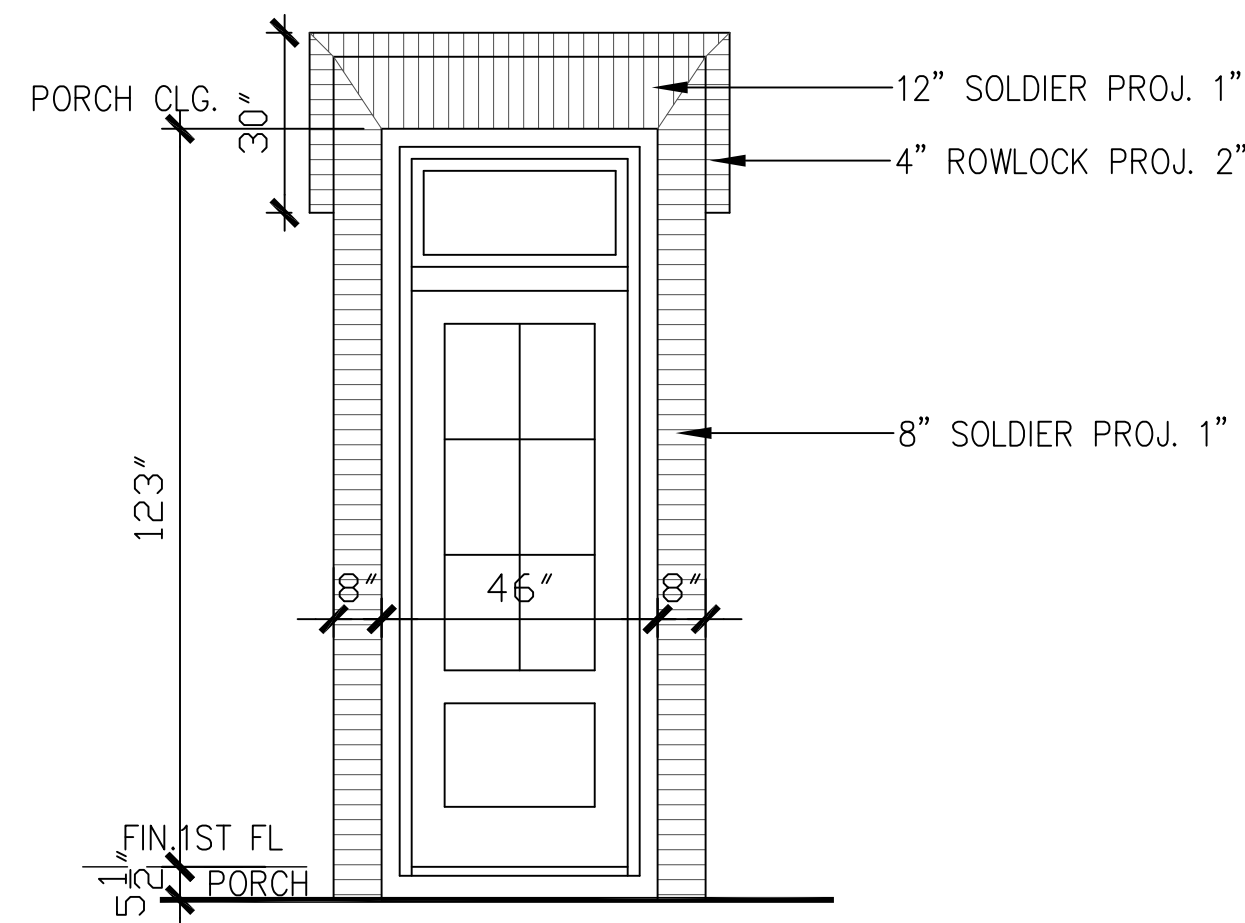
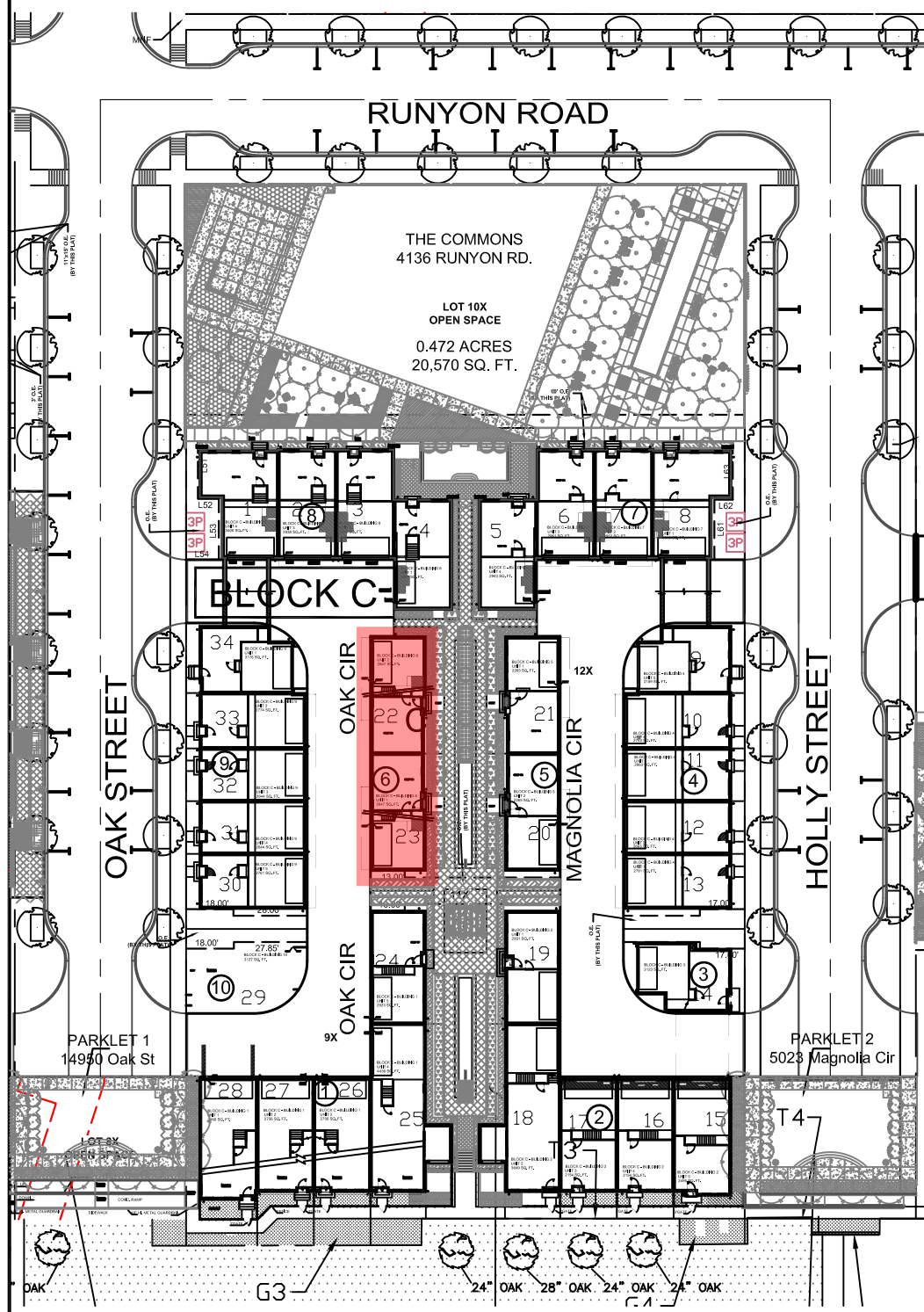
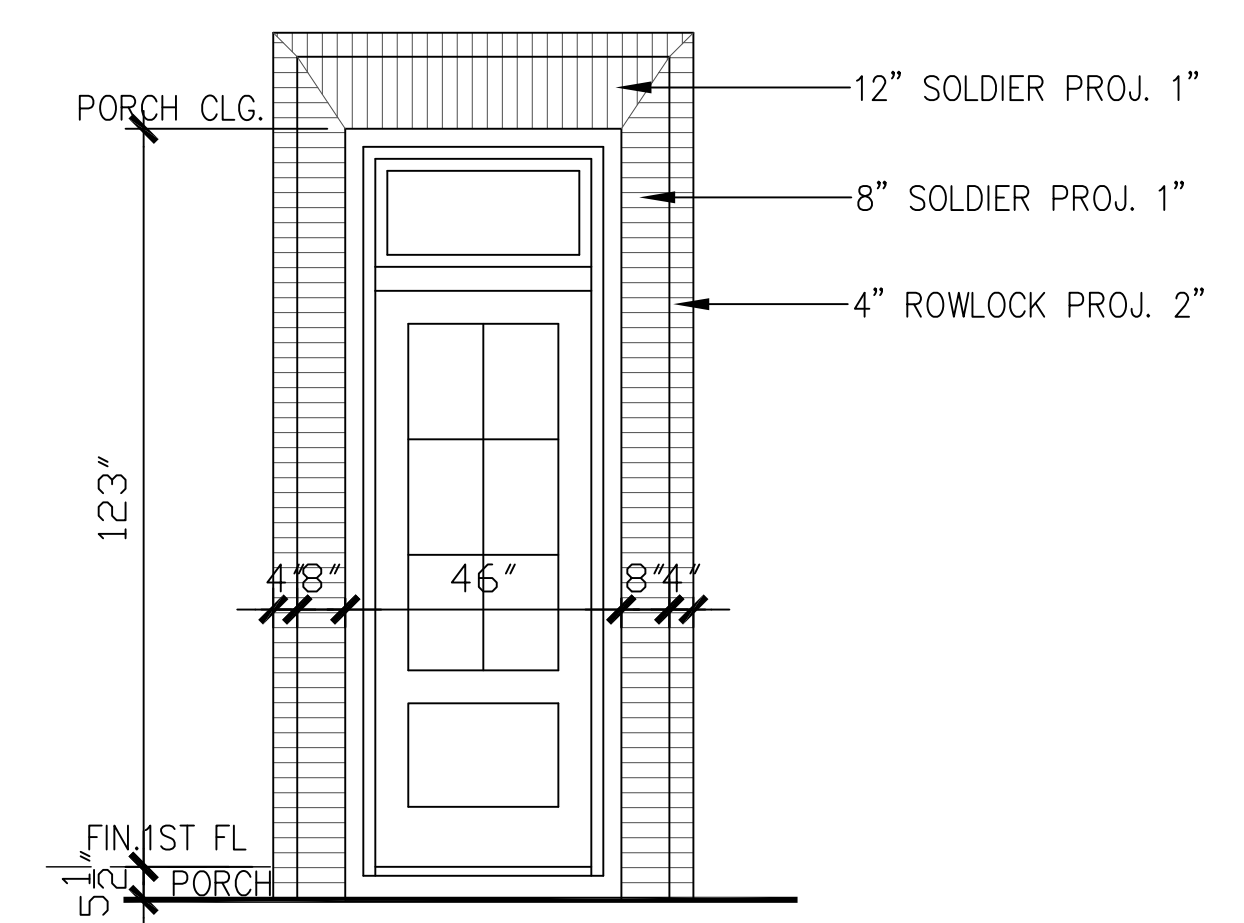


Town Case #:1865-Z



BRICK PEDIMENT G-1

SCALE: 1/2" = 1'-0"



BRICK PEDIMENT G-2

SCALE: 1/2" = 1'-0"

- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

EAST/FRONT MATERIAL CALCULATION TABLE

BRICK	2195	97.3%
FIBER CEMENT STUCCO BOARD	56	2.5%
ACCENT MATERIAL	5	0.2%
TOTAL SURFACE AREA	2256	

FACADE PLAN NOTES

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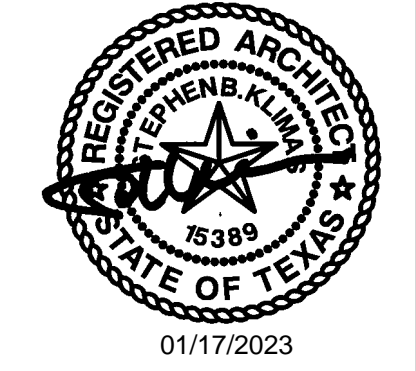
TOTAL MATERIAL CALCULATION TABLE

BRICK	6299	89.5%
3-COAT CEMENT PLASTER SYSTEM	522	7.4%
FIBER CEMENT STUCCO BOARD	136	1.9%
ACCENT MATERIAL	85	1.2%
TOTAL SURFACE AREA	7042	



east/front elevation

SCALE: 1/4" = 1'-0"



Drawn By/Checked By: O.C./F.M.
 Original Date Issued: 08/02/2022
 Scale: 1/4" = 1'-0"
 Last Updated: 11/24/2022

URBANINTOWNHOMES, Ltd.

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 (713)961-3877 TEL (713)961-4270 FAX

