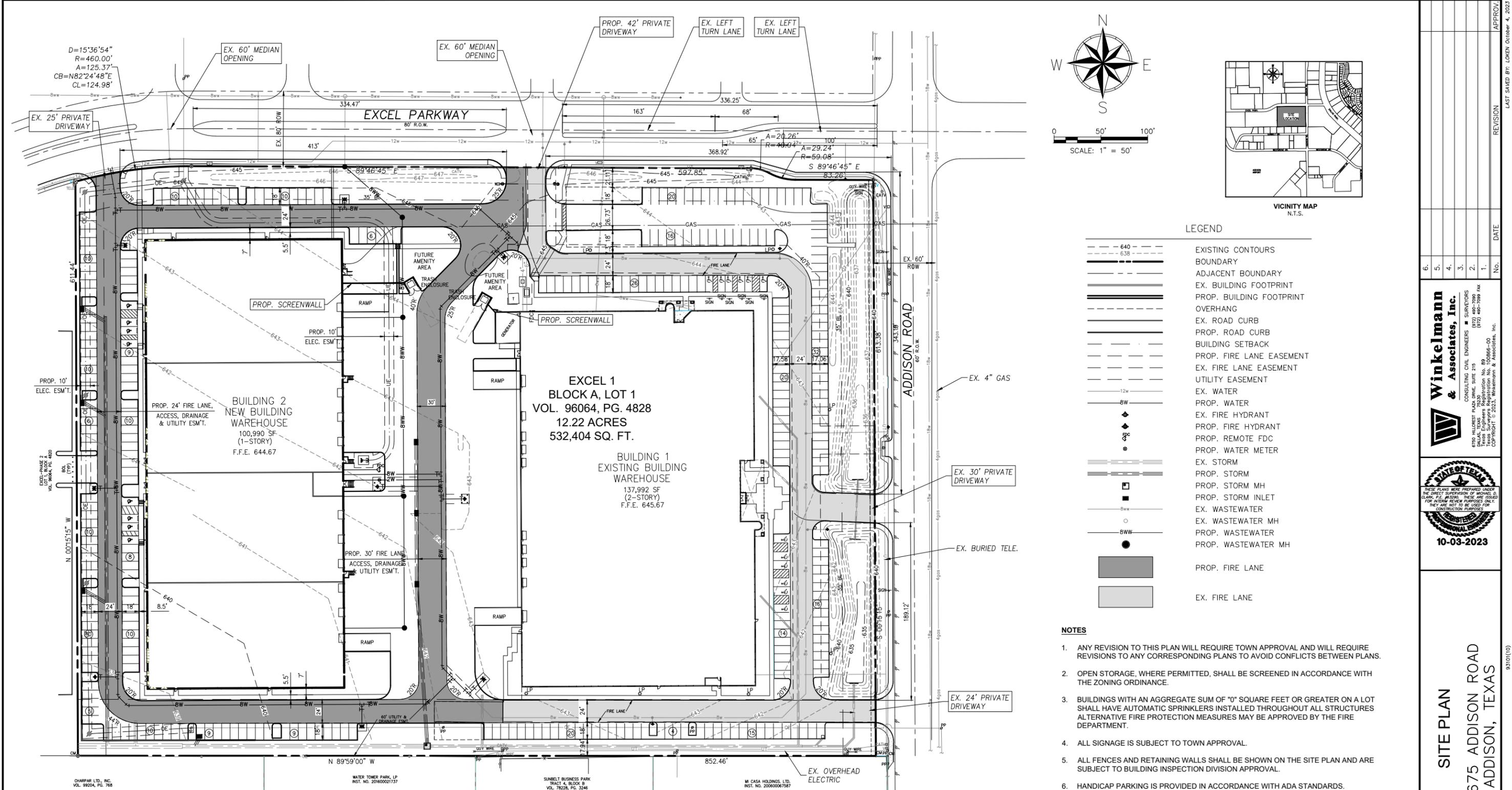
We believe this property is a desirable site with a central location and access off the Dallas North Tollway. We have seen meaningful tenant demand in the area, supporting the continued need for developments like this one within the urban core. Our plan for the site embraces the approved planned development to provide an opportunity for nearby businesses, an expansion opportunity and an option for new tenants looking to capitalize on Addison's talented labor force.

Request: We are seeking approval of the updated development plan for a 100,990 SF industrial building adjacent to the existing building. The proposed development will meet the requirements set forth in the previously approved Planned Development zoning ordinance.

We look forward to working with town staff on a successful project. Thank you for your consideration.

Sincerely,

James Yu, P.E.
Development Manager
James.Yu@lovettindustrial.com



LEGEND

- 640 --- EXISTING CONTOURS
- 638 --- BOUNDARY
- ADJACENT BOUNDARY
- EX. BUILDING FOOTPRINT
- PROP. BUILDING FOOTPRINT
- OVERHANG
- EX. ROAD CURB
- PROP. ROAD CURB
- BUILDING SETBACK
- PROP. FIRE LANE EASEMENT
- EX. FIRE LANE EASEMENT
- UTILITY EASEMENT
- EX. WATER
- PROP. WATER
- EX. FIRE HYDRANT
- PROP. FIRE HYDRANT
- PROP. REMOTE FDC
- PROP. WATER METER
- EX. STORM
- PROP. STORM
- PROP. STORM MH
- PROP. STORM INLET
- EX. WASTEWATER
- EX. WASTEWATER MH
- PROP. WASTEWATER
- PROP. WASTEWATER MH
- PROP. FIRE LANE
- EX. FIRE LANE

NOTES

1. ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
3. BUILDINGS WITH AN AGGREGATE SUM OF 10" SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
4. ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
5. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
6. HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.

FLOODPLAIN NOTE

PER FEMA PANEL 48113C 0180K EFFECTIVE 07/07/2014, THE SITE IS LOCATED IN FLOOD ZONE X, WHICH IS OUTSIDE THE 100YR FLOOD PLAIN.

ABBREVIATION LEGEND

PP Power Pole	IRF Iron Rod Found
GW Guy Wire	IRS Iron Rod Set
MH Manhole	CIRS Iron Rod Set w/ cap "WAI"
WV Water Valve	GIRF Iron Rod Found w/ cap
TP Telephone Pedestal	XCS "X" Cut in Concrete Set
WM Water Meter	XCF "X" Cut in Concrete Found
FH Fire Hydrant	PKS PK Nail Set
LP Light Pole	PKF PK Nail Found
IV Irrigation Valve	SS Sanitary Sewer
CO Clean Out	SW Storm Sewer
AC Air Conditioner	TF Transformer pad
CB Cable Box	GM Gas Meter
TV Traffic Sign	GMK Gas Marker
SB Signal Box	TSN Traffic Sign
SP Sign Pole	UGC Underground Cable Marker
SN Sign	EB Electric Box
CM Control Monument	EM Electric Meter
	UE Underground Electric

SITE DATA SUMMARY			
Zoning	PD ORD. No. 023-32		
Use	Office/Warehouse		
Lot Area	532,404 sf	12.22 AC.	
Total Building Area	238,982 s.f.		
Building 1	137,992 s.f.		
Building 2	100,990 s.f.		
Building Coverage	42%	F.A.R. 1:042	
Building Height-			
Building 1	40 ft. 2-story		
Building 2	40 ft. 1-story		
Landscape Data-			
Landscape Area Required	22,487 s.f.		
Landscape Area Provided	22,487 s.f.		

PARKING SUMMARY			
Lot Area	532,404 sf		
Use	Office/Warehouse		
Total Building Area	238,982 s.f.		
Parking Ratio	1 Space / 1000 s.f.		
Parking Spaces	Required	Provided	
Bldg. 1	138	183	
Bldg. 2	101	144	
Accessible Parking Spaces	Bldg. 1 = 12	Bldg. 2 = 8	
OHD/Docks Provided	Bldg. 1 = 10	Bldg. 2 = 13	

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75207
 (972) 490-7099 FAX
 (972) 490-7099
 TOWN ENGINEERS (Registration No. 089)
 TOWN SURVEYORS (Registration No. 0000000000)
 COPYRIGHT © 2023, Winkelmann & Associates, Inc.



SITE PLAN
 16675 ADDISON ROAD
 ADDISON, TEXAS

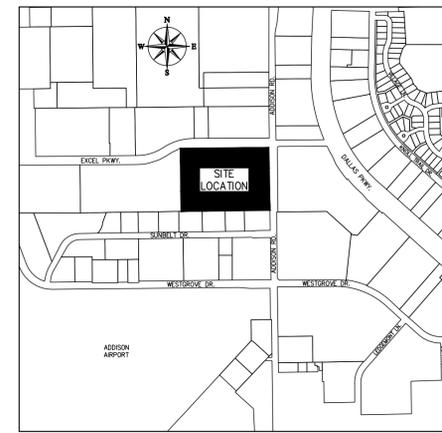
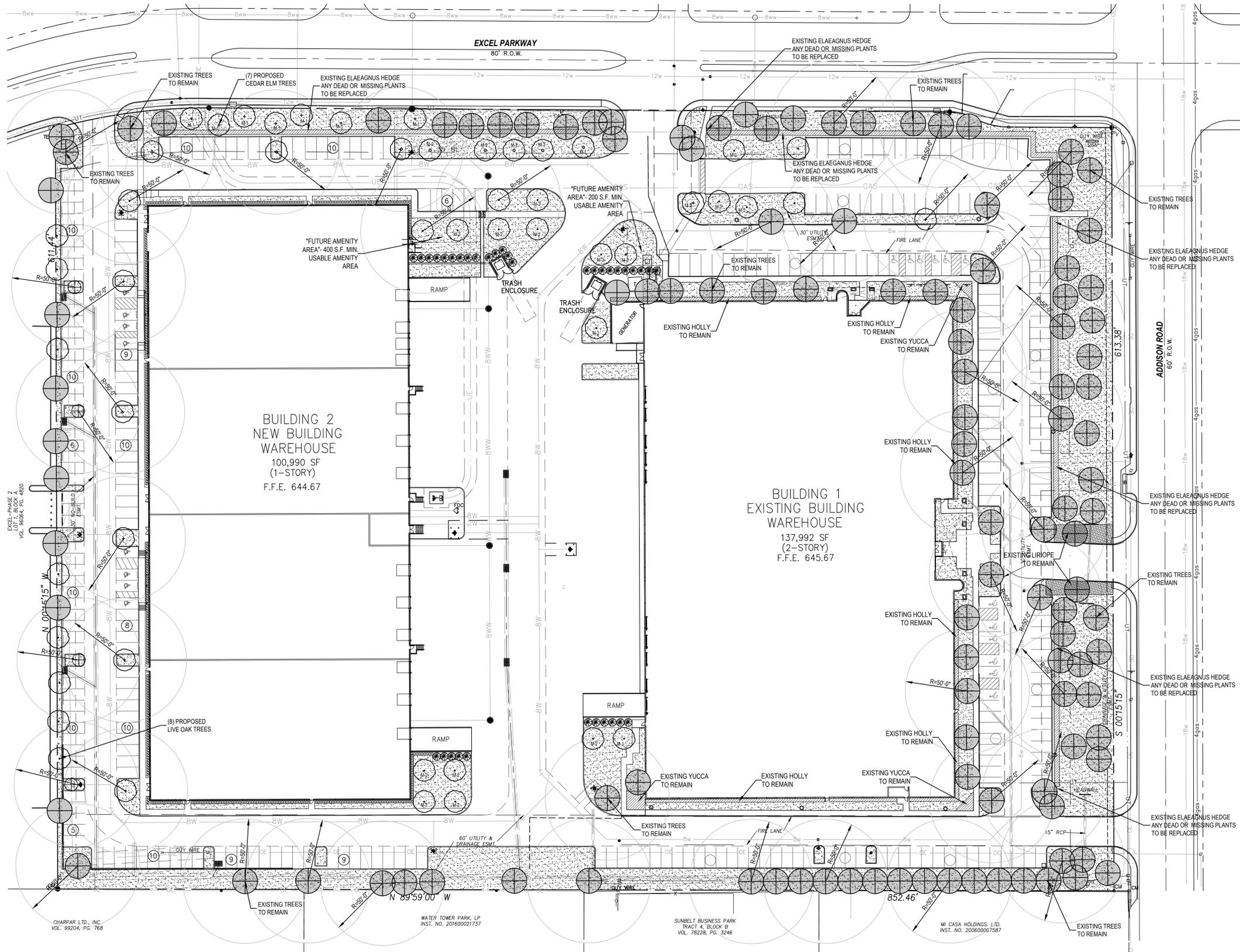
SITE PLAN
 16675 ADDISON ROAD
 12.22 ACRES
 EXCEL 1 BLOCK A, LOT 1
 TOWN PROJECT No.: 1900-Z

WILLIAM LOMAX SURVEY, ABSTRACT NO. 792
 TOWN OF ADDISON
 DALLAS COUNTY, TEXAS

DEVELOPER: LOVETT INDUSTRIAL, LLC JAMES YU, P.E. 127 HOWELL STREET DRIVE DALLAS, TEXAS 75207 (972) 489-5570	ENGINEER: WINKELMANN & ASSOCIATES, INC. MICHAEL CLARK, P.E. 6750 HILLCREST PLAZA DRIVE, SUITE 215 DALLAS, TEXAS 75207 (972) 490-7090 (972) 490-7099 FAX
--	---

DP-1

6. 5. 4. 3. 2. 1. No. DATE REVISION APPROVAL
 LAST SAVED BY: LOKEN October 4, 2023
 G:\931\01\ENGINEERING\Development_Plan\93101-SFS\Site.dwg 93101(10)



VICINITY MAP
N.T.S.

