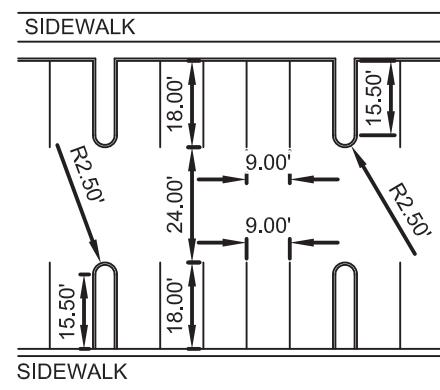
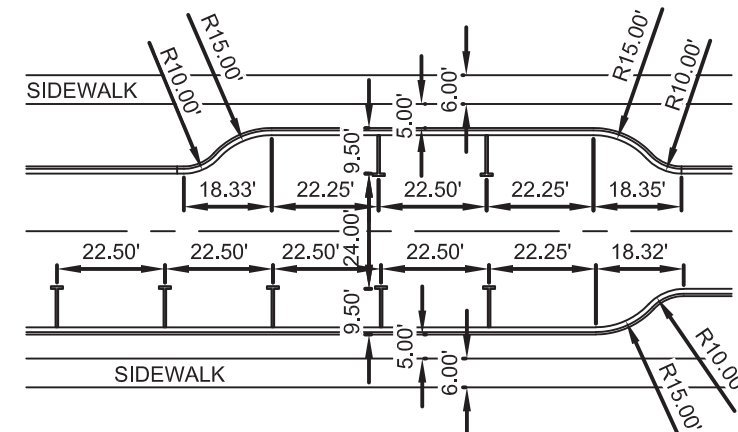


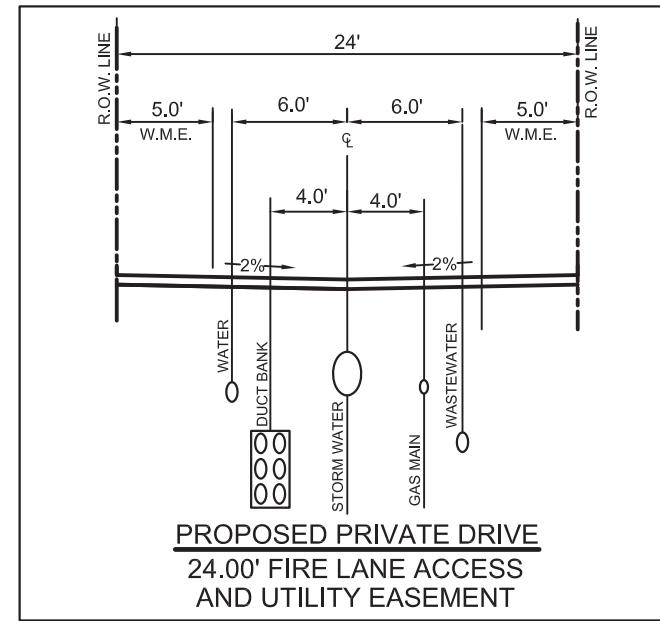
TOWN CASE NUMBER: 1865-Z



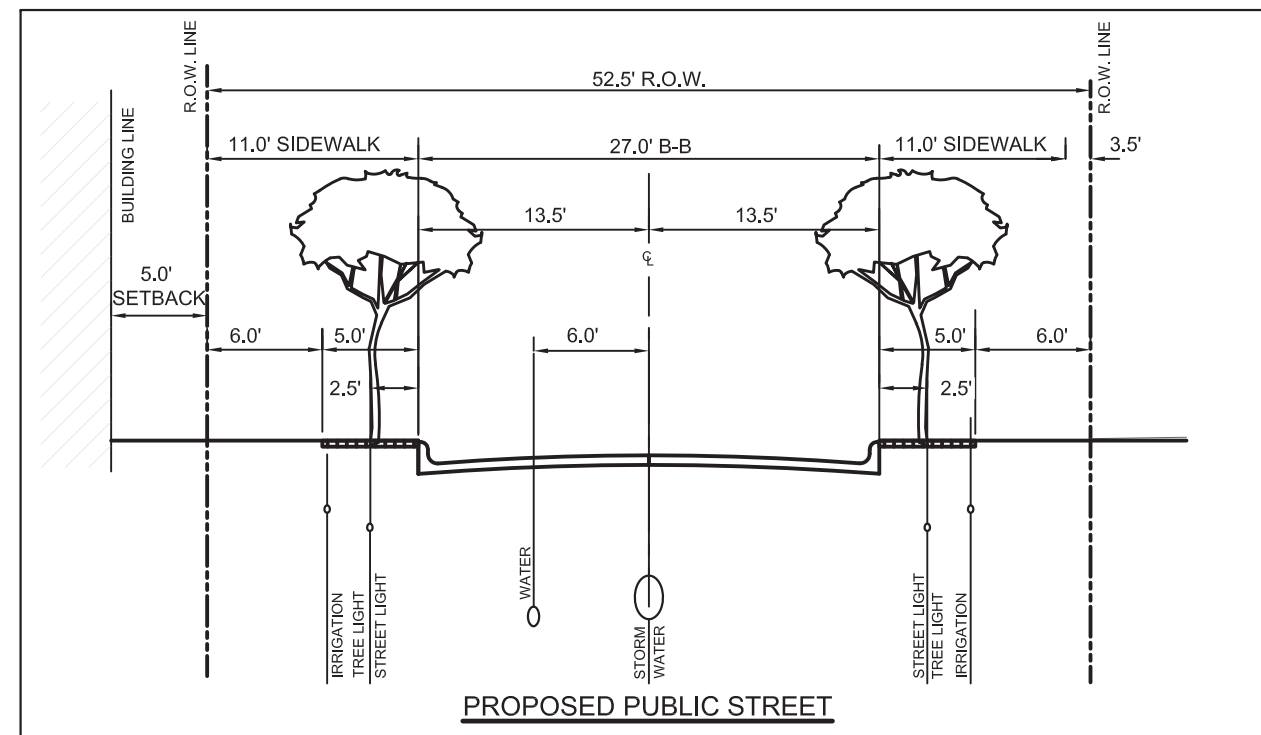
HEAD-IN PARKING
DETAIL (TYPICAL)
SCALE: 1" = 40'



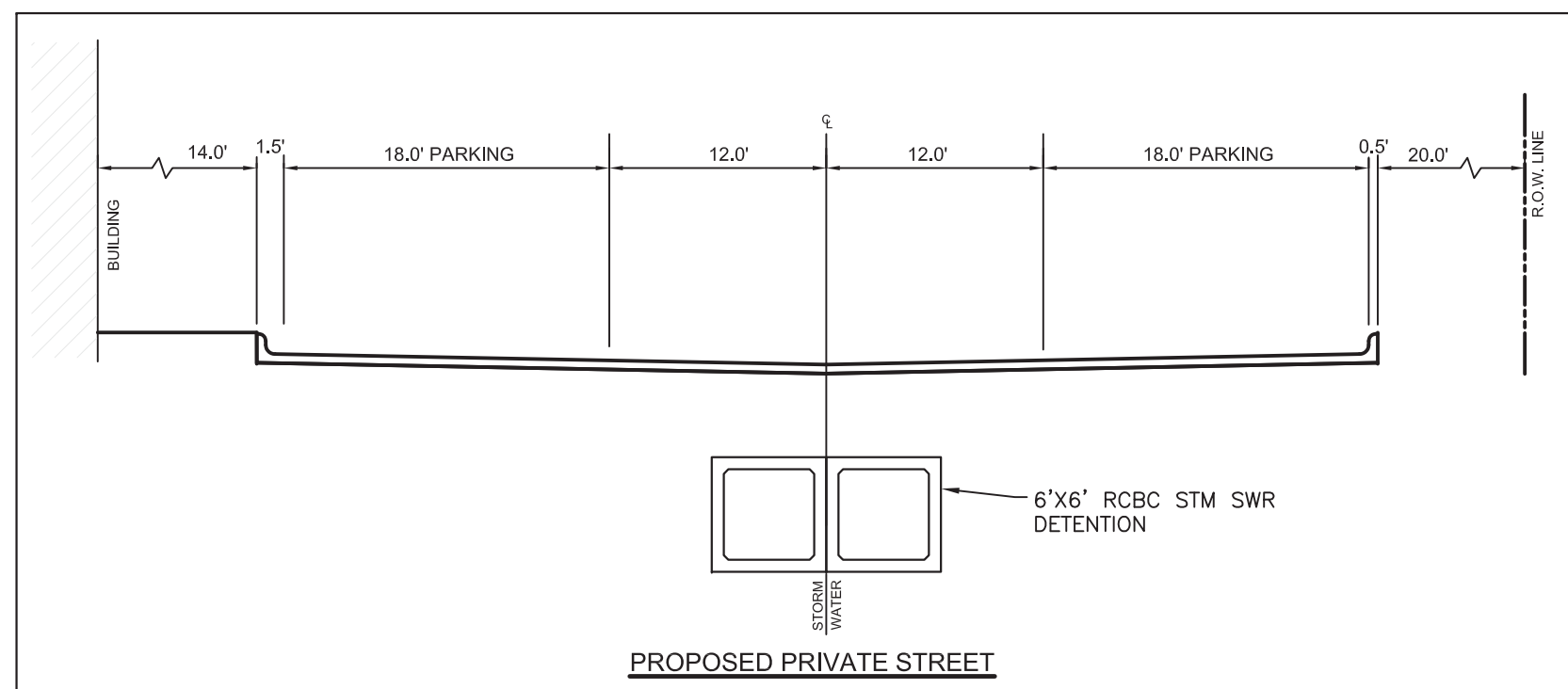
ON-STREET PARKING
DETAIL (TYPICAL)
SCALE: 1" = 40'



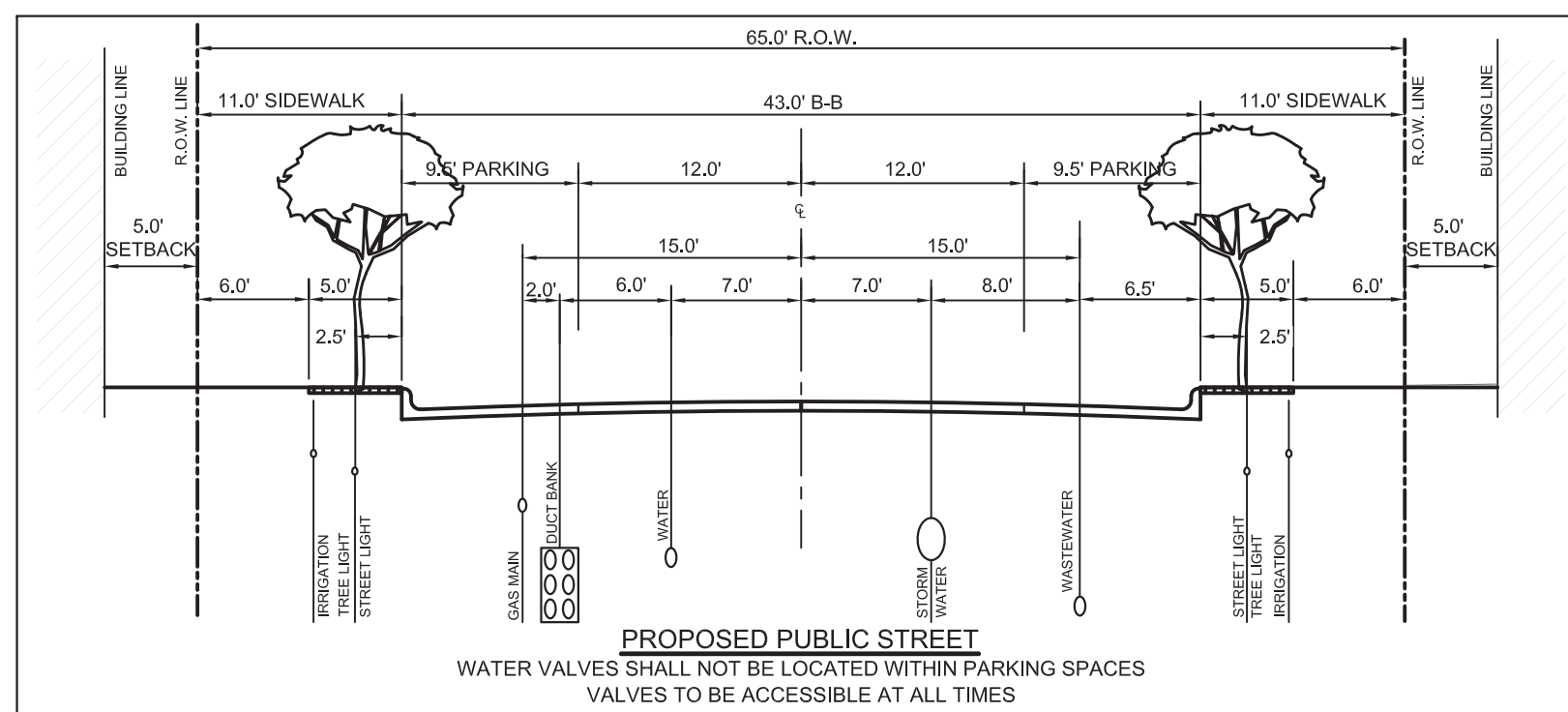
SECTION D-D



SECTION C-C

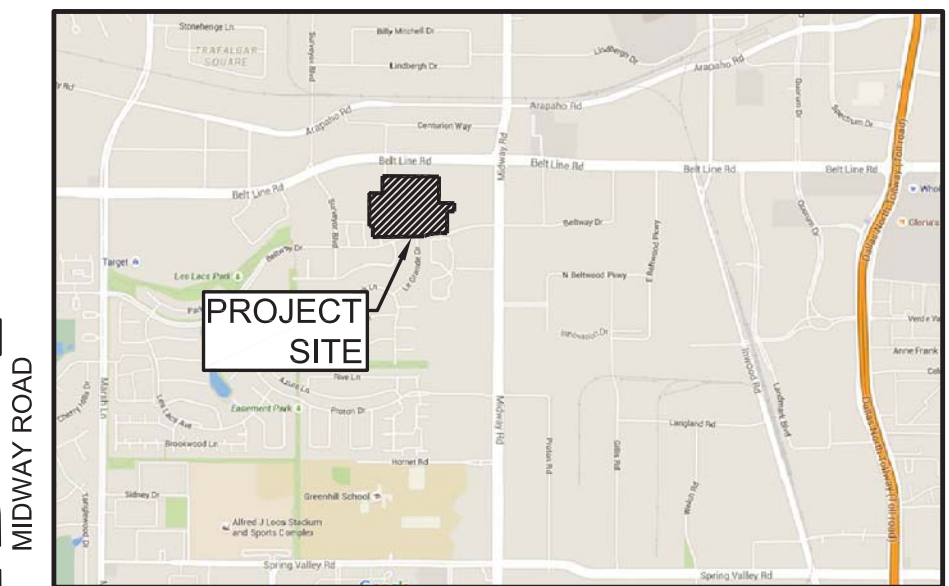


SECTION B-B



SECTION A-A

NO FLOODPLAIN
EXISTS ON THE SITE



LEGEND

- PROPOSED TREE WELL
- 1-100 PARKING SPACES (PUBLIC STREETS) W/ 3 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- 1-53 PRIVATE STREET CONCEPTUAL PARKING SPACES W/ 2 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PUBLIC R.O.W. (SECTION B-B, C-C & D-D) FIRE LANE ACCESS
- CONCRETE PRIVATE DRIVE-24.00' FIRE LANE ACCESS AND UTILITY EASEMENT
- SIDEWALK RAMP
- SIDEWALK
- ** LANDMARK BUILDINGS

4100 BELTLINE RD
NATIONAL RETAIL PROPERTIES LTD.
COMMERCIAL IMPROVEMENTS
PLANNED DEVELOPMENT
SAM'S CLUB ADDITION
'RAISING CANES'
FAST FOOD RESTAURANT

4080 BELTLINE RD
4080 BLR LTD.
BELTLINE CENTER
COMMERCIAL IMPROVEMENTS
PLANNED DEVELOPMENT
'AZURE RESTAURANT'

4090 BELTLINE RD
EQUINOX HOTEL ADDISON LLC
BELTLINE CENTER
BLOCK 1, LOT 24
COMMERCIAL IMPROVEMENTS
PLANNED DEVELOPMENT
'HILTON GARDEN INN'

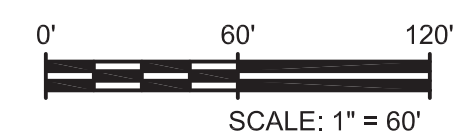
4180 BELTLINE RD
TRITON ADDISON
BELTLINE LLC.
SAM'S CLUB
BLOCK A, LOT 2
COMMERCIAL
IMPROVEMENTS
PLANNED DEVELOPMENT
SUITE A: SNUFFERS
RESTAURANT & BAR
SUITE B: TAQUERIA LA
VENTANA

18 RUNYON ROAD,
CITY OF ADDISON
PARCEL
100112700018X0000

14941 MIDWAY
SPRING CREEK
BARBEQUE
SUITE A, LOT 3
'SPRING CREEK
BARBEQUE'
RESTAURANT



SAWYER ENGINEERING, LLC
TBPE FIRM NUMBER F-9171



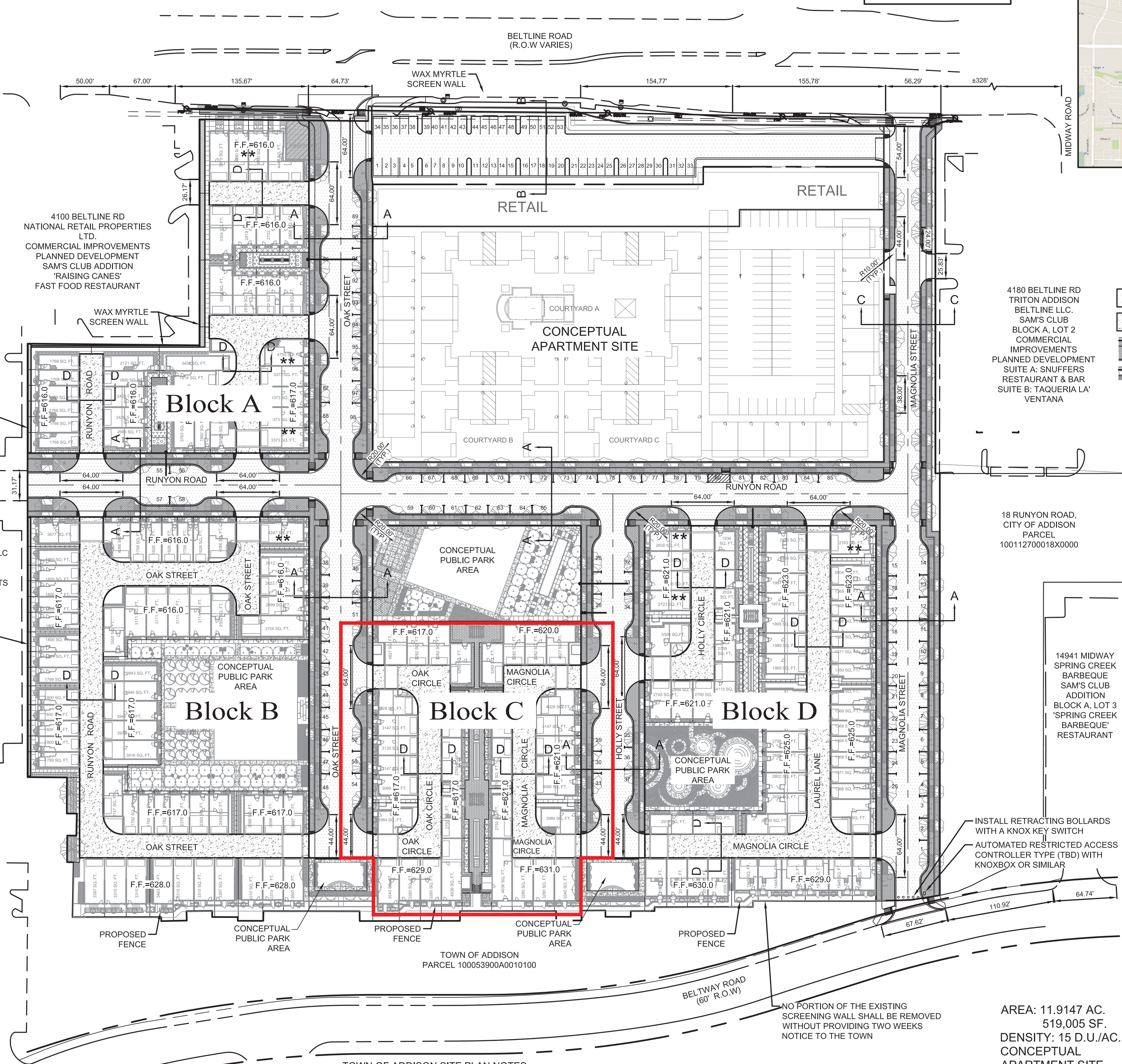
TOWN CASE NUMBER:
1865-Z

SITE PLAN
ADDISON GROVE
BLOCK C

SAWYER

ENGINEERING, LLC
CIVIL ENGINEERING & PLANNING
1520 OLIVER STREET, HOUSTON, TEXAS 77007
(713) 961-3877
TBPE FIRM: F-9171

SCALE: 1" = 60'	PROJ. NO.
DRAWN BY: JDS	DATE
CHK'D BY: JDS	SHEET
APPROVED: CWC	03/09/2022 1 OF 7



TOWN OF ADDISON SITE PLAN NOTES:

- ANY REVISIONS TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- OPEN STORAGE, WHERE PERMITTED SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDINGS WITH AN AGGREGATE SUM OF 500 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

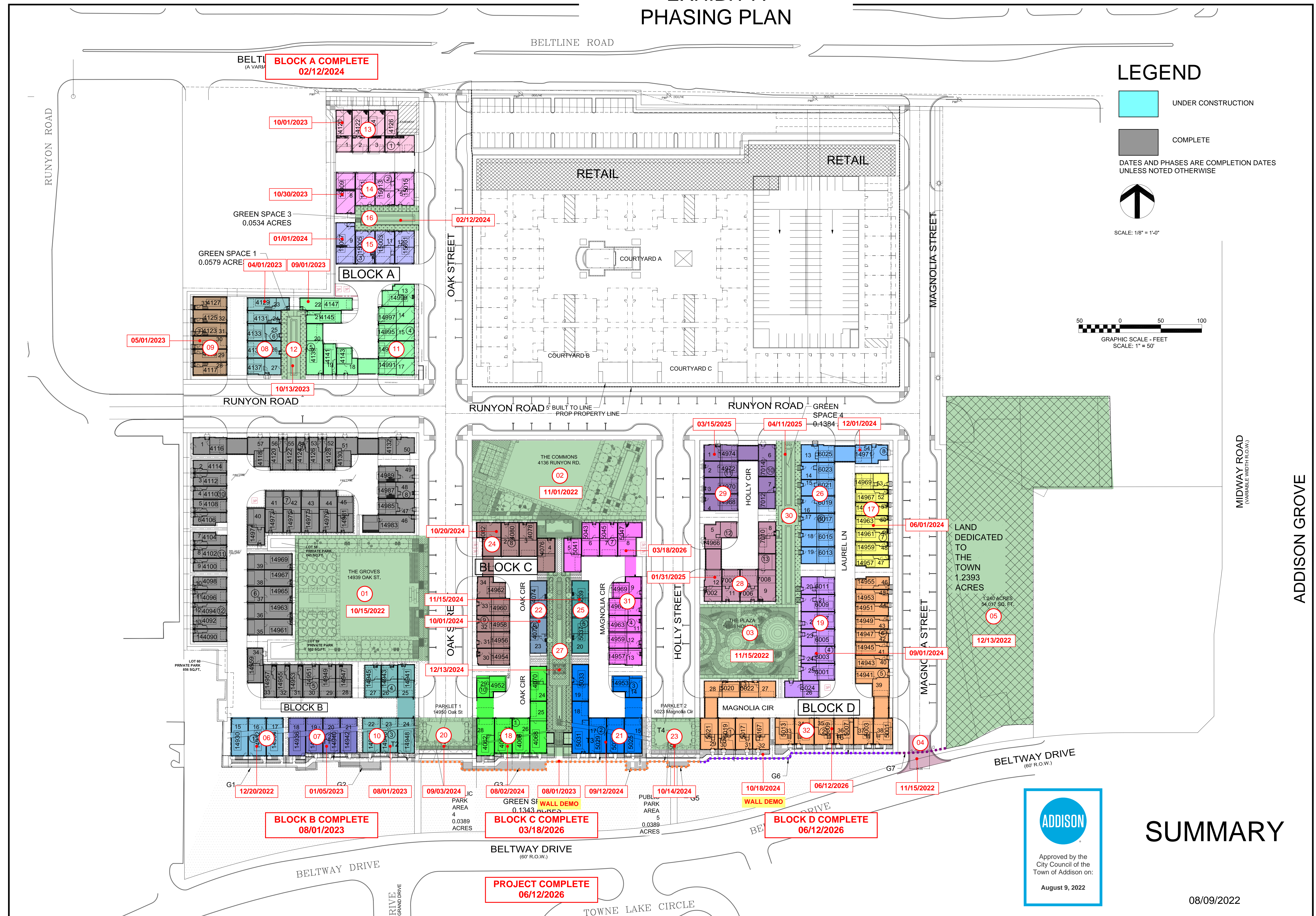
THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL