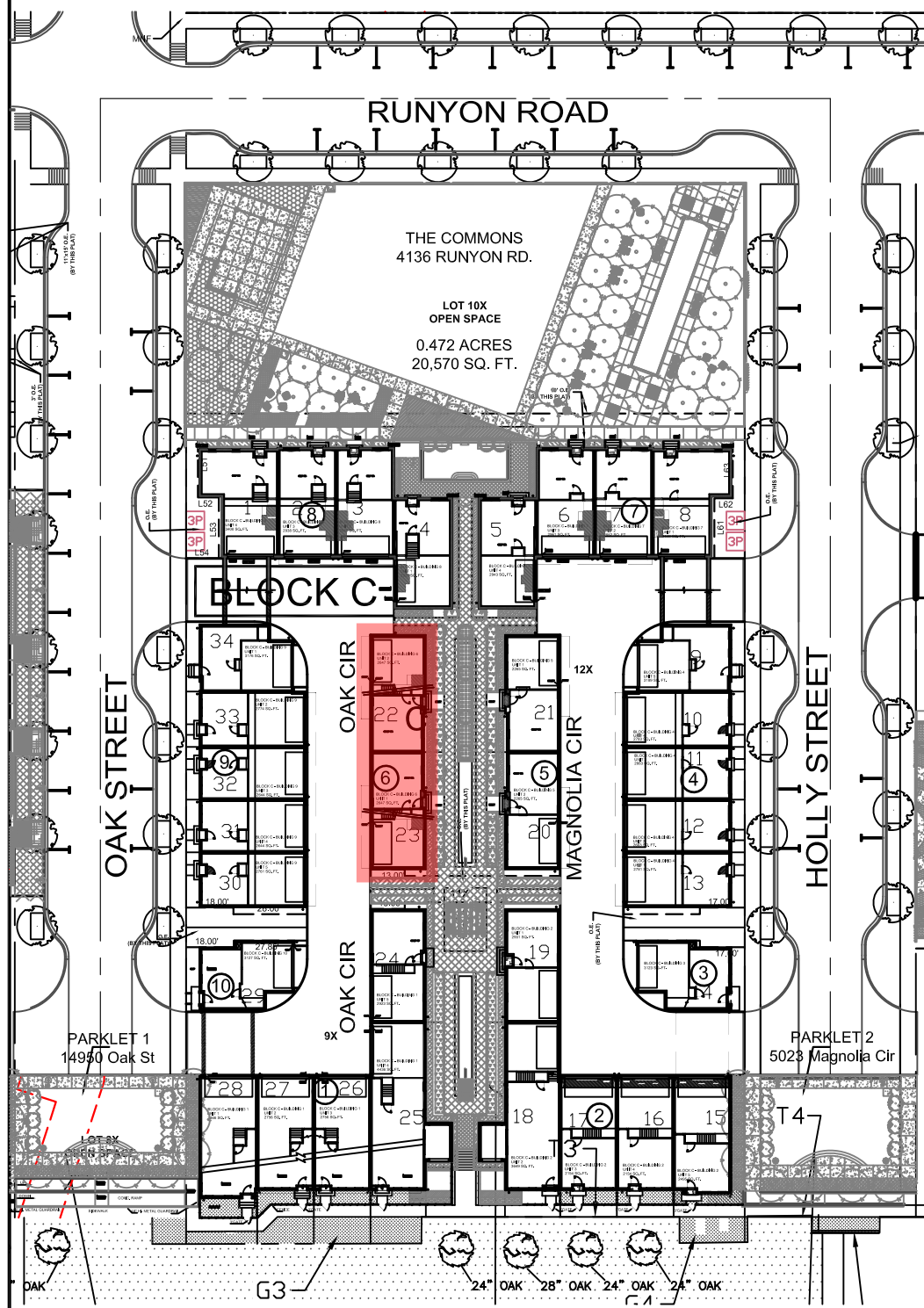
ADDISON GROVE - BLOCK C - BUILDING 6

EAST / FRONT ELEVATION

PLAN NO.
 UNIT 1 - 2647
 UNIT 2 - 2647

SHEET NO.
A-32

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877



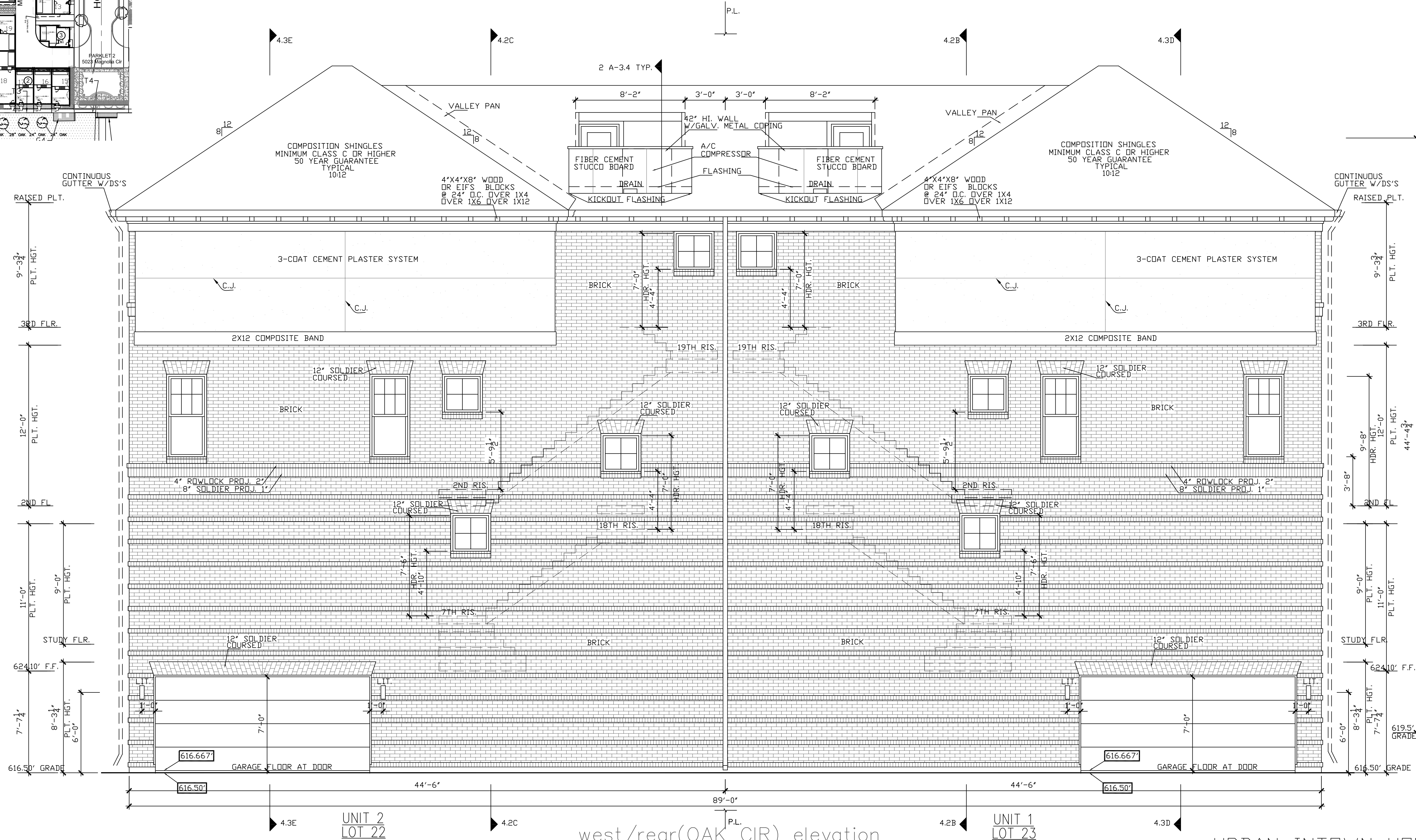
- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

WEST/REAR MATERIAL CALCULATION TABLE

MATERIAL	QUANTITY	PERCENTAGE
BRICK	2662	81.2%
3-COAT CEMENT PLASTER SYSTEM	470	14.3%
FIBER CEMENT STUCCO BOARD	80	2.4%
ACCENT MATERIAL	68	2.1%
TOTAL SURFACE AREA	3280	

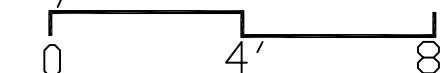
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west/rear(OAK CIR) elevation

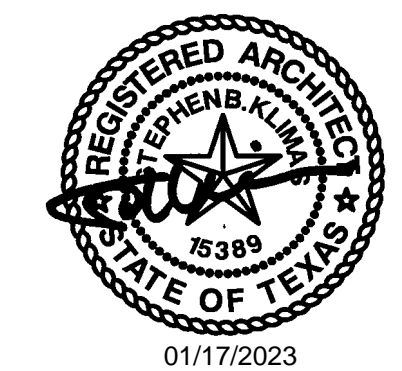
SCALE: 1/4" = 1'-0"



ADDISON GROVE

ADDISON GROVE -BLOCK C - BUILDING 6

WEST / REAR ELEVATION



01/17/2023

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PHONE: 713-961-3877

PLAN NO.
UNIT 1 - 2647
UNIT 2 - 2647

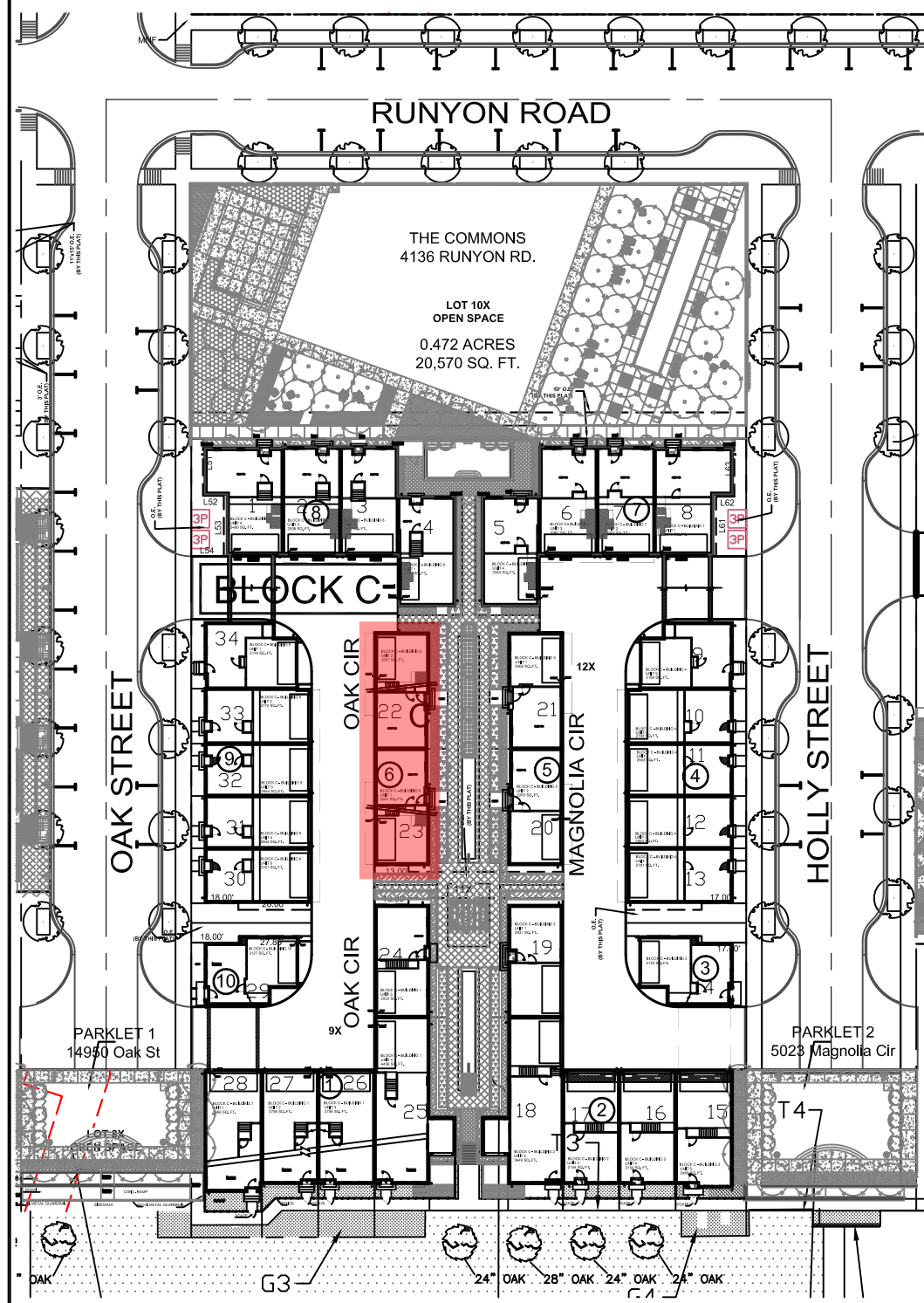
SHEET NO.

A-33

URBAN INTOWN HOMES, Ltd.

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

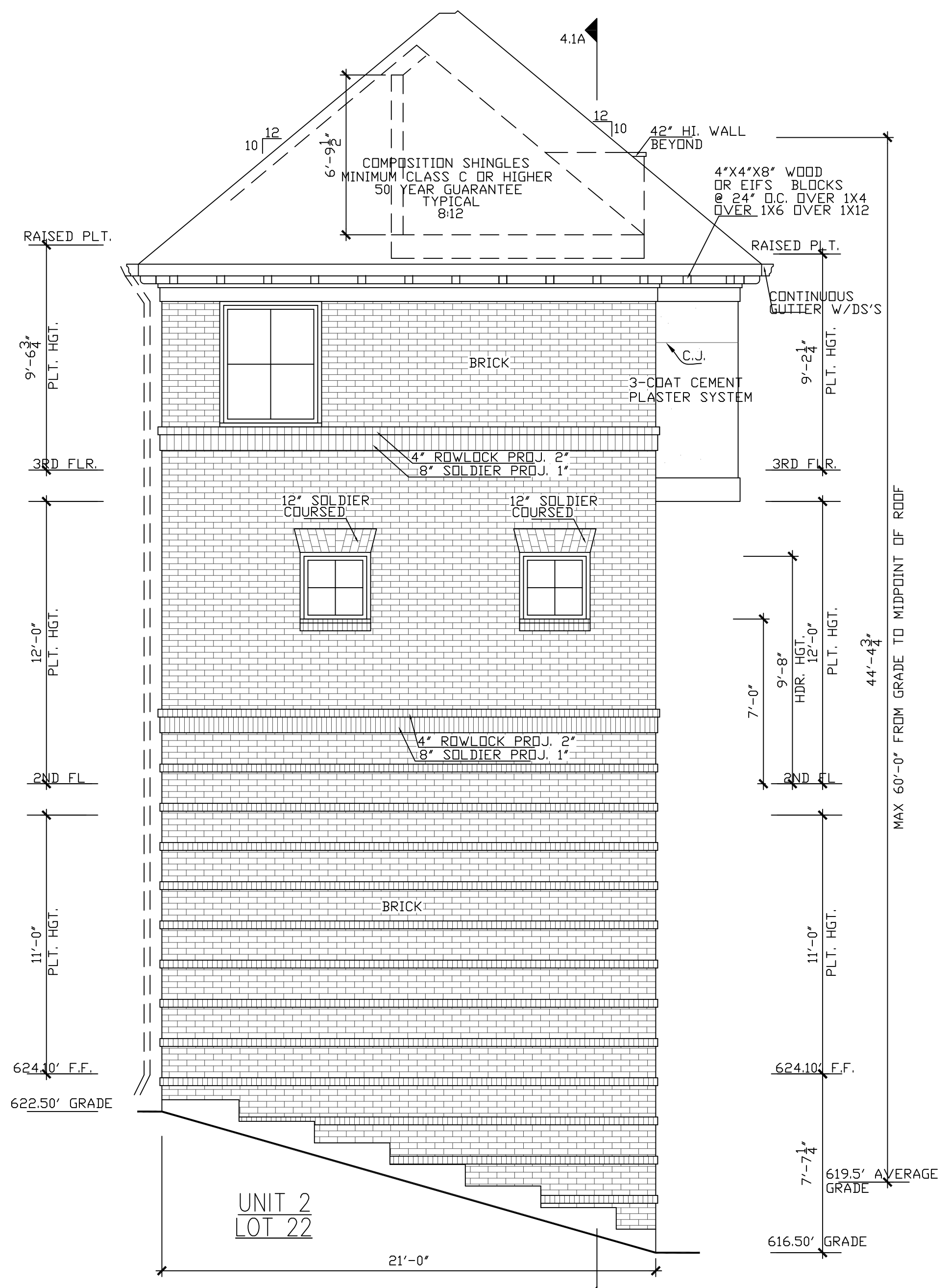
Drawn/Checked By: O.C./F.M.
Original Date Issued: 08/02/2022
Scale: 1/4" = 1'-0"
Last Updated: 11/24/2022



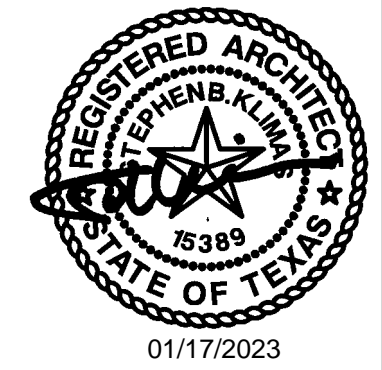
- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

NORTH/RIGHT MATERIAL CALCULATION TABLE		
BRICK	727	95.8%
3-COAT CEMENT PLASTER SYSTEM	26	3.4%
ACCENT MATERIAL	6	0.8%
TOTAL SURFACE AREA	759	

- FACADE PLAN NOTES**
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north/right/neighbor elevation
 SCALE: 1/4" = 1'-0"
 0 4' 8'



ADDISON GROVE

ADDISON GROVE -BLOCK C - BUILDING 6
 NORTH / RIGHT ELEVATION

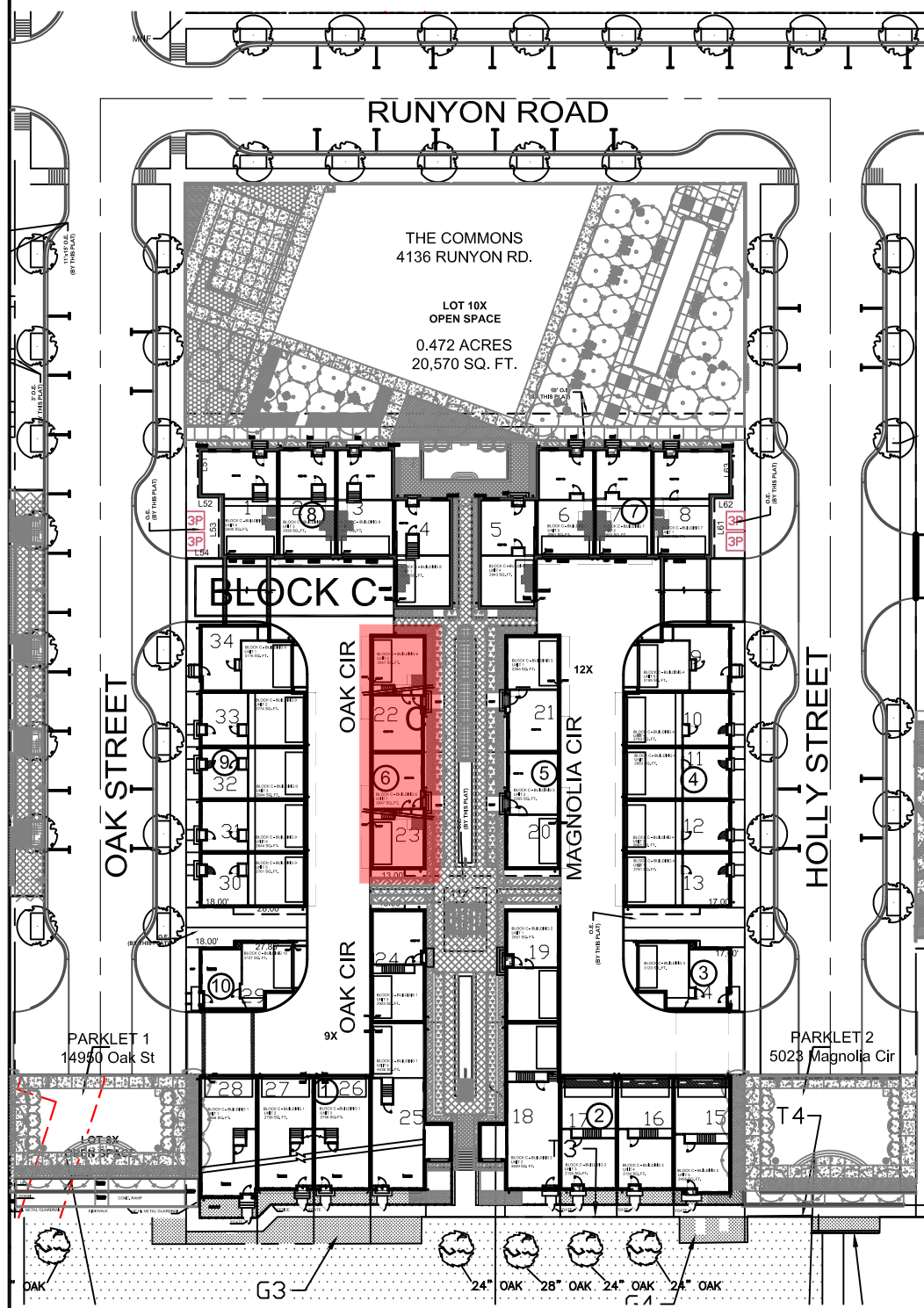
URBAN INTOWN HOMES, Ltd.
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: O.C./F.M.
 Original Date Issued: 08/02/2022
 Scale: 1/4" = 1'-0"
 Last Updated: 11/24/2022

PLAN NO. UNIT 1 - 2647
 UNIT 2 - 2647
 SHEET NO.