LANDSCAPE TABULATIONS

REQUIRED LANDSCAPE AREA
 Requirements: 20% of gross site to be landscape
 Total Site: 532,404 s.f.
 Required: 106,481 s.f. (20%)
 Provided: 106,654 s.f. (20%)

STREET LANDSCAPE BUFFER
 Requirements: 20' buffer along street frontage, (1) shade tree 4" cal. per 30 l.f. o.c. and evergreen shrubs planted at 3' to 3.5' o.c.

Addison Road: (613 l.f.)

Required Shade Trees (613' / 30')	Provided
(21) Shade Trees, 4" cal.	(31) Existing Trees, 4" plus cal.
Required Evergreen Shrubs (613' / 3')	Provided
(205) Evergreen Shrubs	Existing evergreen hedge

Excel Parkway: (856 l.f.)

Required Shade Trees (856' / 30')	Provided
(29) Shade Trees, 4" cal.	(22) Existing Trees, 4" plus cal. (7) Proposed trees (4" caliper)
Required Evergreen Shrubs (856' / 3')	Provided
(285) Evergreen Shrubs	Existing evergreen hedge

PARKING LOT SCREEN

Required	Provided
40" ht., evergreen screen hedge	Existing evergreen hedge to remain and be filled in with matching plant material to meet city requirements

PARKING LOT PERIMETER LANDSCAPING
 Requirement: 5' wide landscape stripe with (1) shade tree 4" cal. per 35 l.f. o.c.

West Property Perimeter: (612 l.f.)

Required Shade Trees (612 l.f. / 35')	Provided
(17) Shade Trees, 4" cal.	(9) Existing Shade Trees (8) Proposed trees (4" caliper)

South Property Perimeter: (852 l.f.)

Required Shade Trees (852 l.f. / 35')	Provided
(24) Shade Trees, 4" cal.	(24) Existing Shade Trees

PARKING LOT INTERIOR LANDSCAPING
 Requirement: 5% interior planting area is required for parking areas between 50,000 s.f. to 149,000 s.f.

Parking lot area : (137,601 s.f.)

Required (137,601 x 5%)	Provided
6,880 s.f. Interior Landscape Area	11,177 s.f. Interior Landscape Area

AN IRRIGATION PLAN IS REQUIRED ON CIVIL AND CONSTRUCTION PLANS AND MUST BE SIGNED BY LICENSED IRRIGATOR.
 ALL IRRIGATION CONTROLLERS MUST HAVE A RAIN AND FREEZE SENSORS

SITE DATA SUMMARY

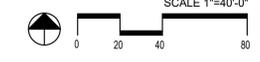
Zoning	PD ORD. No. 023-32	
Use	Office/Warehouse	
Lot Area	532,404 s.f.	12.22 AC.
Total Building Area	238,982 s.f.	
Building 1	137,992 s.f.	
Building 2	100,990 s.f.	
Building Coverage	42%	F.A.R. 1.042
Building Height		
Building 1	40 ft. 2-story	
Building 2	40 ft. 1-story	
Landscape Data		
Landscape Area Required	106,481 s.f. (20%)	
Landscape Area Provided	106,654 s.f. (20%)	

PARKING SUMMARY

Lot Area	532,404 s.f.	12.22 AC.
Use	Office/Warehouse	
Total Building Area	238,982 s.f.	
Parking Ratio	1 Space / 1000 s.f.	
Parking Spaces	Required	Provided
Building 1	138	183
Building 2	97	144
Accessible Parking Spaces	Bldg. 1 = 12	Bldg. 2 = 8
OHD/ Docks Provided	Bldg. 1 = 10	Bldg. 2 = 13

- PLANT LEGEND**
- EXISTING TREES TO REMAIN
 - CEDAR ELM 4" CALIPER
 - CHINESE PISTACHE 4" CALIPER
 - LIVE OAK 4" CALIPER
 - YAUJON HOLLY 3" CALIPER, 8' HEIGHT
 - EASTERN RED CEDAR 3" CALIPER, 8' HEIGHT
 - NELLIE R. STEVENS 8' HEIGHT
 - EVERGREEN SHRUBS 5 GALLON
 - EXISTING SHRUBS
 - BERMUDA GRASS TURF
 - TREES IDENTIFIED WITH THE (M) ARE COUNTED TOWARDS THE REQUIRED MITIGATION REPLACEMENT

01 CONCEPT LANDSCAPE PLAN
SCALE 1"=40'-0"



LANDSCAPE PLAN

PROJECT ADDRESS:
 16675 ADDISON ROAD
 EXCEL-PHASE 1
 LOT 1, BLOCK A
 12.220 ACRES OR
 532,404 SQ.FT.
 WILLIAM LOMAX SURVEY
 ABSTRACT NO. 792
 TOWN OF ADDISON, DALLAS COUNTY

LANDSCAPE ARCHITECT
 STUDIO GREEN SPOT, INC.
 1782 W. McDERMOTT DR.
 ALLEN, TEXAS 75013
 (469) 369-4448
 CHRIS@STUDIOGREENSPOT.COM



10.04.2023

1665 ADDISON ROAD

ADDISON, TEXAS

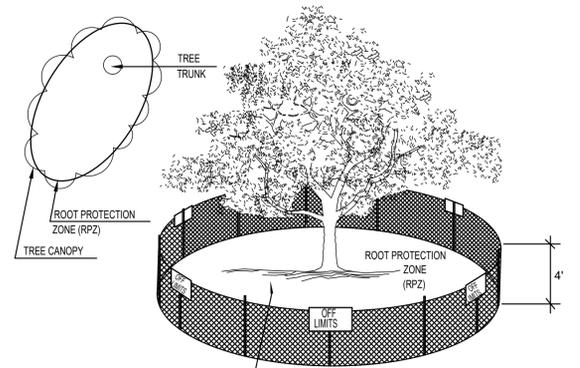
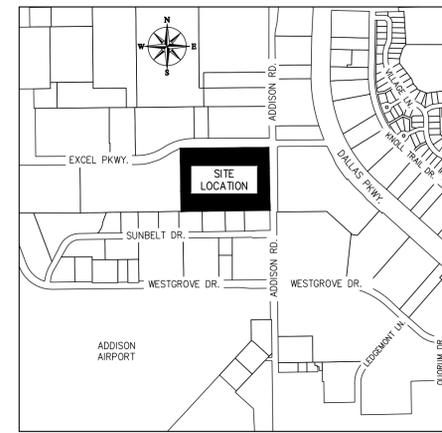
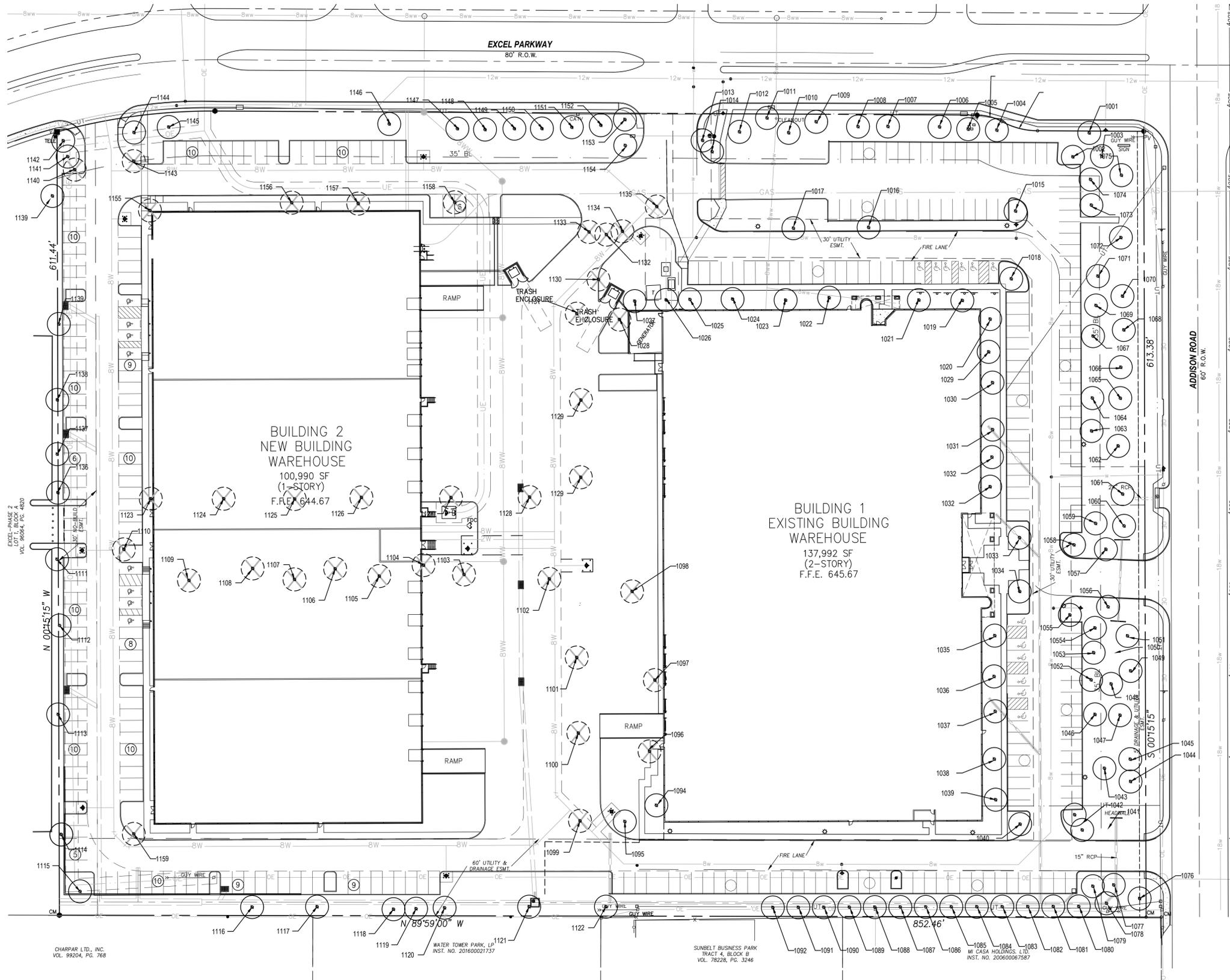
ISSUE:
 FOR APPROVAL 09.15.2023
 CITY COMMENTS 10.04.2023

DATE:
 10.04.2023

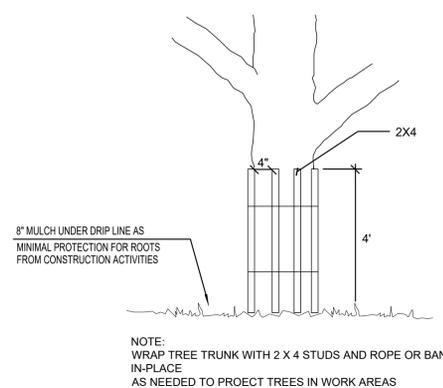
SHEET NAME:
 LANDSCAPE PLAN

SHEET NUMBER:
 L.3

CASE NO. 1900-Z



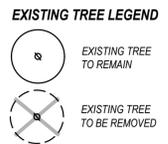
01 TREE PROTECTION FENCE A NOT TO SCALE



02 TREE PROTECTION FENCE B NOT TO SCALE

ALL TREES SHOWN TO BE REMOVED IN PHASE 2 ARE TO REMAIN UNTIL THE PHASE 2 DEVELOPMENT BEGINS REFER TO SHEET L.2 FOR EXISTING TREE LIST

01 TREE SURVEY SCALE 1"=40'-0"



TREE SURVEY
 PROJECT ADDRESS:
 16675 ADDISON ROAD
 EXCEL-PHASE 1
 LOT 1, BLOCK A
 12.220 ACRES OR
 532,404 SQ.FT.
 WILLIAM LOMAX SURVEY
 ABSTRACT NO. 792
 TOWN OF ADDISON, DALLAS COUNTY

SITE DATA SUMMARY	
Zoning	PD ORD. No. 023-32
Use	Office/Warehouse
Lot Area	532,404 s.f. 12.22 AC.
Total Building Area	238,982 s.f.
Building 1	137,992 s.f.
Building 2	100,990 s.f.
Building Coverage	42% F.A.R. 1.042
Building Height	
Building 1	40 ft. 2-story
Building 2	40 ft. 1-story
Landscape Data	
Landscape Area Required	106,481 s.f. (20%)
Landscape Area Provided	106,654 s.f. (20%)

PARKING SUMMARY		
Lot Area	532,404 s.f.	12.22 AC.
Use	Office/Warehouse	
Total Building Area	238,982 s.f.	
Parking Ratio	1 Space / 1000 s.f.	
Parking Spaces	Required	Provided
Building 1	138	183
Building 2	97	144
Accessible Parking Spaces	Bldg. 1 = 12	Bldg. 2 = 8
OHD/ Docks Provided	Bldg. 1 = 10	Bldg. 2 = 13

LANDSCAPE ARCHITECT
 STUDIO GREEN SPOT, INC.
 1782 W. McDERMOTT DR.
 ALLEN, TEXAS 75013
 (469) 369-4448
 CHRIS@STUDIOGREENSPOT.COM