NO PORTION OF THE EXISTING SCREENING WALL SHALL BE REMOVED WITHOUT PROVIDING TWO WEEKS NOTICE TO THE TOWN

AREA: 11,9147 AC.
519,005 SF.
DENSITY: 15 D.U./AC.
CONCEPTUAL APARTMENT SITE NOT INCLUDED

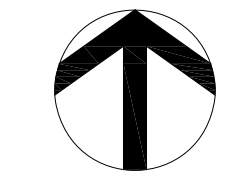
ADDISON GROVE
SITE PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

EXHIBIT A PHASING PLAN

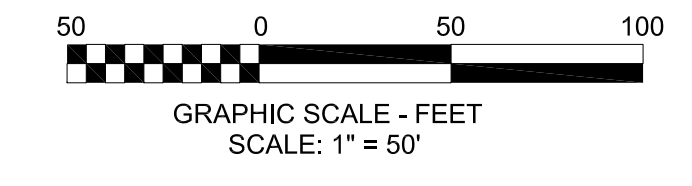


LEGEND

- UNDER CONSTRUCTION
 - COMPLETE
- DATES AND PHASES ARE COMPLETION DATES UNLESS NOTED OTHERWISE



SCALE: 1/8" = 1'-0"



REVISIONS:

1.	
----	--

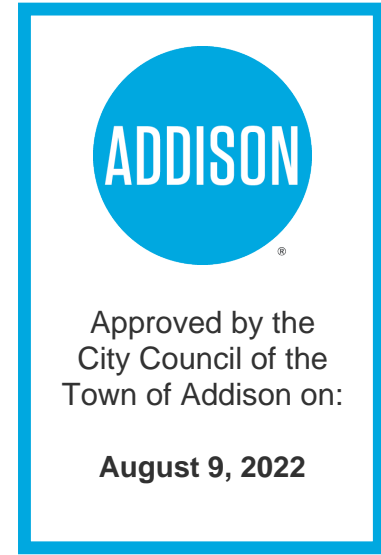
ADDISON GROVE

URBANTOWNHOMES

2410 Polk St, Ste. 200
Houston, TX 77003
(713) 961-3877

ADDISON

SITE PLAN



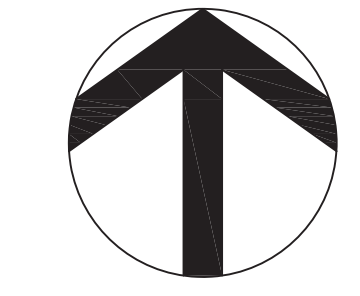
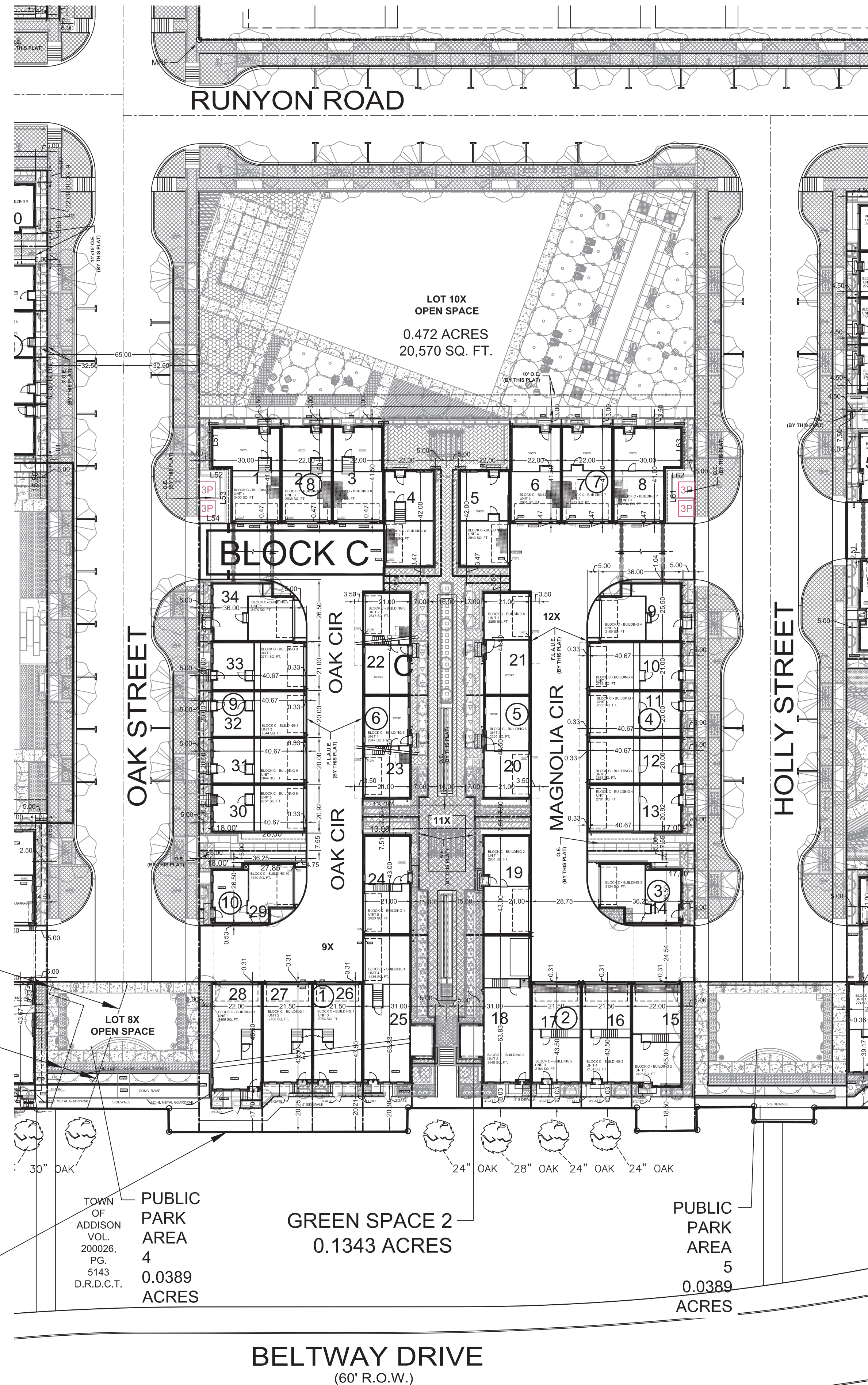
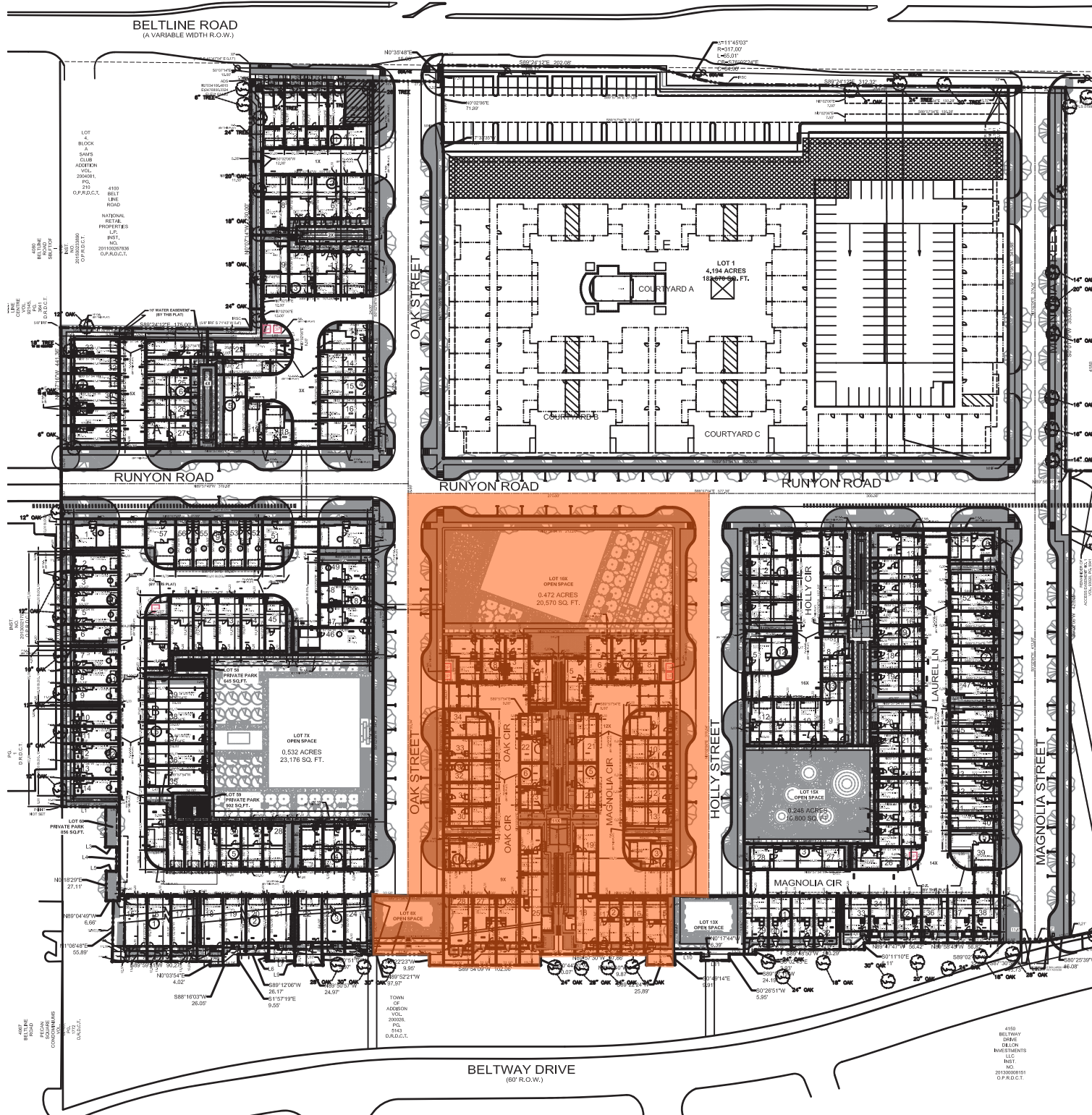
SUMMARY

08/09/2022

DATE	July 07, 2022
SCALE	1" = 50'-0"
DRAWN BY	CHECKED BY
PROJECT NUMBER	

A-1





TOWN CASE NUMBER: 1865-Z



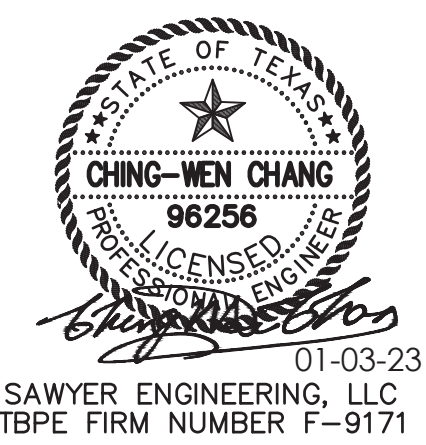
SCALE: 1" = 30'-0"

Block C	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual Open Space (S.F.)	Living Area (S.F.)	No. of bedrooms
1	1574	79	314	3400	4
2	989	50	65	2938	4
3	989	50	65	2943	4
4	1114	56	191	2921	4
5	1114	56	190	2943	4
6	989	50	66	2961	4
7	989	50	66	2952	4
8	1574	79	315	3540	4
9	1135	57	135	3189	4
10	966	49	105	2783	4
11	920	46	105	2663	4
12	920	46	105	2663	4
13	1309	66	335	2781	4
14	1388	70	375	3117	4
15	1694	85	671	2495	3
16	1158	58	218	2154	3
17	1158	58	218	2154	3
18	1976	99	490	3649	4
19	1288	65	331	2931	4
20	1422	72	428	2265	3
21	1313	66	390	2265	3
22	1313	66	390	2647	3
23	1422	72	428	2647	3
24	1288	65	331	2923	4
25	2171	109	675	4588	4
26	1375	69	435	2780	3
27	1376	69	435	2780	3
28	1730	87	706	3493	4
29	1388	70	452	3127	4
30	1309	66	335	2761	4
31	920	46	105	2644	4
32	920	46	105	2644	4
33	966	49	105	2774	4
34	1135	57	135	3176	4
11X	5679				

LEGEND:

-  TOWNHOMES
-  OPEN SPACE
-  PARKING
-  RAMP

NOTE: NO PORTION OF THE EXISTING SCREENING WALL SHALL BE REMOVED PRIOR TO PROVIDING TWO WEEKS NOTICE TO THE TOWN.



ADDISON GROVE BLOCK C

REVISIONS:
1.

URBANTOWN HOMES

2410 Polk St, Ste 200
Houston, Tx 77003
(713) 961-3877

ADDISON

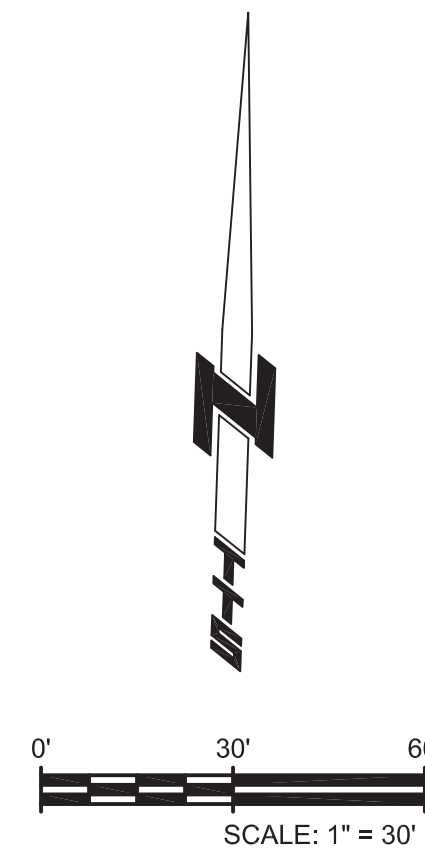
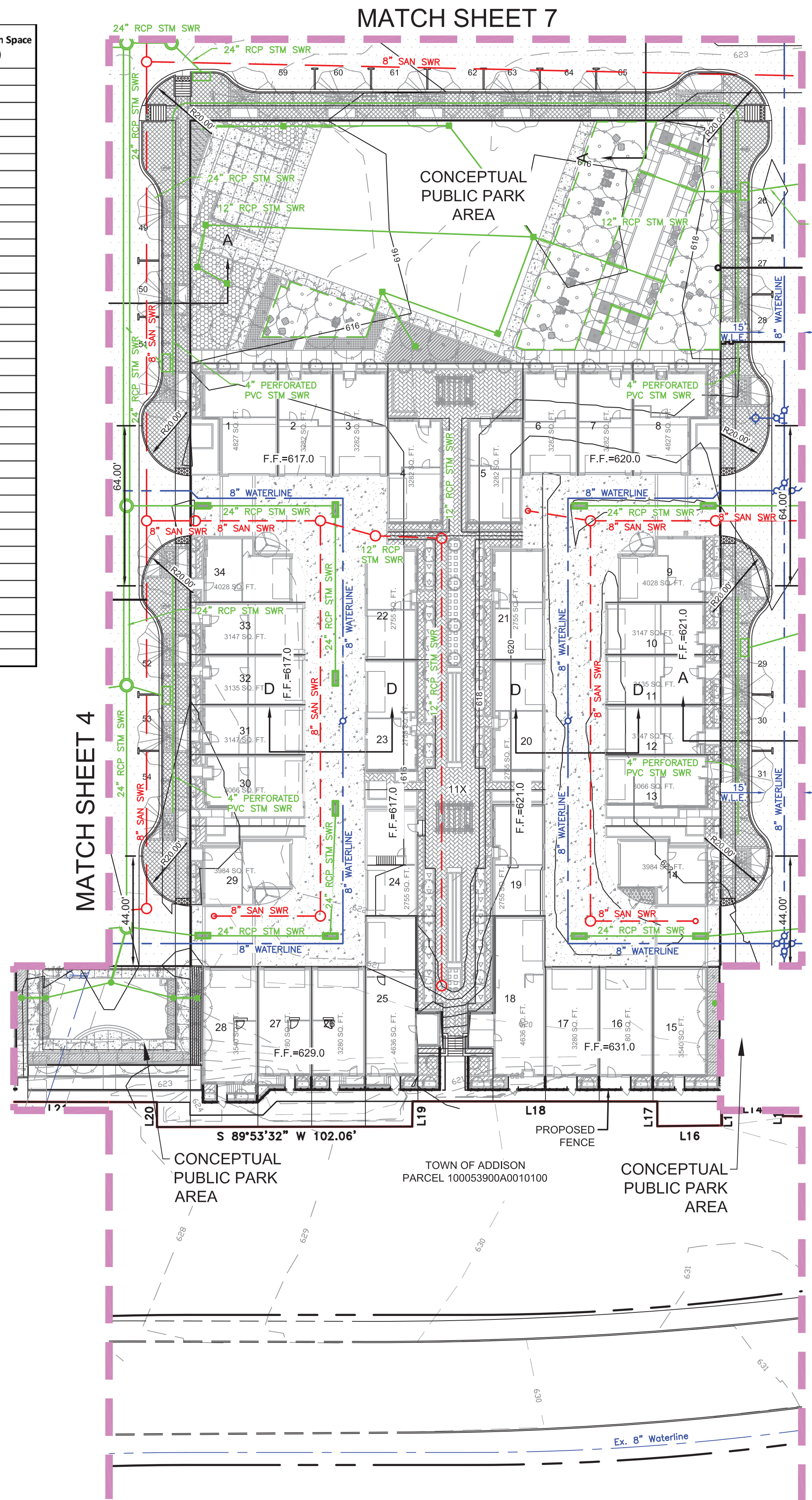
SITE PLAN

DATE
Jan. 4, 2023
SCALE
1" = 30'-0"
DRAWN BY
CHECKED BY

PROJECT NUMBER

T-1

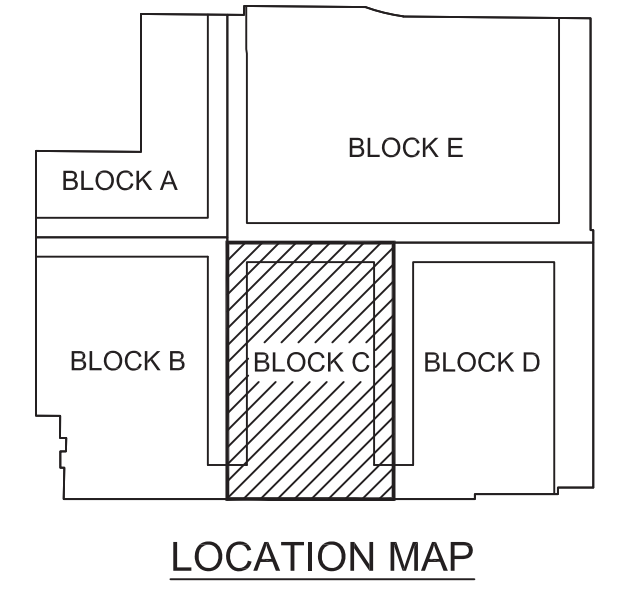
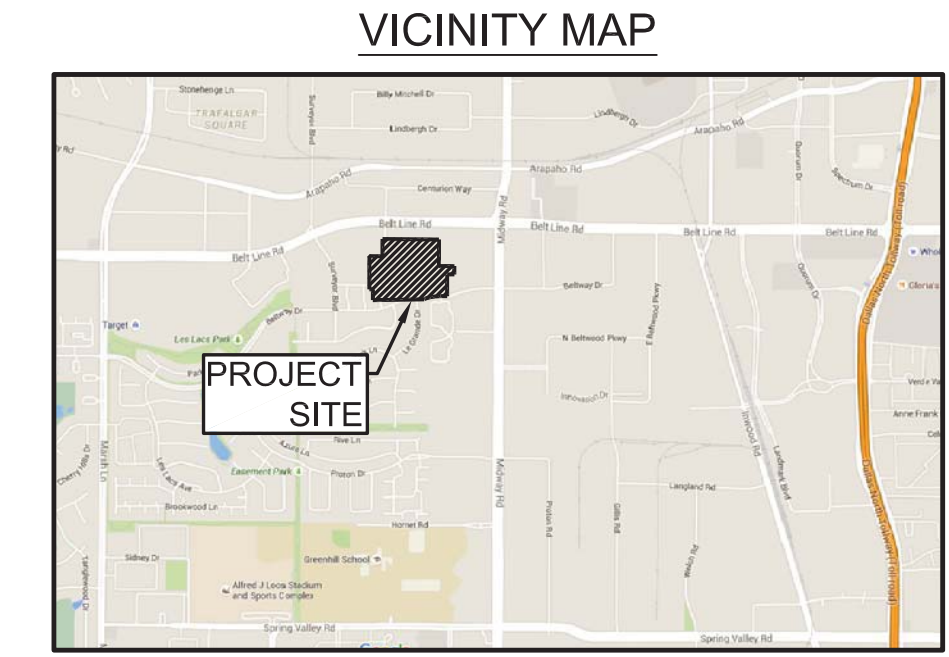
Block C	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual Open Space (S.F.)
1	1574	79	314
2	989	50	65
3	989	50	65
4	1114	56	191
5	1114	56	190
6	989	50	66
7	989	50	66
8	1574	79	315
9	1135	57	135
10	966	49	105
11	920	46	105
12	920	46	105
13	1309	66	335
14	1388	70	375
15	1694	85	671
16	1158	58	218
17	1158	58	218
18	1976	99	490
19	1288	65	331
20	1422	72	428
21	1313	66	390
22	1313	66	390
23	1422	72	428
24	1288	65	331
25	2171	109	675
26	1375	69	435
27	1376	69	435
28	1730	87	706
29	1388	70	452
30	1309	66	335
31	920	46	105
32	920	46	105
33	966	49	105
34	1135	57	135
11X	5679		



NO FLOODPLAIN EXISTS ON THE SITE

- UTILITY LEGEND**
- SANITARY SEWER AND MANHOLE
 - SANITARY SEWER AND CLEANOUT
 - EXISTING SANITARY SEWER AND MANHOLE
 - PROPOSED FIRE HYDRANT ASSEMBLY
 - PROPOSED WATERLINE WITH GATE VALVE AND BOX WITH 10' W.L.E.
 - EXISTING WATERLINE WITH GATE VALVE AND BOX
 - PROPOSED STORM SEWER WITH MANHOLE AND INLETS
 - PROPOSED PRIVATE STORM SEWER
 - PROPOSED DETENTION
 - EXISTING STORM SEWER AND MANHOLE
 - EXISTING INLET
 - PROPOSED TRANSFORMER SINGLE OR 3-PHASE
 - PROPOSED TREE WELL
 - PARKING SPACES (PUBLIC STREETS) W/ 3 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
 - PRIVATE STREET CONCEPTUAL PARKING SPACES W/ 2 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
 - PUBLIC R.O.W. (SECTION B-B, C-C & D-D) FIRE LANE ACCESS
 - CONCRETE PRIVATE DRIVE-24.00' FIRE LANE ACCESS AND UTILITY EASEMENT
 - SIDEWALK RAMP
 - SIDEWALK
 - LANDMARK BUILDINGS

LINE	BEARING	DISTANCE
L13	N 00°18'21" W	6.39'
L14	S 89°29'21" W	24.40'
L15	S 00°49'51" E	9.91'
L16	S 89°21'47" W	25.89'
L17	N 00°01'17" W	9.87'
L18	N 89°58'07" W	97.86'
L19	S 00°43'23" W	10.07'
L20	N 00°23'00" W	9.95'



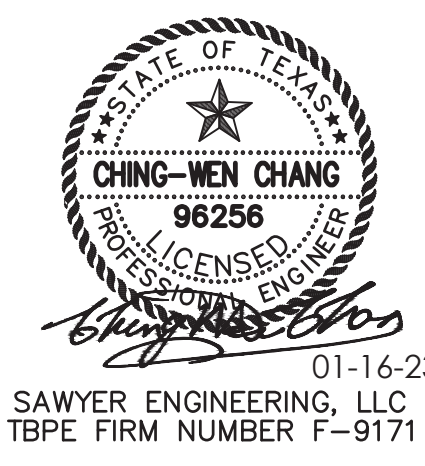
ADDISON GROVE
UTILITY PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

TOWN CASE NUMBER:
1865-Z

SITE PLAN AND
UTILITY PLAN
BLOCK C

ADDISON GROVE

SAWYER
ENGINEERING, LLC
CIVIL ENGINEERING & PLANNING
1520 OLIVER STREET, HOUSTON, TEXAS 77007
(713) 961-3877
TBPE FIRM: F-9171