A-34

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877

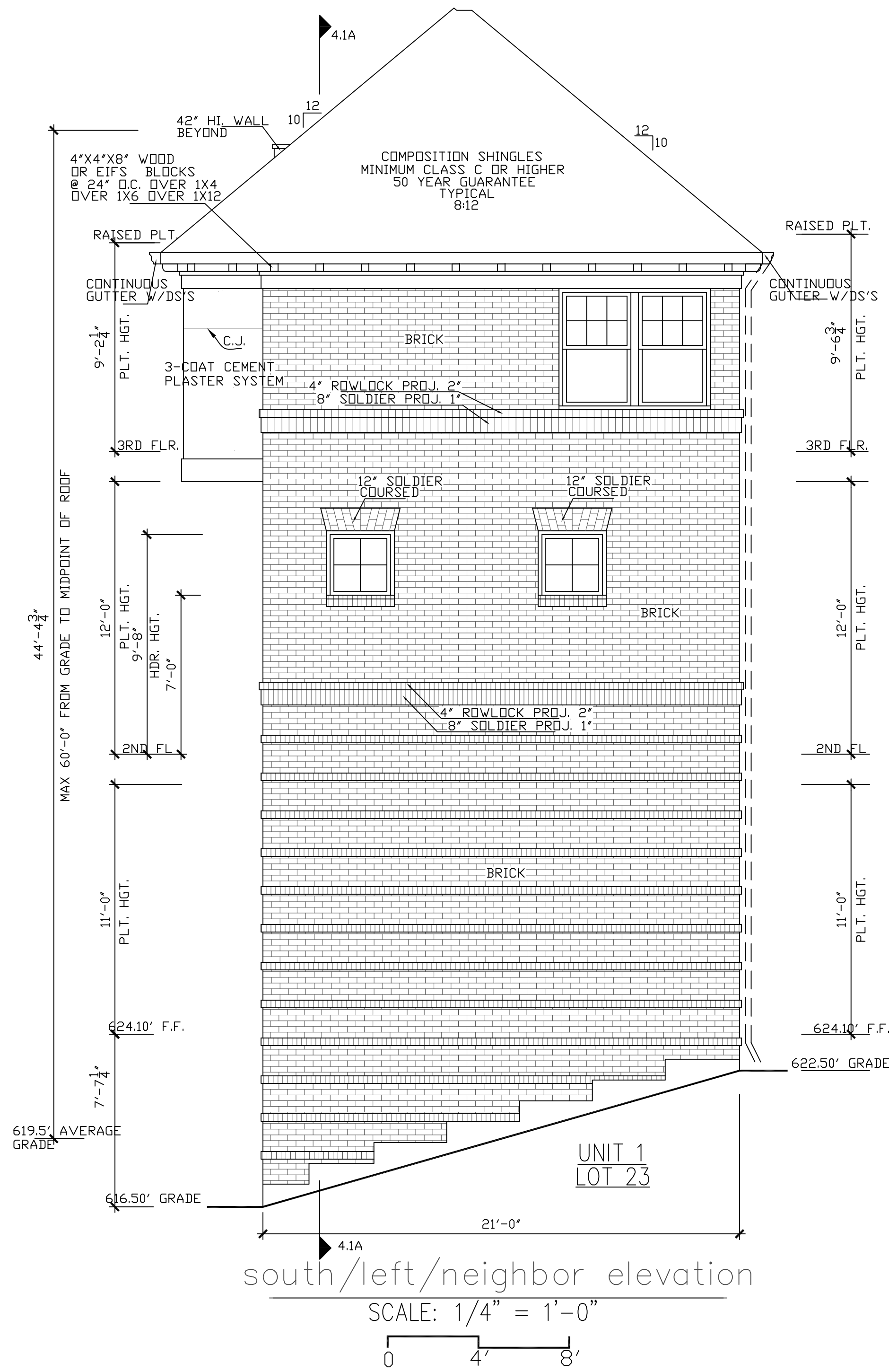


- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

SOUTH/LEFT MATERIAL CALCULATION TABLE		
BRICK	715	95.7%
3-COAT CEMENT PLASTER SYSTEM	26	3.5%
ACCENT MATERIAL	6	0.8%
TOTAL SURFACE AREA	747	

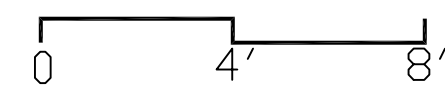
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south/left/neighbor elevation

SCALE: 1/4" = 1'-0"



ADDISON GROVE

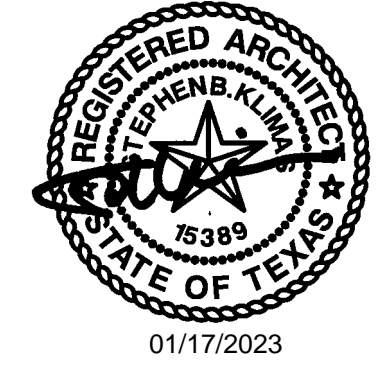
URBAN INTOWN HOMES, Ltd.

ADDISON GROVE - BLOCK C - BUILDING 6

SOUTH / LEFT ELEVATION

Drawn By/Checked By: O.C./F.M.
 Original Date Issued: 08/02/2022
 Scale: 1/4" = 1'-0"
 Last Updated: 11/24/2022

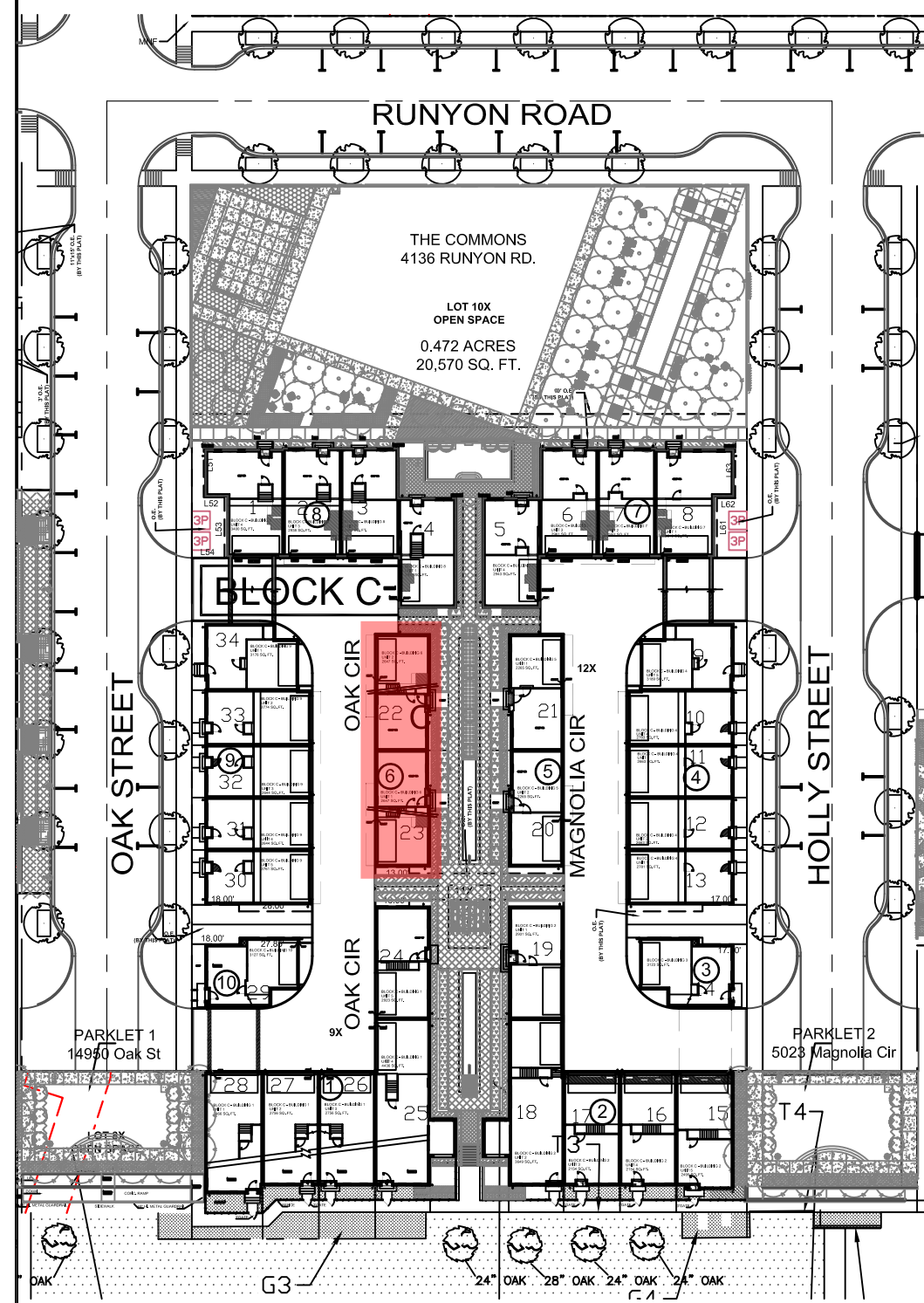
2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX



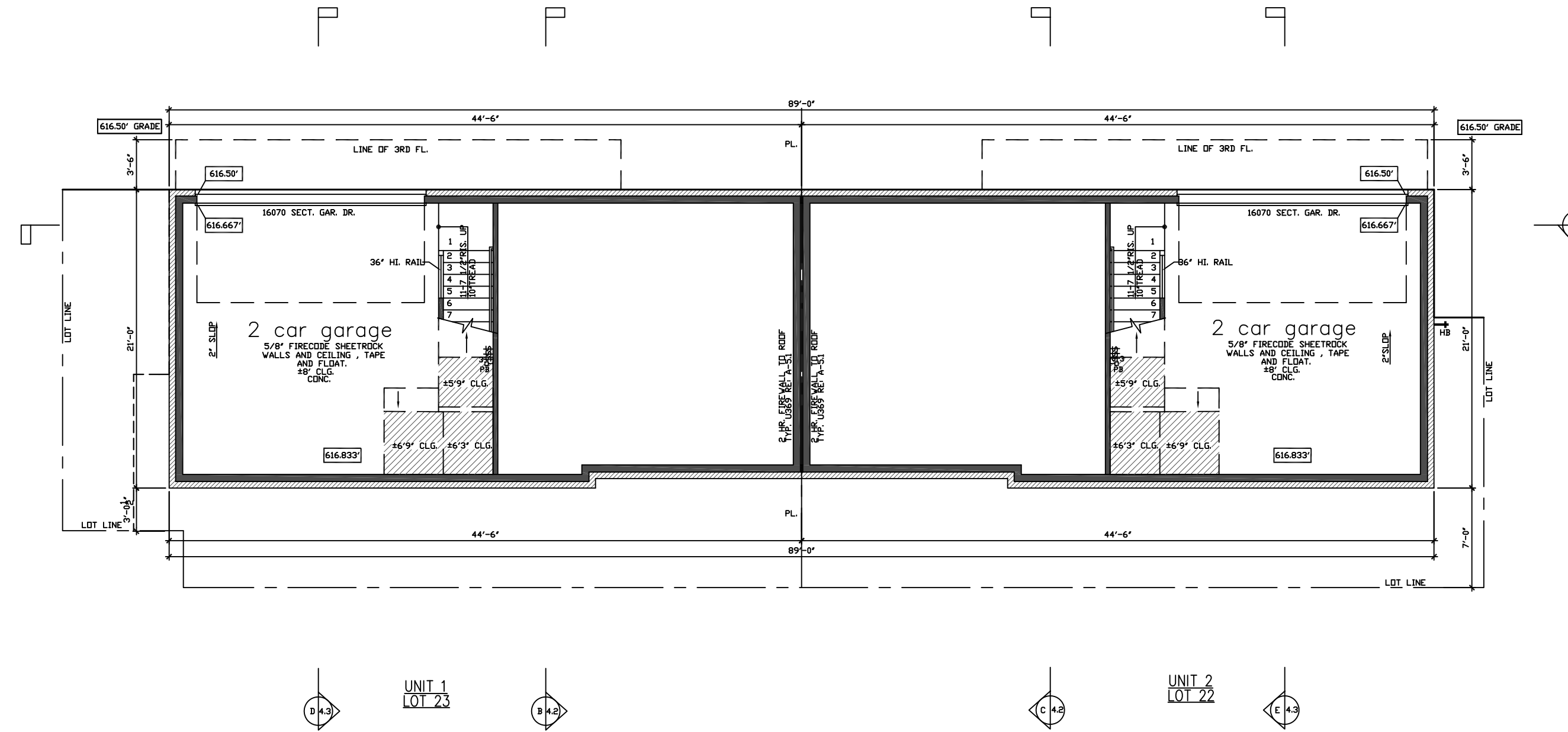
URBAN INTOWN HOMES
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 PHONE: 713-961-3877

PLAN NO. UNIT 1 2647
 UNIT 2 2647
 SHEET NO. **A-35**

Town Case #:1865-Z



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2647	3
UNIT 2	2647	3



basement floor plan
SCALE: 1/8" = 1'-0"

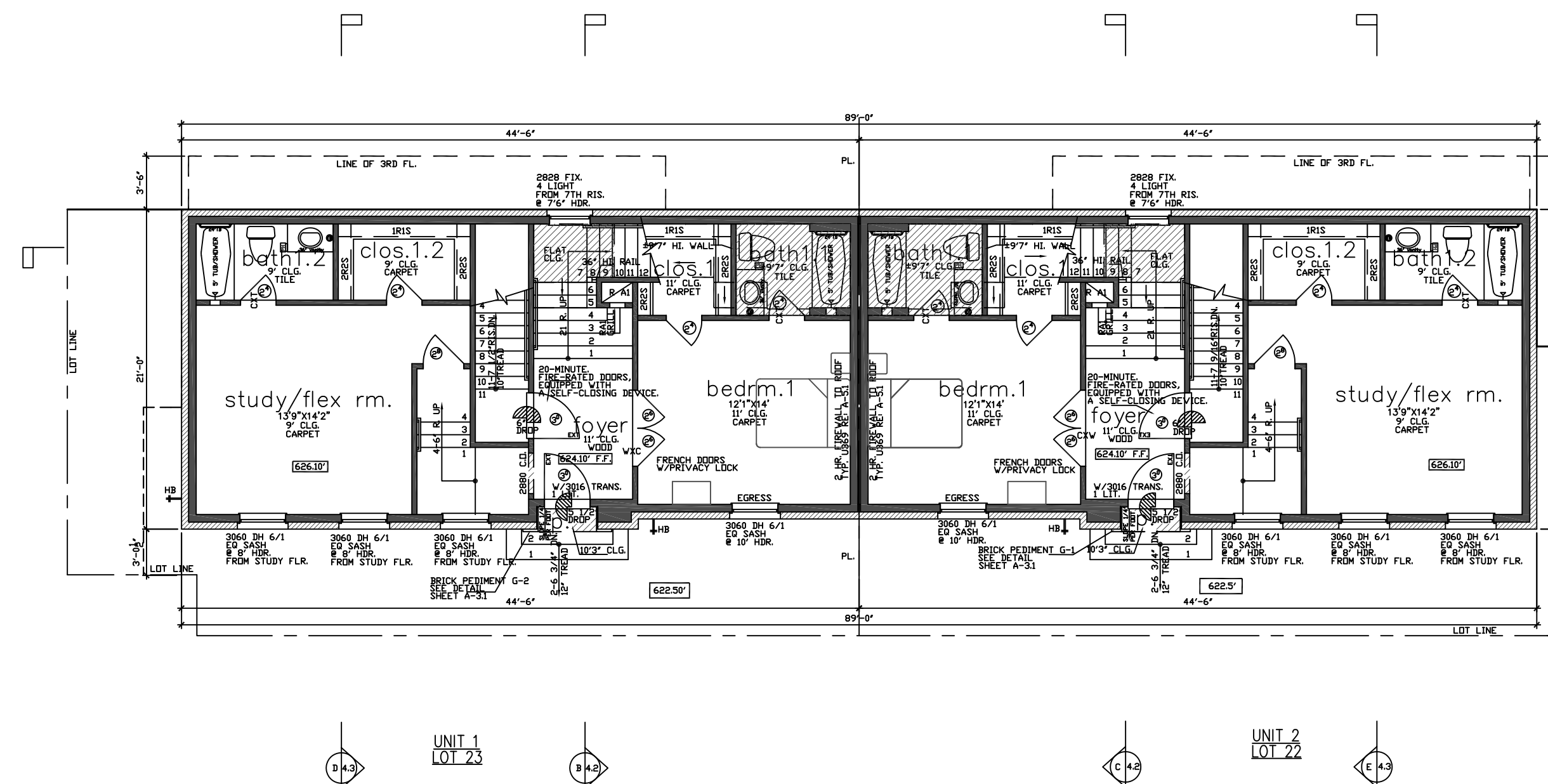
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAME. SEE STRUCTURAL PLANS.

NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE USED. THEY SHALL BE LISTED LABELED IN ACCORDANCE WITH UL 2008 AS REQUIRED IN THE IRC SECTION PARAG. 2.

NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

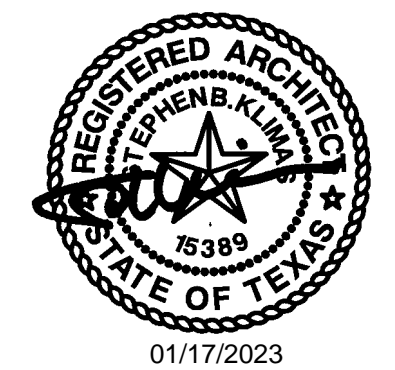
unit 1 square footage		unit 2 square footage	
FIRST FLOOR	866	FIRST FLOOR	866
SECOND FLOOR	807	SECOND FLOOR	807
THIRD FLOOR	524	THIRD FLOOR	524
TOTAL LIVING AREA	2197	TOTAL LIVING AREA	2197
PORCH	6	PORCH	6
GARAGE	486	GARAGE	486
BALCONY	88	BALCONY	88
UNCOVERED AC DECK	88	UNCOVERED AC DECK	88
TOTAL SLAB AREA	185	TOTAL SLAB AREA	185

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE SHOWN DIMENSIONS. IN GENERAL, COMPLIANCE WITH ALL 2008 IRC AND 2008 IBC REQUIREMENTS WILL BE MAINTAINED.



first floor plan
SCALE: 1/8" = 1'-0"

NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAME. SEE STRUCTURAL PLANS.