1665 ADDISON ROAD
 ADDISON, TEXAS

ISSUE:
 FOR APPROVAL 09.15.2023
 CITY COMMENTS 10.04.2023

DATE:
 10.04.2023
 SHEET NAME:
 TREE SURVEY
 SHEET NUMBER:
L.1
 CASE NO. 1900-Z

**PHASE 1:
EXISTING TREE CHART**

NO.	SIZE (IN)	TYPE	STATUS	NO.	SIZE (IN)	TYPE	STATUS
1001	14	SWEET GUM	REMAIN	1062	32	BALD CYPRESS	REMAIN
1002	14	SWEET GUM	REMAIN	1063	14	CEDAR ELM	REMAIN
1003	12	SWEET GUM	REMAIN	1064	14	ELM	REMAIN
1004	17	SWEET GUM	REMAIN	1065	20	BALD CYPRESS	REMAIN
1005	12	SWEET GUM	REMAIN	1066	20	BALD CYPRESS	REMAIN
1006	12	SWEET GUM	REMAIN	1067	16	ELM	REMAIN
1007	14	ELM	REMAIN	1068	20	BALD CYPRESS	REMAIN
1008	12	ELM	REMAIN	1069	14	ELM	REMAIN
1009	12	LIVE OAK	REMAIN	1070	21	BALD CYPRESS	REMAIN
1010	10	LIVE OAK	REMAIN	1071	10	ELM	REMAIN
1011	15	LIVE OAK	REMAIN	1072	20	BALD CYPRESS	REMAIN
1012	18	LIVE OAK	REMAIN	1073	18	CEDAR ELM	REMAIN
1013	12	LIVE OAK	REMAIN	1074	14	SWEET GUM	REMAIN
1014	15	LIVE OAK	REMAIN	1075	22	BALD CYPRESS	REMAIN
1015	14	ELM	REMAIN	1076	24	LIVE OAK	REMAIN
1016	12	ELM	REMAIN	1077	20	LIVE OAK	REMAIN
1017	12	ELM	REMAIN	1078	20	LIVE OAK	REMAIN
1018	27	LIVE OAK	REMAIN	1079	20	LIVE OAK	REMAIN
1019	12	ELM	REMAIN	1080	18	CEDAR ELM	REMAIN
1020	11	ELM	REMAIN	1081	18	CEDAR ELM	REMAIN
1021	15	ELM	REMAIN	1082	20	CEDAR ELM	REMAIN
1022	12	ELM	REMAIN	1083	24	CEDAR ELM	REMAIN
1023	14	ELM	REMAIN	1084	18	CEDAR ELM	REMAIN
1024	14	ELM	REMAIN	1085	18	CEDAR ELM	REMAIN
1025	28	CEDAR ELM	REMAIN	1086	20	CEDAR ELM	REMAIN
1026	20	CEDAR ELM	REMAIN	1087	20	CEDAR ELM	REMAIN
1027	19	CEDAR ELM	REMAIN	1088	18	CEDAR ELM	REMAIN
1028	16	CEDAR ELM	REMAIN	1089	24	CEDAR ELM	REMAIN
1029	11	ELM	REMAIN	1090	28	CEDAR ELM	REMAIN
1030	12	ELM	REMAIN	1091	20	CEDAR ELM	REMAIN
1031	12	ELM	REMAIN	1092	24	CEDAR ELM	REMAIN
1032	20	LIVE OAK	REMAIN	1093	10	ELM	REMAIN
1033	24	LIVE OAK	REMAIN	1094	10	ELM	REMAIN
1034	24	LIVE OAK	REMAIN	1095	24	ELM	REMAIN
1035	18	LIVE OAK	REMAIN	1096	12	ELM	TO BE REMOVED
1036	12	ELM	REMAIN	1097	15	ELM	TO BE REMOVED
1037	12	ELM	REMAIN	1098	17	LIVE OAK	TO BE REMOVED
1038	10	ELM	REMAIN	1099	15	ELM	TO BE REMOVED
1039	8	ELM	REMAIN	1100	15	ELM	TO BE REMOVED
1040	28	LIVE OAK	REMAIN	1101	16	ELM	TO BE REMOVED
1041	24	LIVE OAK	REMAIN	1102	12	CHINESE PISTACHE	TO BE REMOVED
1042	18	LIVE OAK	REMAIN	1121	15	CHINESE PISTACHE	REMAIN
1043	20	BALD CYPRESS	REMAIN	1122	18	CHINESE PISTACHE	REMAIN
1044	20	BALD CYPRESS	REMAIN	1128	15	ELM	TO BE REMOVED
1045	20	BALD CYPRESS	REMAIN	1129	10	ELM	TO BE REMOVED
1046	24	BALD CYPRESS	REMAIN	1130	14	ELM	TO BE REMOVED
1047	20	BALD CYPRESS	REMAIN	1131	15	CEDAR ELM	TO BE REMOVED
1048	21	BALD CYPRESS	REMAIN	1132	20	CEDAR ELM	TO BE REMOVED
1049	21	BALD CYPRESS	REMAIN	1133	18	CEDAR ELM	TO BE REMOVED
1050	21	BALD CYPRESS	REMAIN	1134	20	CEDAR ELM	TO BE REMOVED
1051	20	BALD CYPRESS	REMAIN	1135	12	LIVE OAK	TO BE REMOVED
1052	18	CEDAR ELM	REMAIN	1149	15	LIVE OAK	REMAIN
1053	19	CEDAR ELM	REMAIN	1150	14	LIVE OAK	REMAIN
1054	22	CEDAR ELM	REMAIN	1151	14	ELM	REMAIN
1055	24	LIVE OAK	REMAIN	1152	19	LIVE OAK	REMAIN
1056	21	LIVE OAK	REMAIN	1153	15	LIVE OAK	REMAIN
1057	20	LIVE OAK	REMAIN	1154	14	ELM	REMAIN
1058	14	LIVE OAK	REMAIN				
1059	16	LIVE OAK	REMAIN				
1060	24	LIVE OAK	REMAIN				
1061	21	BALD CYPRESS	REMAIN				

PHASE 1:
15 TREES- 225 CALIPER INCHES TO BE REMOVED

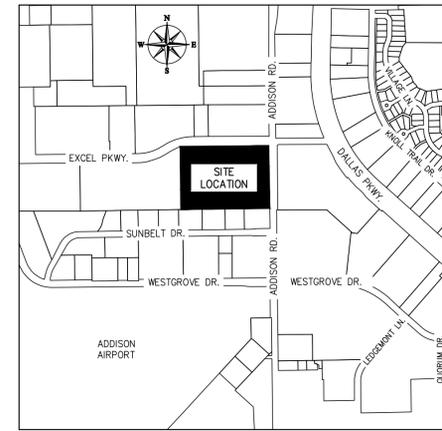
9 PROPOSED 4" CALIPER TREES (36 CALIPER INCHES) TO BE PLANTED ON SITE
189 CALIPER INCHES OF TREES TO BE PAID INTO THE TOWN'S TREE PRESERVATION FUND AT \$192.00 PER CALIPER INCH.
\$192.00 X 189 CALIPER INCHES= \$36,288 DUE TO THE TOWN'S TREE PRESERVATION FUND.

**PHASE 2:
EXISTING TREE CHART**

NO.	SIZE (IN)	TYPE	STATUS
1103	9	CHINESE PISTACHE	TO BE REMOVED
1104	8	CHINESE PISTACHE	TO BE REMOVED
1105	24	CHINESE PISTACHE	TO BE REMOVED
1106	16	CHINESE PISTACHE	TO BE REMOVED
1107	14	CHINESE PISTACHE	TO BE REMOVED
1108	18	CHINESE PISTACHE	TO BE REMOVED
1109	20	CHINESE PISTACHE	TO BE REMOVED
1110	12	CHINESE PISTACHE	TO BE REMOVED
1111	14	ELM	REMAIN
1112	14	CHINESE PISTACHE	REMAIN
1113	12	CHINESE PISTACHE	REMAIN
1114	11	CHINESE PISTACHE	REMAIN
1115	17	LIVE OAK	REMAIN
1116	12	CHINESE PISTACHE	REMAIN
1117	12	CHINESE PISTACHE	REMAIN
1118	14	CHINESE PISTACHE	REMAIN
1119	14	CHINESE PISTACHE	REMAIN
1120	12	CHINESE PISTACHE	REMAIN
1123	11	ELM	TO BE REMOVED
1124	14	ELM	TO BE REMOVED
1125	15	ELM	TO BE REMOVED
1126	15	ELM	TO BE REMOVED
1127	16	ELM	TO BE REMOVED
1136	10	ELM	REMAIN
1137	12	ELM	REMAIN
1138	15	ELM	REMAIN
1139	14	ELM	REMAIN
1140	18	LIVE OAK	TO BE REMOVED
1141	14	CEDAR ELM	REMAIN
1142	14	CEDAR ELM	REMAIN
1143	25	LIVE OAK	TO BE REMOVED
1144	21	LIVE OAK	REMAIN
1145	20	LIVE OAK	REMAIN
1146	12	LIVE OAK	REMAIN
1147	18	LIVE OAK	REMAIN
1148	9	LIVE OAK	REMAIN
1155	15	ELM	TO BE REMOVED
1156	14	ELM	TO BE REMOVED
1157	12	ELM	TO BE REMOVED
1158	14	ELM	TO BE REMOVED
1159	14	ELM	TO BE REMOVED

PHASE 2:
20 TREES- 304 CALIPER INCHES TO BE REMOVED

20 PROPOSED 4" CALIPER TREES (80 CALIPER INCHES) TO BE PLANTED ON SITE
228 CALIPER INCHES OF TREES TO BE PAID INTO THE TOWN'S TREE PRESERVATION FUND AT \$192.00 PER CALIPER INCH.
\$192.00 X 228 CALIPER INCHES= \$43,776 DUE TO THE TOWN'S TREE PRESERVATION FUND.



VICINITY MAP
N.T.S.

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



10.04.2023

1665 ADDISON ROAD
ADDISON, TEXAS

ISSUE:
FOR APPROVAL 09.15.2023
CITY COMMENTS 10.04.2023

DATE:
10.04.2023

SHEET NAME:
TREE SURVEY LISTS

SHEET NUMBER:
L.2

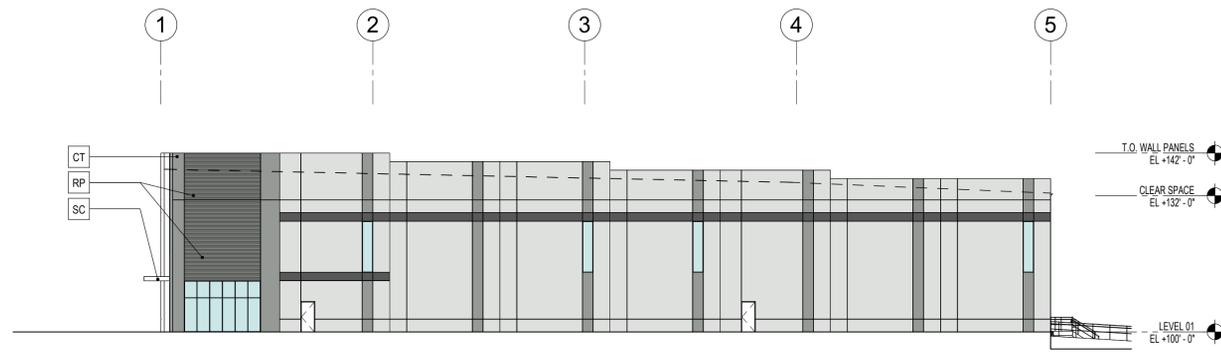
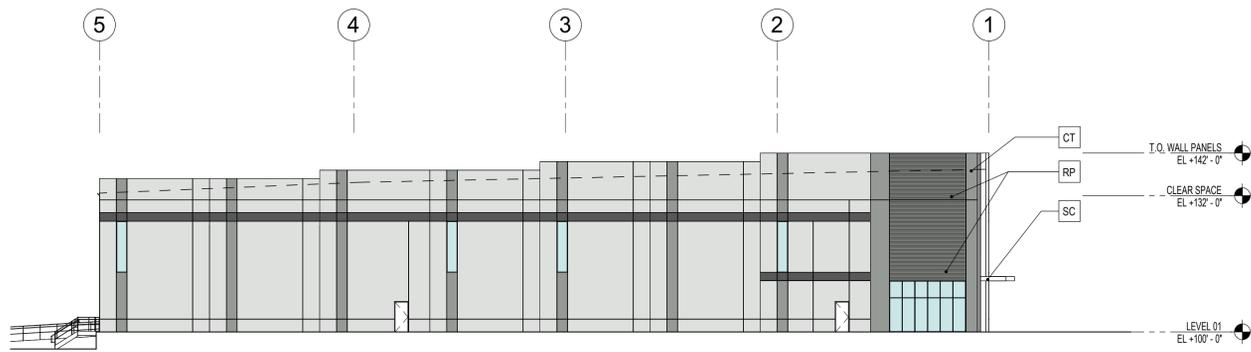
CASE NO. 1900-Z

TREE SURVEY LISTS

PROJECT ADDRESS:
16675 ADDISON ROAD
EXCEL-PHASE 1
LOT 1, BLOCK A
12.220 ACRES OR
532,404 SQ.FT.
WILLIAM LOMAX SURVEY
ABSTRACT NO. 792
TOWN OF ADDISON, DALLAS COUNTY

MATERIAL AREA AND PERCENTAGE - NORTH
 CONCRETE TILT WALL: 7,778sf - 95%
 GLAZING/FENESTRATIONS: 336sf - 5%
 TOTAL AREA: 8,114sf