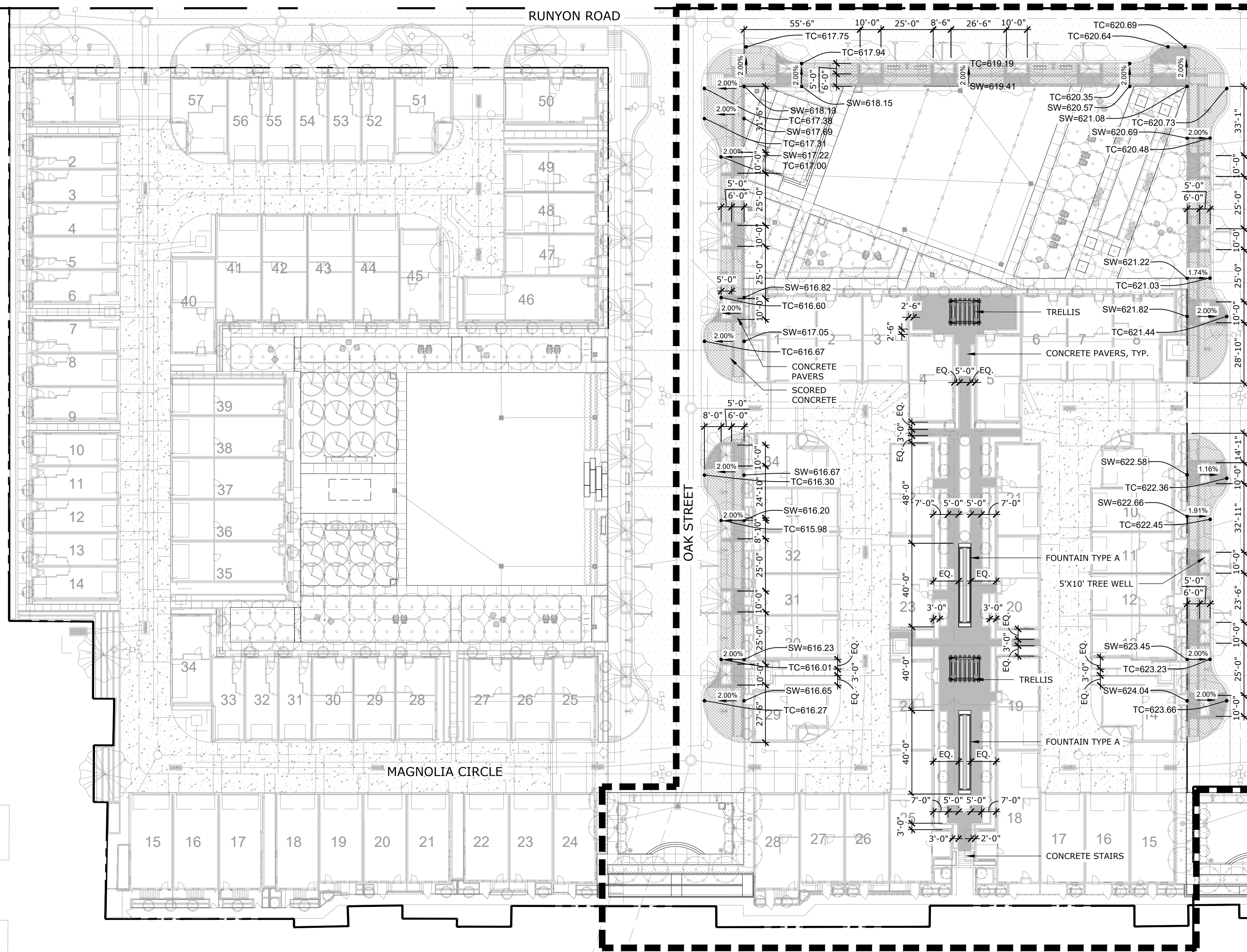


01-16-23
SAWYER ENGINEERING, LLC
TBPE FIRM NUMBER F-9171

THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL

SCALE: 1" = 30'	PROJ. NO.
DRAWN BY: JDS	DATE
CHK'D BY: CDP	SHEET
APPROVED: CDP	04/08/2016 4 OF 7

R:\AutoCAD\Projects\DEVELOPMENT\ADDISON\PLANS\ADDISON_UTILITY\ADDISON_UTILITY_PLAN_1865_Z.dwg Jan 16, 2023 7:38am

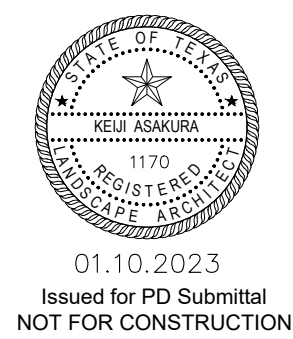


LEGEND

	CONCRETE PAVER 1 HERRINGBONE PATTERN		EJ EXPANSION JOINT
	SCORED CONCRETE SQUARE STACK BOND PATTERN		CJ CONTROL JOINT
	CONCRETE BAND		

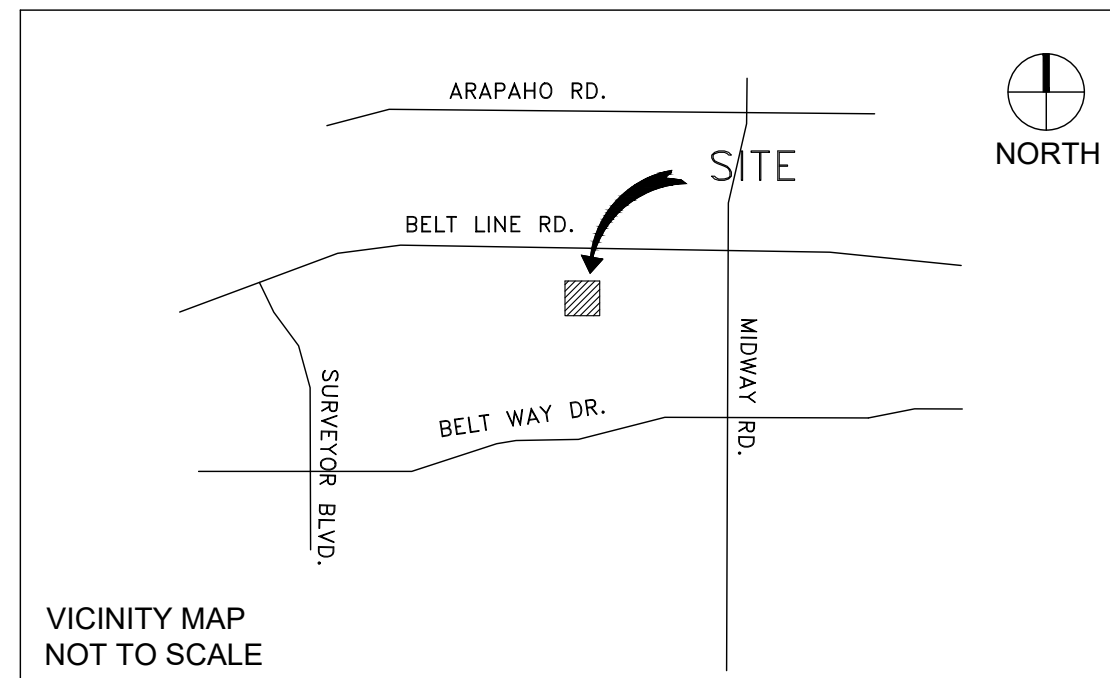
MATCHLINE B
SEE SHEET L1.3

1 LAYOUT PLAN
SCALE: 1" = 30'-0"



ASAKURA ROBINSON
2500 Summer Street, Suite 3228
Houston Texas 77007
P: 713.337.5330

PREPARED BY:
ASAKURA ROBINSON COMPANY
2500 SUMMER STREET, SUITE 3228
HOUSTON, TEXAS 77007
CONTACT: KEIJI ASAKURA
PHONE: 713-337-5830
EMAIL: KEIJI@ASAKURAROBINSON.COM



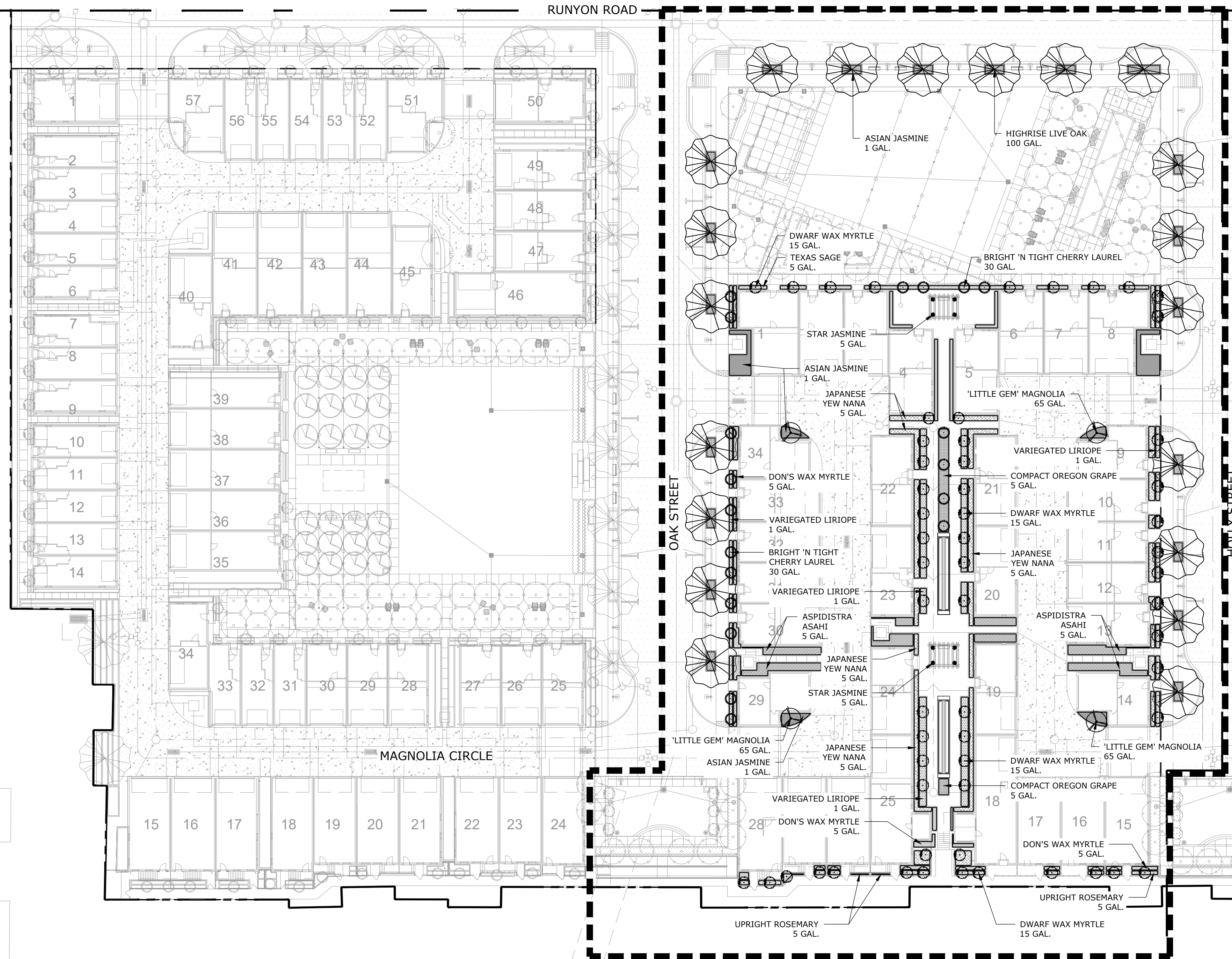
VICINITY MAP
NOT TO SCALE

L1.2 R.O.W. - LAYOUT PLAN

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1865-Z

DATE PREPARED: JANUARY 10, 2023



PLANT LEGEND

- HIGHRISE LIVE OAK
100 GAL.
- 'LITTLE GEM' MAGNOLIA
65 GAL.
- BRIGHT 'N TIGHT CHERRY LAUREL
30 GAL.
- DWARF WAX MYRTLE
15 GAL.
- DON'S WAX MYRTLE
5 GAL.
- JAPANESE YEW NANA
5 GAL.
- TEXAS SAGE
5 GAL.
- UPRIGHT ROSEMARY
5 GAL.
- COMPACT OREGON GRAPE
5 GAL.
- VARIEGATED LIRIOPE
1 GAL.
- ASIAN JASMINE
1 GAL.
- ASPIDISTRA ASAHI
5 GAL.
- STAR JASMINE
5 GAL.

CONTRACTOR IS RESPONSIBLE FOR ENSURING COORDINATION WITH APPROVED CONSTRUCTION DRAWINGS.

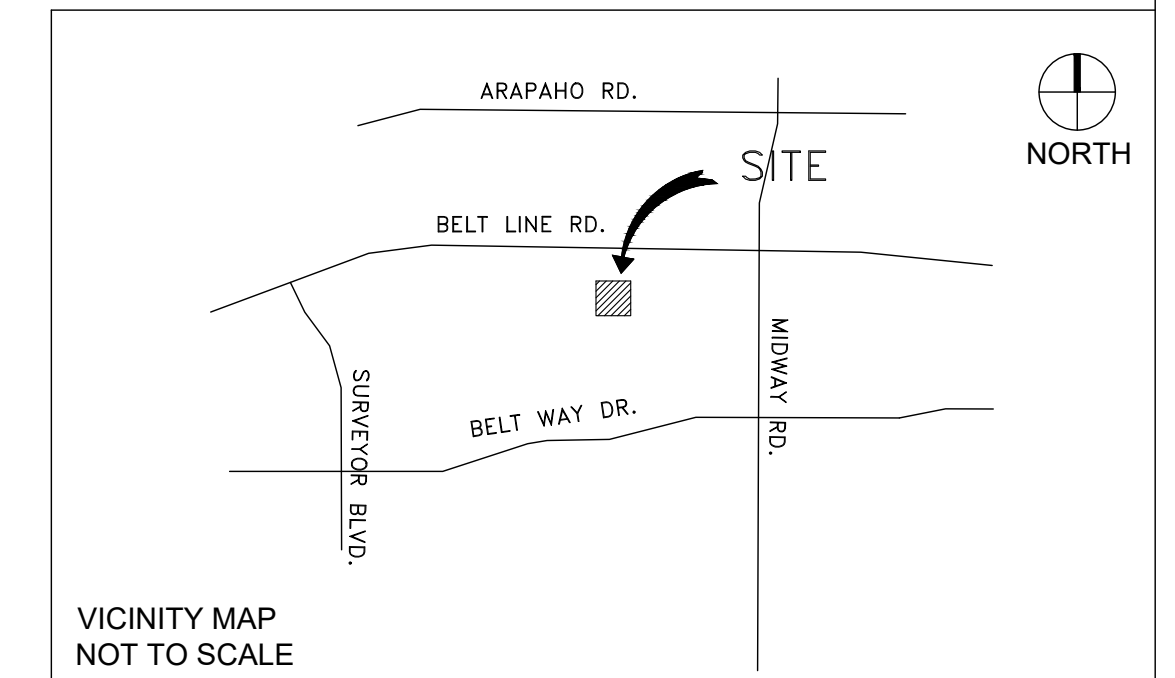
MATCHLINE B
SEE SHEET L4.3

01.10.2023
Issued for PD Submittal
NOT FOR CONSTRUCTION

ASAKURA ROBINSON
2500 Summer Street, Suite 3228
Houston Texas 77007
P: 713.337.5330