01/17/2023

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URBAN INTOWN HOMES, Ltd.

ADDISON GROVE - BLOCK C - BUILDING 6

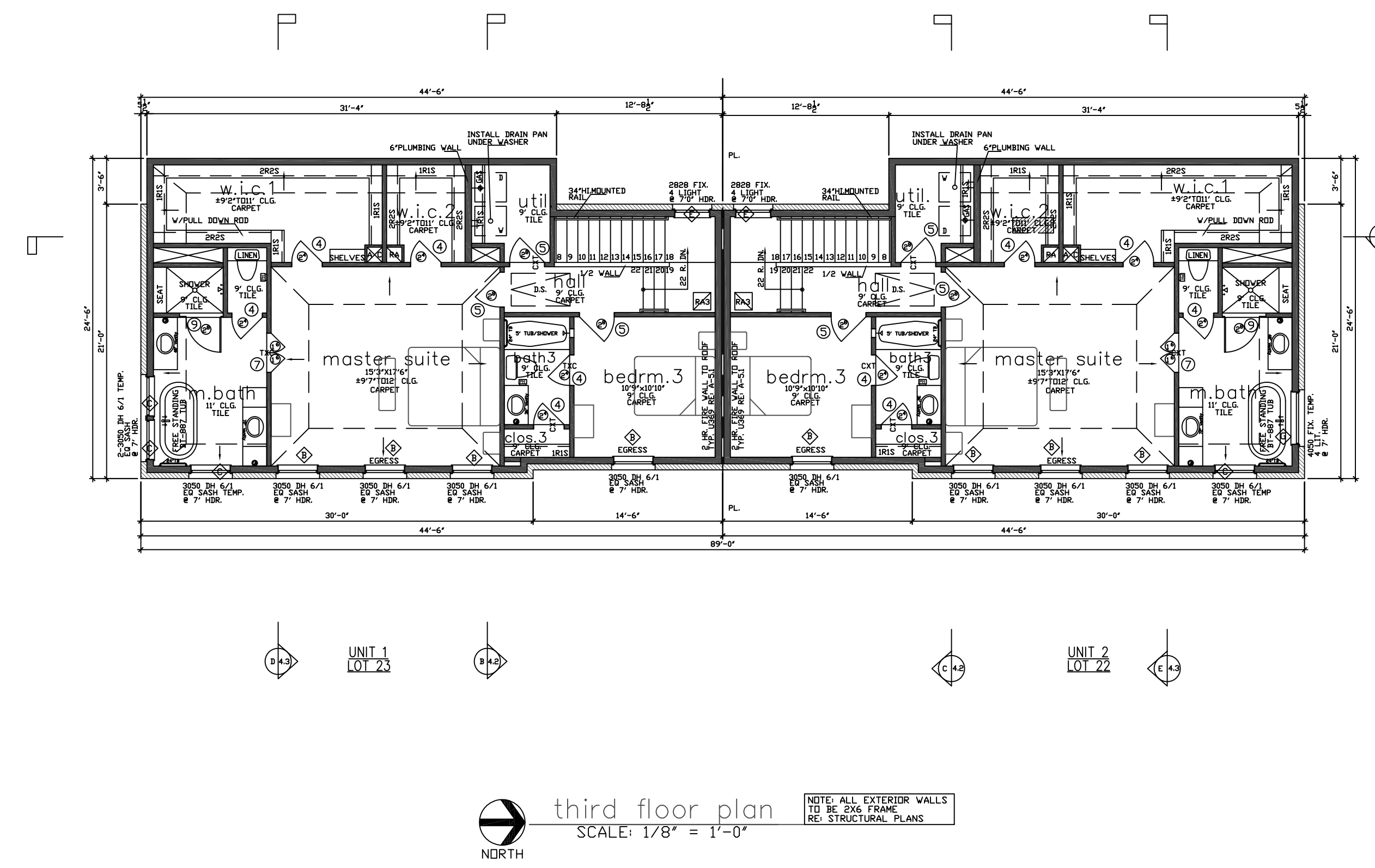
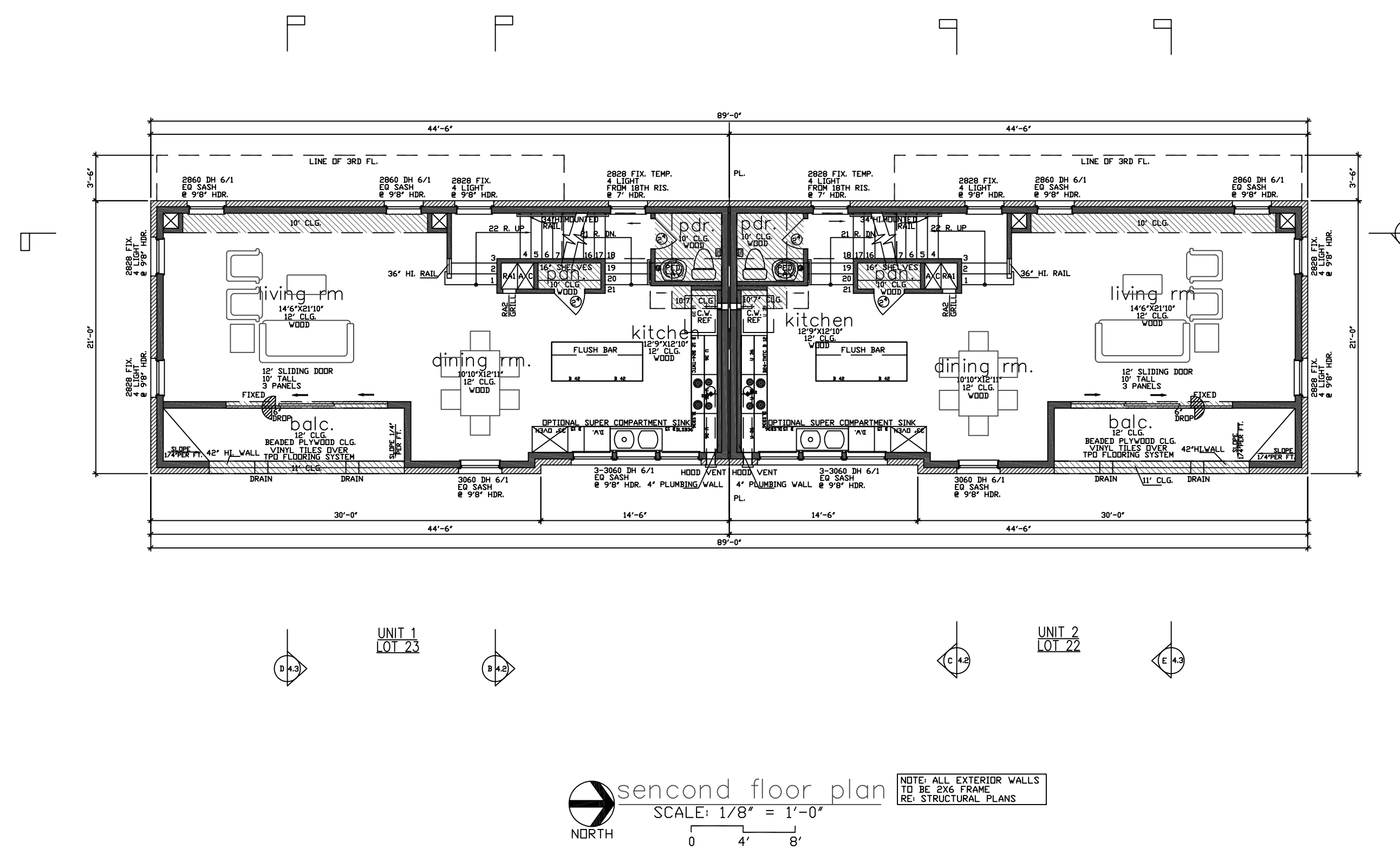
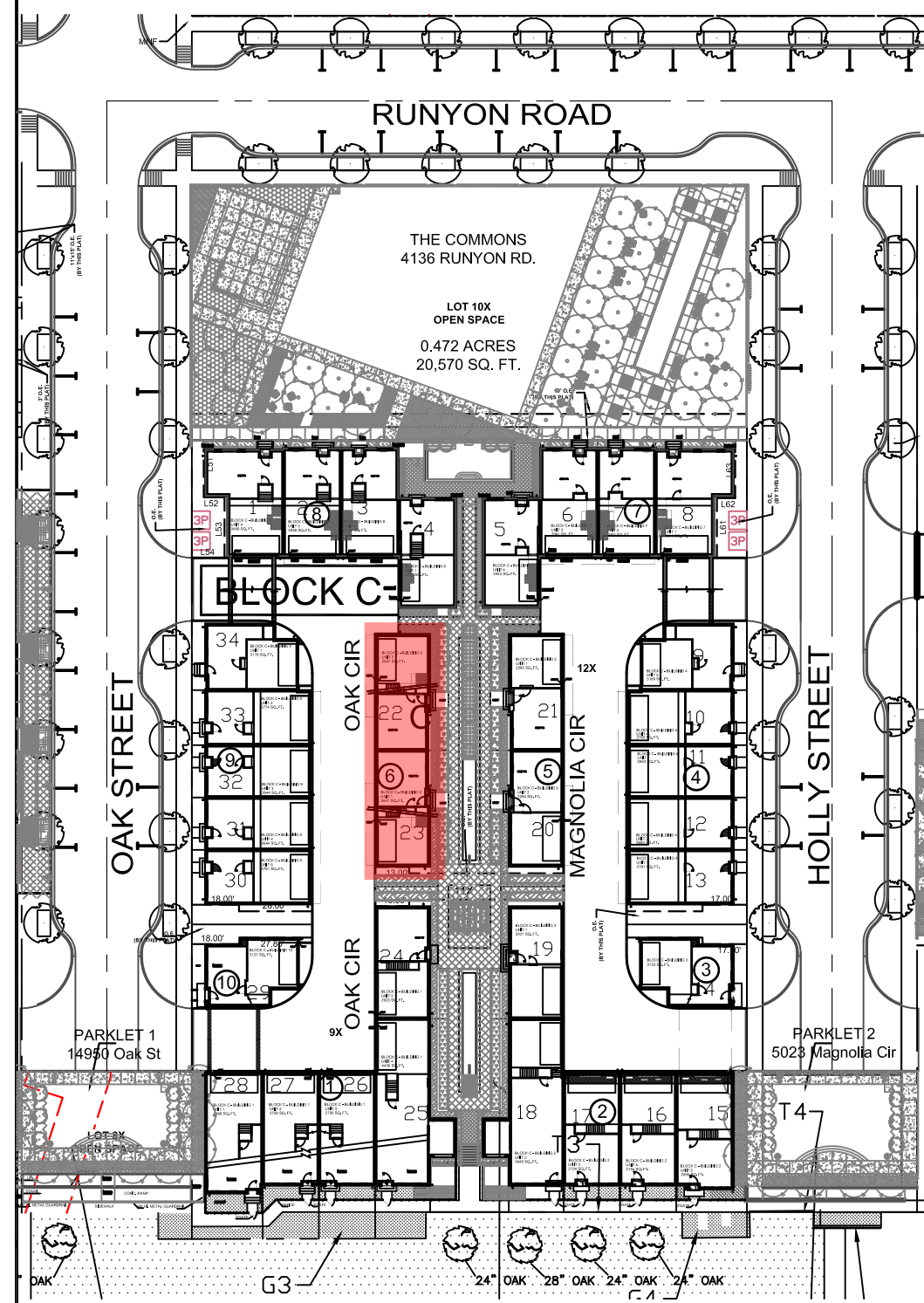
PLAN NO.
UNIT 1 2647
UNIT 2 2647

SHEET NO.
A-36

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

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Original Date Issued: 08/02/2022
Scale: 1/8" = 1'-0"
Last Updated: 11/24/2022

Town Case #:1865-Z



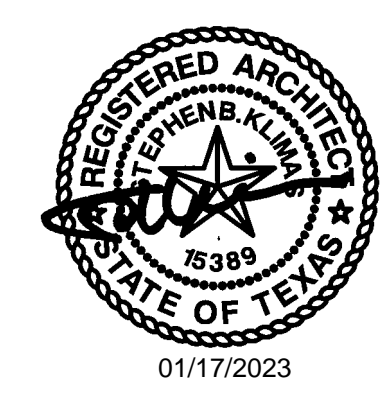
Drawn By/Checked By: O.C./F.M.
Original Date Issued: 08/02/2022
Scale: 1/8" = 1'-0"
Last Updated: 11/24/2022

URBAN INTOWN HOMES, Ltd.
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ADDISON GROVE - BLOCK C - BUILDING 6
FLOOR PLAN

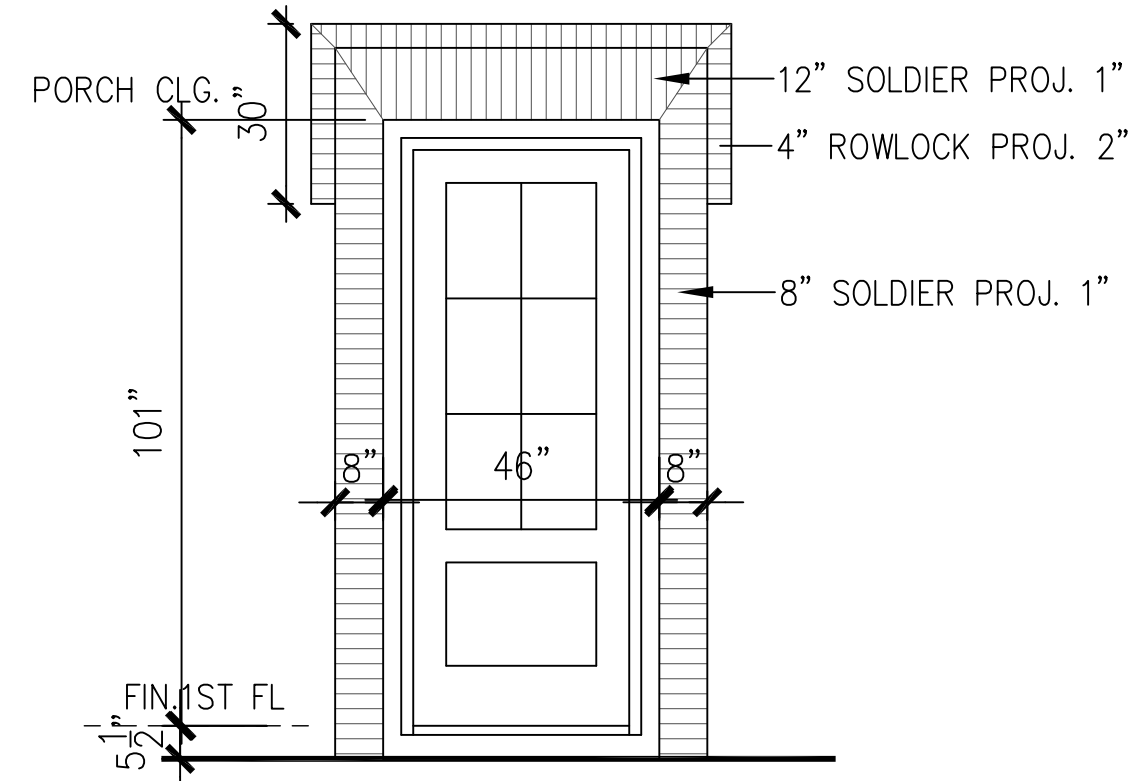
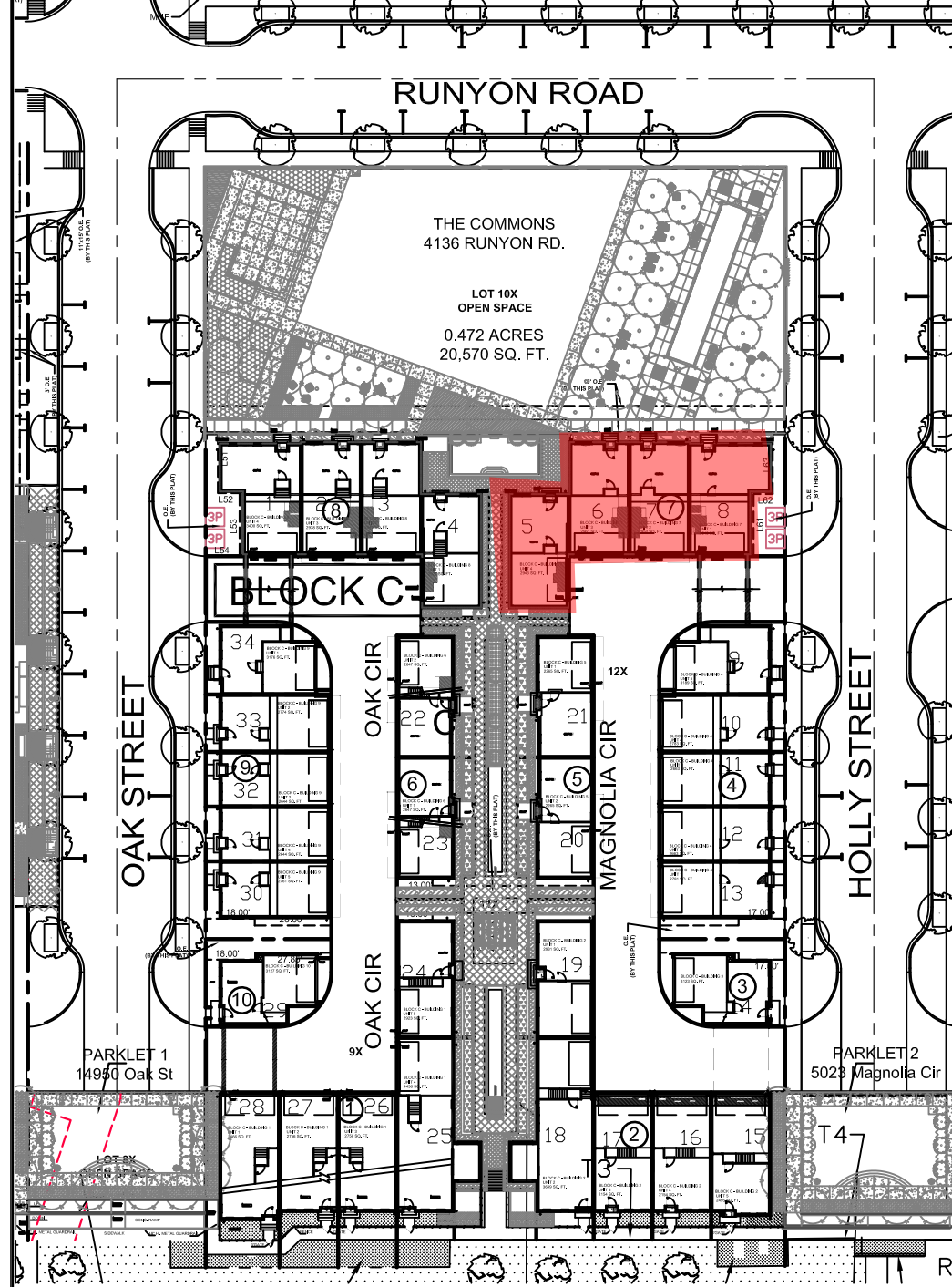
PLAN NO.
UNIT 1 2647
UNIT 2 2647