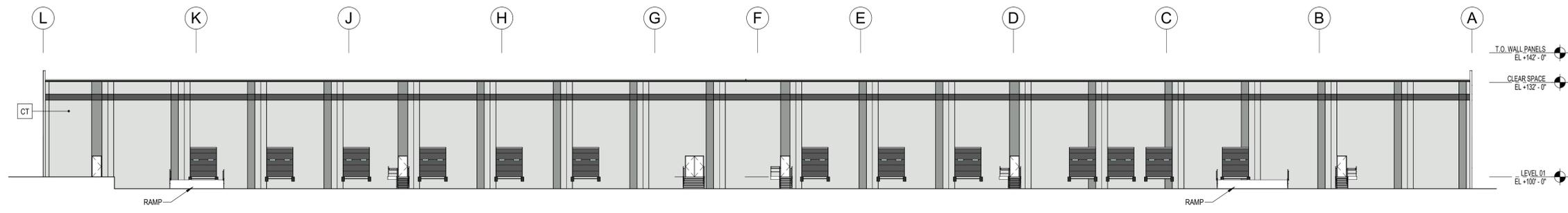
MATERIAL AREA AND PERCENTAGE - SOUTH
 CONCRETE TILT WALL: 7,778sf - 95%
 GLAZING/FENESTRATIONS: 336sf - 5%
 TOTAL AREA: 8,114sf



3 EXTERIOR ELEVATION - NORTH
 1" = 20'-0"

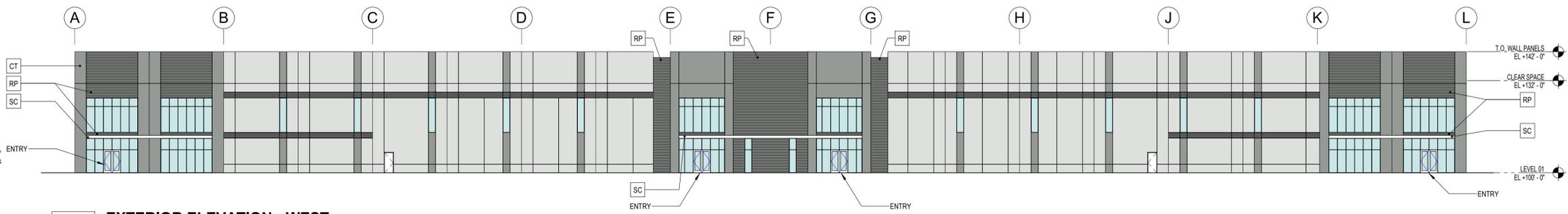
4 EXTERIOR ELEVATION - SOUTH
 1" = 20'-0"

MATERIAL AREA AND PERCENTAGE - EAST
 CONCRETE TILT WALL: 16,484sf - 93%
 OVERHEAD DOOR: 1,169sf - 7%
 TOTAL AREA: 17,653sf



2 EXTERIOR ELEVATION - EAST
 1" = 20'-0"

MATERIAL AREA AND PERCENTAGE - WEST
 CONCRETE TILT WALL: 17,532sf - 86%
 GLAZING/FENESTRATIONS: 2,856sf - 14%
 TOTAL AREA: 20,388sf



1 EXTERIOR ELEVATION - WEST
 1" = 20'-0"

CASE No. 1900-Z

GENERAL FINISH & CORE SHELL NOTES

- FACADE PLAN NOTES:**
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
 - ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
 - WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
 - ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
 - ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.

MATERIALS

CANOPY	EXTERIOR WALLS	GLAZING / LOUVERS	EXTERIOR WALLS	PAINT
CANOPY KEY: SC "STEEL CANOPY" - STL. FRAMING W/ STL. FASCIA BEAMS WITH PERFORATED METAL FINISH AT ROOF AND SOFFIT.	EXTERIOR WALL KEY: CT CONCRETE TILT PANEL W/ VERTICAL 1/2" X 1/2" DEEP REVEALS & 1/2" "Y" SCORE LINES-PAINTED. REFER TO TILT WALL COORDINATION PLAN AND A5.3.1 FOR TYPICAL DETAILS RP REVEAL PATTERN (WHERE OCCURS) - REFERENCE PATTERN KEY	GLAZING KEY: MATERIAL: DESCRIPTION: FRAMES 2"x6", 2"x4-1/2" BLACK ANODIZED (A8-8) ALUMINUM STOREFRONT GLAZING G1 SOLARBAN 60, 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE PERCENTAGE OF EXTERIOR MATERIAL: NORTH - 5% EAST - 0% SOUTH - 5% WEST - 14% NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.	EXTERIOR WALL KEY: CT CONCRETE TILT PANEL W/ VERTICAL 1/2" X 1/2" DEEP REVEALS & 1/2" "Y" SCORE LINES-PAINTED. REFER TO TILT WALL COORDINATION PLAN AND A5.3.1 FOR TYPICAL DETAILS RP REVEAL PATTERN (WHERE OCCURS) - REFERENCE PATTERN KEY PERCENTAGE OF EXTERIOR MATERIAL: NORTH - 95% EAST - 93% SOUTH - 95% WEST - 86%	PAINT KEY: KEY: DESCRIPTION: P1 SHERWIN WILLIAMS (LIGHT GRAY) 'RHINESTONE' #SW7656 P2 SHERWIN WILLIAMS (MED. GRAY) 'EARL GREY' #SW7660 P3 SHERWIN WILLIAMS (DARK GRAY) 'PEPPER CORN' #SW7674

GENERAL DRAWING NOTES

A TENANT DIVISIBILITY PARTITIONS ARE CONCEPTUAL DURING PLANNING PHASES. FINAL LOCATIONS WILL BE DETERMINED WITH FUTURE LEASING.

#	REVISION	DATE

FOR DEVELOPMENT PLAN APPROVAL - NOT FOR CONSTRUCTION

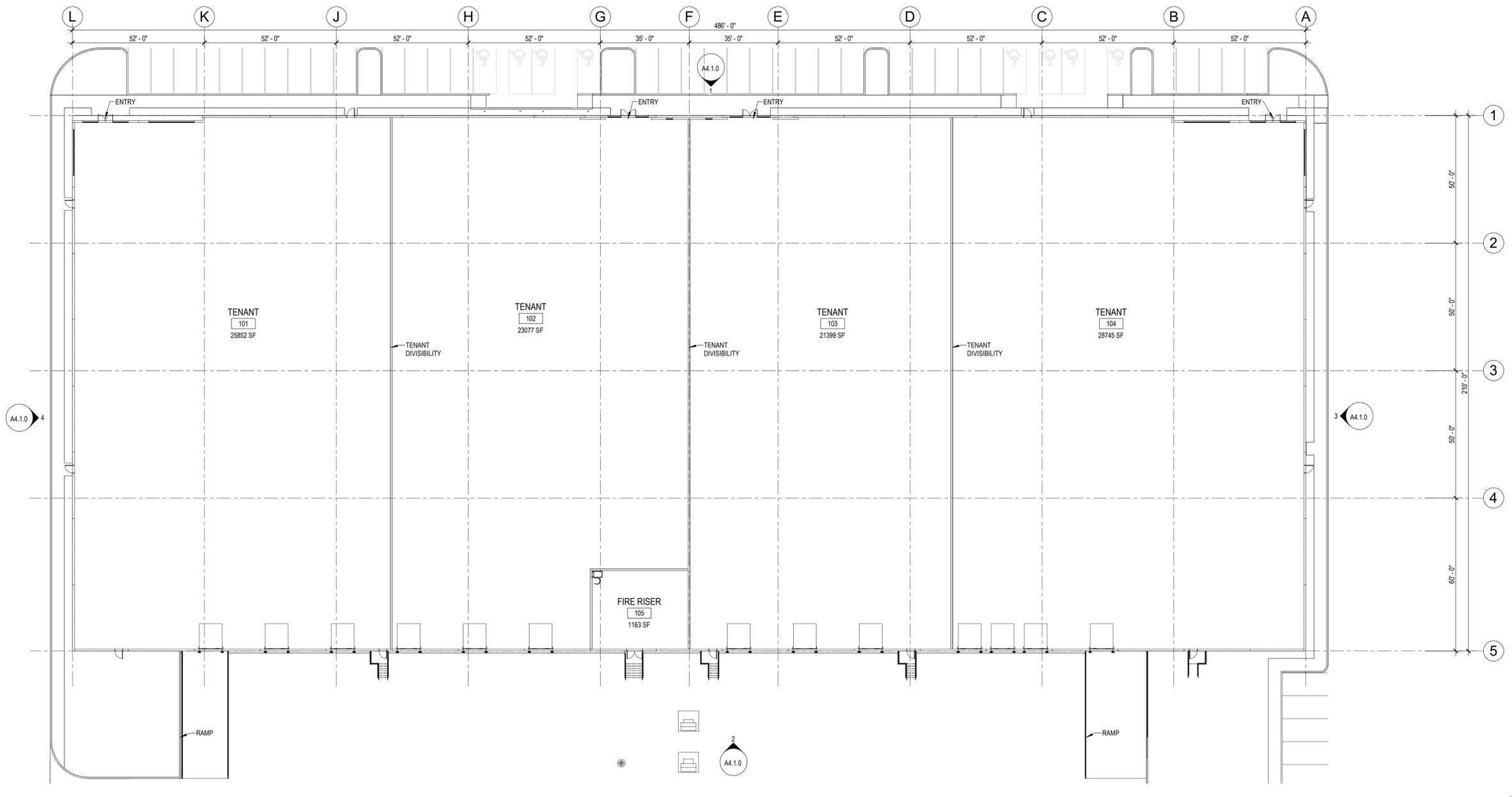
DRAWING TITLE: EXTERIOR BUILDING ELEVATIONS
 ISSUE DATE:
 DRAWN BY: LGE DESIGN GROUP
 CHECKED BY: --
 PROJECT No: PD

#	REVISION	DATE

FOR DEVELOPMENT PLAN APPROVAL - NOT FOR CONSTRUCTION

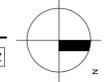
DRAWING TITLE:
GROUND LEVEL FLOOR PLAN
 ISSUE DATE:
 DRAWN BY:
LGE DESIGN GROUP
 CHECKED BY:
--
 PROJECT No:
PD

A2.0.0



1 FLOOR PLAN - LEVEL 01
 3/64" = 1'-0"

CASE No. 1900-Z



GENERAL FINISH & CORE SHELL NOTES

- FACADE PLAN NOTES.
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
 - ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
 - WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
 - ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
 - ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.

GENERAL DRAWING NOTES

- A. TENANT DIVISIBILITY PARTITIONS ARE CONCEPTUAL DURING PLANNING PHASES. FINAL LOCATIONS WILL BE DETERMINED WITH FUTURE LEASING.

16675 Addison Road
Permitted Uses Development Standards

1. USE.
 - a. All buildings and uses permitted in the C-1 (Commercial-1) district as set forth in the Addison Zoning Ordinance, and all distribution and warehouse uses related to the production, light assembly, or research and development of paper goods, technology products, medical devices, design services, or similar materials. For the purposes of this ordinance, light assembly shall be defined as the process and procedures for the assimilation, packaging, and distribution of finished goods and materials.

2. SITE PLAN.
 - a. The development of the Property shall comply with the attached Site Plan.

3. LANDSCAPE PLAN.
 - a. The development of the Property shall comply with the attached Landscape Plan.

4. FACADE PLAN.
 - a. The development of the Property shall comply with the attached Façade Plans.

5. FLOOR PLAN.
 - a. The development of the Property shall comply with the attached Floor Plans for Building 1 and Building 2. Modifications to the interior floor plans may be approved by the Director of Development Services, or designee, as long as the building footprint does not change, and all conditions of this ordinance are met.
 - b. Tenant occupancy greater than 50,495 square feet within Building 2 (as depicted on the Site Plan) shall require approval of a Special Use Permit (SUP), unless one of the following conditions are met:
 - i. Greater than 35% of the total floor area is utilized as office, showroom, or lab space; or
 - ii. A minimum of 75% of the total floor area is climate controlled.
 - c. Building 2 (as depicted on the Site Plan) shall have doors and/or windows, which provide access and/or visibility into an interior lobby or office space along the north façade.

6. PARKING.

- a. A minimum of 1 space per 1,000 square feet of floor area shall be provided on site.

7. OUTSIDE STORAGE.

- a. Except for equipment or materials stored on a construction site or used for a temporary construction project, long term outside storage of goods or materials is prohibited.
- b. The overnight storage of trailers may only be permitted if it is screened from all public rights-of-way. All trailers stored on site shall be registered and operable.

8. LOADING AND UNLOADING.

- a. All loading and unloading facilities shall be screened from all public rights-of-way by a screening wall and landscaping, as depicted on the attached Landscape Plan.
- b. There shall be a maximum of ten (10) dock doors permitted within Phase I.
- c. There shall be a maximum of thirteen (13) dock doors permitted within Phase II.

9. AMENITY AREA.

- a. A minimum of 200 square feet of usable amenity area shall be provided for Phase I, as depicted on the Concept Plan.
- b. A minimum of 400 square feet of amenity area shall be provided for Phase II, as depicted on the Concept Plan.
- c. The amenity areas on the Property shall include improvements defined at the time of submittal of a Building Permit. Improvements may include recreation or fitness facilities, shade structure(s) with seating area(s), or similar enhancements.