PREPARED BY:
ASAKURA ROBINSON COMPANY
2500 SUMMER STREET, SUITE 3228
HOUSTON, TEXAS 77007

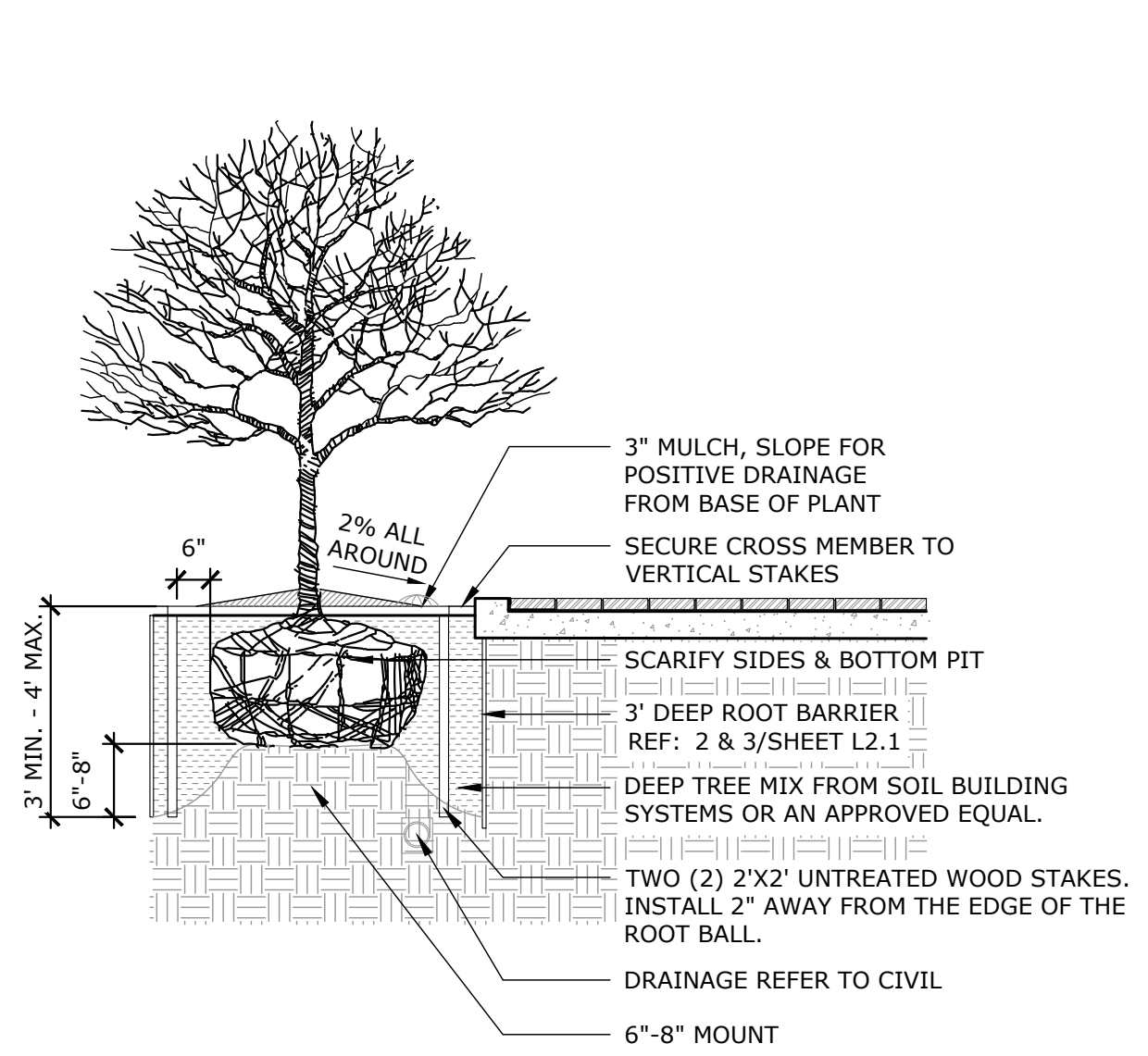
CONTACT: KEIJI ASAKURA
PHONE: 713-337-5830
EMAIL: KEIJI@ASAKURAROBINSON.COM



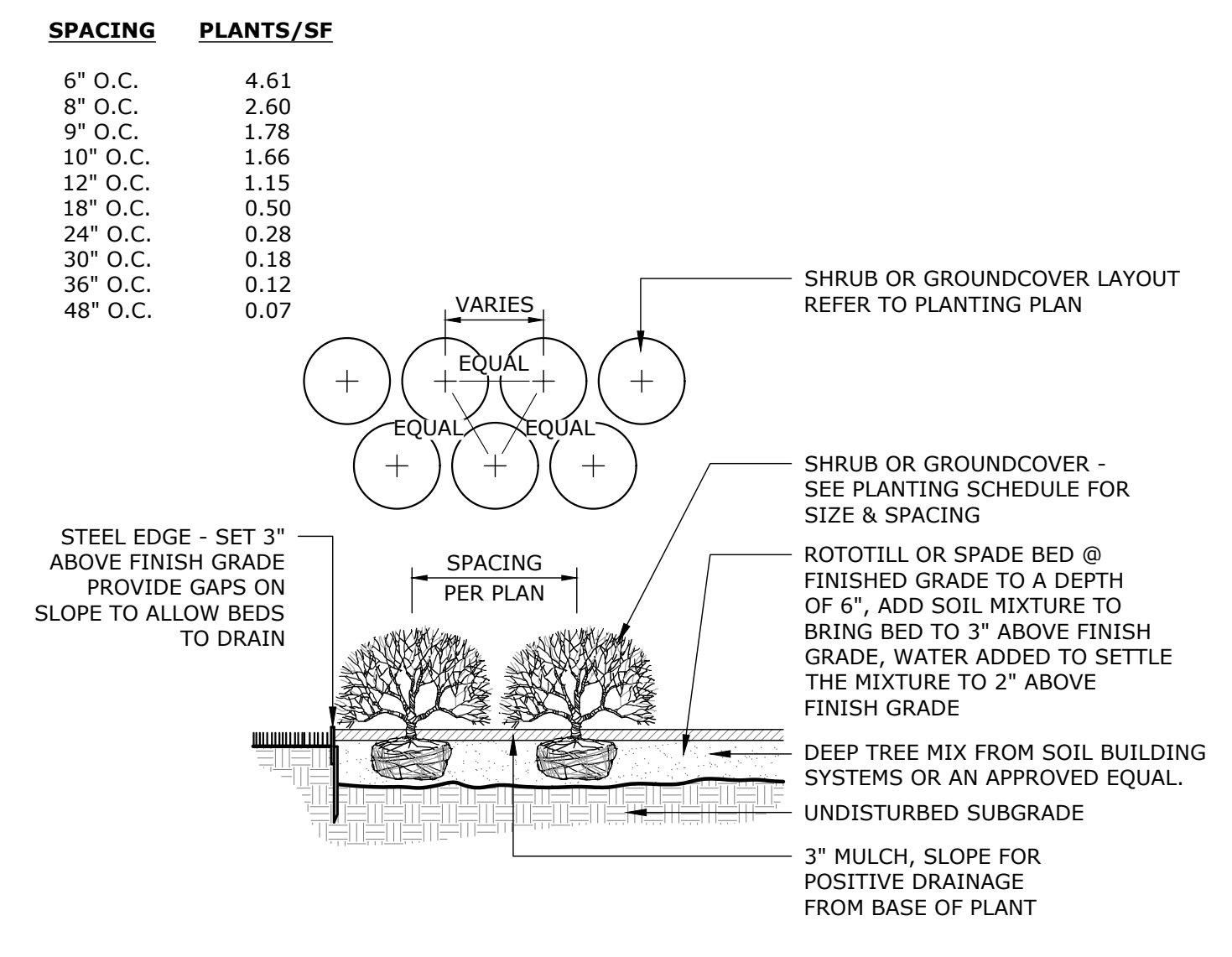
L4.2 R.O.W. - LANDSCAPE PLAN

ADDISON GROVE
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1865-Z

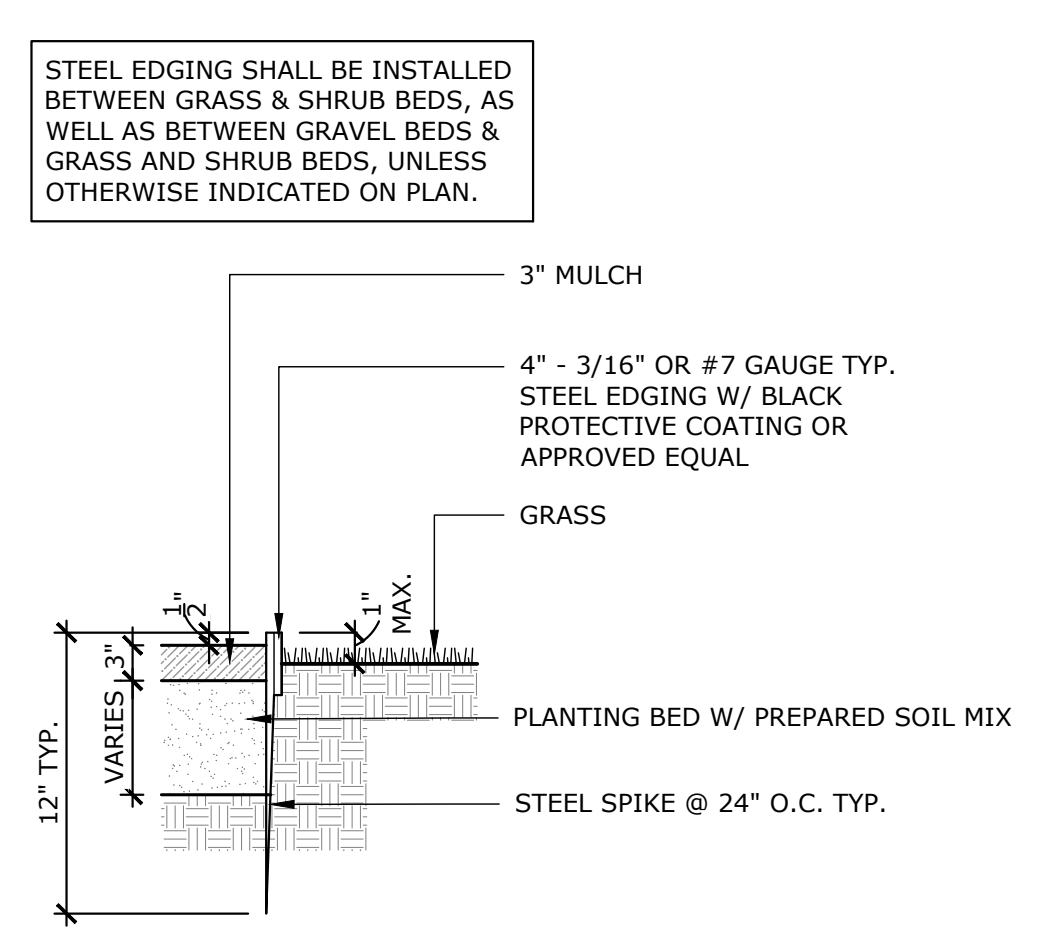
DATE PREPARED: JANUARY 10, 2023



1 TYP. TREE PLANTING DETAIL IN TREE WELL N.T.S.



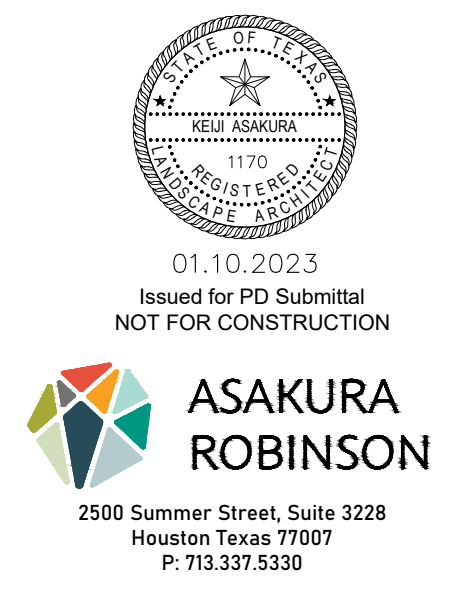
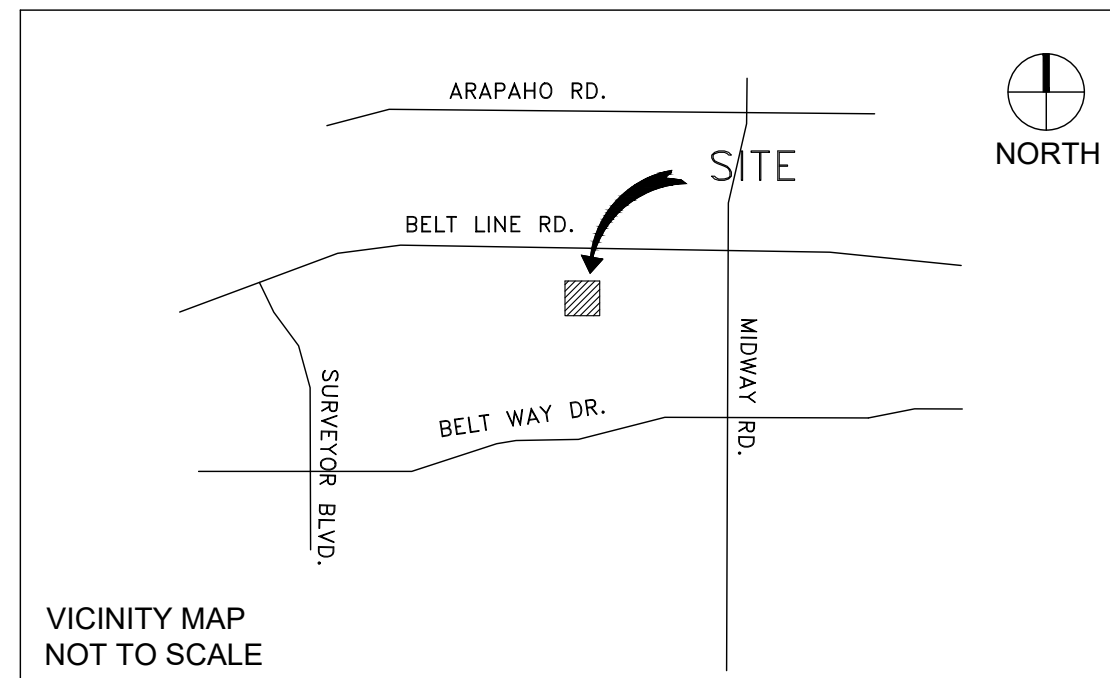
2 TYP. SHRUB / GROUND COVER PLANTING DETAIL & SPACING CHART N.T.S.



3 TYP. STEEL EDGING DETAIL N.T.S.

- PLANTING NOTES:
- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
 - CONTRACTOR SHOULD NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT UP TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATION.
 - LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADE TO +0.10. CONTRACTOR SHALL OBTAIN LETTER OF GRADE CERTIFICATION FROM OWNER PRIOR TO PROJECT EXECUTION.
 - CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 72 HOURS (WEEKENDS NOT INCLUDED) PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULE.
 - IF CONFLICTS ARISE BETWEEN SIZE OF AREAS ON PLANS OR LAYOUT OF PLANS, CONTRACTOR SHOULD CONTACT TOWN OF ADDISON LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIAL.
 - PROTECT ALL EXISTING TREES TO REMAIN. CONTRACTOR SHALL REPLACE ANY TREES DAMAGED DURING CONSTRUCTION WITH AN EQUAL CALIBER INCH TREE AS THE ONE DAMAGED. CONTRACTOR SHALL PROVIDE FENCING, IF NECESSARY, AT THE TREE DRIP LINE TO PROTECT TRUNK AND ROOTS AND TO PREVENT COMPACTION FROM VEHICLE TRAFFIC OR MATERIAL STORAGE ON THE SOIL BELOW TREES. CONTRACTOR SHALL PROVIDE FOR THE FEEDING, WATERING AND GENERAL MAINTENANCE OF TREES TO KEEP THEM IN A HEALTHY CONDITION DURING CONSTRUCTION.
 - CONTRACTOR SHALL SUBMIT PHOTOS OF REPRESENTATIVE TREES AND SHRUBS WITH SPECIFICATIONS ON THE BACK OF PHOTO INCLUDING HEIGHT, WIDTH AND CALIBER. IF A NURSERY VISIT IS REQUIRED THE CONTRACTOR WILL ARRANGE TO HAVE THE PARTICULAR NURSERIES PREPARED TO SHOW TREES. SHOULD CONTRACTOR INSTALL PLANT MATERIAL INFERIOR TO INDUSTRY STANDARD, IT IS AT HIS OWN RISK. ALL PHOTO SUBMITTALS ARE TO BE APPROVED PRIOR TO PLANTING.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIALS FREE OF PESTS AND DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO GUARANTEE ALL PLANT MATERIALS PER THE SPECIFICATIONS.
 - CONTRACTOR SHALL STAKE ALL FINAL TREE LOCATIONS AND PLANTING BED LIMITS IN THE FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - STEEL EDGING SHALL BE PLACED BETWEEN ALL SHRUB BEDS AND TURF AREAS, AS WELL AS BETWEEN GRAVEL BED AND PLANTING BEDS.
 - UPON INSTALLATION ALL TREE MATERIALS SHALL BE STAKED ACCORDING TO SPECIFICATIONS AND PLANTING DETAILS.
 - IF REQUESTED BY OWNER CONTRACTOR SHALL INSTALL DEEP/ROOT BARRIERS AT ALL TREES WITHIN 5'-0" OF CONCRETE WALKWAYS, STRUCTURES, WALLS, CURBS, ETC.
 - ALL PLANTS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED.
 - ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" OF APPROVED SHREDDED MULCH.
 - CONTRACTOR SHALL FINE GRADE ALL DISTURBED AREAS TO PROVIDE FOR PROPER DRAINAGE.
 - AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)/AMERICAN ASSOCIATION OF NURSERYMEN (AAN): ANSI Z60.1 1-069 "NURSERY STOCK".
 - "GRADES AND STANDARDS", LATEST EDITION OF TEXAS ASSOCIATION OF NURSERYMEN SPECIFICATIONS, AUSTIN, TEXAS 78704.
 - PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK AND PROVIDE FOR ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE, AND LOCAL AUTHORITIES IN FURNISHING, TRANSPORTING, AND INSTALLING MATERIALS.
 - PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1. PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT.
 - PLANTING SOIL QUALITY ASSURANCE:
 - IF REQUESTED BY OWNER, ALL SOIL COMPONENTS SHALL BE TESTED BY LOCAL OR STATE TESTING LABORATORY FOR CONFORMITY TO THE SPECIFICATIONS:
 - CONTRACTOR SHALL SUBMIT PROPOSED LABORATORY NAME, ADDRESS, AND TELEPHONE NUMBERS FOR APPROVAL.

PLANT SCHEDULE					
QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE CALIBER	HEIGHT	SPREAD	COMMENTS
CANOPY TREES/ ORNAMENTAL TREES					
20	Highrise Live Oak Quercus virginiana 'Highrise'	4"-5" 100 Gal.	14'-16'	8'-10'	CONTAINER GROWN, FULL & WELL BRANCHED, SINGLE DOMINANT LEADER
4	'Little Gem' Magnolia Magnolia grandiflora 'Little Gem'	4"-5" 100 Gal.	14'-16'	8'-10'	CONTAINER GROWN, FULL & WELL BRANCHED, SINGLE DOMINANT LEADER
19	Bright 'N Tight Cherry Laurel Prunus caroliniana 'Monus'	1.5" 30 Gal.	5'-7'	2'-3'	CONTAINER GROWN, FULL & WELL BRANCHED
58	Dwarf Wax Myrtle Myrica pusilla	1" 15 Gal.	34"-38"	24"-30"	CONTAINER GROWN, FULL & WELL BRANCHED
SHRUBS/ GROUND COVER					
760 SF	Don's Wax Myrtle Myrica cerifera 'Don's'	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1500 SF	Japanese Yew Nana Taxus cuspidata 'Nana'	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
310 SF	Texas Sage Leucophyllum frutescens	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
200 SF	Upright Rosemary Rosmarinus officinalis	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
310 SF	Compact Oregon Grape Mahonia aquifolium 'Compacta'	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1430 SF	Variegated Liriope Liriope muscari 'Variegata'	1 Gal.	10"-12"	10"-12"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 18" O.C. TRIANGULAR SPACING
1420 SF	Asian Jasmine Trachelospermum asiaticum	1 Gal.	10"-12"	12"-14"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 12" O.C. TRIANGULAR SPACING
930 SF	Aspidistra Asahi Aspidistra elatior 'Asahi'	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 24" O.C. TRIANGULAR SPACING
ORNAMENTAL VINES					
24	Star Jasmine Trachelospermum jasminoides	1 Gal.	10'-12"	8"-10"	CONTAINER GROWN, FULL & WELL ROOTED 3 PLANTS PER CONTAINER / 30" O.C. ALONG WALL



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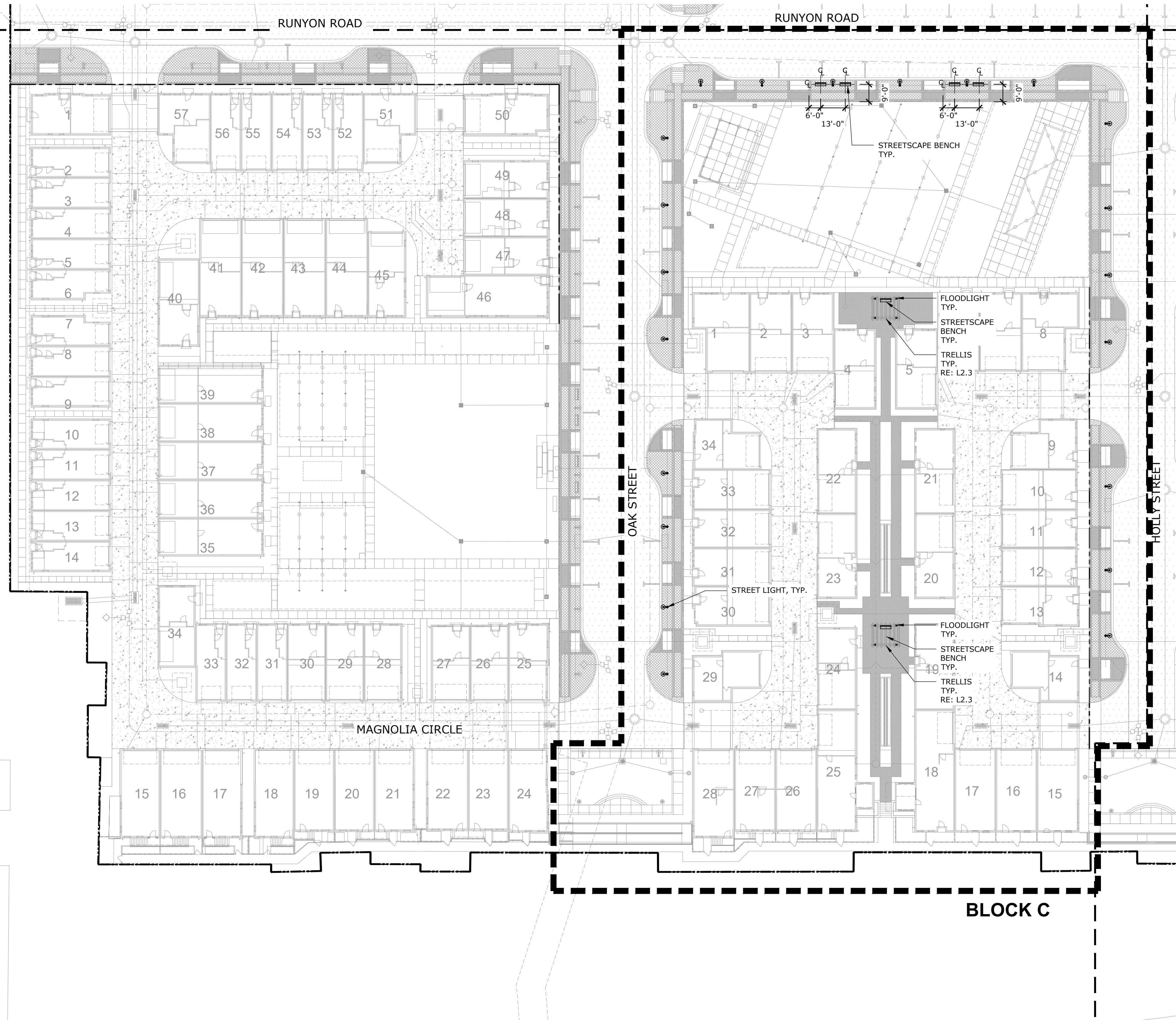
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 EMAIL: KEIJI@ASAKURAROBINSON.COM

L4.4 R.O.W. - LANDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1865-Z

DATE PREPARED: JANUARY 10, 2023



LEGEND

- STREET LIGHTS
- STREETSCAPE BENCH
- FLOODLIGHT

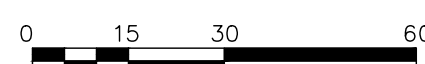
NOTES:

1. ALL SITE FURNISHINGS AND LIGHTS LOCATIONS ARE TO BE FIELD LOCATED PER PLAN FOR APPROVAL OF OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
2. ALL SITE FURNISHINGS AND LIGHTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTOR TO SUBMIT MANUFACTURER'S LITERATURE, DETAILS AND ANY SUPPORT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.

MATCHLINE B
SEE SHEET L5.3

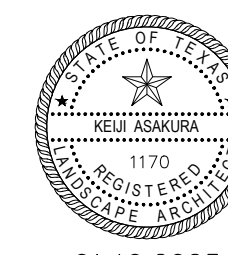
1 SITE FURNISHING AND LIGHTING PLAN

SCALE: 1" = 30'-0"



SITE FURNISHING SCHEDULE - BLOCK D QUANTITIES ONLY

SYM.	QTY.	ITEM	MANUFACTURER	MATERIAL	COLOR	MODEL	NOTES
	21	STREET LIGHTS	ANTIQUE STREET LIGHTS		PER ONCOR REQUIREMENTS	PER ONCOR REQUIREMENTS	
	6	STREETSCAPE BENCH	LANDSCAPE FORMS	STEEL, ALUMINUM BACK	METALLIC SILVER	STAY SA477-13	BACKED, PAVER MOUNT
	8	FLOODLIGHT	BEGA		SELECTED BY OWNER	7604LED.538	

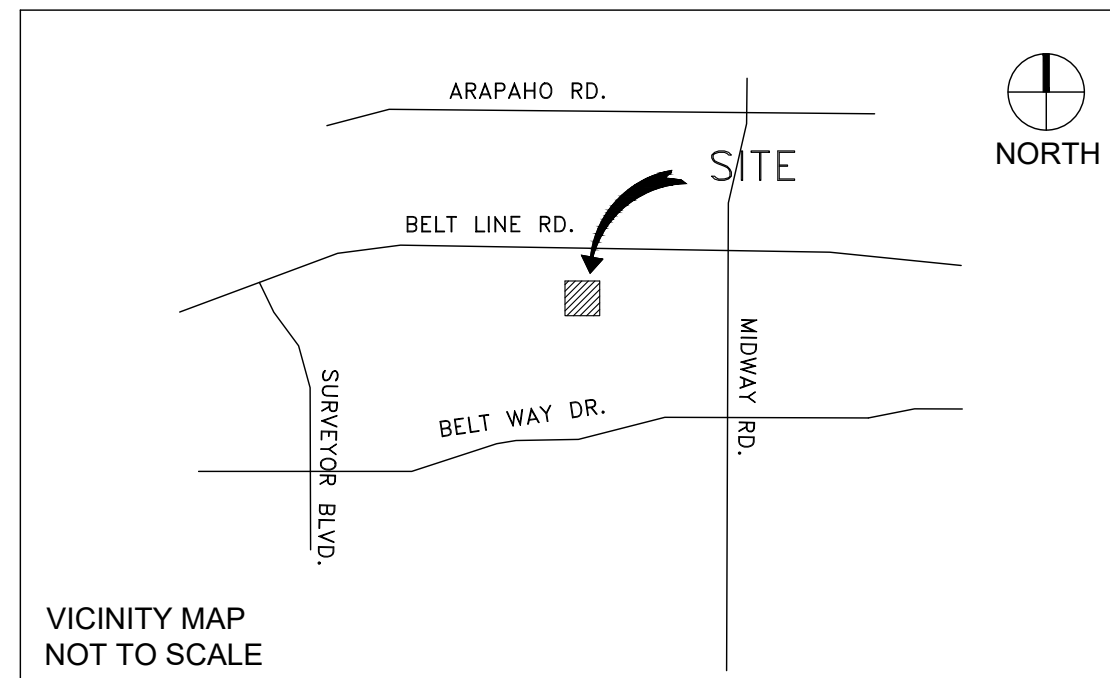


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L5.2 R.O.W. - SITE FURNISHING AND LIGHTING PLAN

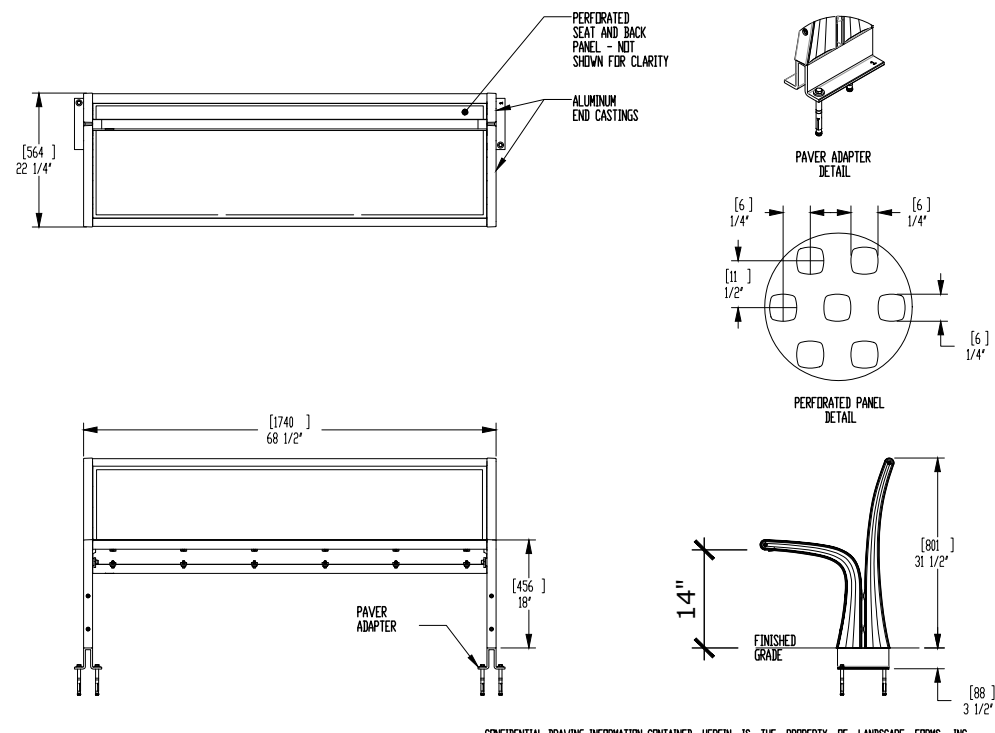
ADDISON GROVE

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US SURVEYOR 5213
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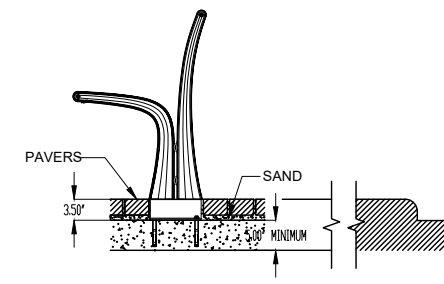
DATE PREPARED: JANUARY 10, 2023

TOWN CASE #: 1865-Z

Stay™ Bench Back, Paver Mount
Product Drawing
www.landscapeforms.com Date: 5/24/2010
Ph: 800.521.2546



NOTE:
BENCHES ADJACENT TO PARKS SHOULD FACE THE PARK AND NOT THE STREET.