SHEET NO.
A-37

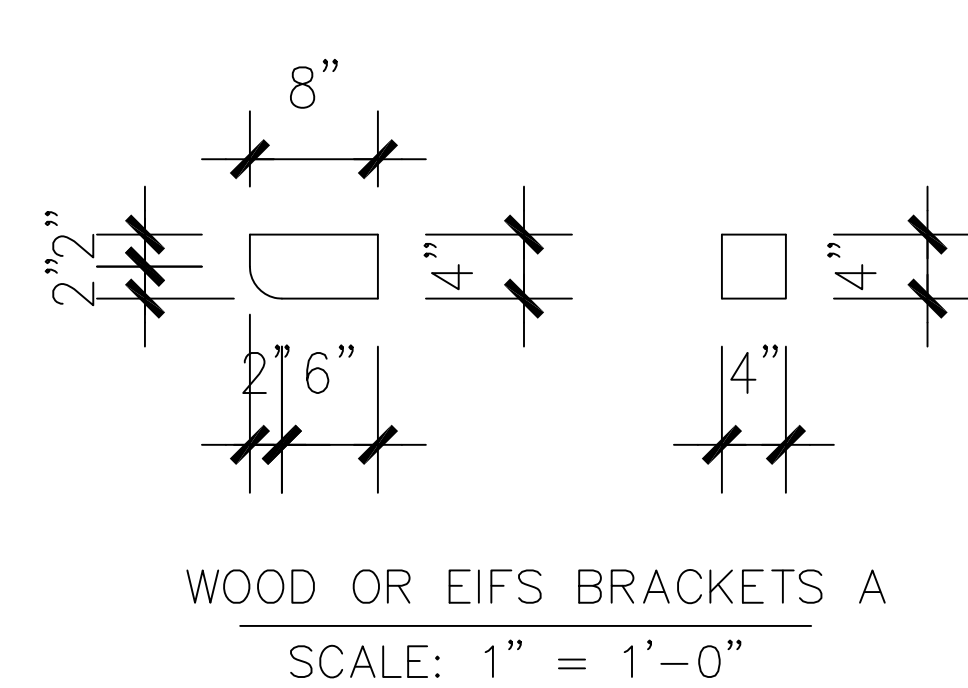


URBAN INTOWN HOMES
2410 POLK ST., STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

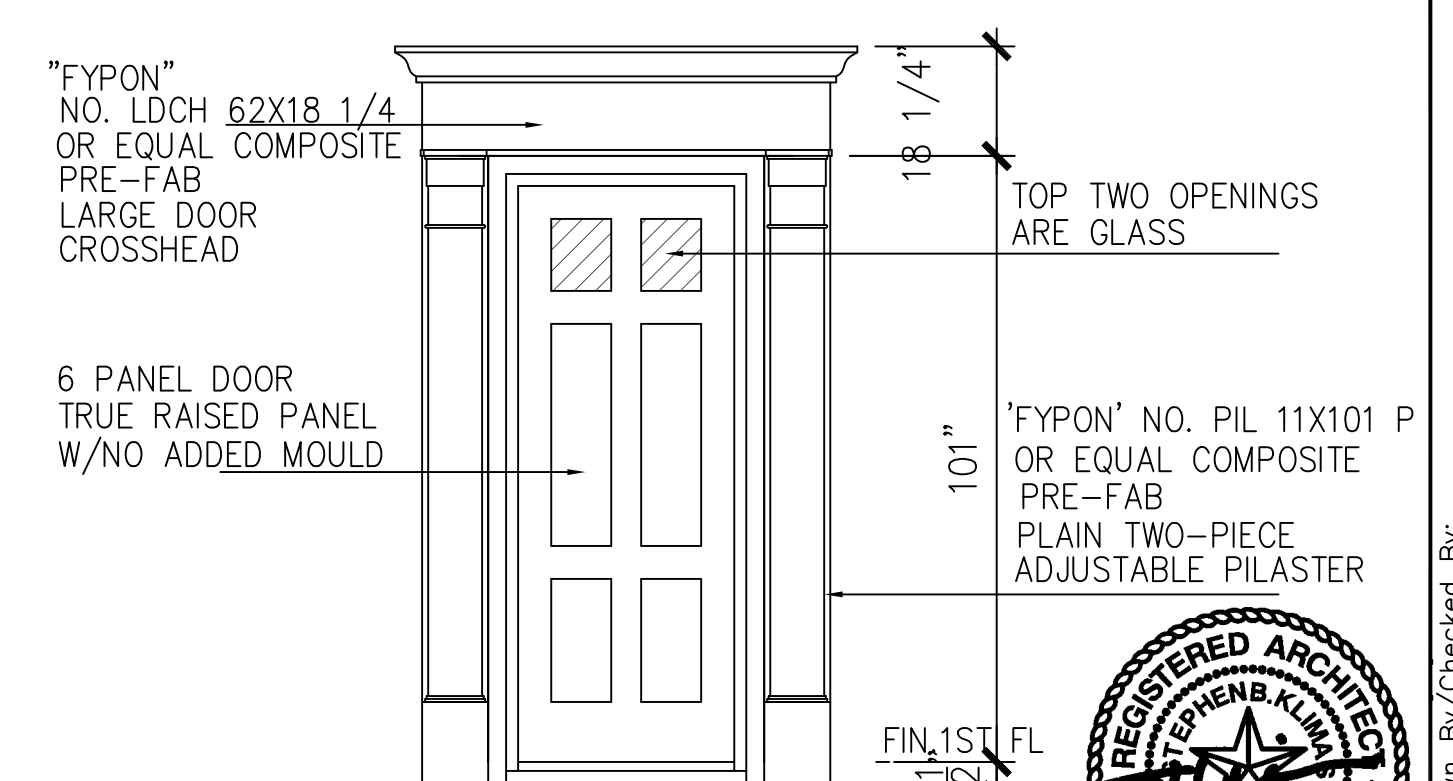
Town Case #: 1865-Z



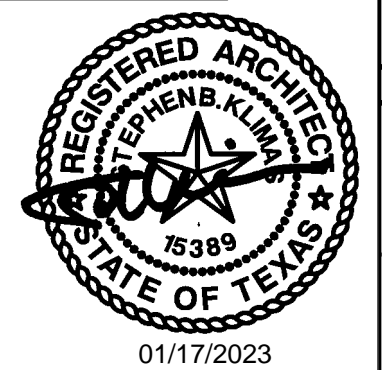
BRICK PEDIMENT G-1
SCALE: 3/8" = 1'-0"



WOOD OR EIFS BRACKETS A
SCALE: 1" = 1'-0"



COMPOSITE PEDIMENT D
SCALE: 3/8" = 1'-0"

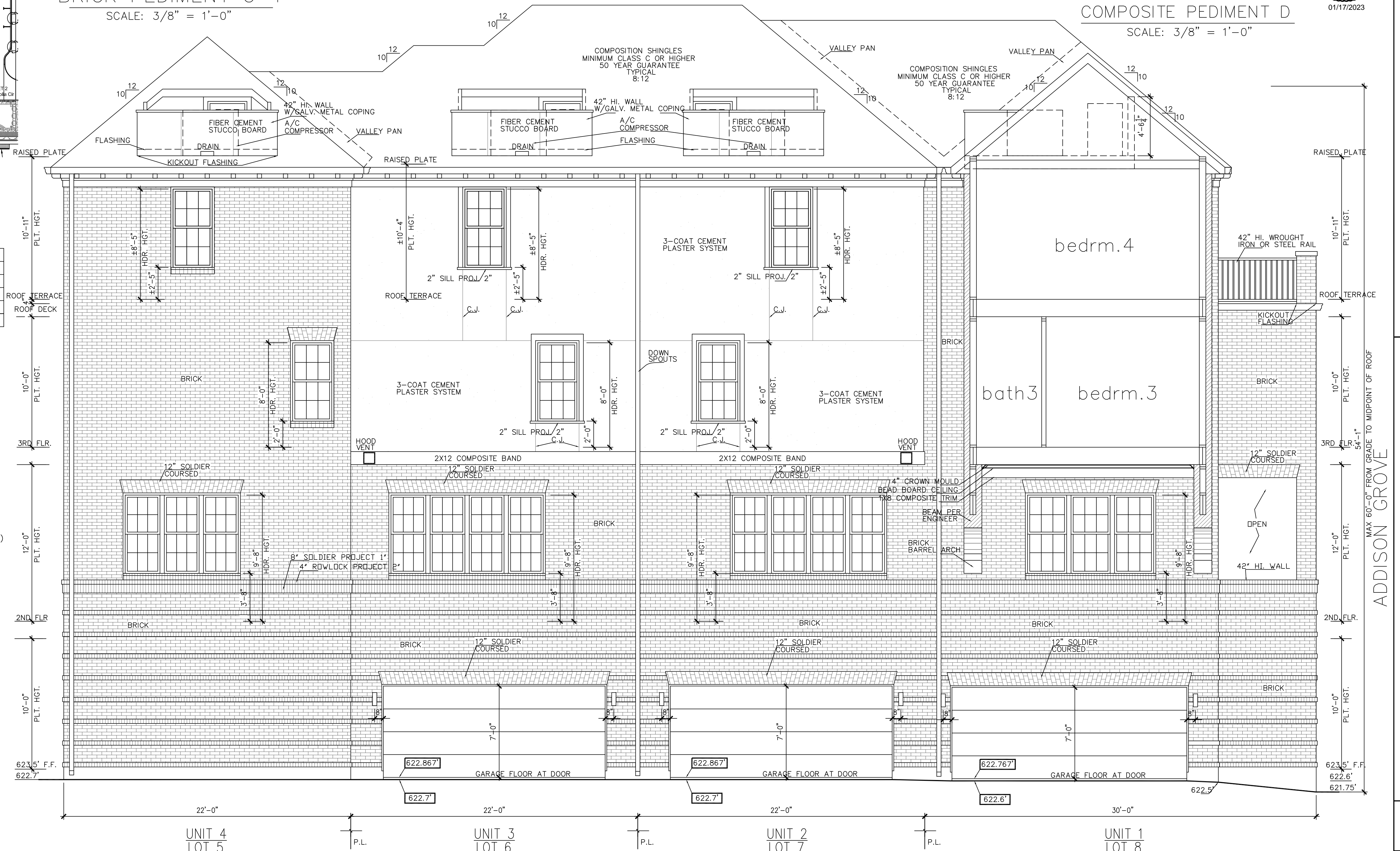


SOUTH/REAR MATERIAL CALCULATION TABLE		
BRICK	2141	67.8%
3-COAT CEMENT PLASTER SYSTEM	809	25.6%
FIBER CEMENT STUCCO BOARD	141	4.4%
ACCENT MATERIAL	69	2.2%
TOTAL SURFACE AREA	3160	

- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

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south/rear(MAGNOLIA CIR.) elevation
SCALE: 1/4" = 1'-0"

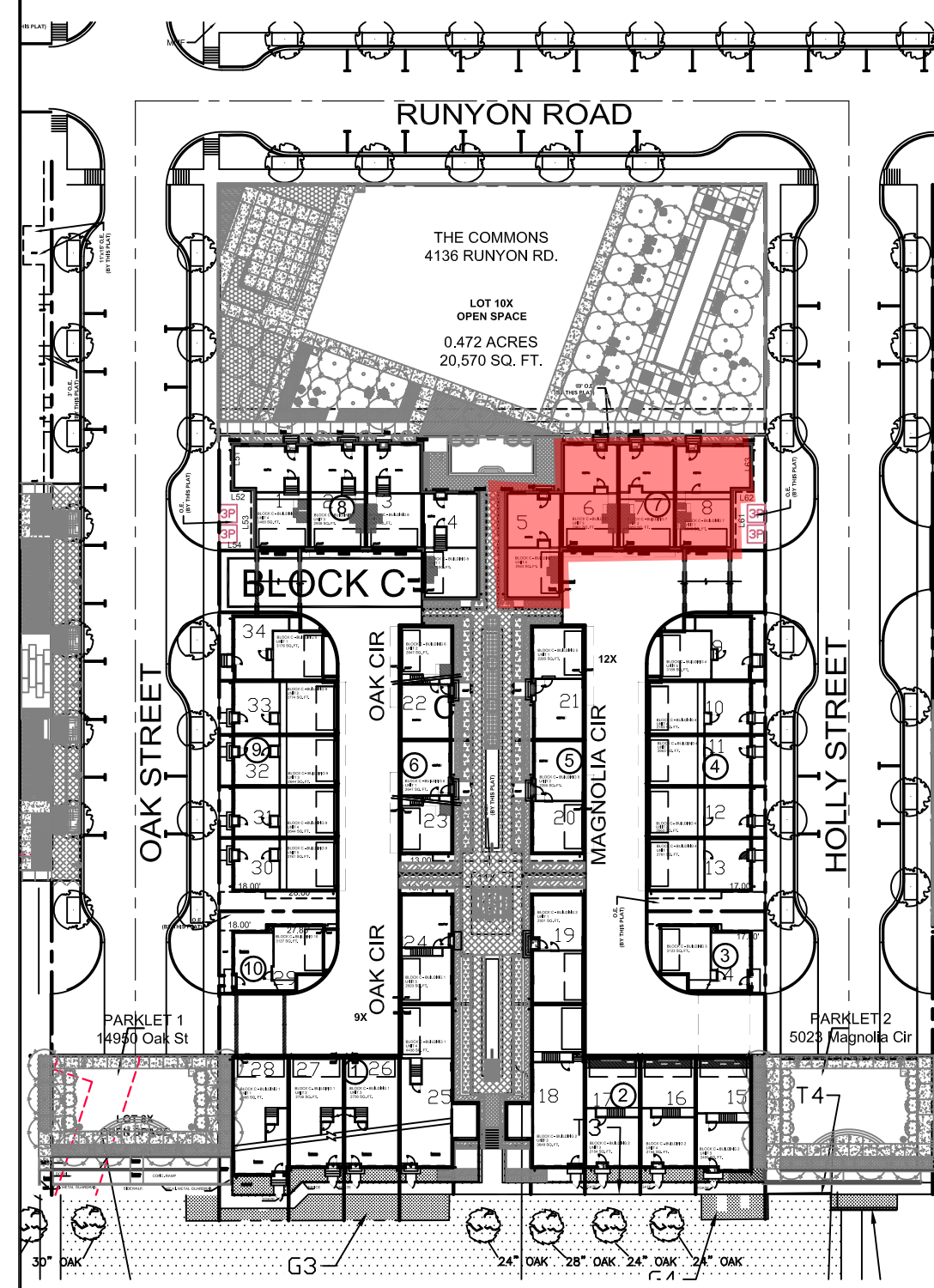
URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Drawn By/Checked By: O.C./F.M.
Original Date Issued: 08/11/2022
Scale: 1/4" = 1'-0"
Last Updated: 11/24/2022