ORDINANCE NO. O23-32

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE BY AMENDING PLANNED DEVELOPMENT (PD) DISTRICT ORDINANCE NOS. O85-093, O95-054, AND O96-006, FOR A 12.22± ACRE PROPERTY LOCATED AT THE SOUTHWEST CORNER OF ADDISON ROAD AND EXCEL PARKWAY, AND ADDRESSED AS 16675 ADDISON ROAD, BY PROVIDING FOR ADOPTION OF AMENDED PERMITTED USES, DEVELOPMENT STANDARDS, DEVELOPMENT PLANS, AND A CONCEPT PLAN FOR THE CONVERSION OF AN EXISTING CALL CENTER SITE TO A MULTI- BUILDING OFFICE/WAREHOUSE DEVELOPMENT AND ASSOCIATED SITE IMPROVEMENTS; PROVIDING A PENALTY NOT TO EXCEED TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00); PROVIDING FOR SAVINGS, NO SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, on December 10, 1985, the City Council for the Town of Addison, Texas adopted Planned Development (PD) District Ordinance O85-093 (“PD O85-093”) for a 50.1± acre property generally located at the north and south sides of Excel Parkway, between Addison Road and Westgrove Drive; and

WHEREAS, on November 14, 1995, the City Council for the Town of Addison, Texas adopted Planned Development (PD) District Ordinance O95-054 (“PD O95-054”), amending PD O85-093 to adopt special conditions and a development plan for an 18.2± acre property generally located at the southwest corner of Addison Road and Excel Parkway; and

WHEREAS, on February 13, 1996, the City Council for the Town of Addison, Texas adopted PD District Ordinance O96-006 (“PD O96-006”), amending PD O95-054 and PD O85-093, to revise special conditions and adopt a development plan, for an 18.2± acre property generally located at the southwest corner of Addison Road and Excel Parkway, as described therein (Ordinances PD O85-093, PD O95-054 and PD O96-006 are collectively referred to herein as the “PD Ordinances”); and

WHEREAS, at its regular meeting held on June 20, 2023, the Planning & Zoning Commission considered and made recommendations on a request to amend the PD Ordinances for a 12.22± acre property generally located at 16675 Addison Road and being further described within **Exhibit A** attached hereto (the “Subject Property”) to provide for adoption of amended permitted uses, development standards, development plans, and a concept plan for the conversion of an existing call center site to a multi-building office/warehouse development and associated site improvements (Case No. 1886-Z); and

WHEREAS, the City Council desires to amend and restate the PD Ordinances, in their entirety with regard to the Subject Property, to provide for adoption of the amended permitted uses, development standards, development plans, and a concept plan for the conversion of an existing call center site to a multi-building office/warehouse development and associated site improvements as set forth in this ordinance; and

WHEREAS, this change of zoning is in accordance with the adopted Comprehensive Plan of the Town of Addison, as amended; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at a public hearing, and other relevant information and materials, the City Council of the Town of Addison, Texas finds that approval of this ordinance promotes the general welfare and safety of this community.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the recitals and findings set forth above are hereby found to be true and correct and incorporated as if fully set forth herein.

SECTION 2. The Zoning Ordinance and official zoning map shall be amended for the Subject Property so as to repeal the previous regulations established by the PD Ordinances for the Subject Property and replace said regulations with the following:

- (a) Prior to issuance of a Certificate of Occupancy, said Subject Property shall comply with the Permitted Uses and Development Standards (the “Development Standards”), which area attached hereto as **Exhibit B**, and made a part hereof for all purposes.
- (b) Phase I of the Subject Property shall be improved in accordance with the site plan, landscape plan, floor plan, and façade plans, which are attached hereto as **Exhibit C**, and made a part hereof for all purposes.
- (c) Phase II of the Subject Property shall be developed in accordance with the concept plan, which is attached hereto as **Exhibit D**, and made a part hereof for all purposes.

SECTION 3. Any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, Section 1-7 of the Code of Ordinances for the Town of Addison, including the right to seek injunctive relief for any and all violations of this ordinance where the law in such cases so provides.

SECTION 4. Should any word, sentence, paragraph, subdivision, clause, phrase, or section of this ordinance or of the Zoning Ordinance for the Town of Addison, as amended hereby, be adjudged or held, in whole or in part, to be invalid, voided, or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinances, as amended hereby, which shall remain in full force and effect.

SECTION 5. All ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. This ordinance shall become effective from and after its passage and approval and after publication as may be required by law or by the City Charter.

PASSED AND APPROVED by the City Council of the Town of Addison, Texas, on this the **11TH** day of **JULY 2023**.



ATTEST:

Irma G. Parker
Irma G. Parker, City Secretary

TOWN OF ADDISON, TEXAS

Bruce Arfsten
Bruce Arfsten, Mayor

APPROVED AS TO FORM:

DocuSigned by:
Whitt Wyatt
Whitt L. Wyatt, City Attorney

Published in the Dallas Morning News on Saturday, July 15, 2023

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

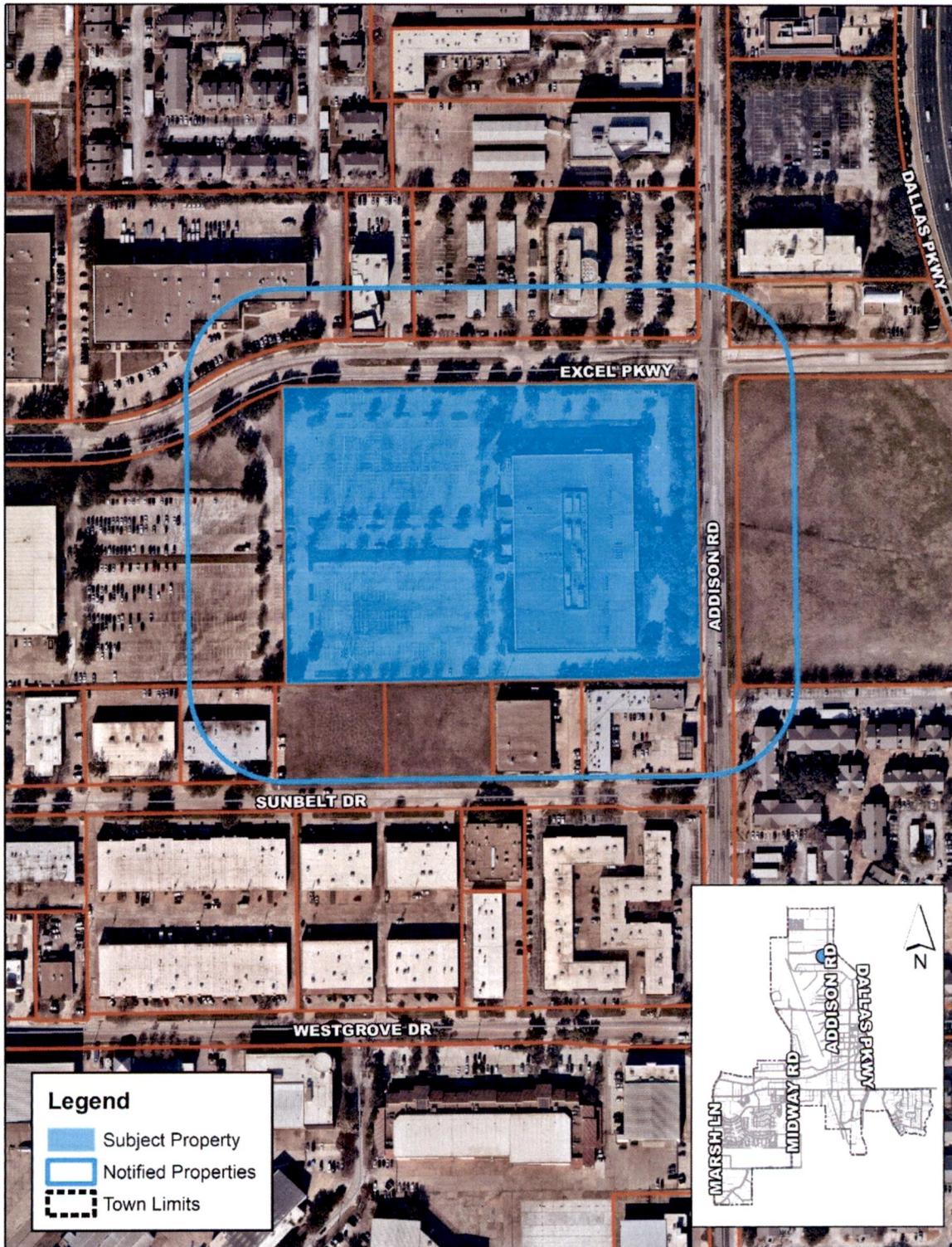


EXHIBIT A

Being a 12.22 acre tract of land out of the William Lomax Survey, Abstract No. 792, situated in the Town of Addison, Dallas County, Texas and being a portion of that tract conveyed to FM Properties Operating Co. by Deed of Record in Volume 92115, Page 4018 of the Deed Records of Dallas County, Texas, also being all of Lot 21, Block "B"; and portions of Lots 3, 4, and 20, Block "B" of Carroll Estates, a subdivision of record in Volume 10, Page 473 of the map records of Dallas County, Texas; said 12.22 acres being more particularly described as follows:

BEGINNING, at an "X" cut in concrete found at the intersection of the west line of Addison Road (60' r.o.w.) and the south line of Bent Tree Plaza Parkway (80' R.O.W.) for the northeast corner of said FM Properties tract and the northeast corner hereof, and from which an 1/2-inch iron rod found in the east line of Addison Road bears N89°55'18"E, a distance of 60.17 feet;

THENCE, S00°15'15"E, along the west line of Addison Road, same being the east line of said FM Properties tract, a distance of 625.34 feet to a 1/2 inch iron rod found for the southeast corner of said FM Properties tract and hereof, same being the northeast corner of that certain tract conveyed to Addison and Sunbelt Joint Venture I by Deed of Record in Volume 83201, Page 3218 of said Deed Records;

THENCE, N89°50'00"W, leaving the west line of Addison Road, along the south line of said FM Properties tract, same being the north line of said Addison and Sunbelt Joint Venture I tract, Sunbelt Business Park Subdivision, a Subdivision of Record in Volume 77215, Page 2834 of said Map Records, and Tract 13, Block "B" Sunbelt Business Park – Tract 13, a Subdivision of Record in Volume 79227, Page 1510 of said Map Records, passing at a distance of 630.96 feet a 3/4 inch iron pipe found for the common southerly corner of said Lot 3, Block "B" and said Lot 21, Block "B" and continuing for a total distance of 864.42 feet to a 1/2 inch iron rod set for the southwest corner hereof, and from which 1/2 inch iron rod found for the common northerly corner of said Tract 13 and Tract 8, Block "B" Sunbelt Business Park – Tract 8, a Subdivision of Record in Volume 79179, Page 1478 of said Map Records bears N89°59'00"W, a distance of 26.95 feet;

THENCE, N00°15'15"W, leaving the south line of said FM Properties tract, over and across said FM Properties tract, a distance of 611.44 feet to a 1/2 inch iron rod set in the curving south line of Bent Tree Plaza Parkway, same being the north line of said FM Properties tract for the northwest corner hereof, and from which a 1/2 inch iron rod found for the point of reverse curvature of a curve to the right bears S65°51'32"W, a chord distance of 139.91 feet;

THENCE, along the south line of Bent Tree Plaza Parkway, same being the north line of said FM Properties tract, the following two (2) courses and distances:

- 1) Along said curve to the right having a radius of 460.00 feet, a central angle of 15°36'54", an arc distance of 125.37 feet, and a chord which bears N82°24'49"E, a distance of 124.98 feet to a 1/2 inch iron rod found for the point of tangency;
- 2) S89°46'45"E, a distance of 740.48 feet to the point of beginning. Containing 12.22 acres of land, more or less, with these metes and bounds.

EXHIBIT B

**16675 Addison Road
Permitted Uses Development Standards**

1. USE.
 - a. All buildings and uses permitted in the C-1 (Commercial-1) district as set forth in the Addison Zoning Ordinance, and all distribution and warehouse uses related to the production, light assembly, or research and development of paper goods, technology products, medical devices, design services, or similar materials. For the purposes of this ordinance, light assembly shall be defined as the process and procedures for the assimilation, packaging, and distribution of finished goods and materials.

2. SITE PLAN.
 - a. The development of Phase I of the Property shall comply with the attached SitePlan.

3. LANDSCAPE PLAN.
 - a. The development of Phase I of the Property shall comply with the attached Landscape Plan.

4. FAÇADE PLAN.
 - a. The development of Phase I of the Property shall comply with the attached FaçadePlan.

5. CONCEPT PLAN.
 - a. The development of Phase II of the Property shall comply with the attachedConcept Plan.

6. FLOOR PLAN.
 - a. The development of Phase I of the Property shall comply with the attached Floor Plan. Modifications to the interior floor plan may be approved by the Director of Development Services, or designee, as long as the building footprint does not change, and all conditions of this ordinance are met.
 - b. Tenant occupancy greater than 50,000 square feet within Phase II (as depicted on the Concept Plan) shall require approval of a Special Use Permit (SUP), unless oneof the following conditions are met:
 - i. Greater than 35% of the total floor area is utilized as office,

EXHIBIT B

showroom, or lab space; or

ii. A minimum of 75% of the total floor area is climate controlled.

c. Phase II (as depicted on the Concept Plan) shall have a building entrance on the north façade, which provides access to an interior lobby or office space.