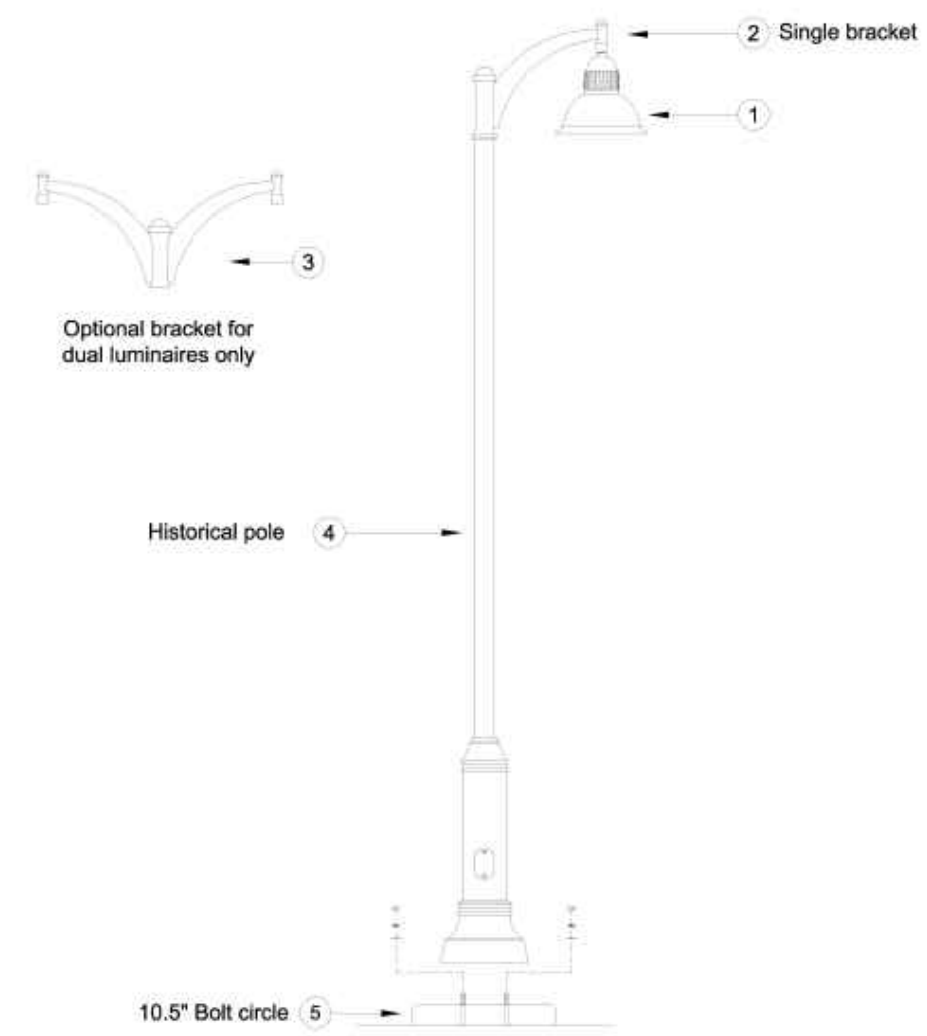


TYPICAL INSTALLATION ON CONCRETE PAVER

landscapeforms Drawing: 20477-01
Revision: 04/14/2010
LIC. Permit No. 128925

1 TYP. STREETSCAPE BENCH DETAIL NTS

Historical Pendant Luminaire 213 - 135 02 - 18



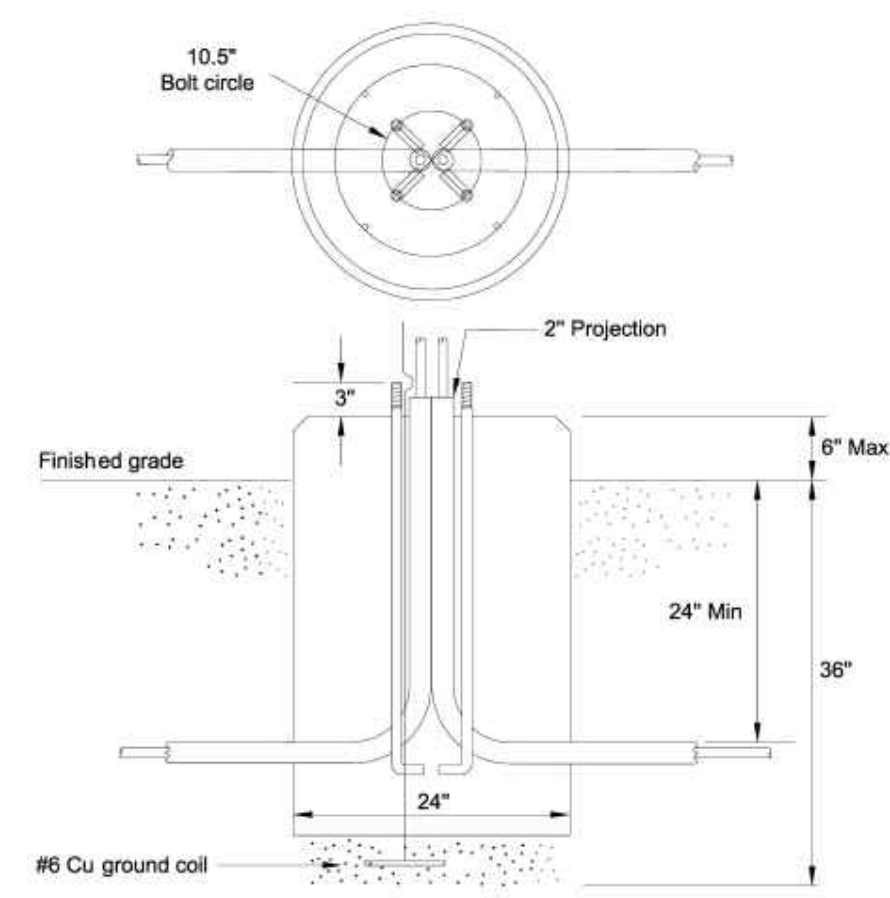
Item	Qty	Description	TSN/Ref	CU
1		LED, Luminaire, Historical, Pendant, 0-55 W, Type III, 120-277 V	902689	LEDHP55
1		LED, Luminaire, Historical, Pendant, 56-100 W, Type III, 120-277 V	902693	LEDHP100
1		High Pressure Sodium, Luminaire, Historical, Pendant, 100 W, Type III, 120 V	479607	LHOV100H31
2		Single Luminaire Bracket	462582	SLBP
3		Double Luminaire Bracket	476309	SLBP2
4		Pole, Decorative, 16 ft., Black, Anchor Base with Mounting Hardware	462580	SLPP16
5		Precast Foundation, 10 in. Bolt Circle, 3/4 in. Anchor Bolts	476487	SLFP12
6		Grounding		
7		Fusing		

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Page 1 of 2

Historical Pendant Luminaire Foundation 213 - 135 02 - 18



Item	Qty	Description	TSN/Ref	CU
1		Precast Foundation, 10 1/2 in. bolt circle, 3/4 in. anchor bolts	476487	SLFP12
2		Grounding		

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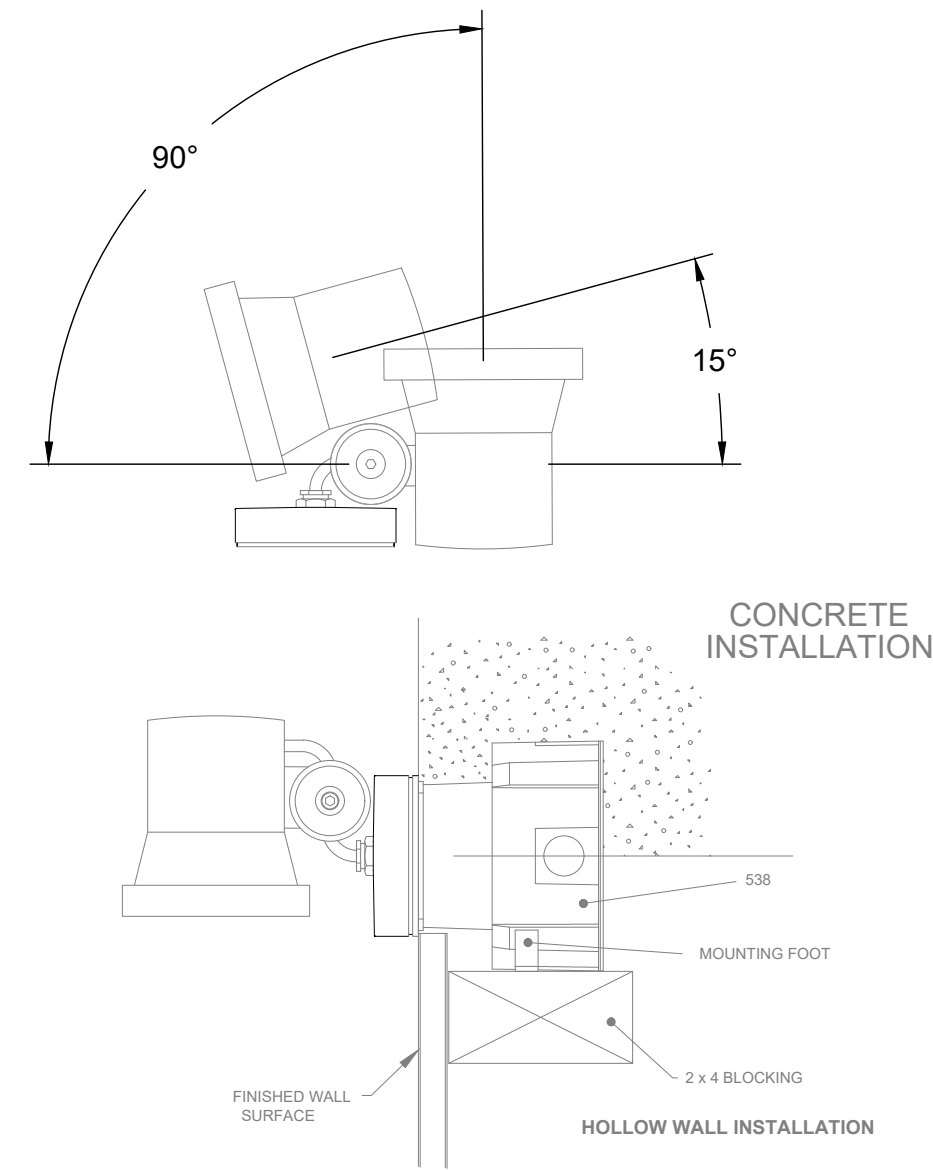
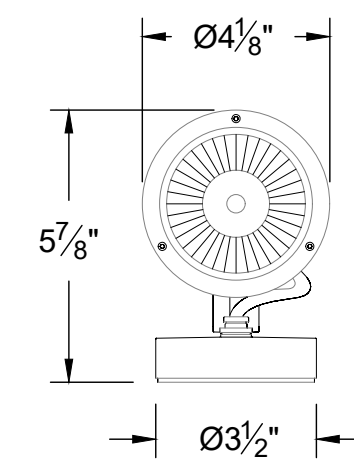
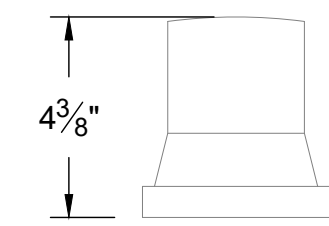


Page 2 of 2

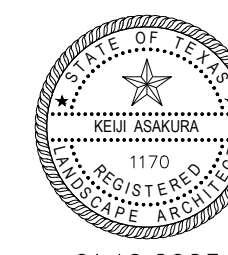
2 TYP. STREET LIGHT FIXTURE DETAIL NTS

3 TYP. FLOOD LIGHT DETAIL NTS

NOTES:
1. LUMINAIRE # 7604LED.538 - SEE SPECIFICATIONS



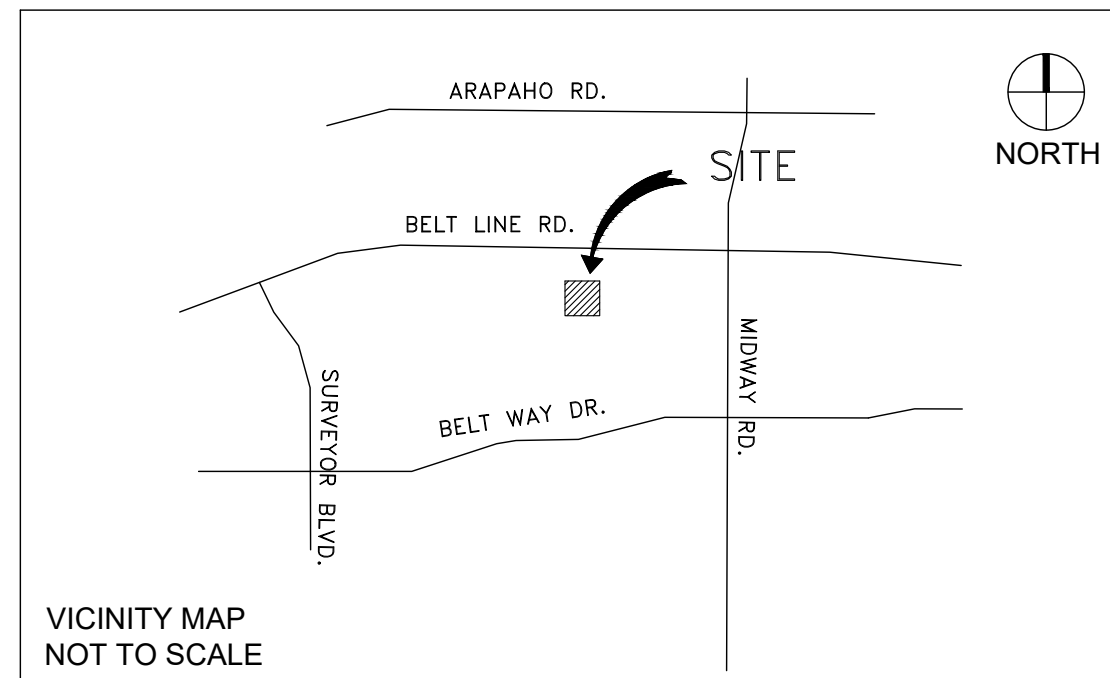
BECA
1000 Brook Way
Covina, CA 91703
(951) 914-2323
Drawing No. 7604LED.538
Date: 8/4/14
Scale: NONE - DO NOT SCALE DRAWING
Category No. 7604LED.538
Small Scale Floodlight - LED
Drawn by: KJ
File Name: 7604LED.538



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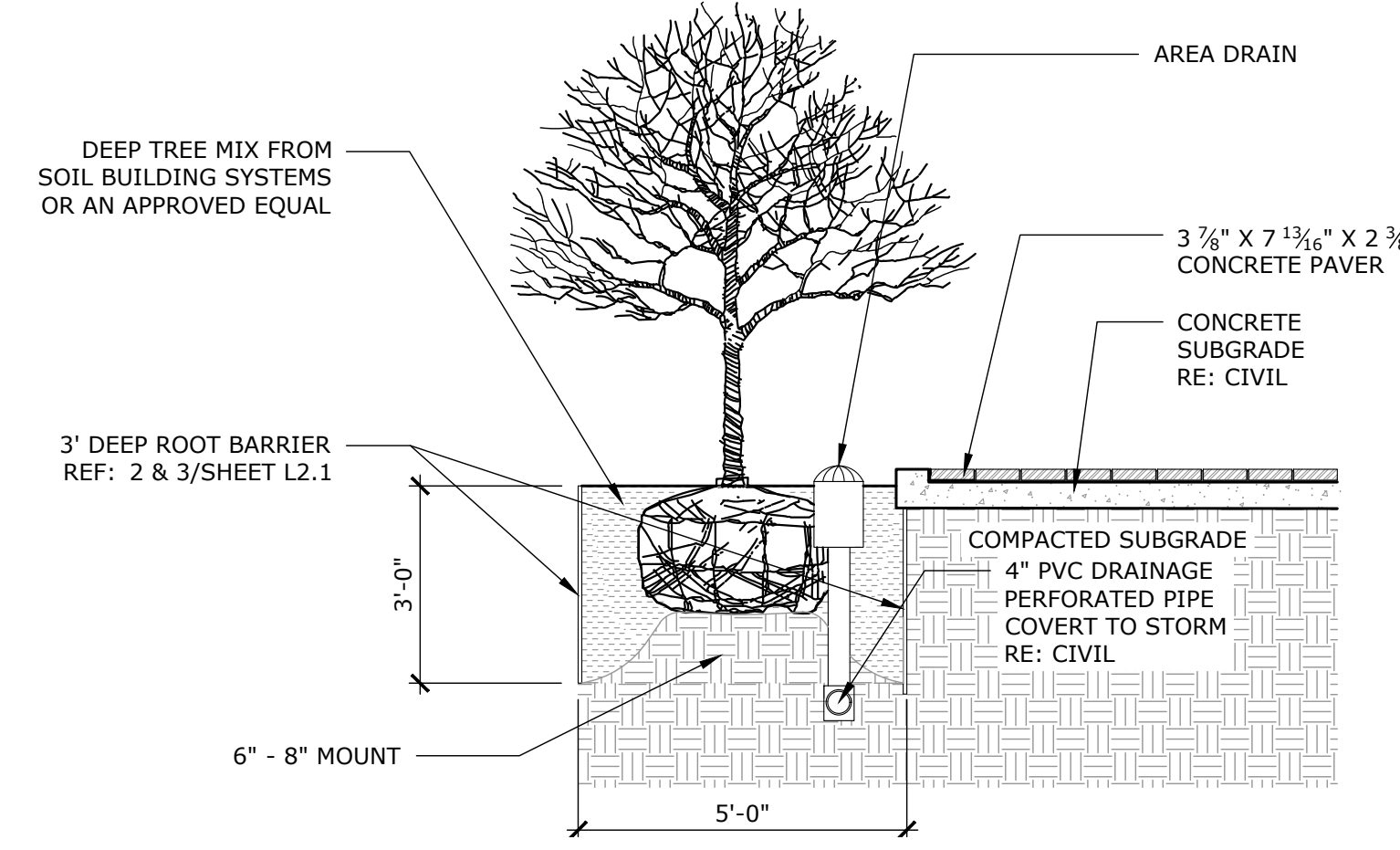
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VICINITY MAP
NOT TO SCALE

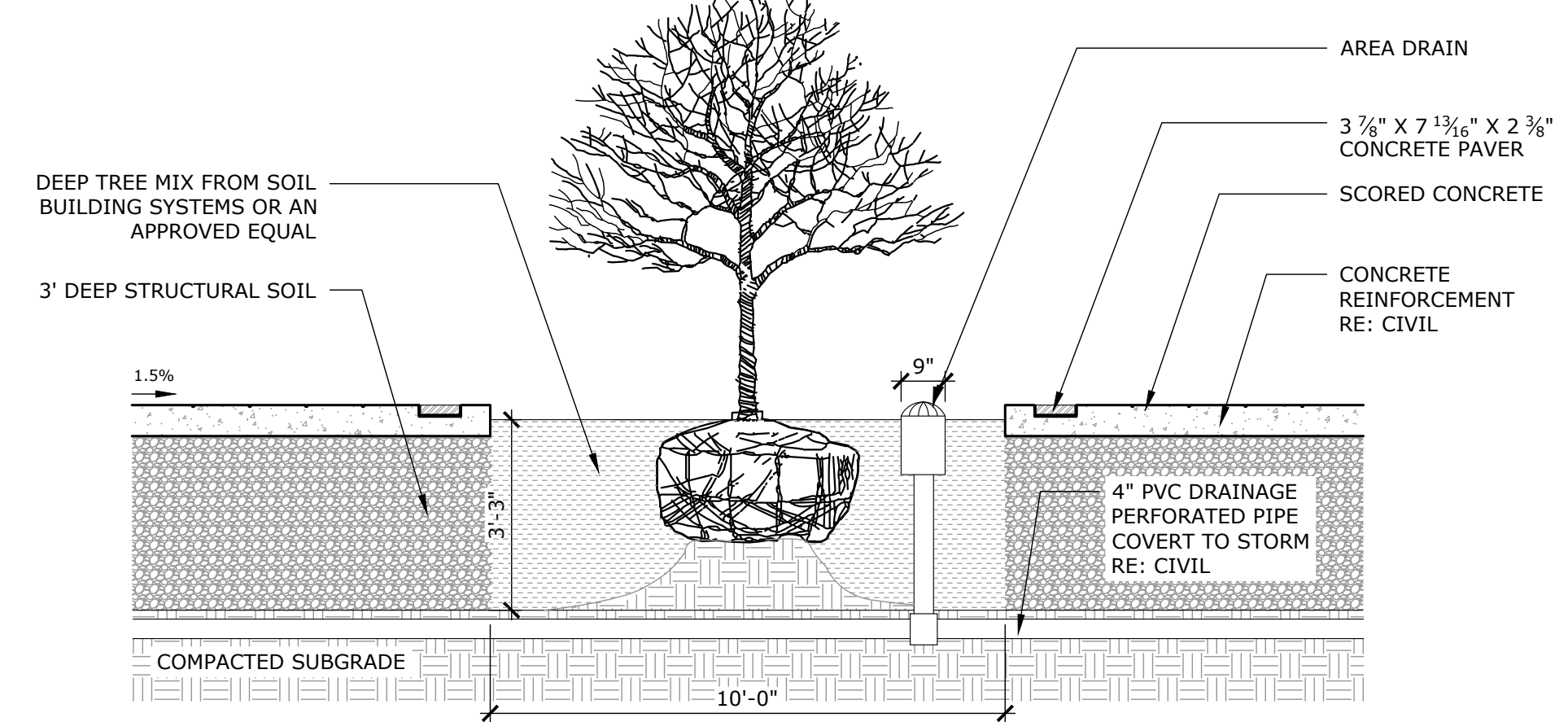
L5.4 R.O.W. - SITE FURNISHING AND LIGHTING DETAILS

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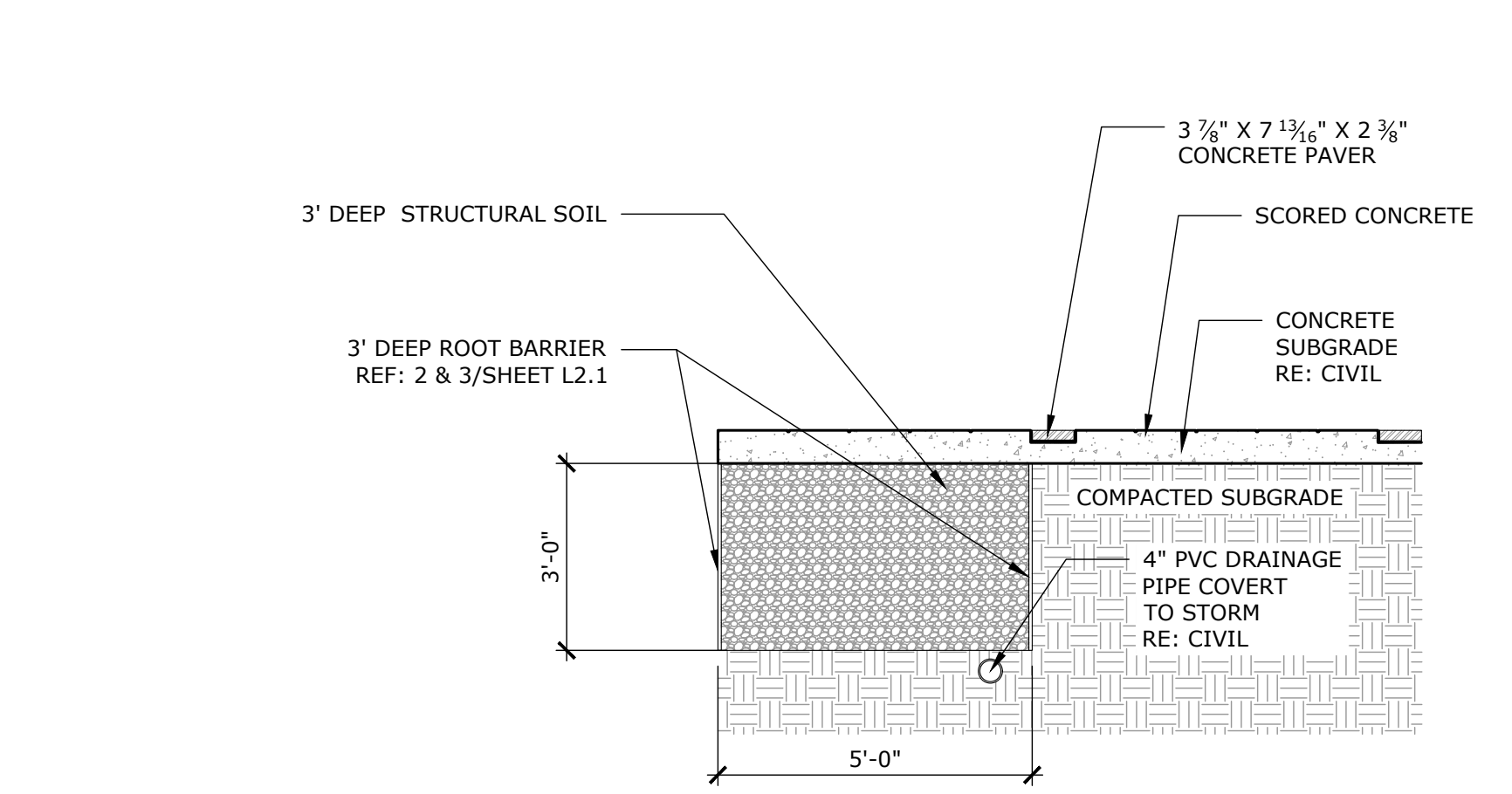


1 SECTION OF TYP. TREE WELL NTS

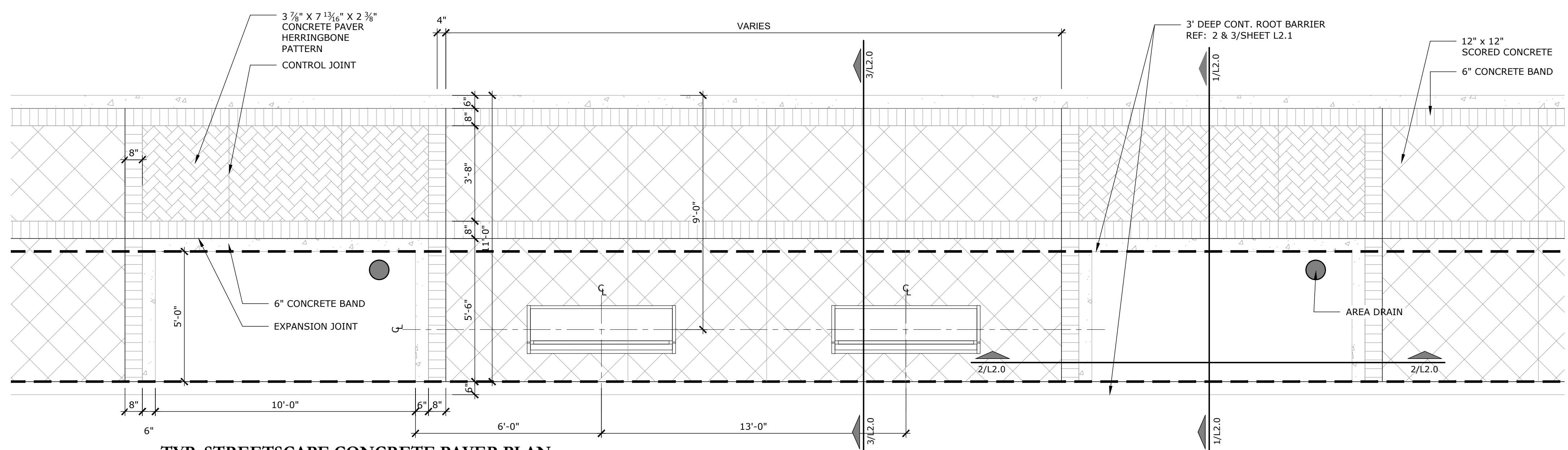
- NOTES:
1. STRUCTURAL SOIL SHALL BE INSTALLED BETWEEN ALL TREE WELLS TO CREATE A CONTINUOUS 5' WIDE SOIL TRENCH.
 2. CONTRACTOR TO USE CU-SOIL STRUCTURAL SOIL OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 3. SOIL MIXTURE SHALL BE COORDINATED WITH THE MANUFACTURER AND APPROVED BY THE CITY.
 4. PERFORATED DRAINAGE PIPE AT TREE WELL WRAPPED WITH FILTER FABRIC. GRAVEL ENCASED WITH FILTER FABRIC AROUND GRAVEL.