ADDISON GROVE - BLOCK C - BUILDING 7
SOUTH/REAR ELEVATION

PLAN NO.	NO.
UNIT 1	3540
UNIT 2	2952
UNIT 3	2961
UNIT 4	2943

SHEET NO. **A-39**

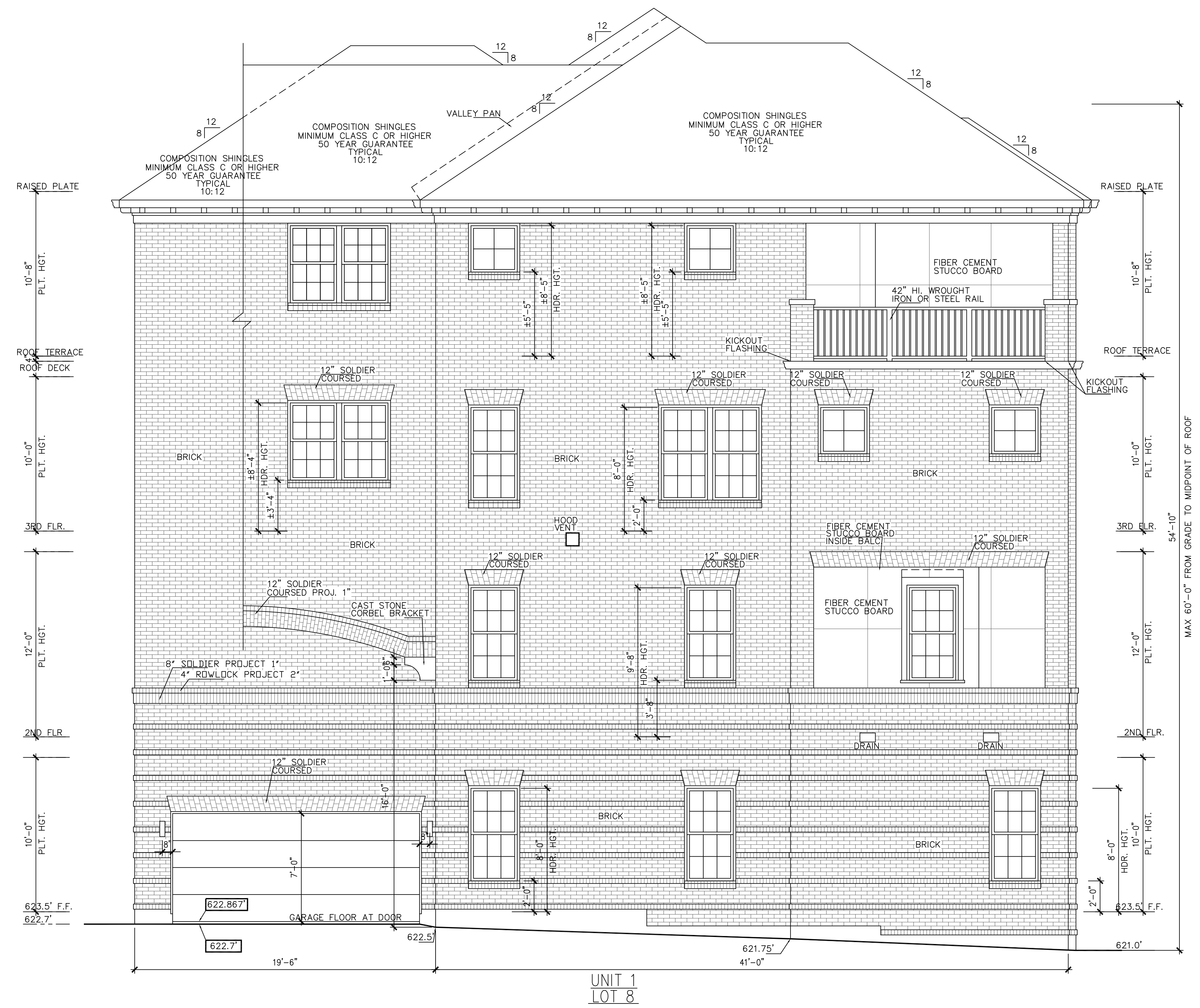


Material	Quantity	Percentage
BRICK	2111	89.7%
FIBER CEMENT STUCCO BOARD	184	7.8%
ACCENT MATERIAL	58	2.5%
TOTAL SURFACE AREA	2353	

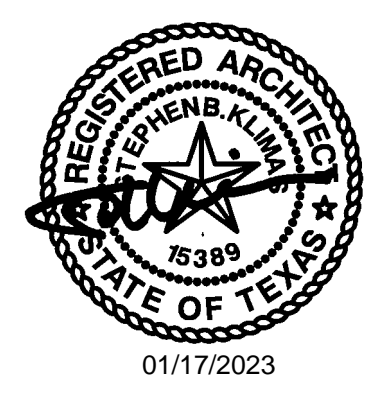
- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
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 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
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UNIT 1
LOT 8
east/left(HOLLY STREET) elevation
SCALE: 1/4" = 1'-0"
0 4' 8'



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

ADDISON GROVE - BLOCK C - BUILDING 7

ADDISON GROVE

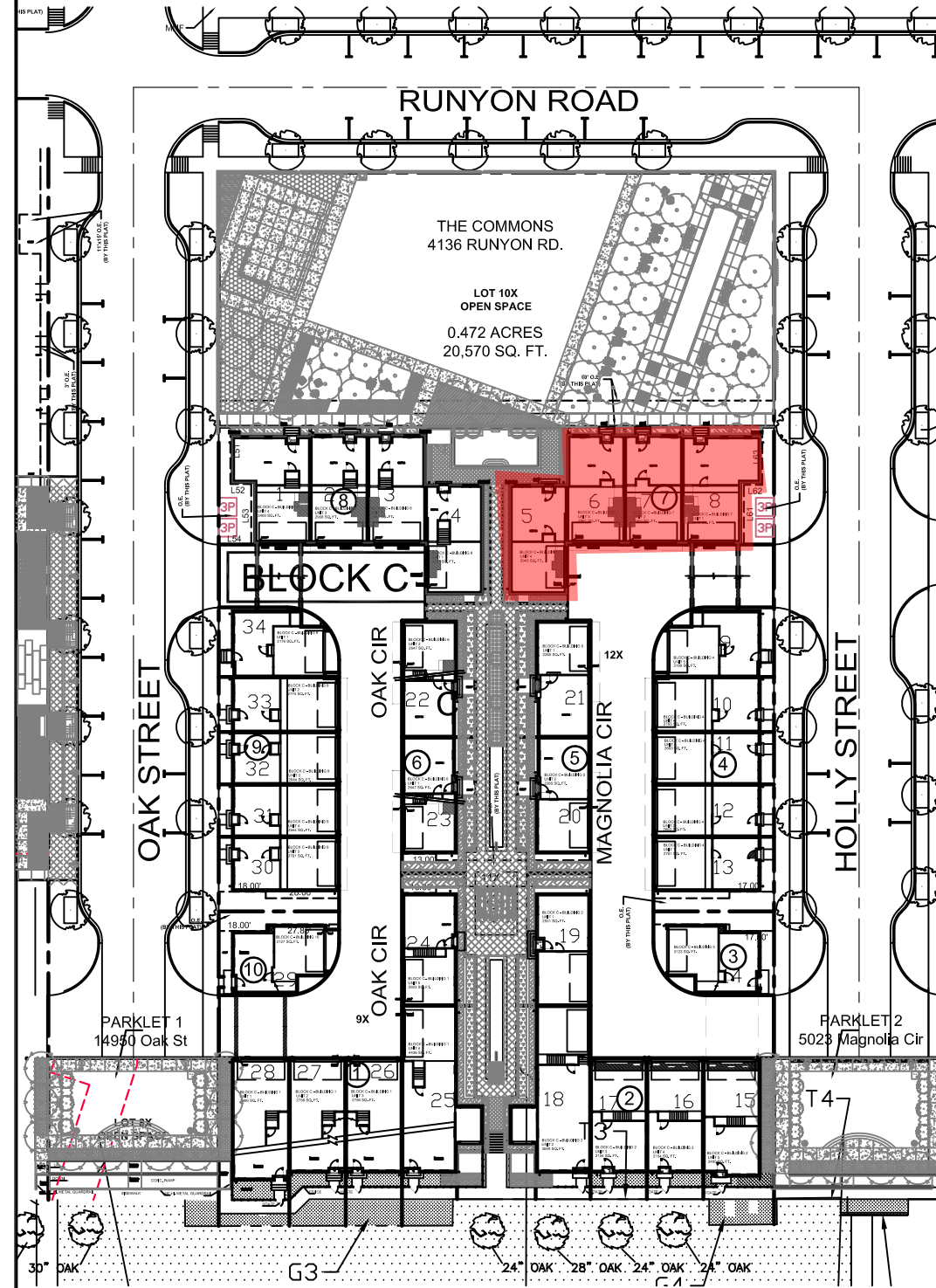
PLAN NO.	UNIT 1	UNIT 2	UNIT 3	UNIT 4
3540	2952	2961	2943	

SHEET NO. A-40

Drawn By/Checked By: O.C./F.M.
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Town Case #:1865-Z

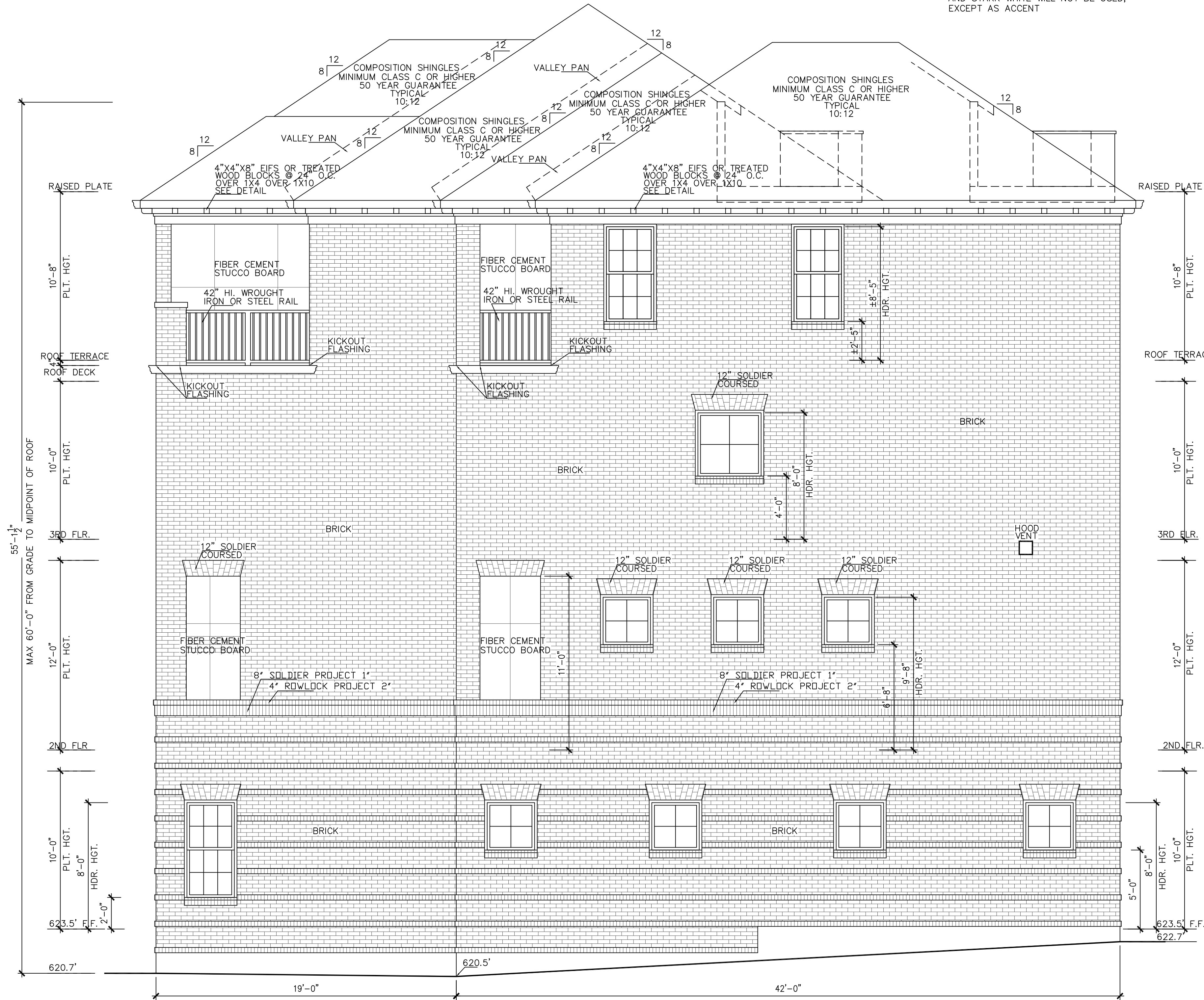


WEST/RIGHT MATERIAL CALCULATION TABLE		
BRICK	2449	93.3%
FIBER CEMENT STUCCO BOARD	129	4.9%
ACCENT MATERIAL	48	1.8%
TOTAL SURFACE AREA	2626	

- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
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- * THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT



UNIT 4
LOT 5
west/right(neighbor) elevation
SCALE: 1/4" = 1'-0"
0 4' 8'

ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK C - BUILDING 7

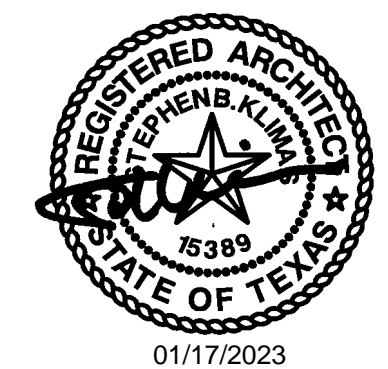
WEST/RIGHT ELEVATIONS

SHEET NO.

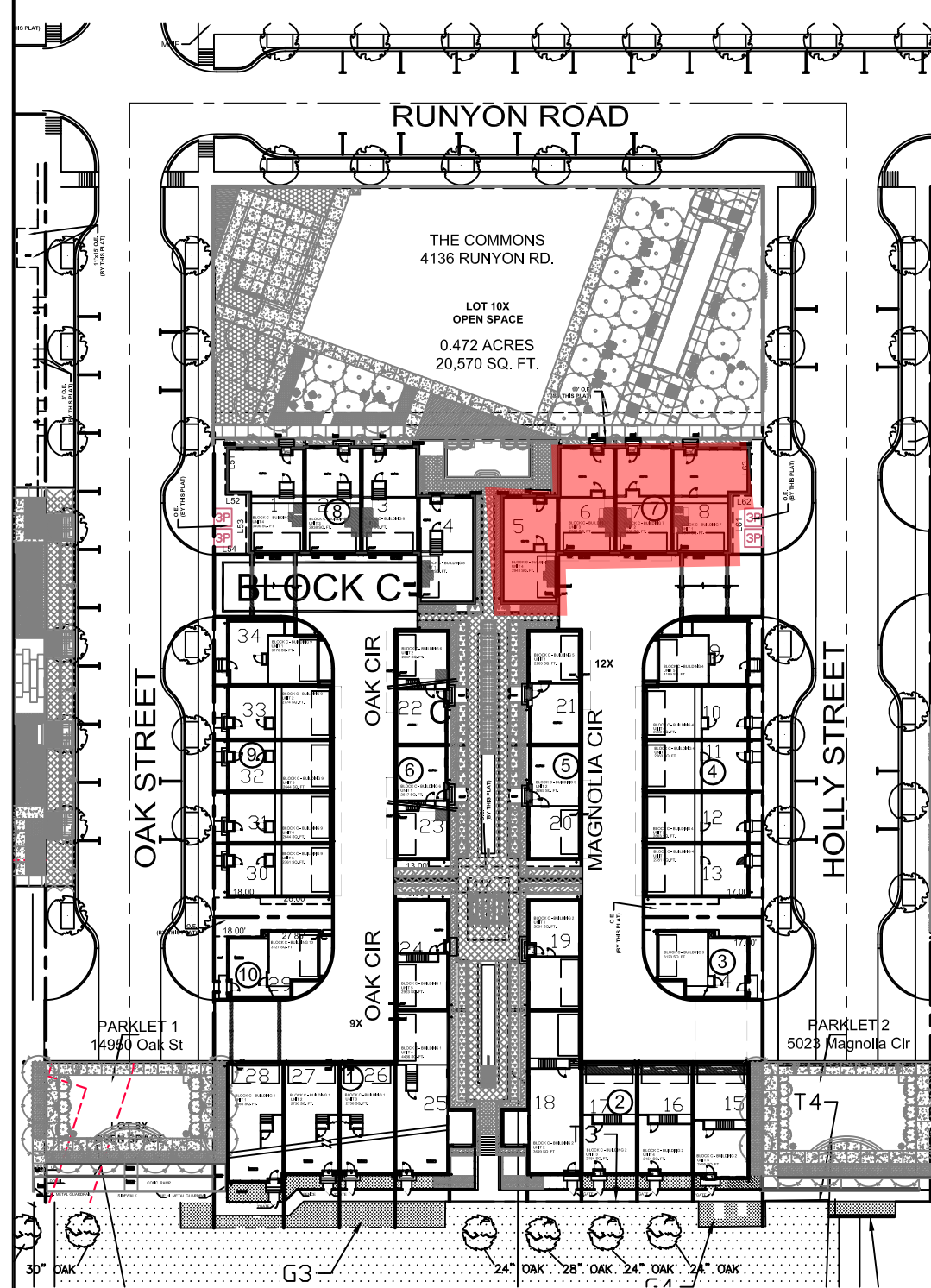
A-41

Drawn By/Checked By: O.C./F.M.
Original Date Issued: 08/11/2022
Scale: 1/4" = 1'-0"
Last Updated: 11/24/2022

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URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