7. PARKING.

a. A minimum of 1 space per 1,000 square feet of floor area shall be provided on site.

8. OUTSIDE STORAGE.

a. Except for equipment or materials stored on a construction site or used for a temporary construction project, long term outside storage of goods or materials is prohibited.

b. The overnight storage of trailers may only be permitted if it is screened from all public rights-of-way. All trailers stored on site shall be registered and operable.

9. LOADING AND UNLOADING.

a. All loading and unloading facilities shall be screened from all public rights-of-way by a screening wall and landscaping, as depicted on the attached Landscape Plan.

b. There shall be a maximum of ten (10) dock doors permitted within Phase I.

c. There shall be a maximum of thirteen (13) dock doors permitted within Phase II.

10. AMENITY AREA.

a. A minimum of 200 square feet of usable amenity area shall be provided for Phase I, as depicted on the Concept Plan.

b. A minimum of 400 square feet of amenity area shall be provided for Phase II, as depicted on the Concept Plan.

c. The amenity areas on the Property shall include improvements defined at the time of submittal of a Building Permit. Improvements may include recreation or fitness facilities, shade structure(s) with seating area(s), or similar enhancements.

EXHIBIT C

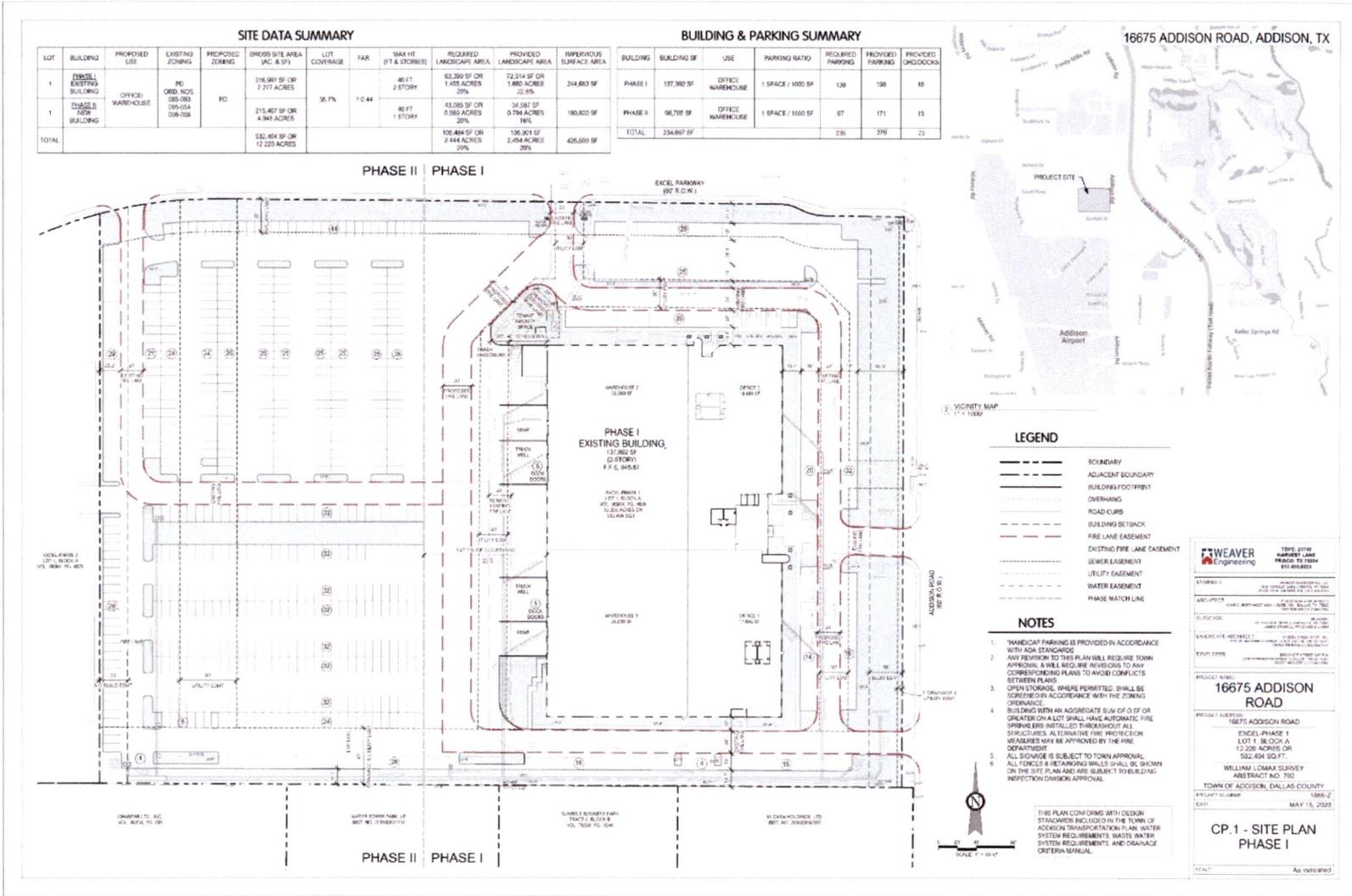
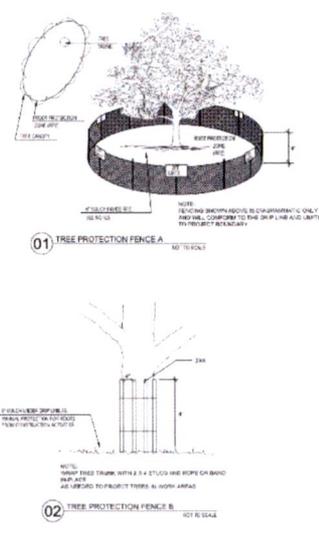
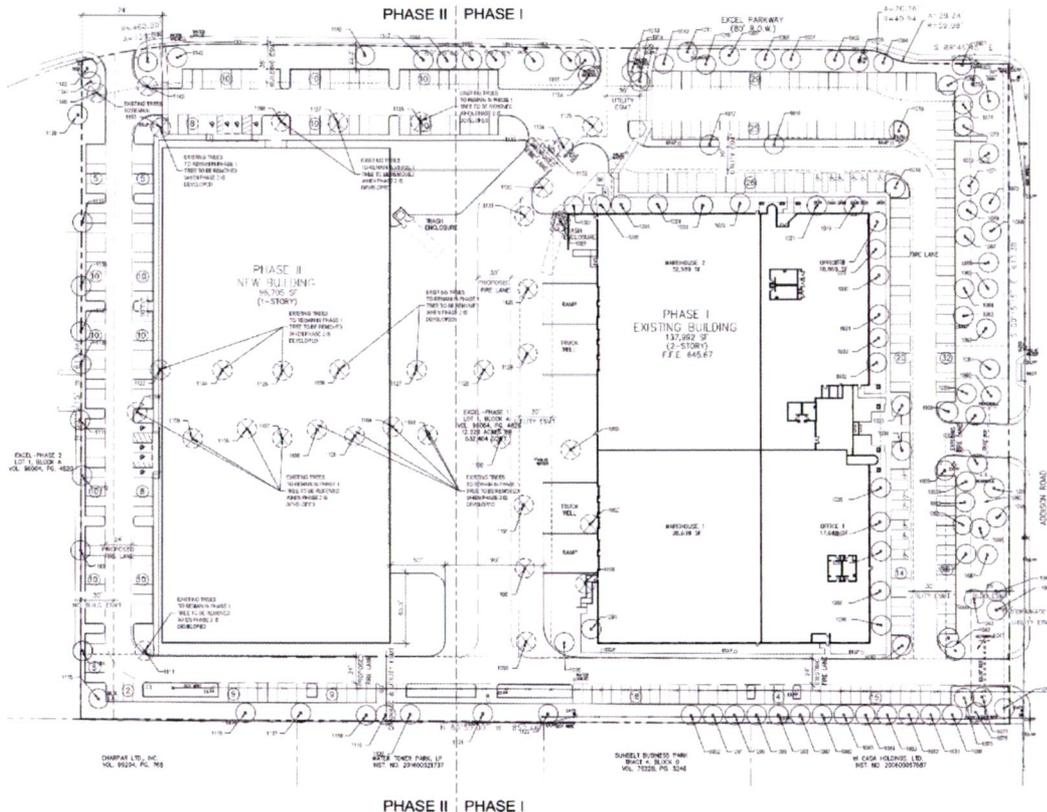


EXHIBIT C



ALL TREES SHOWN TO BE REMOVED IN PHASE 2 ARE TO REMAIN UNTIL THE PHASE 2 DEVELOPMENT BEGINS.
REFER TO SHEET L-7 FOR EXISTING TREE LIST



SITE DATA SUMMARY

LOT	BUILDING	PROPOSED USE	EXISTING ZONING	PROPOSED ZONING	GROSS SITE AREA (AC. & SF)	LOT COVERAGE	FAR	MAX HT (FT & STOREYS)	REQUIRED LANDSCAPE AREA	PROVIDED LANDSCAPE AREA	IMPERVIOUS SURFACE AREA
1	PHASE I EXISTING BUILDING	OFFICE / WAREHOUSE	PD	PD	316,997 SF OR 7.277 ACRES	36.7%	1-0.44	40 FT 2 STORY	63,390 SF OR 1,456 ACRES 20%	72,314 SF OR 1,660 ACRES 22.8%	244,883 SF
1	PHASE II NEW BUILDING	OFFICE / WAREHOUSE	PD	PD	215,407 SF OR 4.943 ACRES			40 FT 1 STORY	43,285 SF OR 0.989 ACRES 20%	34,587 SF OR 0.794 ACRES 16%	180,820 SF
TOTAL:					532,404 SF OR 12.220 ACRES				106,675 SF OR 2.444 ACRES 20%	106,901 SF OR 2.454 ACRES 20%	425,703 SF

BUILDING & PARKING SUMMARY

BUILDING	BUILDING SF	USE	PARKING RATIO	REQUIRED PARKING	PROVIDED PARKING	PROVIDED (OV/DOCK)
PHASE I	137,392 SF	OFFICE WAREHOUSE	1 SPAC / 1000 SF	138	199	10
PHASE II	96,705 SF	OFFICE WAREHOUSE	1 SPAC / 1000 SF	97	171	15
TOTAL:	234,097 SF			235	370	25