2 SECTION OF TYP. STRUCTURAL SOIL AT TREE WELL NTS

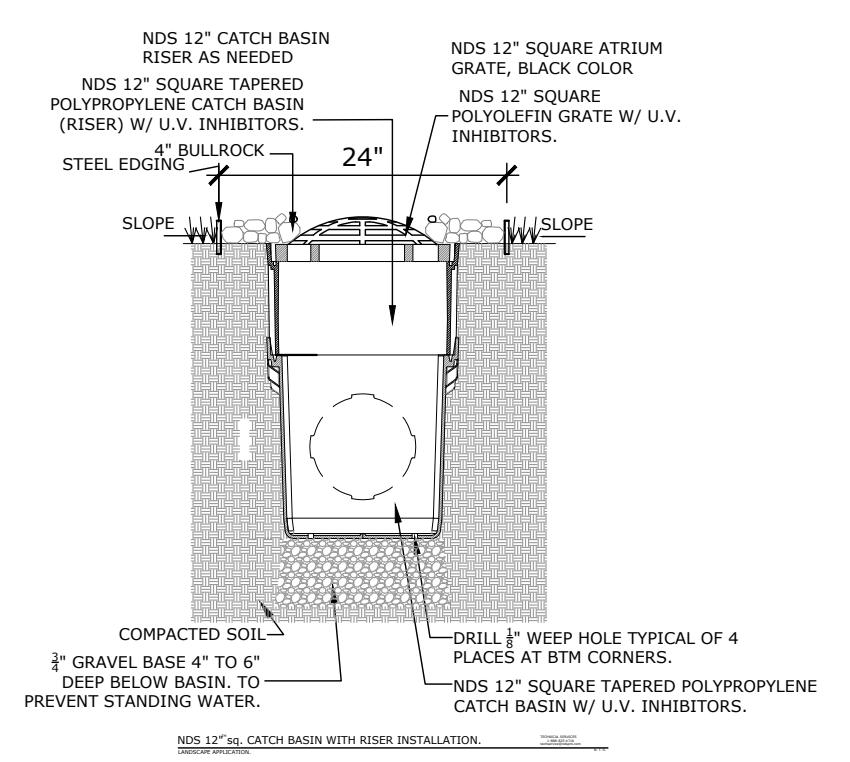


3 SECTION OF TYP. STRUCTURAL SOIL WITH CONCRETE PAVER ABOVE NTS



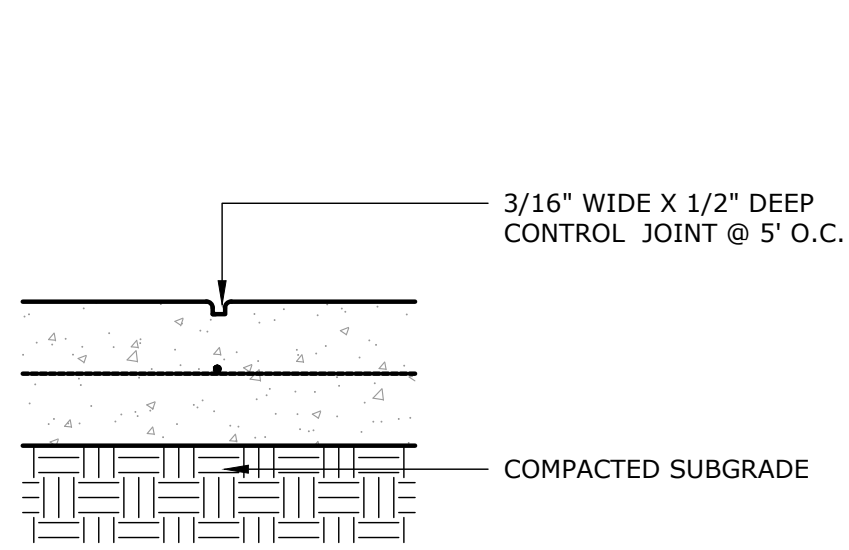
4 TYP. STREETSCAPE CONCRETE PAVER PLAN DIMENTION AND PATTERNS NTS

- NOTE:
- DRAIN INLET @ PLANTING BED SHOULD USE ATRIUM GRATE.
 - LOCATED @GRASS AREA ATRIUM GRATE SHOULD BE FLAT.

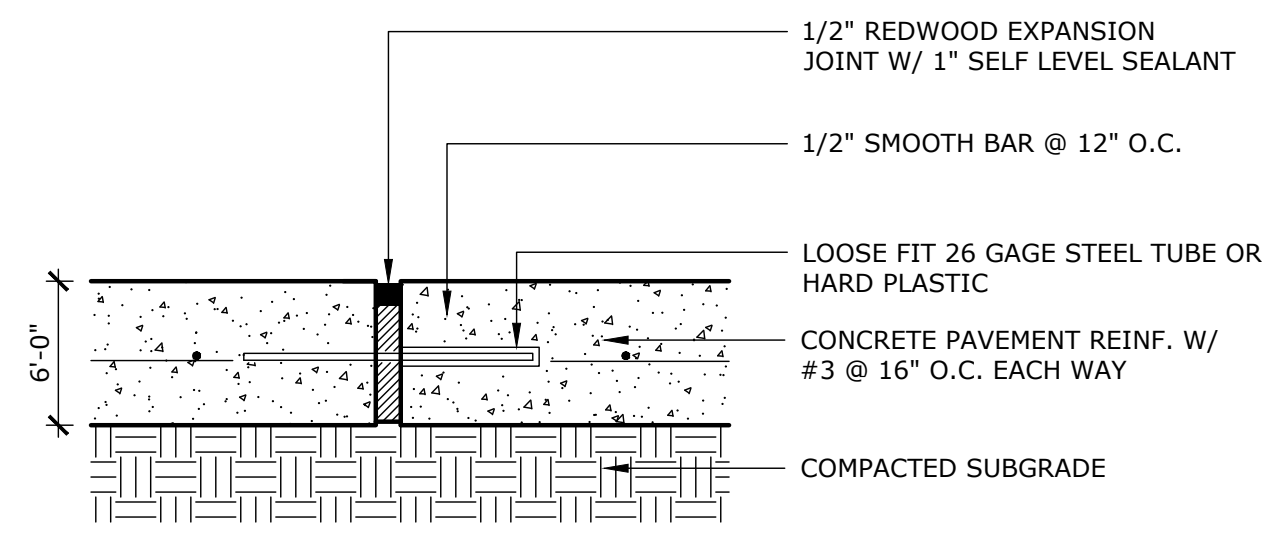


5 AREA DRAIN 5

- PAVER NOTE:
1. APPLY JOINT SAND MIXTURE AT RATIO OF 100 LBS JOINT SAND W/ 1.5 LBS OF "SAND-LOCK" BINDER FOR ALL SAND JOINT.
 2. CONCRETE PAVERS 1: PAVESTONE HOLLAND 3 7/8" X 7 13/16" X 2 3/8" COLOR: 1/3 ANTIQUE RED, 1/3 ANTIQUE TERRACOTTA, 1/3 PEWTER BLENDED EVENLY FINISH: PROVENCIAL PATTERN: HERRINGBONE
 3. CONCRETE PAVERS 1: PAVESTONE HOLLAND 3 7/8" X 7 13/16" X 2 3/8" COLOR: 50% ANTIQUE RED, 50% ANTIQUE TERRACOTTA, BLENDED EVENLY FINISH: PROVENCIAL PATTERN: SOLDIER COURSE
 4. SCORED CONCRETE 12" X 12" PATTERN: SQUARE STACKED



6 TYPICAL CONTROL JOINT DETAIL 1-1/2" = 1'-0"

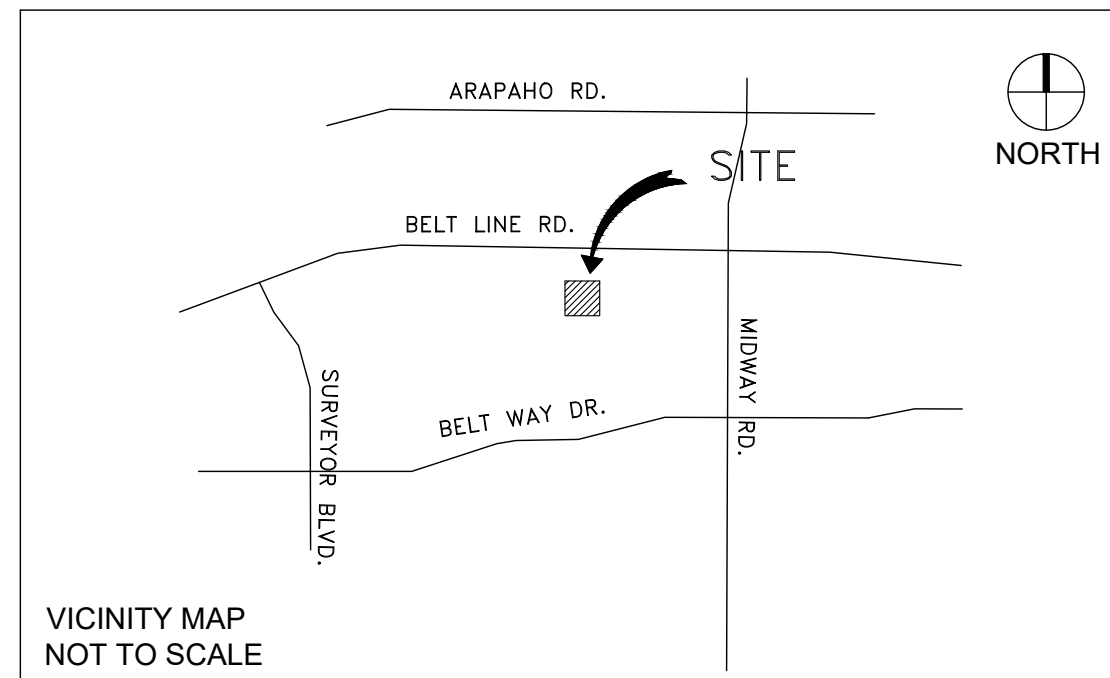


7 TYPICAL EXPANSION JOINT DETAIL 1-1/2" = 1'-0"

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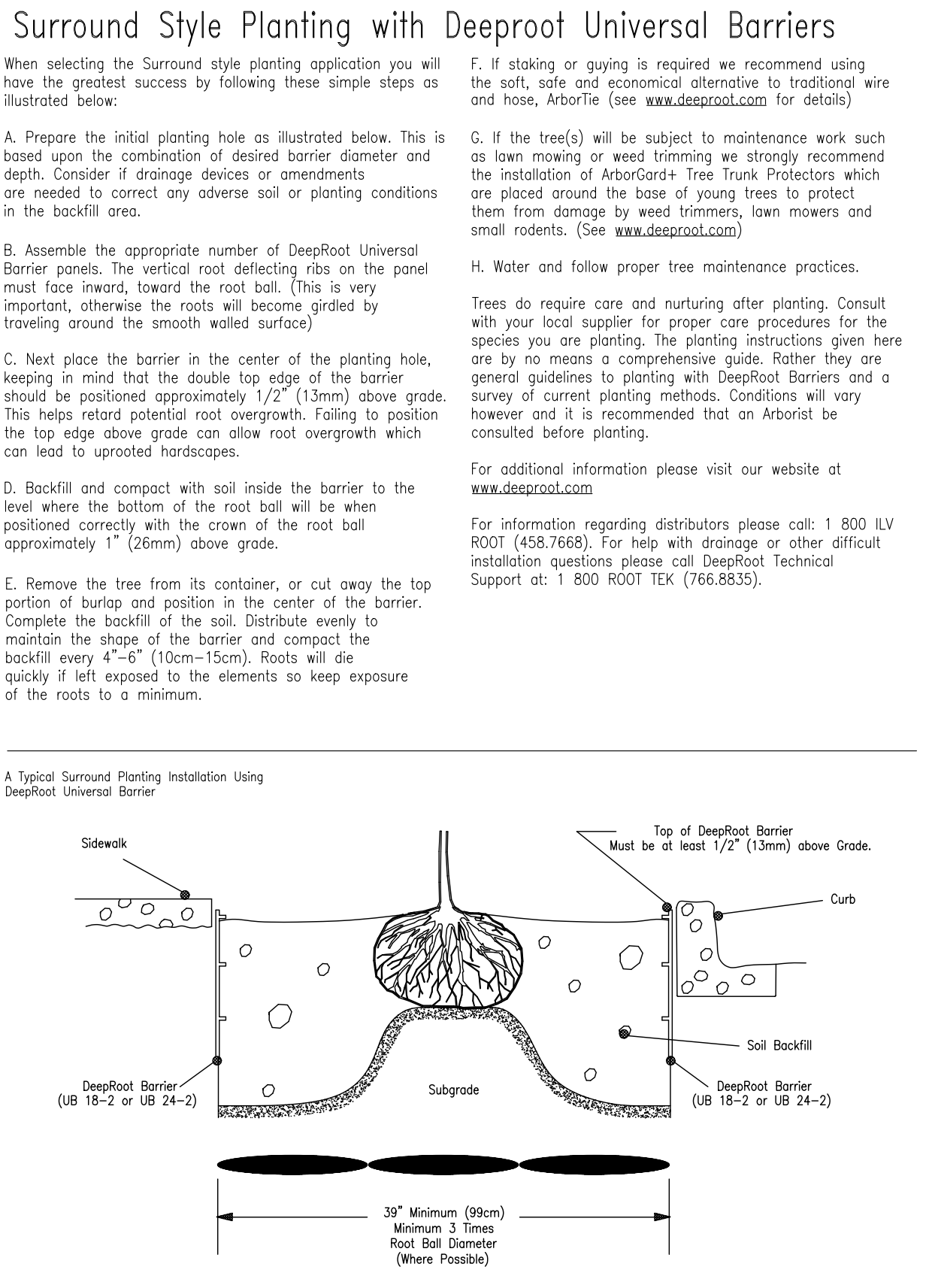
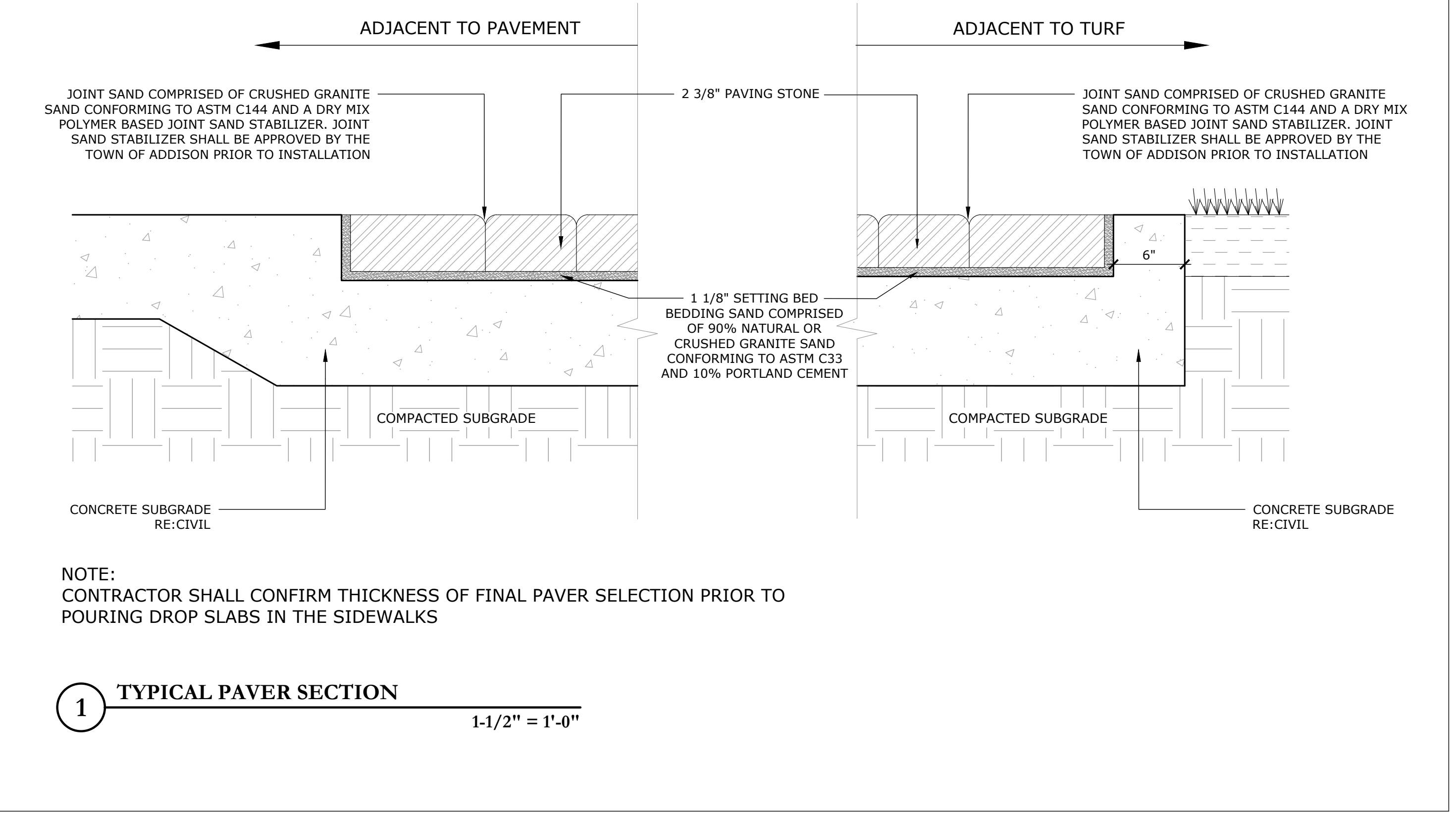


L2.0 R.O.W. - HARDSCAPE DETAILS

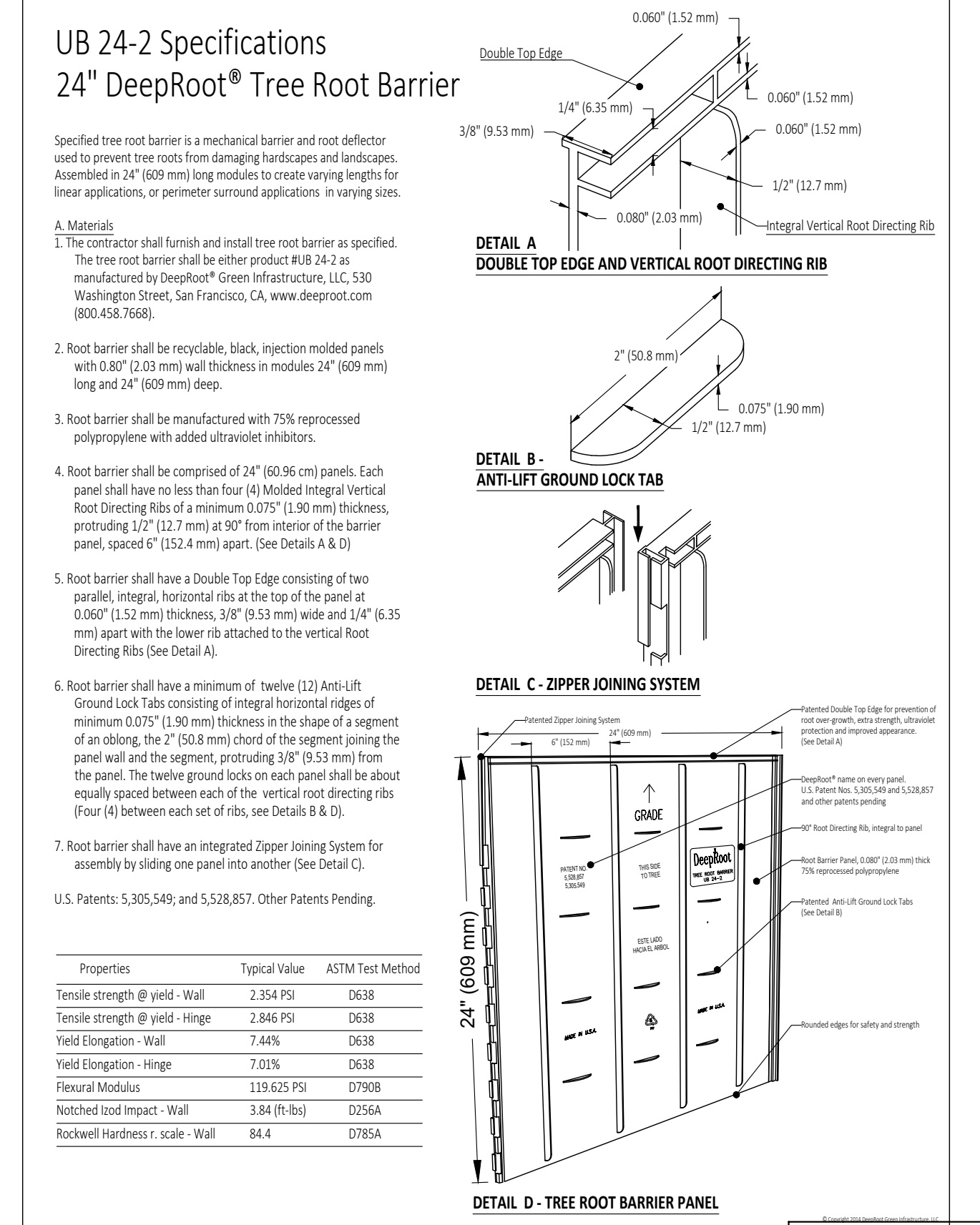
ADDISON GROVE

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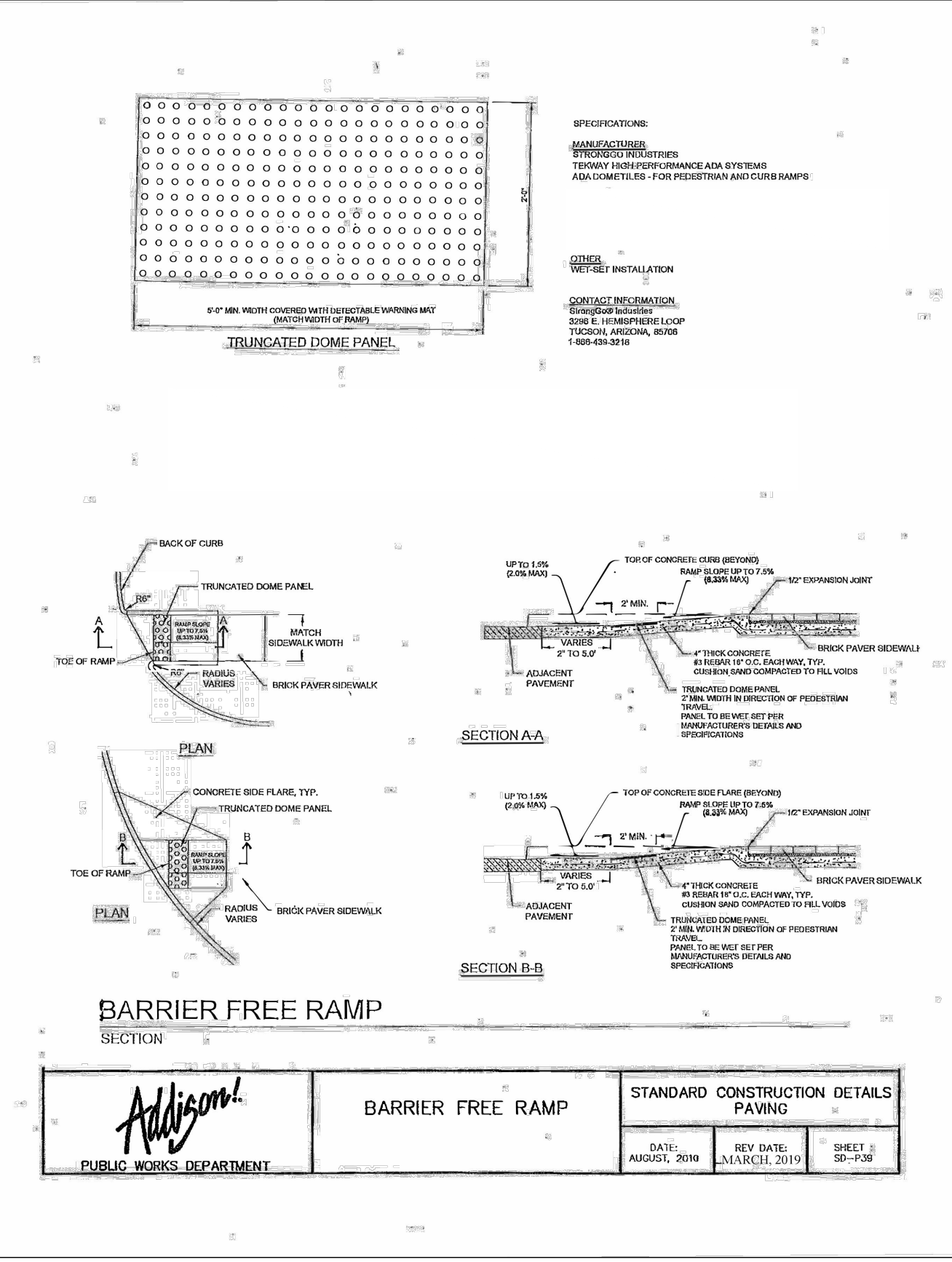