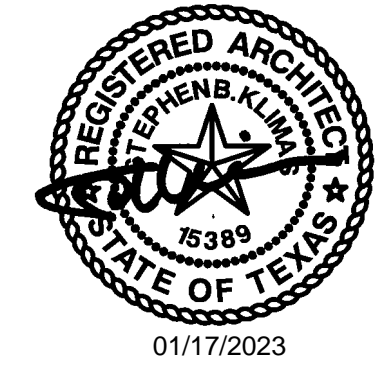
EAST/LEFT MATERIAL CALCULATION TABLE		
BRICK	1749	87.9%
FIBER CEMENT STUCCO BOARD	184	9.2%
ACCENT MATERIAL	58	2.9%
TOTAL SURFACE AREA	1991	

LEGEND

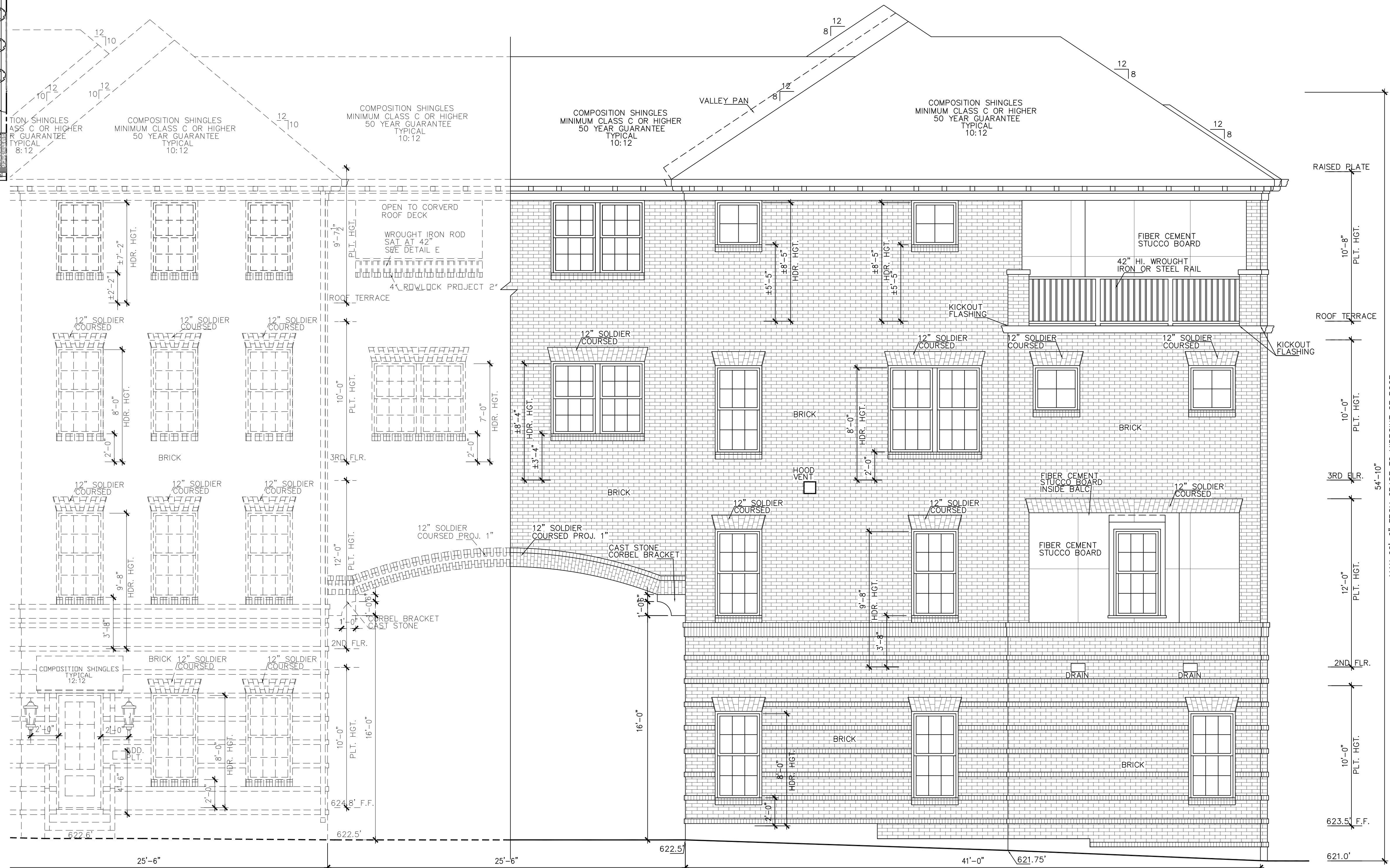
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

FACADE PLAN NOTES

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
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 Scale: 1/4" = 1'-0"
 Last Updated: 11/24/2022



UNIT 5
 LOT 9
 BUILDING 4

UNIT 1
 LOT 8
 BUILDING 7
 east/left(HOLLY STREET) elevation

SCALE: 1/4" = 1'-0"
 0 4' 8'

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877

ADDISON GROVE

ADDISON GROVE - BLOCK C - BUILDING 7

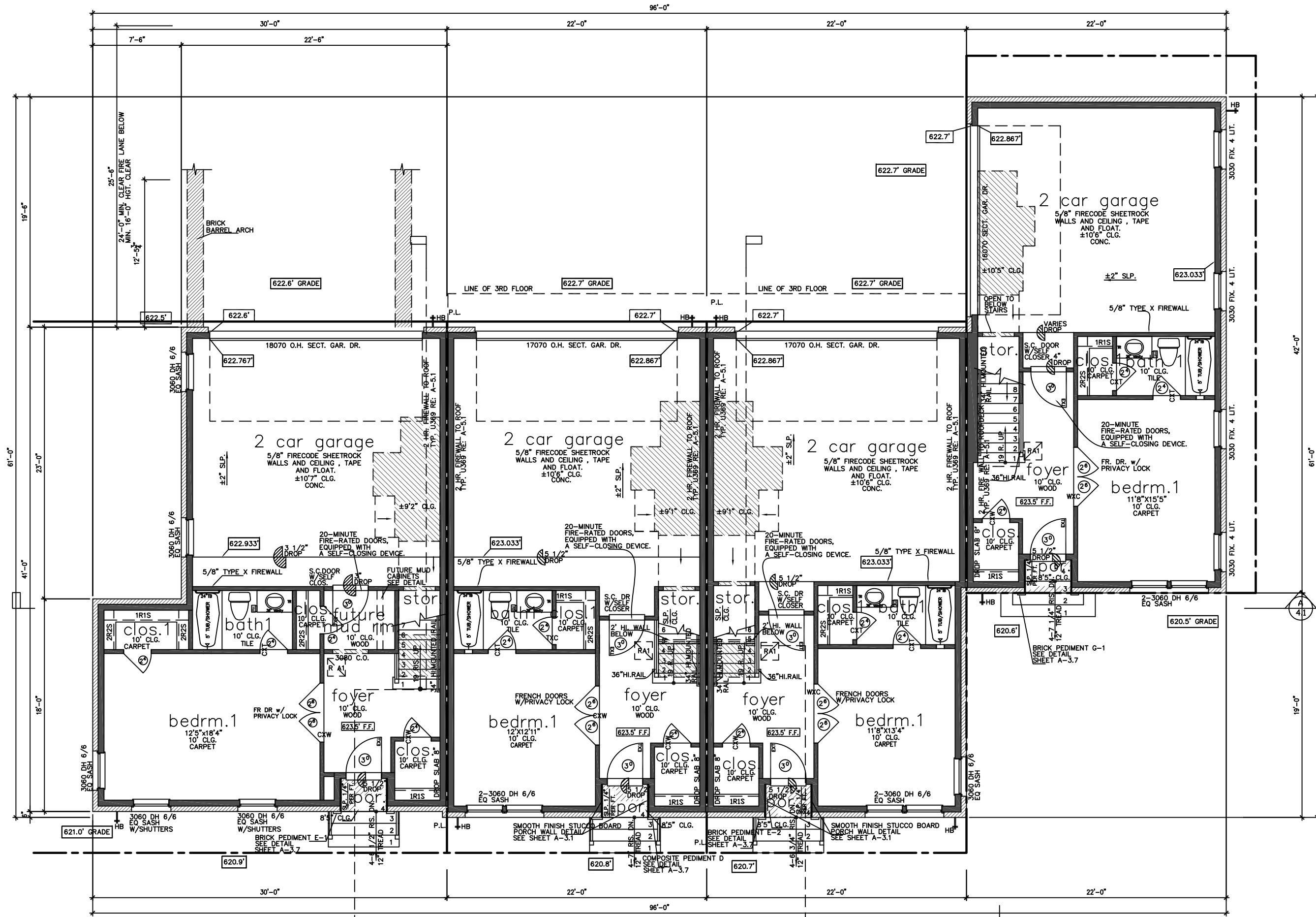
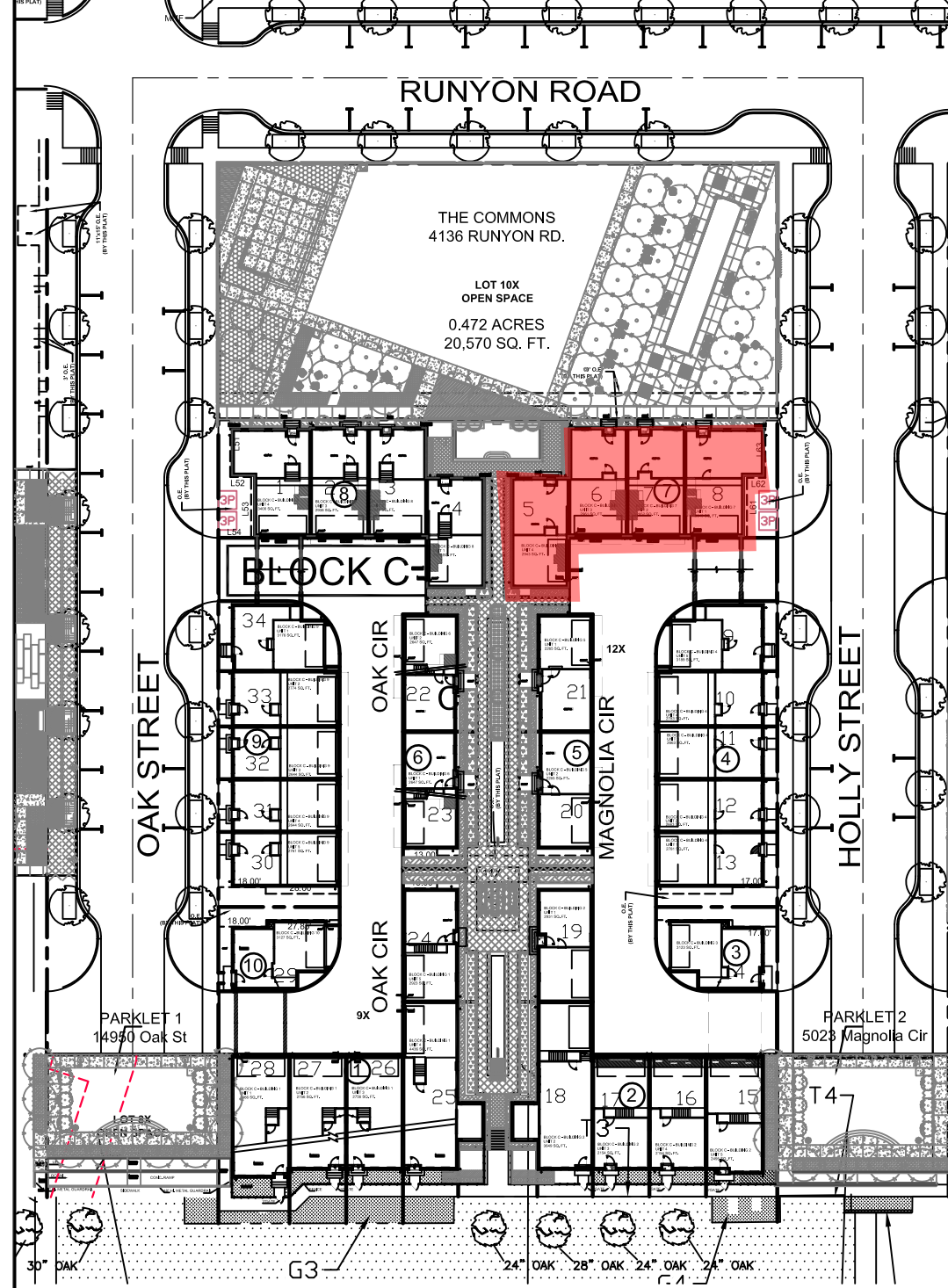
BRIDGE ELEVATIONS

URBAN INTOWN HOMES
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 (713)961-3877 TEL (713)961-4270 FAX

PLAN NO.	UNIT 1	3540
	UNIT 2	2952
	UNIT 3	2961
	UNIT 4	2943

SHEET NO.

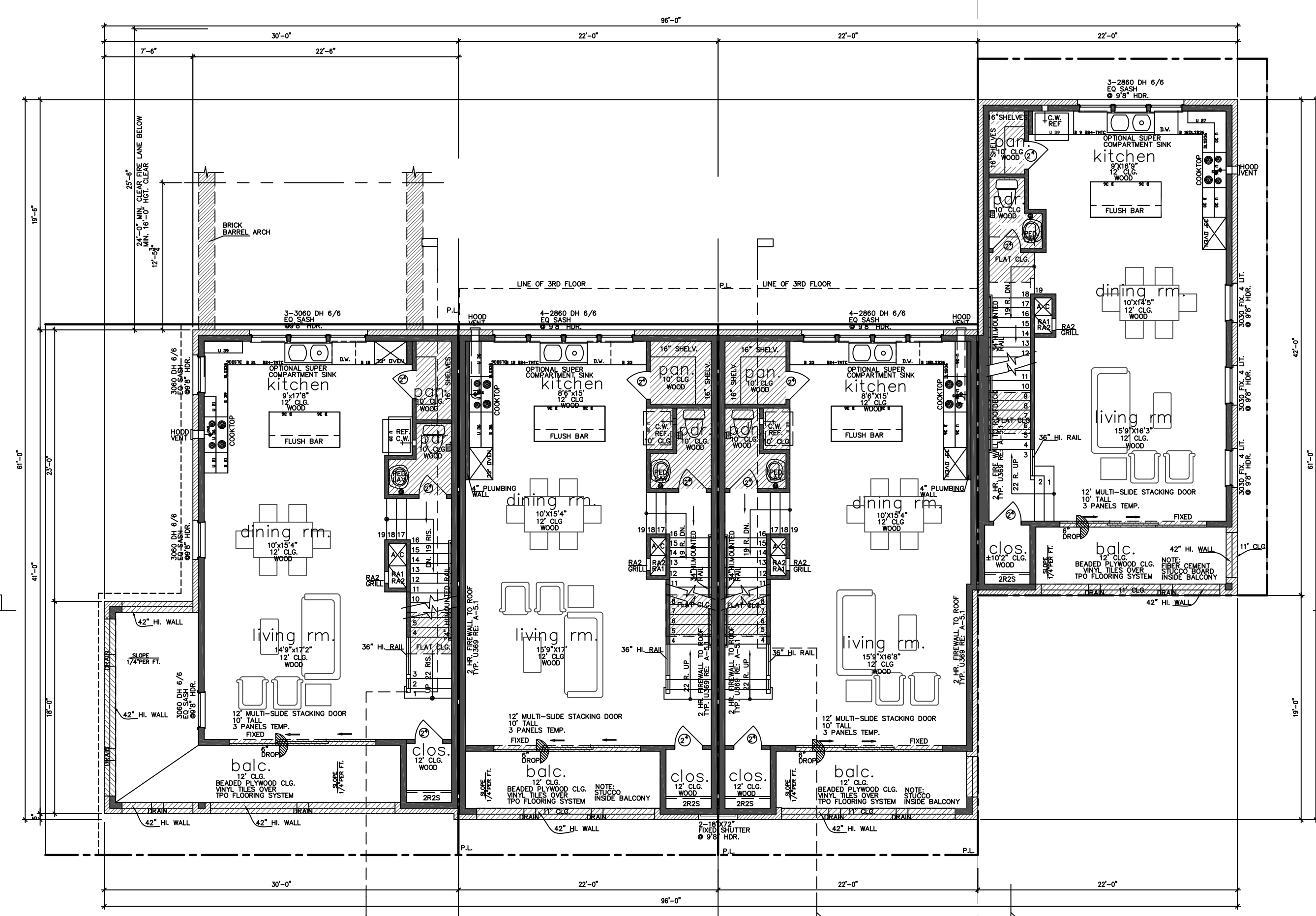
A-42



First Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

Unit 1 square footage		Unit 2 square footage		Unit 3 square footage		Unit 4 square footage	
FIRST FLOOR	893	FIRST FLOOR	898	FIRST FLOOR	817	FIRST FLOOR	862
SECOND FLOOR	898	SECOND FLOOR	894	SECOND FLOOR	817	SECOND FLOOR	858
THIRD FLOOR	1095	THIRD FLOOR	990	THIRD FLOOR	917	THIRD FLOOR	924
ROOF TERRACE	740	ROOF TERRACE	740	ROOF TERRACE	738	ROOF TERRACE	738
TOTAL LIVING AREA	2943	TOTAL LIVING AREA	2952	TOTAL LIVING AREA	2943	TOTAL LIVING AREA	2943
POOR	11	POOR	11	POOR	11	POOR	11
PORCH	484	PORCH	484	PORCH	484	PORCH	484
GARAGE	495	GARAGE	495	GARAGE	495	GARAGE	495
BALCONY	242	BALCONY	242	BALCONY	242	BALCONY	242
COVERED ROOF BECK	24	COVERED ROOF BECK	24	COVERED ROOF BECK	24	COVERED ROOF BECK	24
UNCOVERED ROOF BECK	137	UNCOVERED ROOF BECK	136	UNCOVERED ROOF BECK	136	UNCOVERED ROOF BECK	136
AC BECK	86	AC BECK	86	AC BECK	86	AC BECK	86
TOTAL SLAB AREA	1896	TOTAL SLAB AREA	1903	TOTAL SLAB AREA	1813	TOTAL SLAB AREA	1864