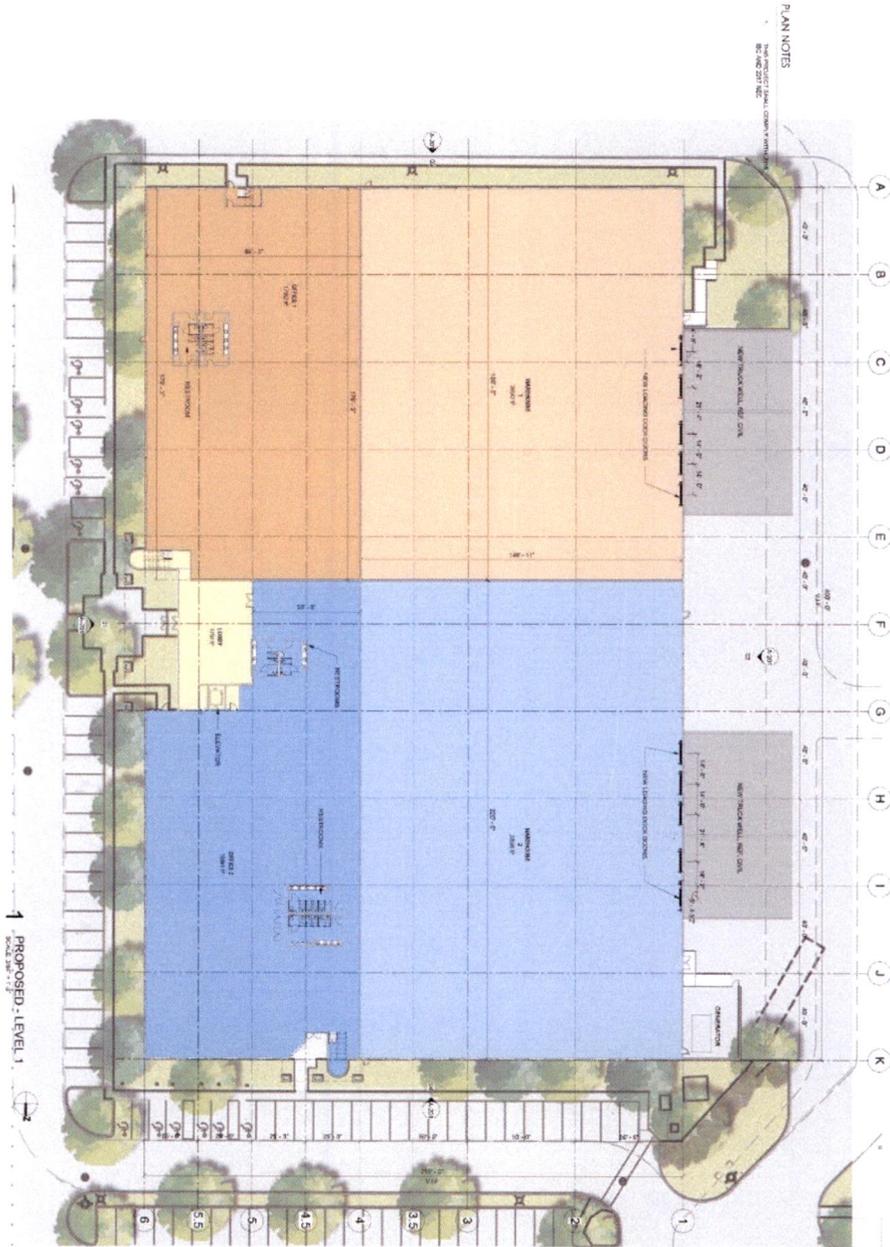


16675 ADDISON ROAD
ADDISON, TEXAS

DATE: 06/16/23
SHEET NAME: TREE SURVEY
SHEET NUMBER: L.1
CASE NO.: 1886-2

EXHIBIT C

5/11/2023 3:54:06 PM Copyright 2021 STUDIO MAS ARCHITECTS PLLC



PLAN NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

2. SEE EXHIBIT B FOR SITE PLAN.

3. SEE EXHIBIT C FOR SECTION ELEVATIONS.

4. SEE EXHIBIT D FOR FINISH SCHEDULE.

5. SEE EXHIBIT E FOR MECHANICAL PLAN.

6. SEE EXHIBIT F FOR ELECTRICAL PLAN.

7. SEE EXHIBIT G FOR PLUMBING PLAN.

8. SEE EXHIBIT H FOR STRUCTURAL PLAN.

9. SEE EXHIBIT I FOR LANDSCAPE PLAN.

10. SEE EXHIBIT J FOR PAVING PLAN.

11. SEE EXHIBIT K FOR SIGNAGE PLAN.

12. SEE EXHIBIT L FOR FURNITURE PLAN.

13. SEE EXHIBIT M FOR LIGHTING PLAN.

14. SEE EXHIBIT N FOR AUDIO VISUAL PLAN.

15. SEE EXHIBIT O FOR SECURITY PLAN.

16. SEE EXHIBIT P FOR ACCESSIBILITY PLAN.

17. SEE EXHIBIT Q FOR ENERGY PLAN.

18. SEE EXHIBIT R FOR SUSTAINABILITY PLAN.

19. SEE EXHIBIT S FOR CONSTRUCTION PLAN.

20. SEE EXHIBIT T FOR MAINTENANCE PLAN.

21. SEE EXHIBIT U FOR OPERATIONAL PLAN.

22. SEE EXHIBIT V FOR FINISH PLAN.

23. SEE EXHIBIT W FOR MATERIAL PLAN.

24. SEE EXHIBIT X FOR COLOR PLAN.

25. SEE EXHIBIT Y FOR TEXTURE PLAN.

26. SEE EXHIBIT Z FOR SOUND PLAN.

27. SEE EXHIBIT AA FOR VIBRATION PLAN.

28. SEE EXHIBIT AB FOR AIR QUALITY PLAN.

29. SEE EXHIBIT AC FOR LIGHT POLLUTION PLAN.

30. SEE EXHIBIT AD FOR CLIMATE PLAN.

31. SEE EXHIBIT AE FOR WATER PLAN.

32. SEE EXHIBIT AF FOR WASTE PLAN.

33. SEE EXHIBIT AG FOR SOIL PLAN.

34. SEE EXHIBIT AH FOR GEOTECHNICAL PLAN.

35. SEE EXHIBIT AI FOR FOUNDATION PLAN.

36. SEE EXHIBIT AJ FOR STRUCTURAL ANALYSIS PLAN.

37. SEE EXHIBIT AK FOR SEISMIC PLAN.

38. SEE EXHIBIT AL FOR WIND PLAN.

39. SEE EXHIBIT AM FOR SNOW PLAN.

40. SEE EXHIBIT AN FOR ICE PLAN.

41. SEE EXHIBIT AO FOR HAIL PLAN.

42. SEE EXHIBIT AP FOR TORNADO PLAN.

43. SEE EXHIBIT AQ FOR FLOOD PLAN.

44. SEE EXHIBIT AR FOR DROUGHT PLAN.

45. SEE EXHIBIT AS FOR SALINITY PLAN.

46. SEE EXHIBIT AT FOR ACID RAIN PLAN.

47. SEE EXHIBIT AU FOR OZONE PLAN.

48. SEE EXHIBIT AV FOR AIR POLLUTION PLAN.

49. SEE EXHIBIT AW FOR NOISE PLAN.

50. SEE EXHIBIT AX FOR VIBRATION PLAN.

51. SEE EXHIBIT AY FOR ELECTROMAGNETIC INTERFERENCE PLAN.

52. SEE EXHIBIT AZ FOR RADIATION PLAN.

53. SEE EXHIBIT BA FOR SOUND PLAN.

54. SEE EXHIBIT BB FOR VIBRATION PLAN.

55. SEE EXHIBIT BC FOR AIR QUALITY PLAN.

56. SEE EXHIBIT BD FOR LIGHT POLLUTION PLAN.

57. SEE EXHIBIT BE FOR CLIMATE PLAN.

58. SEE EXHIBIT BF FOR WATER PLAN.

59. SEE EXHIBIT BG FOR WASTE PLAN.

60. SEE EXHIBIT BH FOR SOIL PLAN.

61. SEE EXHIBIT BI FOR GEOTECHNICAL PLAN.

62. SEE EXHIBIT BJ FOR FOUNDATION PLAN.

63. SEE EXHIBIT BK FOR STRUCTURAL ANALYSIS PLAN.

64. SEE EXHIBIT BL FOR SEISMIC PLAN.

65. SEE EXHIBIT BM FOR WIND PLAN.

66. SEE EXHIBIT BN FOR SNOW PLAN.

67. SEE EXHIBIT BO FOR ICE PLAN.

68. SEE EXHIBIT BP FOR HAIL PLAN.

69. SEE EXHIBIT BQ FOR TORNADO PLAN.

70. SEE EXHIBIT BR FOR FLOOD PLAN.

71. SEE EXHIBIT BS FOR DROUGHT PLAN.

72. SEE EXHIBIT BT FOR SALINITY PLAN.

73. SEE EXHIBIT BU FOR ACID RAIN PLAN.

74. SEE EXHIBIT BV FOR OZONE PLAN.

75. SEE EXHIBIT BW FOR AIR POLLUTION PLAN.

76. SEE EXHIBIT BX FOR NOISE PLAN.

77. SEE EXHIBIT BY FOR VIBRATION PLAN.

78. SEE EXHIBIT BZ FOR ELECTROMAGNETIC INTERFERENCE PLAN.

79. SEE EXHIBIT C0 FOR RADIATION PLAN.

80. SEE EXHIBIT C1 FOR SOUND PLAN.

81. SEE EXHIBIT C2 FOR VIBRATION PLAN.

82. SEE EXHIBIT C3 FOR AIR QUALITY PLAN.

83. SEE EXHIBIT C4 FOR LIGHT POLLUTION PLAN.

84. SEE EXHIBIT C5 FOR CLIMATE PLAN.

85. SEE EXHIBIT C6 FOR WATER PLAN.

86. SEE EXHIBIT C7 FOR WASTE PLAN.

87. SEE EXHIBIT C8 FOR SOIL PLAN.

88. SEE EXHIBIT C9 FOR GEOTECHNICAL PLAN.

89. SEE EXHIBIT CA FOR FOUNDATION PLAN.

90. SEE EXHIBIT CB FOR STRUCTURAL ANALYSIS PLAN.

91. SEE EXHIBIT CC FOR SEISMIC PLAN.

92. SEE EXHIBIT CD FOR WIND PLAN.

93. SEE EXHIBIT CE FOR SNOW PLAN.

94. SEE EXHIBIT CF FOR ICE PLAN.

95. SEE EXHIBIT CG FOR HAIL PLAN.

96. SEE EXHIBIT CH FOR TORNADO PLAN.

97. SEE EXHIBIT CI FOR FLOOD PLAN.

98. SEE EXHIBIT CJ FOR DROUGHT PLAN.

99. SEE EXHIBIT CK FOR SALINITY PLAN.

100. SEE EXHIBIT CL FOR ACID RAIN PLAN.

101. SEE EXHIBIT CM FOR OZONE PLAN.

102. SEE EXHIBIT CN FOR AIR POLLUTION PLAN.

103. SEE EXHIBIT CO FOR NOISE PLAN.

104. SEE EXHIBIT CP FOR VIBRATION PLAN.

105. SEE EXHIBIT CQ FOR ELECTROMAGNETIC INTERFERENCE PLAN.

106. SEE EXHIBIT CR FOR RADIATION PLAN.

107. SEE EXHIBIT CS FOR SOUND PLAN.

108. SEE EXHIBIT CT FOR VIBRATION PLAN.

109. SEE EXHIBIT CU FOR AIR QUALITY PLAN.

110. SEE EXHIBIT CV FOR LIGHT POLLUTION PLAN.

111. SEE EXHIBIT CW FOR CLIMATE PLAN.

112. SEE EXHIBIT CX FOR WATER PLAN.

113. SEE EXHIBIT CY FOR WASTE PLAN.

114. SEE EXHIBIT CZ FOR SOIL PLAN.

115. SEE EXHIBIT D0 FOR GEOTECHNICAL PLAN.

116. SEE EXHIBIT D1 FOR FOUNDATION PLAN.

117. SEE EXHIBIT D2 FOR STRUCTURAL ANALYSIS PLAN.

118. SEE EXHIBIT D3 FOR SEISMIC PLAN.

119. SEE EXHIBIT D4 FOR WIND PLAN.

120. SEE EXHIBIT D5 FOR SNOW PLAN.

121. SEE EXHIBIT D6 FOR ICE PLAN.

122. SEE EXHIBIT D7 FOR HAIL PLAN.

123. SEE EXHIBIT D8 FOR TORNADO PLAN.

124. SEE EXHIBIT D9 FOR FLOOD PLAN.

125. SEE EXHIBIT DA FOR DROUGHT PLAN.

126. SEE EXHIBIT DB FOR SALINITY PLAN.

127. SEE EXHIBIT DC FOR ACID RAIN PLAN.

128. SEE EXHIBIT DD FOR OZONE PLAN.

129. SEE EXHIBIT DE FOR AIR POLLUTION PLAN.

130. SEE EXHIBIT DF FOR NOISE PLAN.

131. SEE EXHIBIT DG FOR VIBRATION PLAN.

132. SEE EXHIBIT DH FOR ELECTROMAGNETIC INTERFERENCE PLAN.

133. SEE EXHIBIT DI FOR RADIATION PLAN.

134. SEE EXHIBIT DJ FOR SOUND PLAN.

135. SEE EXHIBIT DK FOR VIBRATION PLAN.

136. SEE EXHIBIT DL FOR AIR QUALITY PLAN.