2 TYP. ROOT BARRIER DETAIL @ SIDEWALK
N.T.S.

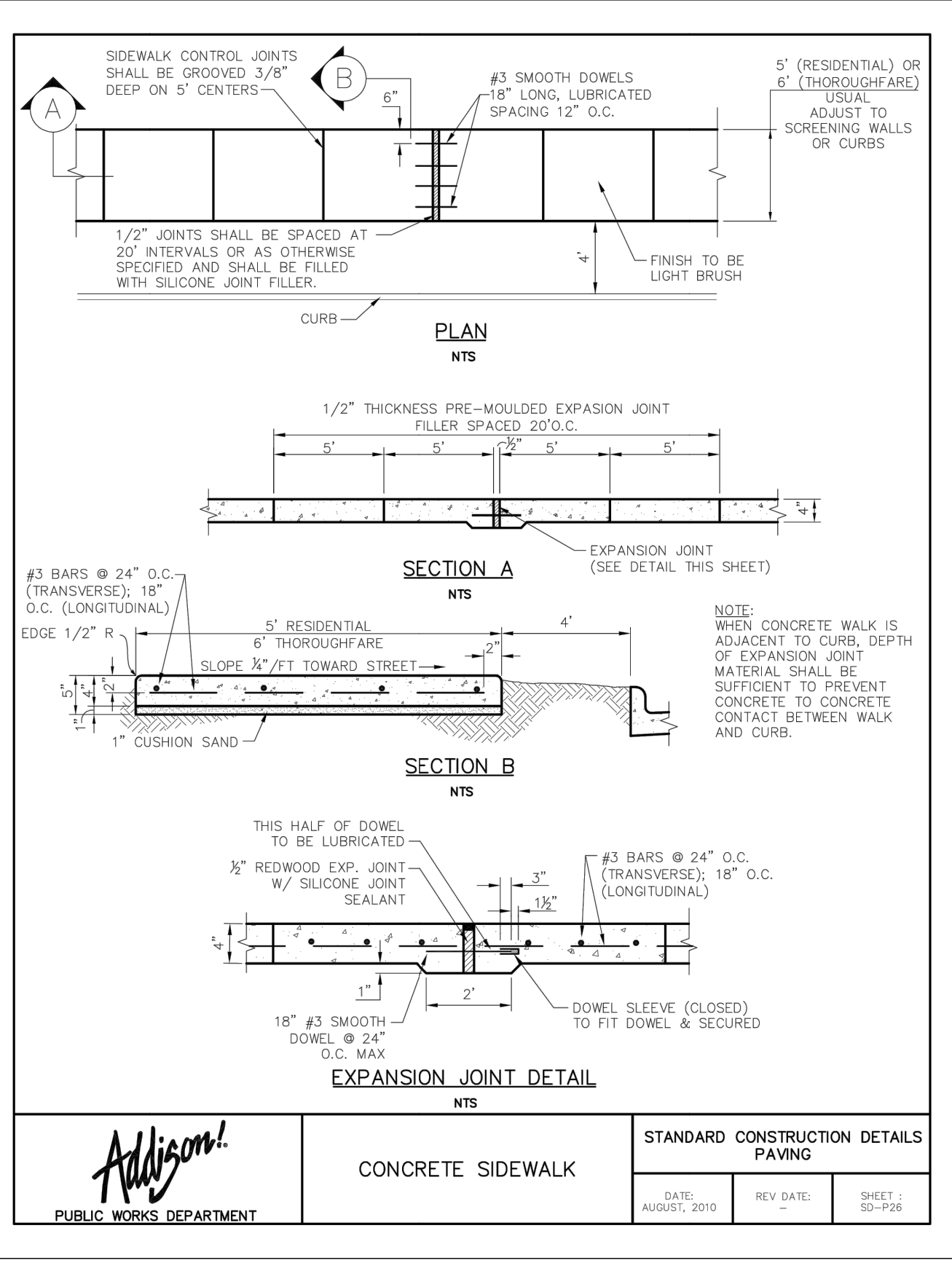


3 TYP. ROOT BARRIER DETAIL @ SIDEWALK
N.T.S.

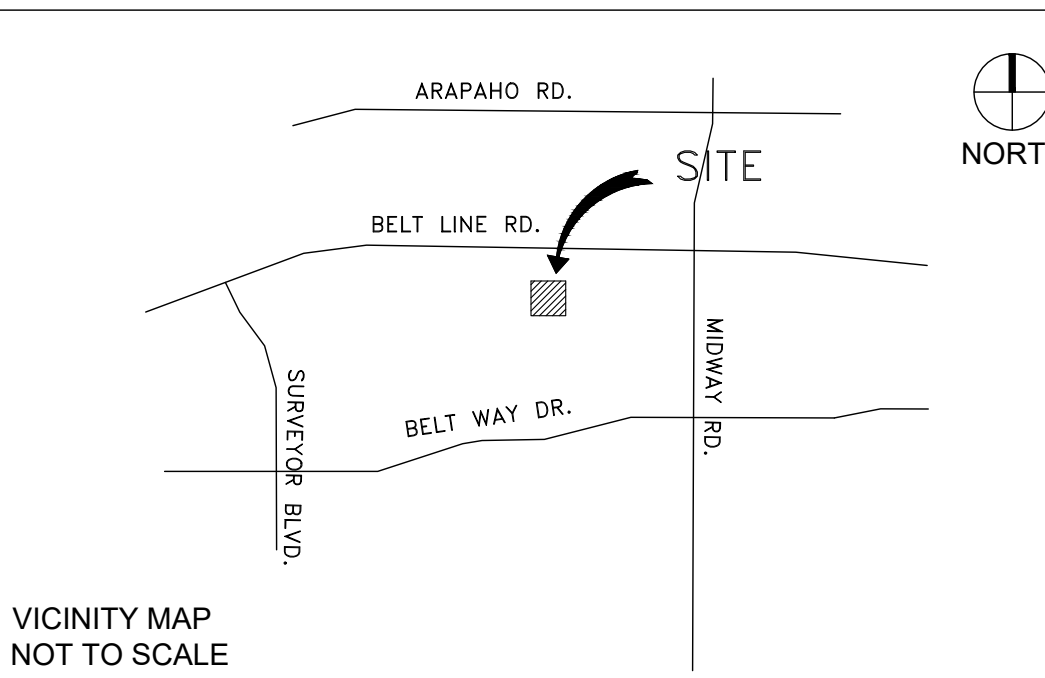
NOTE: CONTRACTOR TO INSTALL DEEPROOT TREE ROOT BARRIER AT ALL SIDES OF EXISTING TREE ROOT. VERIFY WITH DEEPROOT REP FOR EXACT REQUIREMENTS AND SPECIFICATIONS PRIOR TO INSTALLATION.



4 TYP. ADA RAMP DETAILS
N.T.S.



5 EXPANSION JOINT
N.T.S.



L2.1 R.O.W. - HARDSCAPE DETAILS

ADDISON GROVE

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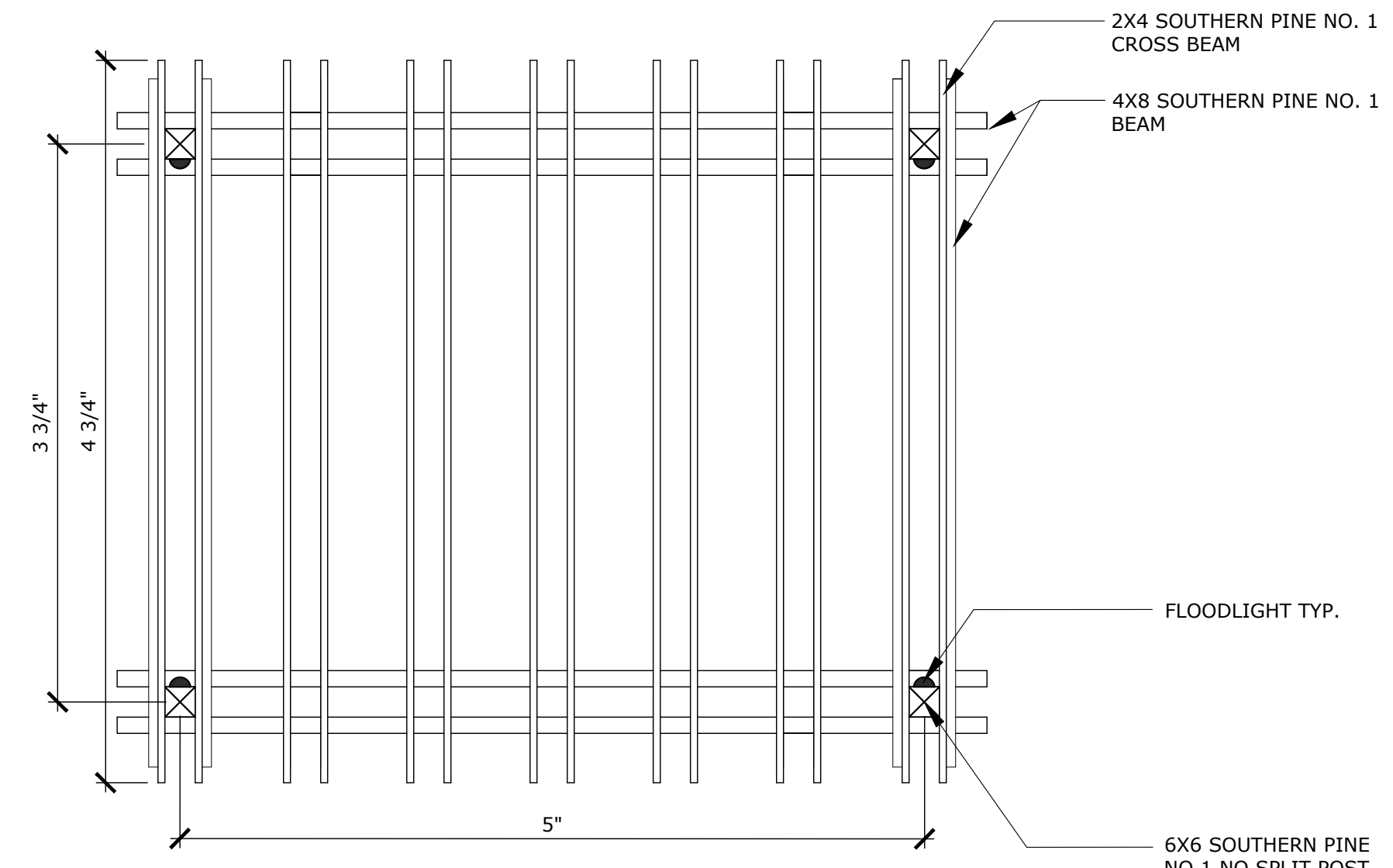
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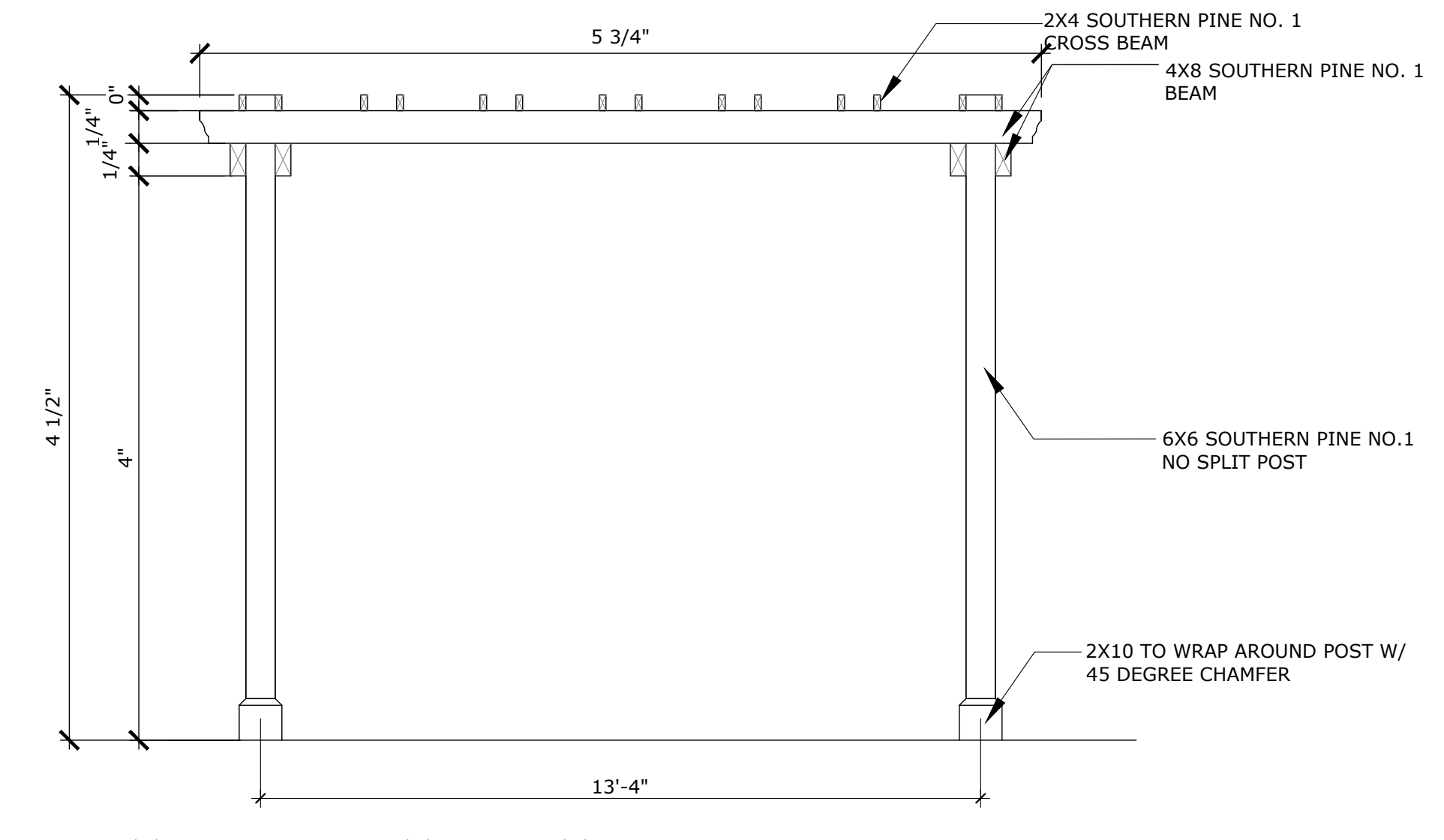
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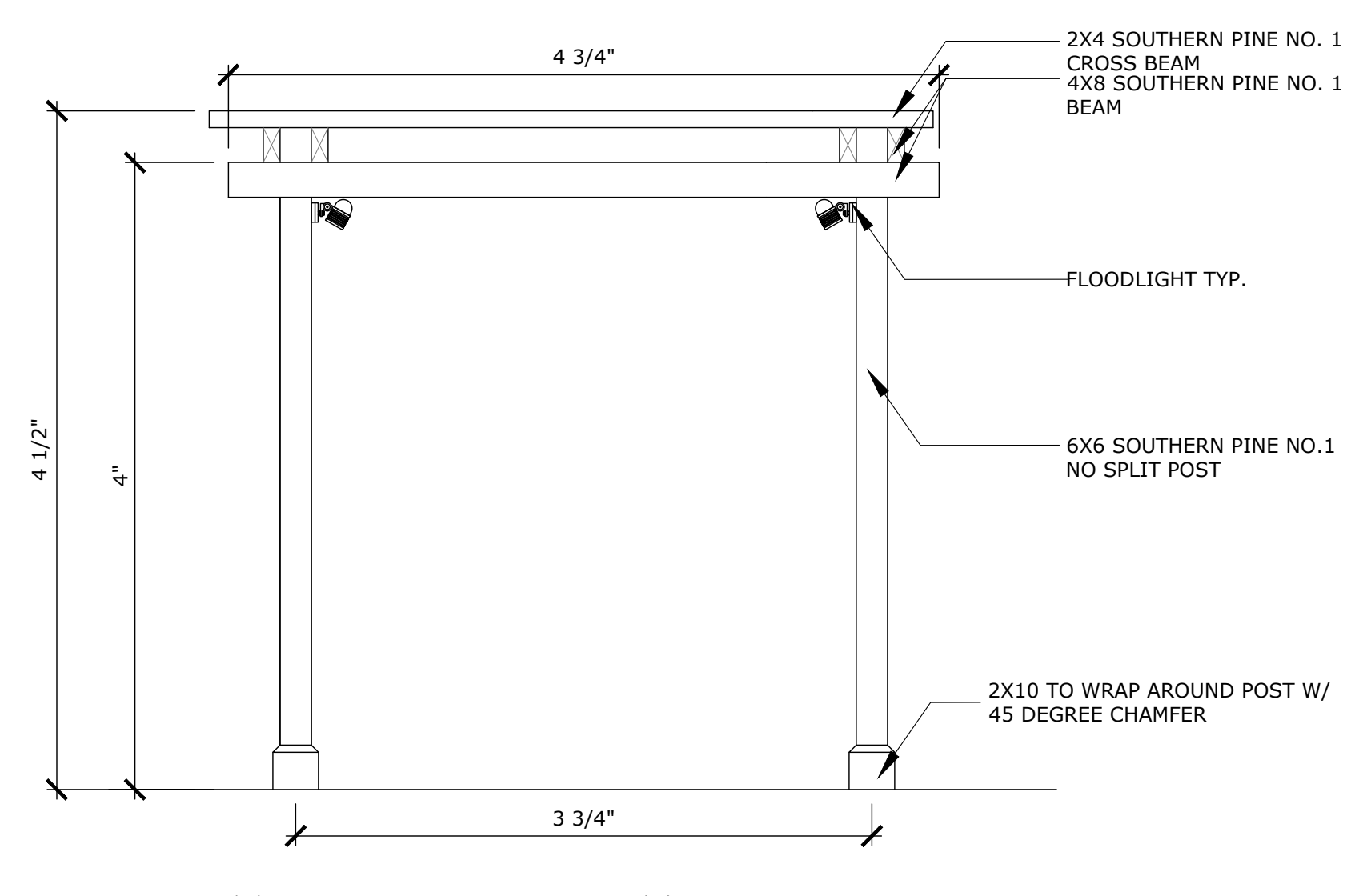
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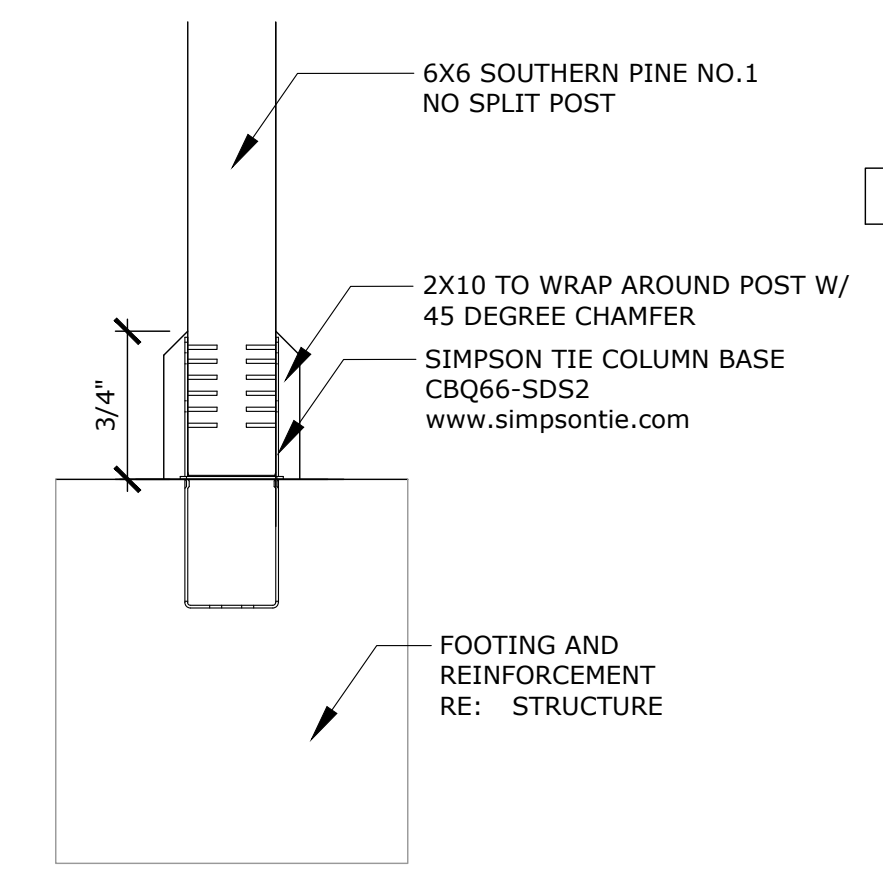
1 **TRELLIS LAYOUT PLAN**
Scale: 3/8"=1'-0"



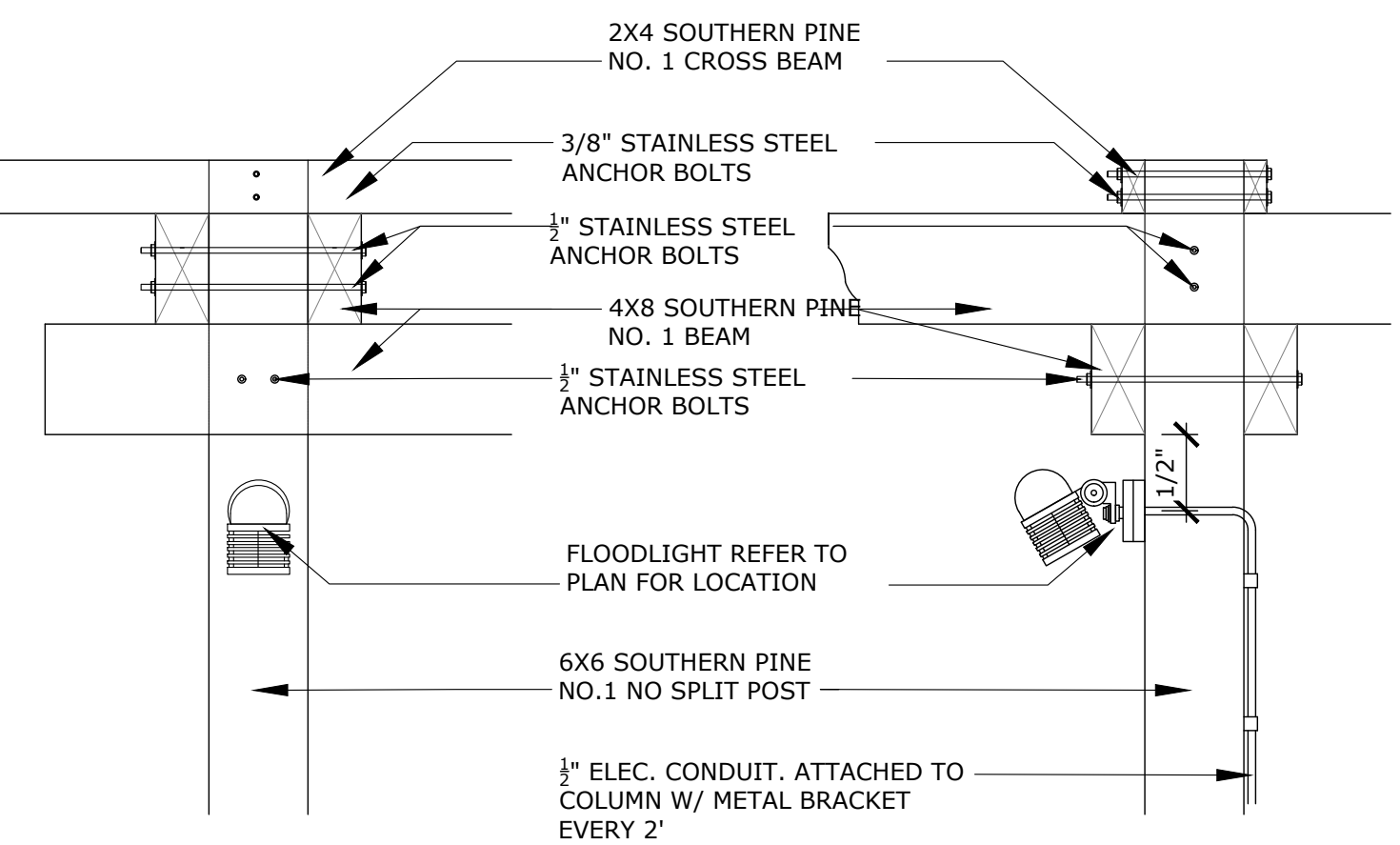
2 **TRELLIS FRONT ELEVATION**
Scale: 3/8"=1'-0"



3 **TRELLIS SIDE ELEVATION**
Scale: 3/8"=1'-0"



4 **TRELLIS BASE SECTION**
Scale: 1"=1'-0"