137. SEE EXHIBIT DM FOR LIGHT POLLUTION PLAN.

138. SEE EXHIBIT DN FOR CLIMATE PLAN.

139. SEE EXHIBIT DO FOR WATER PLAN.

140. SEE EXHIBIT DP FOR WASTE PLAN.

141. SEE EXHIBIT DQ FOR SOIL PLAN.

142. SEE EXHIBIT DR FOR GEOTECHNICAL PLAN.

143. SEE EXHIBIT DS FOR FOUNDATION PLAN.

144. SEE EXHIBIT DT FOR STRUCTURAL ANALYSIS PLAN.

145. SEE EXHIBIT DU FOR SEISMIC PLAN.

146. SEE EXHIBIT DV FOR WIND PLAN.

147. SEE EXHIBIT DW FOR SNOW PLAN.

148. SEE EXHIBIT DX FOR ICE PLAN.

149. SEE EXHIBIT DY FOR HAIL PLAN.

150. SEE EXHIBIT DZ FOR TORNADO PLAN.

151. SEE EXHIBIT E0 FOR FLOOD PLAN.

152. SEE EXHIBIT E1 FOR DROUGHT PLAN.

153. SEE EXHIBIT E2 FOR SALINITY PLAN.

154. SEE EXHIBIT E3 FOR ACID RAIN PLAN.

155. SEE EXHIBIT E4 FOR OZONE PLAN.

156. SEE EXHIBIT E5 FOR AIR POLLUTION PLAN.

157. SEE EXHIBIT E6 FOR NOISE PLAN.

158. SEE EXHIBIT E7 FOR VIBRATION PLAN.

159. SEE EXHIBIT E8 FOR ELECTROMAGNETIC INTERFERENCE PLAN.

160. SEE EXHIBIT E9 FOR RADIATION PLAN.

161. SEE EXHIBIT EA FOR SOUND PLAN.

162. SEE EXHIBIT EB FOR VIBRATION PLAN.

163. SEE EXHIBIT EC FOR AIR QUALITY PLAN.

164. SEE EXHIBIT ED FOR LIGHT POLLUTION PLAN.

165. SEE EXHIBIT EE FOR CLIMATE PLAN.

166. SEE EXHIBIT EF FOR WATER PLAN.

167. SEE EXHIBIT EF FOR WASTE PLAN.

168. SEE EXHIBIT EG FOR SOIL PLAN.

169. SEE EXHIBIT EH FOR GEOTECHNICAL PLAN.

170. SEE EXHIBIT EI FOR FOUNDATION PLAN.

171. SEE EXHIBIT EJ FOR STRUCTURAL ANALYSIS PLAN.

172. SEE EXHIBIT EK FOR SEISMIC PLAN.

173. SEE EXHIBIT EL FOR WIND PLAN.

174. SEE EXHIBIT EM FOR SNOW PLAN.

175. SEE EXHIBIT EN FOR ICE PLAN.

176. SEE EXHIBIT EO FOR HAIL PLAN.

177. SEE EXHIBIT EP FOR TORNADO PLAN.

178. SEE EXHIBIT EQ FOR FLOOD PLAN.

179. SEE EXHIBIT ER FOR DROUGHT PLAN.

180. SEE EXHIBIT ES FOR SALINITY PLAN.

181. SEE EXHIBIT ET FOR ACID RAIN PLAN.

182. SEE EXHIBIT EU FOR OZONE PLAN.

183. SEE EXHIBIT EV FOR AIR POLLUTION PLAN.

184. SEE EXHIBIT EW FOR NOISE PLAN.

185. SEE EXHIBIT EX FOR VIBRATION PLAN.

186. SEE EXHIBIT EY FOR ELECTROMAGNETIC INTERFERENCE PLAN.

187. SEE EXHIBIT EZ FOR RADIATION PLAN.

188. SEE EXHIBIT F0 FOR SOUND PLAN.

189. SEE EXHIBIT F1 FOR VIBRATION PLAN.

190. SEE EXHIBIT F2 FOR AIR QUALITY PLAN.

191. SEE EXHIBIT F3 FOR LIGHT POLLUTION PLAN.

192. SEE EXHIBIT F4 FOR CLIMATE PLAN.

193. SEE EXHIBIT F5 FOR WATER PLAN.

194. SEE EXHIBIT F6 FOR WASTE PLAN.

195. SEE EXHIBIT F7 FOR SOIL PLAN.

196. SEE EXHIBIT F8 FOR GEOTECHNICAL PLAN.

197. SEE EXHIBIT F9 FOR FOUNDATION PLAN.

198. SEE EXHIBIT FA FOR STRUCTURAL ANALYSIS PLAN.

199. SEE EXHIBIT FB FOR SEISMIC PLAN.

200. SEE EXHIBIT FC FOR WIND PLAN.

201. SEE EXHIBIT FD FOR SNOW PLAN.

202. SEE EXHIBIT FE FOR ICE PLAN.

203. SEE EXHIBIT FF FOR HAIL PLAN.

204. SEE EXHIBIT FG FOR TORNADO PLAN.

205. SEE EXHIBIT FH FOR FLOOD PLAN.

206. SEE EXHIBIT FI FOR DROUGHT PLAN.

207. SEE EXHIBIT FJ FOR SALINITY PLAN.

208. SEE EXHIBIT FK FOR ACID RAIN PLAN.

209. SEE EXHIBIT FL FOR OZONE PLAN.

210. SEE EXHIBIT FM FOR AIR POLLUTION PLAN.

211. SEE EXHIBIT FN FOR NOISE PLAN.

212. SEE EXHIBIT FO FOR VIBRATION PLAN.

213. SEE EXHIBIT FP FOR ELECTROMAGNETIC INTERFERENCE PLAN.

214. SEE EXHIBIT FQ FOR RADIATION PLAN.

215. SEE EXHIBIT FR FOR SOUND PLAN.

216. SEE EXHIBIT FS FOR VIBRATION PLAN.

217. SEE EXHIBIT FT FOR AIR QUALITY PLAN.

218. SEE EXHIBIT FU FOR LIGHT POLLUTION PLAN.

219. SEE EXHIBIT FV FOR CLIMATE PLAN.

220. SEE EXHIBIT FW FOR WATER PLAN.

221. SEE EXHIBIT FX FOR WASTE PLAN.

222. SEE EXHIBIT FY FOR SOIL PLAN.

223. SEE EXHIBIT FZ FOR GEOTECHNICAL PLAN.

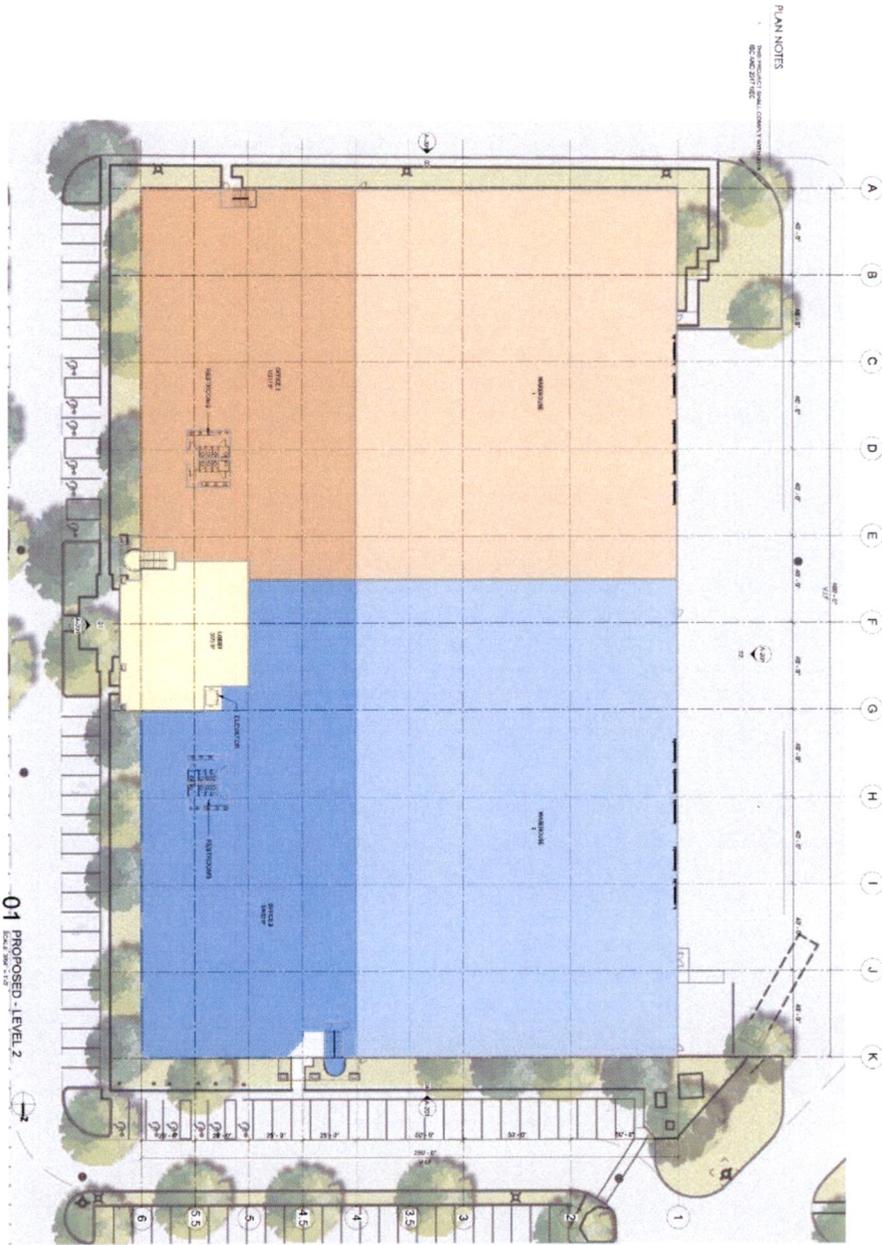
224. SEE EXHIBIT G0 FOR FOUNDATION PLAN.

225. SEE EXHIBIT G1 FOR STRUCTURAL ANALYSIS PLAN.

226. SEE EXHIBIT G

EXHIBIT C

4/11/2023 8:58:24 AM Copyright 2021 STUDIO MAS ARCHITECTS PLLC



01 PROPOSED - LEVEL 2

STUDIO MAS+ ARCHITECTS

ARCHITECTS • PLANNERS • INTERIORS

10007 FORT WORTH STREET, SUITE 100
DALLAS, TX 75228
TEL: 214.526.5728
WWW.STUDIOMAS.COM

02/20/23

#	Revision	Date

PROJECT NAME:
ACADIA MANSION PARK

OWNER:
TOWN OF ADDISON

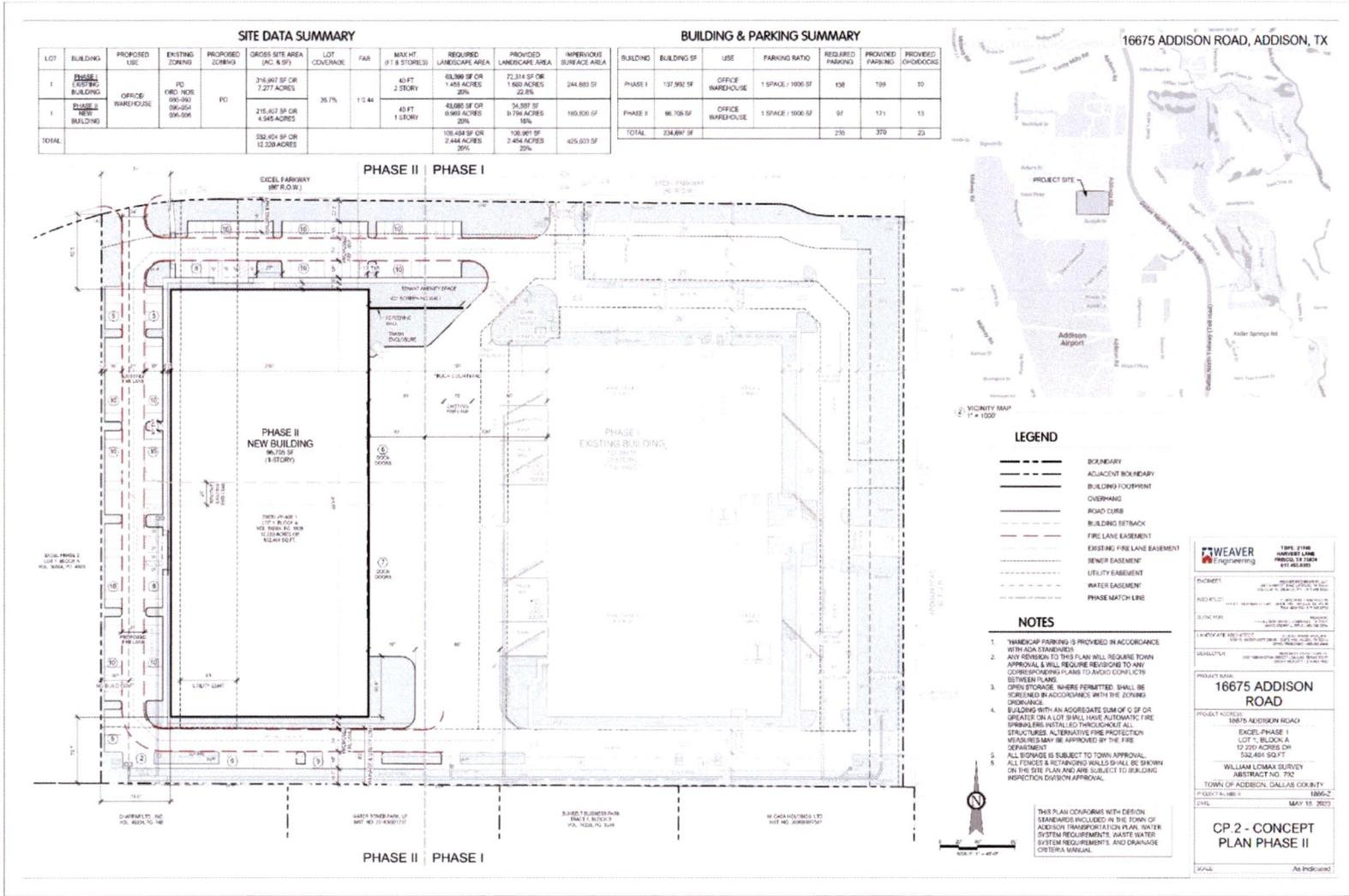
PROJECT ADDRESS:
1886-Z/16675 ADDISON ROAD
DALLAS, TX 75228

TOWN PROJECT NUMBER:
A-102

DATE:
02/20/23

PROJECT NUMBER:
A-102

EXHIBIT D



Certificate Of Completion

Envelope Id: 3C7DA8885F8D4773A64A7CE9874B57C2	Status: Completed
Subject: Complete with DocuSign: Ordinance 32_FINAL.pdf	
Source Envelope:	
Document Pages: 17	Signatures: 1
Certificate Pages: 4	Initials: 0
AutoNav: Enabled	Envelope Originator:
EnvelopeId Stamping: Enabled	Irma Parker
Time Zone: (UTC-06:00) Central Time (US & Canada)	16801 Westgrove Drive
	Addison, TX 75001
	iparker@addisontx.gov
	IP Address: 12.54.128.133

Record Tracking

Status: Original	Holder: Irma Parker	Location: DocuSign
7/12/2023 4:23:58 PM	iparker@addisontx.gov	
Security Appliance Status: Connected	Pool: StateLocal	
Storage Appliance Status: Connected	Pool: Town of Addison	Location: DocuSign

Signer Events

Whitt Wyatt
whitt@whflegal.com
Security Level: Email, Account Authentication (None)

Signature

DocuSigned by:

BCBCE4D8115D41A
Signature Adoption: Pre-selected Style
Using IP Address: 76.130.148.236

Timestamp

Sent: 7/12/2023 4:24:55 PM
Viewed: 7/12/2023 4:33:07 PM
Signed: 7/12/2023 4:33:17 PM

Electronic Record and Signature Disclosure:
Accepted: 7/12/2023 4:33:07 PM
ID: 4846118c-fc2b-4b57-a11d-c49b3d863a3e

In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	7/12/2023 4:24:55 PM
Certified Delivered	Security Checked	7/12/2023 4:33:07 PM
Signing Complete	Security Checked	7/12/2023 4:33:17 PM
Completed	Security Checked	7/12/2023 4:33:17 PM
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		