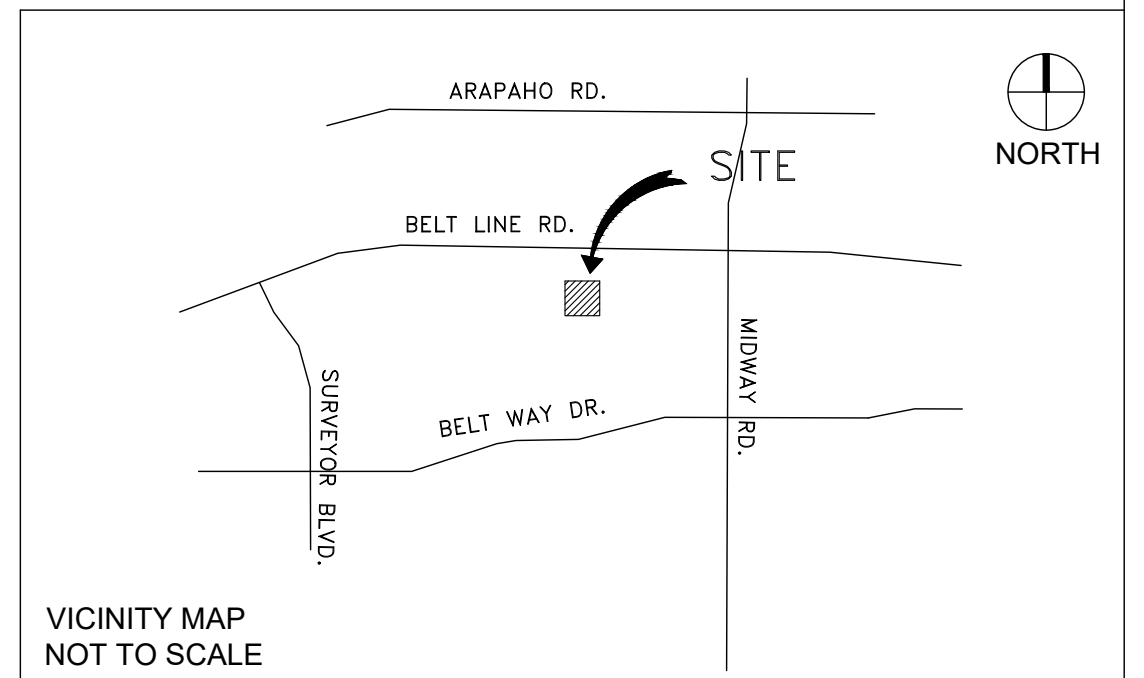
5 **TRELLIS UNION DETAILS**
Scale: 1"=1'-0"

TRELLIS GENERAL NOTES:

- ALL METAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY.
- METAL FASTENERS TO BE HOT-DIP GALVANIZED THAT COMPLY WITH ASTM-A153 EXCEPT WHERE NOTED. DECK NAILS AND SCREWS TO BE 316 STAINLESS STEEL AND COMPLY WITH ASTM F5936. ALL EXPOSED SCREWS ARE TO BE COUNTER-SUNK, FILLED WITH WOOD DOUGH AND SANDED BEFORE PRIMER AND PAINTING OPERATIONS.
- PILOT HOLES TO BE DRILLED FOR ALL FASTENERS.
- INSTALLATION OF ALL NAILS AND SCREWS TO BE STRAIGHT, IN-LINE AND PLUMB WITH ALL SURROUNDING FASTENERS.
- CONDUIT TO BE FASTENED TO COLUMNS WITH BRACKETS EVERY 2', PRIME AND PAINT TO MATCH TRELLIS. ELECTRICIAN CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT FOR CONDUIT LOCATION.
- TRELLIS WOOD FINISH TBD

WOOD MEMBERS

- ALL WOOD MEMBERS TO BE PRESSURE TREATED, REFER TO DETAILS FOR TYPE OF WOOD.
- ALL WOOD MEMBERS TO BE STRAIGHT AND TRUE W/TIGHT KNOTS. ALL OTHER WOOD MATERIAL WILL BE REJECTED.
- ALL LUMBER SHALL BE TREATED WITH ALKALINE COPPER QUATERNARY (ACQ) IN ACCORDANCE WITH AWPA C-18 TO 0.8 POUND PER CUBIC FOOT MIN.
- ALL LUMBER FOR DECKING, JOIST BEAMS, POST/RAILING AND BALUSTERS SHALL BE IDENTIFIED AS 'ABOVE GROUND'.
- ALL TIMBER PILES TO BE PRE-DRILLED TO ENSURE THE PRESCRIBED SPACING.
- TIMBER PILE CONTRACTOR TO PROVIDE PROTECTION AROUND THE BUILDING AREA WHERE HEAVY EQUIPMENT IS TO BE USED TO PREVENT DAMAGE TO FINISH GRADE.
- CONTRACTOR TO PROTECT/COVER (OFF THE GROUND IN AN AREA THAT WILL NOT FLOOD OR RECEIVE WATER INUNDATION) ALL LUMBER, AT ALL TIMES DURING CONSTRUCTION.
- NO WOOD MEMBER LEFT OUT OF PROTECTION WILL BE USED ON THE PROJECT.



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L2.3 BLOCK C - HARDSCAPE DETAILS

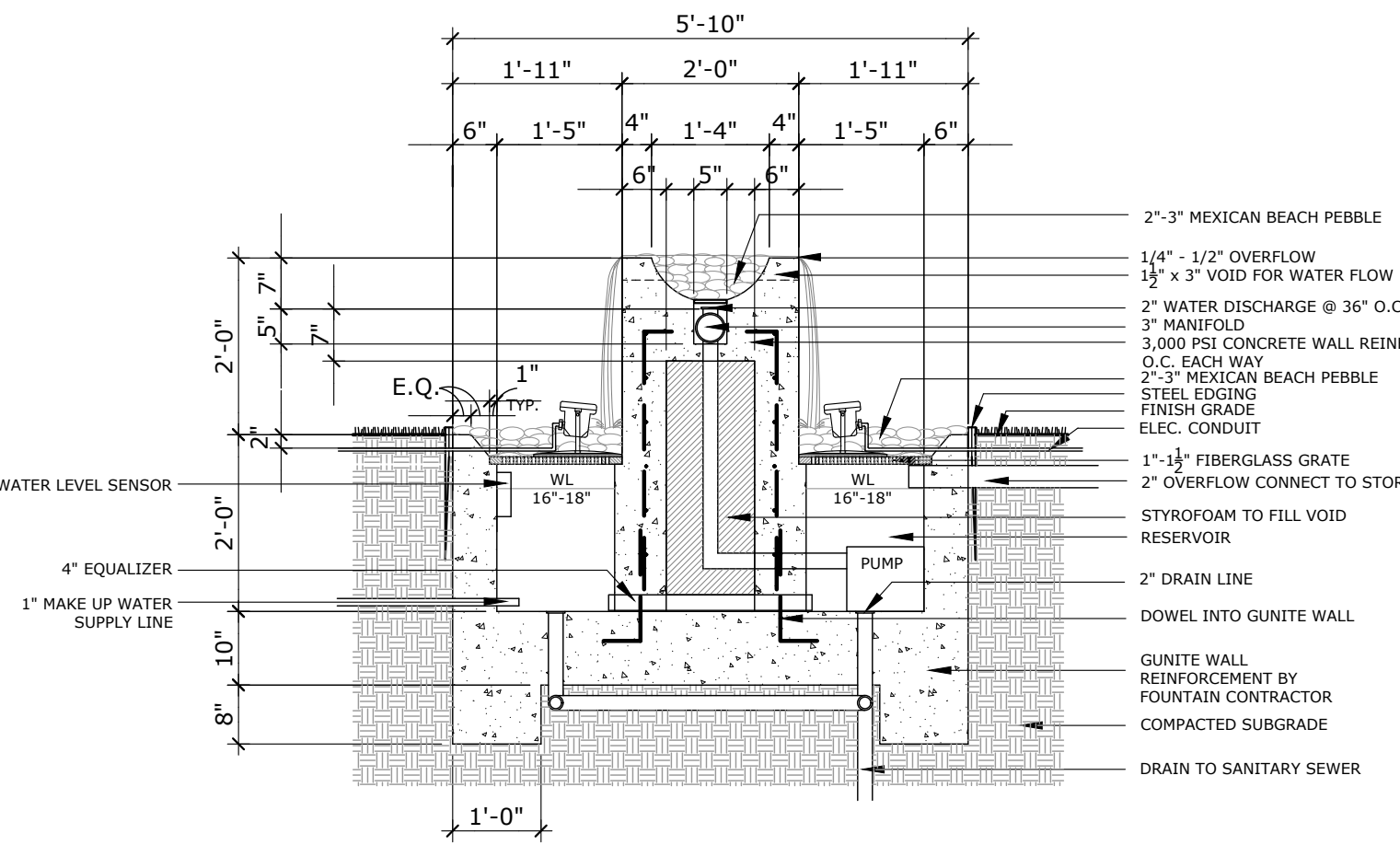
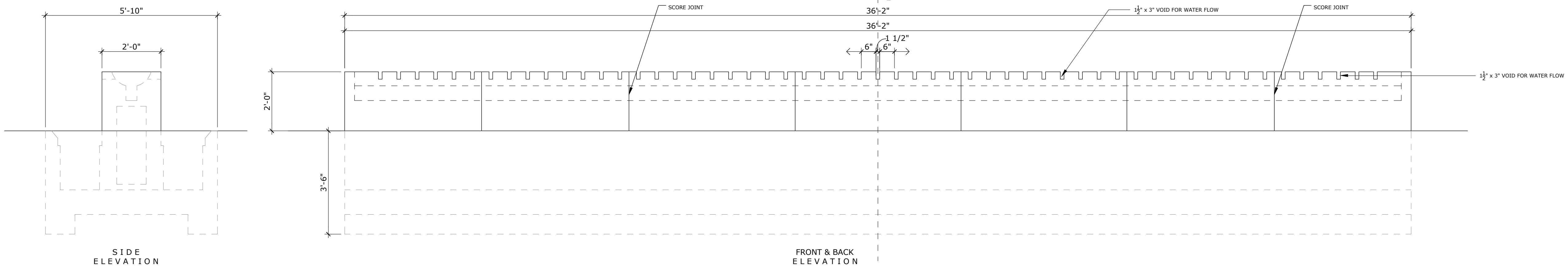
ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1865-Z

DATE PREPARED: JANUARY 10, 2023

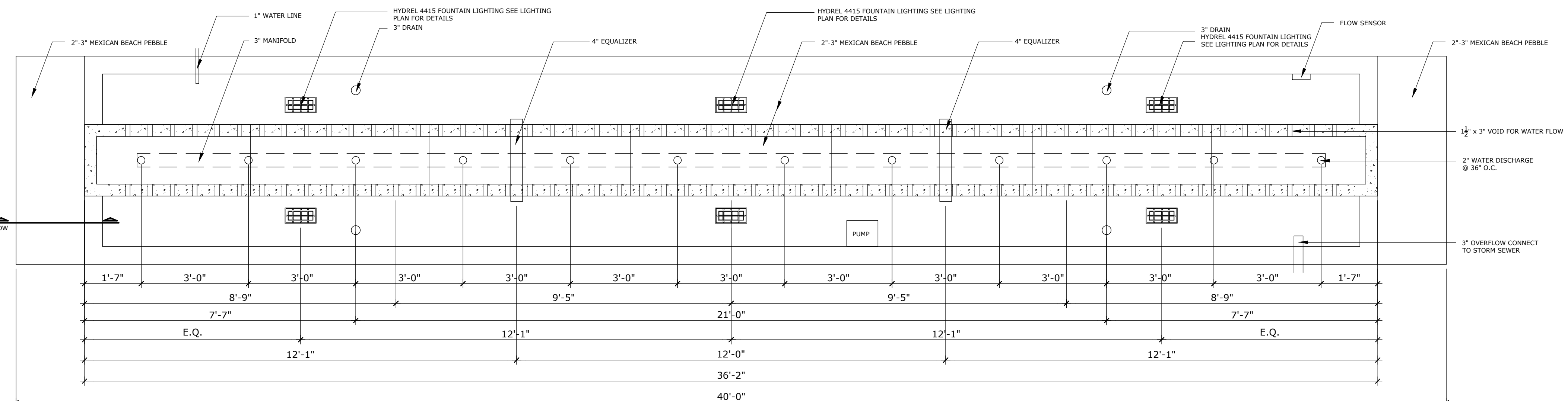
FOUNTAIN A CONSTRUCTION NOTES:

1. THE FOUNTAIN MECHANIC IN THESE DRAWINGS ARE ONLY A CONCEPTUAL GRAPHIC REPRESENTATION. FOUNTAIN CONTRACTOR IS REQUIRED TO PROVIDE TURNKEY DESIGN-BUILT FOUNTAIN SYSTEM. CONTRACTOR ALSO REQUIRED TO SUBMIT DRAWINGS WHICH INCLUDE BUT NOT LIMITED TO ELECTRICAL CONNECTION, DRAINAGE FLOW, SUCTION & DISCHARGE PIPING DIAGRAMS, PUMP MECHANIC & SIZES, FLOW SENSOR LOCATION, OVERFLOW PIPES, WATER & ELECTRICAL REQUIREMENT, AND ALL OTHER SUPPORTING CONSTRUCTION DOCUMENTS & DETAILS FOR APPROVAL PRIOR TO CONSTRUCTION.
2. FOUNTAIN CONTRACTOR IS ALSO RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE FOUNTAIN WALL, RESERVOIR, WALL FOOTING / GRADE BEAM AS WELL AS THE FOUNTAIN MECHANICAL VAULT.
3. LIGHT FIXTURE DETAILS ARE ONLY A GRAPHIC REPRESENTATION. ALL FIXTURES ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO SUBMIT MANUFACTURER'S LITERATURE, DETAILS AND ANY SUPPORT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
4. FOUNTAIN CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS IF REQUIRED BY CODE.

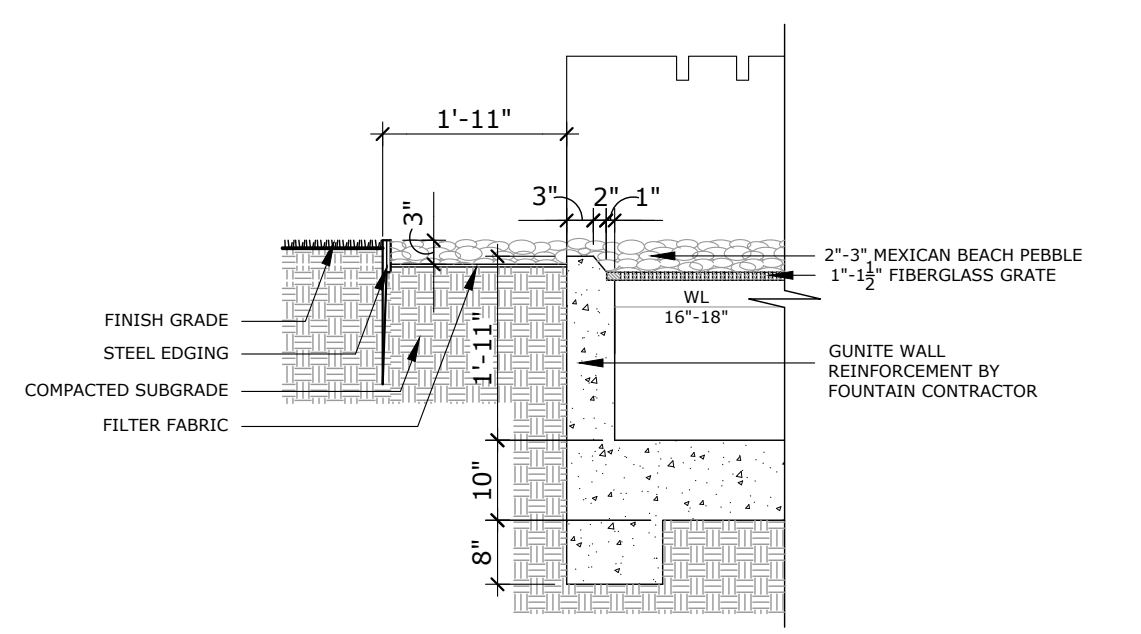


POURED CONCRETE WALL FINISH:
 1. STAINED BLACK
 2. POLISHED AND GROUND
 3. CLEAR SEAL
 CONTRACTOR TO PROVIDE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION.

1 FOUNTAIN A TYPICAL SECTION DETAIL
 SCALE: 1/2" = 1'-0"



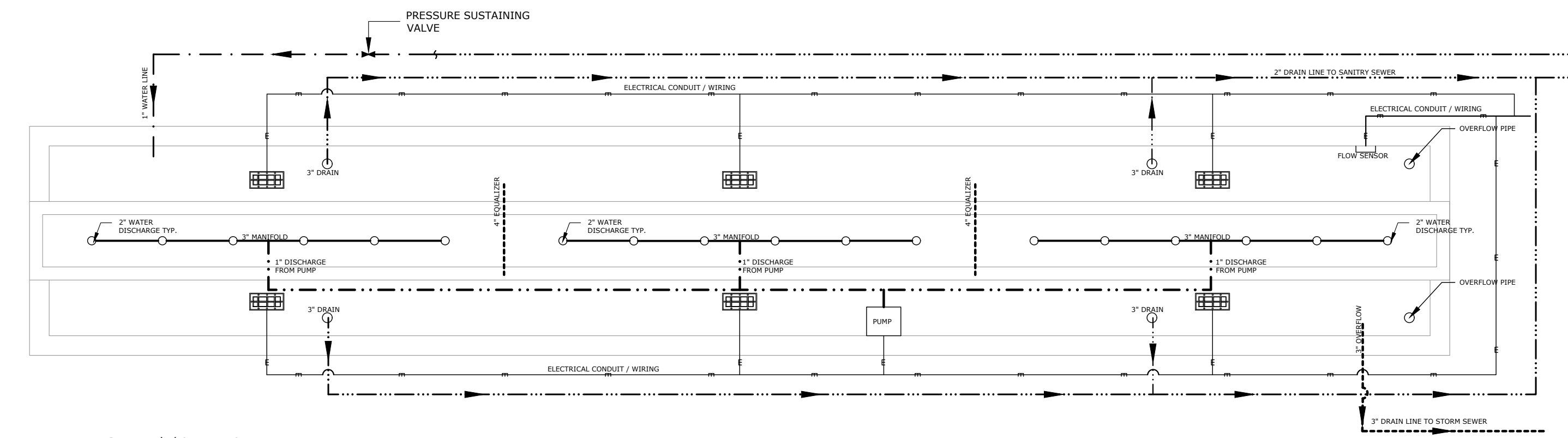
2 FOUNTAIN A PLAN AND ELEVATION
 SCALE: 1/2" = 1'-0"



3 FOUNTAIN A SECTION A
 SCALE: 1/2" = 1'-0"

FOUNTAIN A DESIGN AND OPERATION CRITERIA:

1. PUMP SYSTEM IN THIS PLAN IS ONLY A GRAPHIC AND CONCEPTUAL REPRESENTATION. THE BASIC DESIGN CRITERIA OF THE PUMP SYSTEM IS TO PROVIDE 1/4"-1/2" OF WATER OVER THE FOUNTAIN TOP.
2. PROVIDE AND INSTALL ALL PUMPS, VALVES, LIGHTING FIXTURES ELECTRICAL/WIRING, PIPING, CONTROLLER PANEL AND SPECIALTIES AS HEREIN DESCRIBED ON FOUNTAIN PLANS. WORK ALSO INCLUDES DRAIN LINE, WATER LINE, SUPPORT OF PIPING AND EQUIPMENT, INITIAL PUMP/FILTER AND LIGHT FIXTURE ADJUSTMENT TESTING AND STARTUP.
3. REFERENCE STANDARDS:
 1981 BOCA STANDARD BUILDING CODE
 NEC NATIONAL ELECTRICAL CODE
 APPLICABLE CITY OF ADDISON BUILDING/ELECTRICAL CODES
4. SUBMITTALS: SUBMIT CATALOG SHEETS OF ALL EQUIPMENT AS SPECIFIED: PUMP, FILTER, VALVES, LIGHTING, ETC. SUBMIT SHOP DRAWINGS OF ALL MECHANICAL PIPING OF PUMP VAULT, DIMENSIONING PIPE PENETRATIONS THROUGH WALLS. IDENTIFY OPERATING, MAINTENANCE CLEARANCES AND SUFFICIENT ENGINEERING DATA COMPLIANCE TO FOUNTAIN DESIGN. IDENTIFY ALL EQUIPMENT CLEARANCES IN PUMP VAULT FROM WALL TO WALL. SUBMIT SHOP DRAWING OF ALL ELECTRICAL EQUIPMENT LAYOUT AND AMP LOADS FOR SPECIFIED CONTROL PANEL.
5. OPERATING INSTRUCTIONS: AT THE TIME OF COMPLETION, ALLOW NOT LESS THAN EIGHT HOURS OF INSTRUCTING OPERATION AND MAINTENANCE PERSONNEL IN THE OPERATION AND MAINTENANCE OF ALL SYSTEMS. ALL PERSONNEL WILL BE INSTRUCTED AT ONE TIME.
6. THIRTY DAY OPERATIONS: PRIOR TO ACCEPTANCE OF THE INSTALLATION BY OWNER, DEMONSTRATE A THIRTY (30) DAY, FULLY AUTOMATED, UNINTERRUPTED DAILY OPERATION OF NOT LESS THAN TWELVE (12) HOURS NOR MORE THAN TWENTY (20) HOURS OF ALL SYSTEMS. ELECTRICITY AND WATER WILL BE PROVIDED BY OWNER.
7. PRODUCTS: PROVIDE ALL NECESSARY AND SPECIAL TOOLS FOR PROPER OPERATIONS AND MAINTENANCE OF PROVIDED EQUIPMENT. FURNISH HARDBACK THREE (3) RING BINDER CONTAINING ALL BULLETINS, OPERATING AND MAINTENANCE INSTRUCTIONS, PARTS LISTS AND OTHER PERTINENT INFORMATION FOR EACH AND EVERY PIECE OF EQUIPMENT FURNISHED ON THIS PROJECT. INDEX BINDER INTO SECTIONS, WITH TABS: PUMP, FILTER, ALL VALVES, CONTROL PANEL, ETC.
8. EXECUTION: INSTALL AND CONNECT ALL EQUIPMENT, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, AS THEY RELATE TO THE COMPLIANCE TO PLANS AND SCHEMATIC LAYOUTS. PROVIDE ALL PIPING, PUMP/VAULT, VALVES, FILTERS, DRAINS, LIGHT FIXTURES AND CONNECTIONS RECOMMENDED BY THE MANUFACTURER FOR PROPER OPERATION.



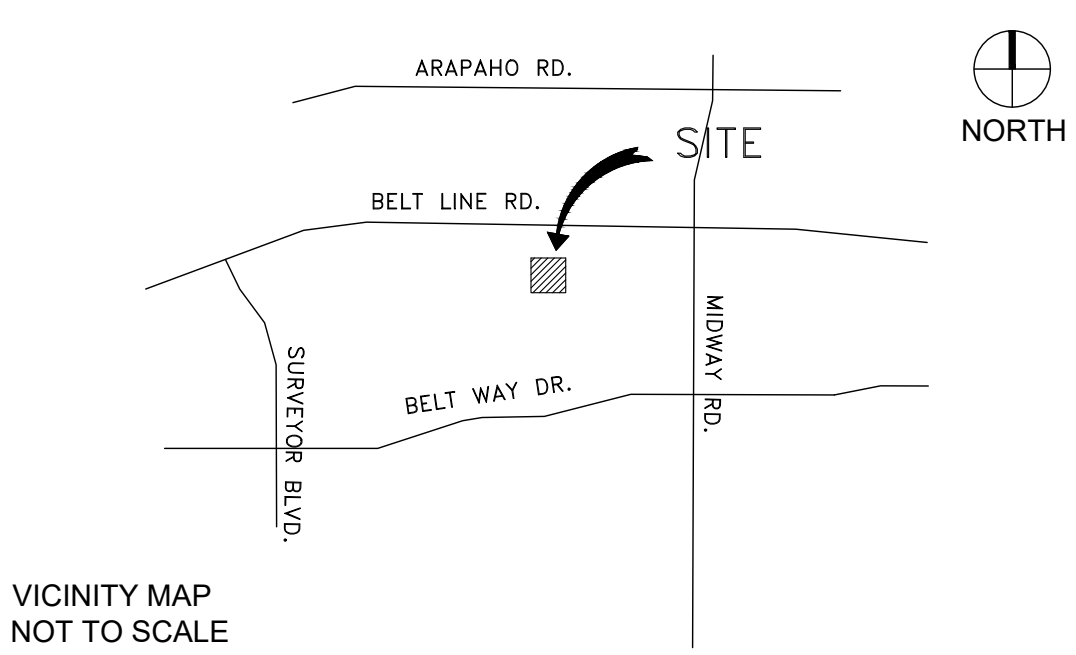
4 FOUNTAIN A CONCEPTUAL PIPING DIAGRAM
 SCALE: 1/2" = 1'-0"

01.10.2023
 Issued for PD Submittal
 NOT FOR CONSTRUCTION

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L2.4 BLOCK C - HARDSCAPE DETAILS

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