THE SQUARE FOOTAGE SHOWN HERE HAS BEEN CALCULATED FROM THE BUILDING DRAWINGS IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CONVENTION AND HAS 100% ACTUAL SQUARE FOOTAGE MAY VARY



Second Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	3540	4
UNIT 2	2952	4
UNIT 3	2961	4
UNIT 4	2943	4



01/17/2023

URBAN INTOWN HOMES
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PHONE: 713-961-3877

ADDISON GROVE - BLOCK C - BUILDING 7

FLOOR PLANS

PLAN NO.	UNIT	AREA
3540	UNIT 1	3540
2952	UNIT 2	2952
2961	UNIT 3	2961
2943	UNIT 4	2943

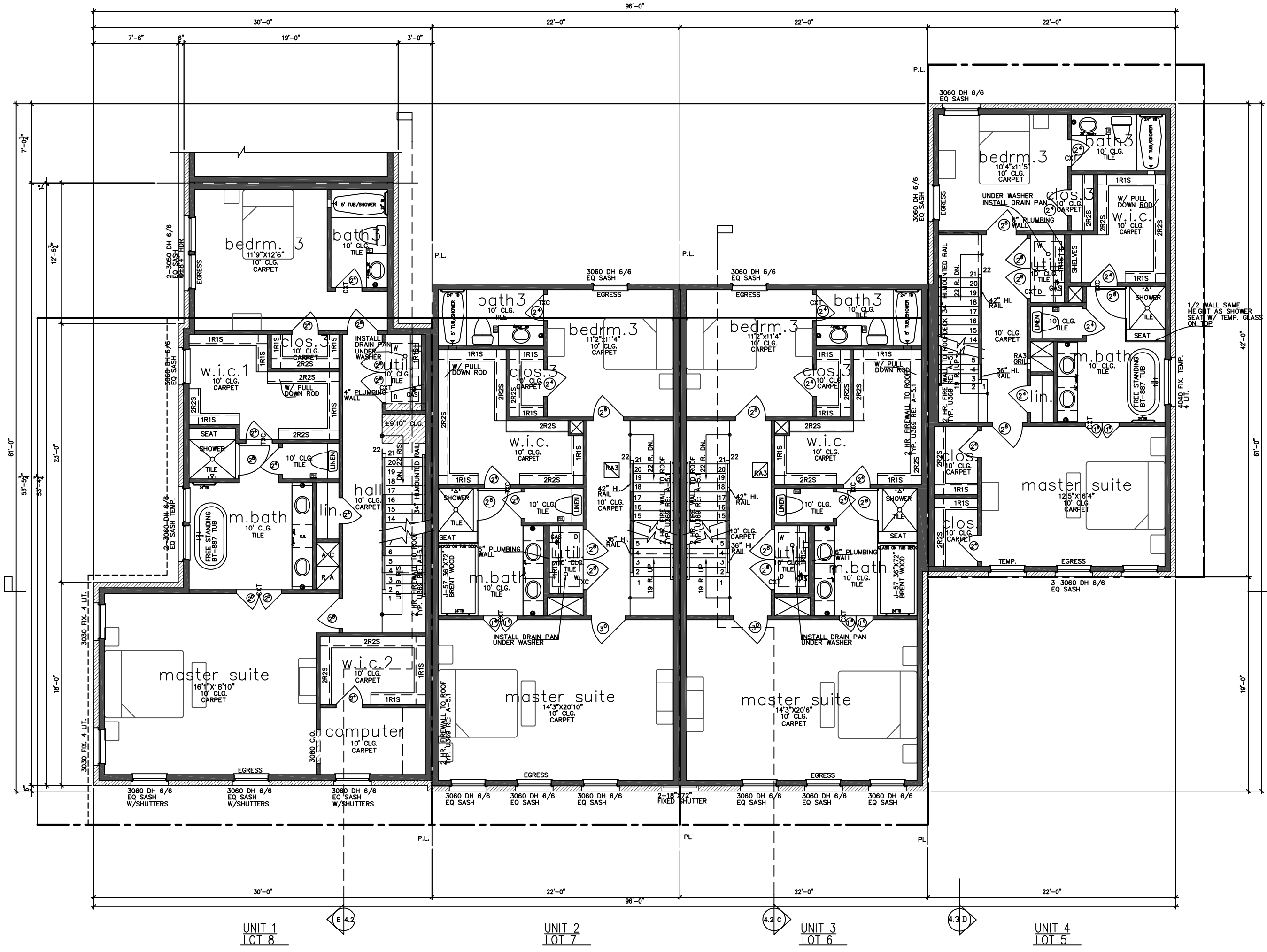
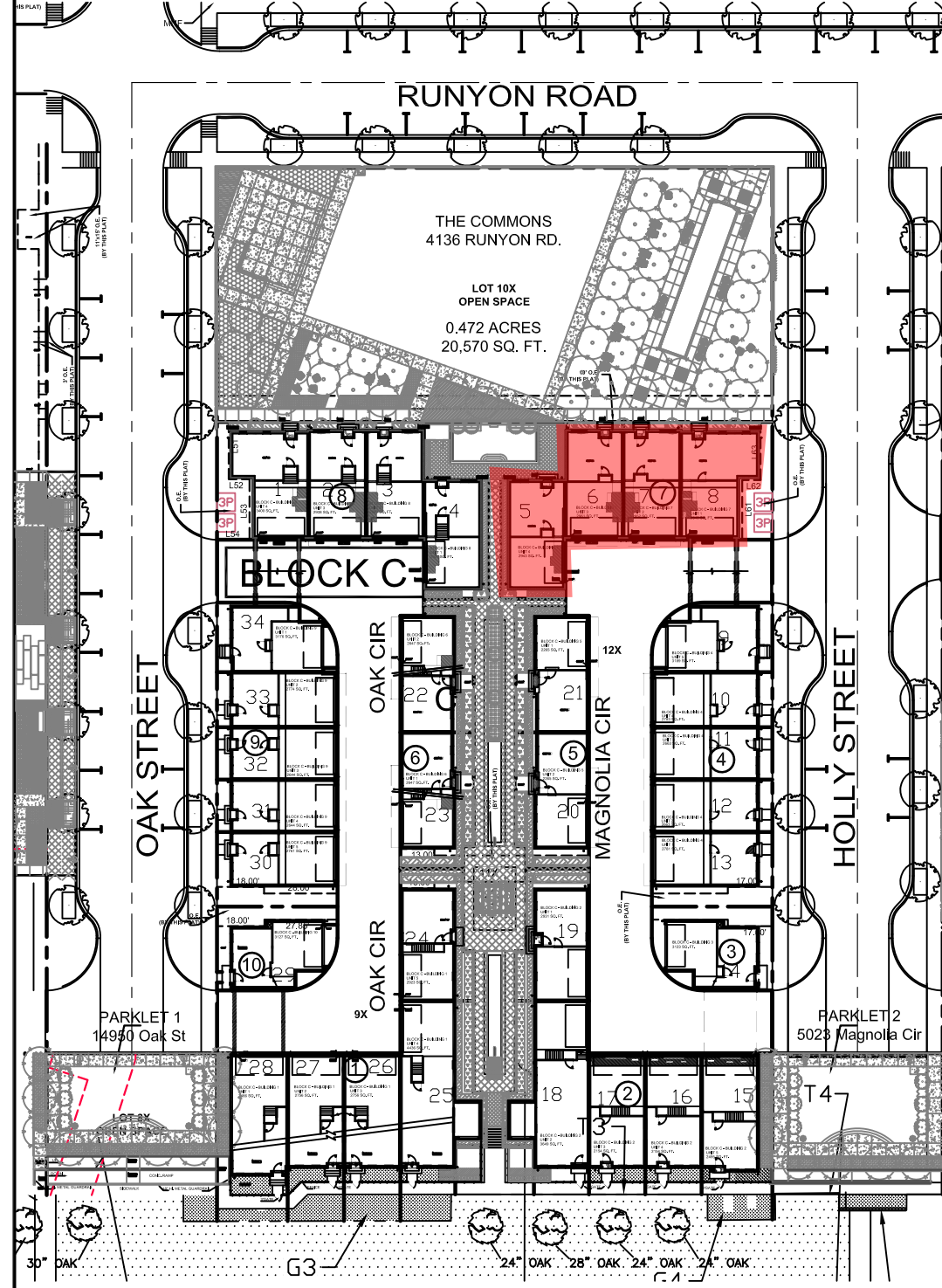
SHEET NO.

A-43

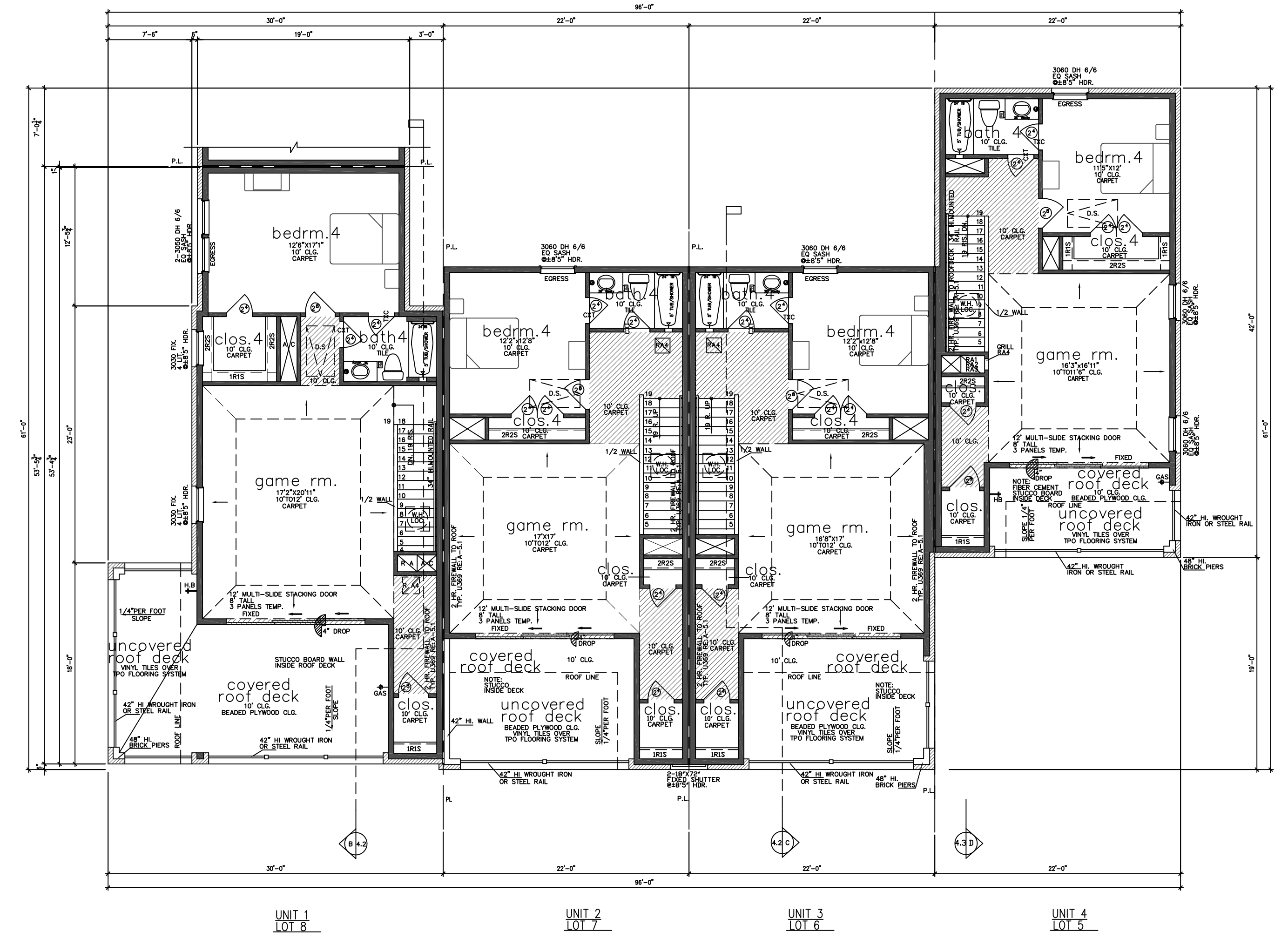
Drawn By/Checked By:
O.C./F.M.
Original Date Issued:
08/11/2022
Scale:
1/8" = 1'-0"
Last Updated:
11/24/2022

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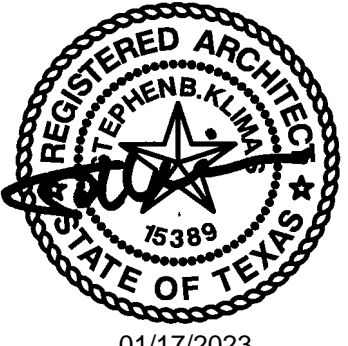
Town Case #: 1865-Z



Third Floor Plan
NORTH
SCALE: 1/8" = 1'-0"



Roof Terrace Plan
NORTH
SCALE: 1/8" = 1'-0"



01/17/2023

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PLAN NO.	3540
UNIT 1	2952
UNIT 2	2951
UNIT 3	2943
UNIT 4	2943

SHEET NO.

A-44

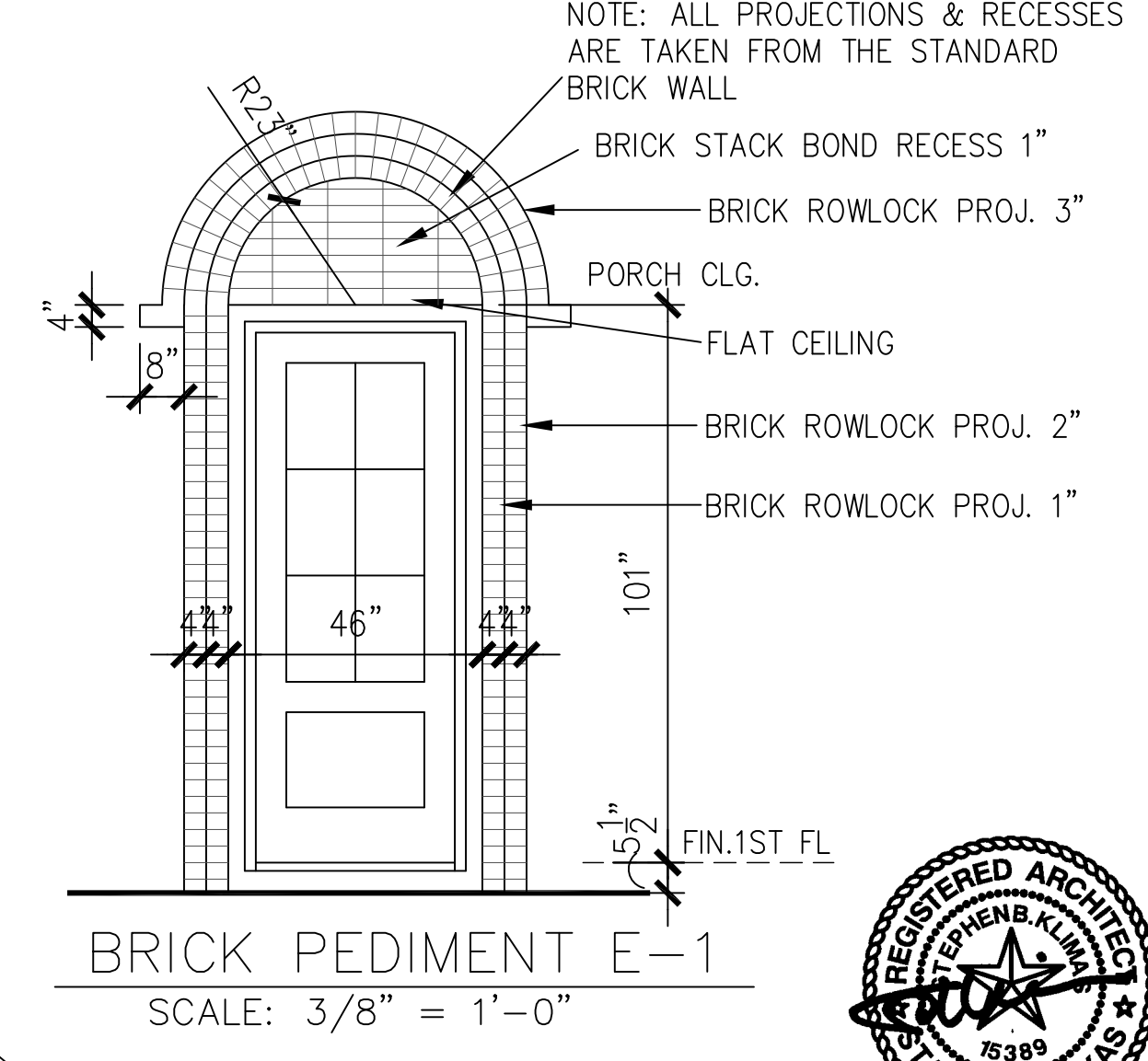
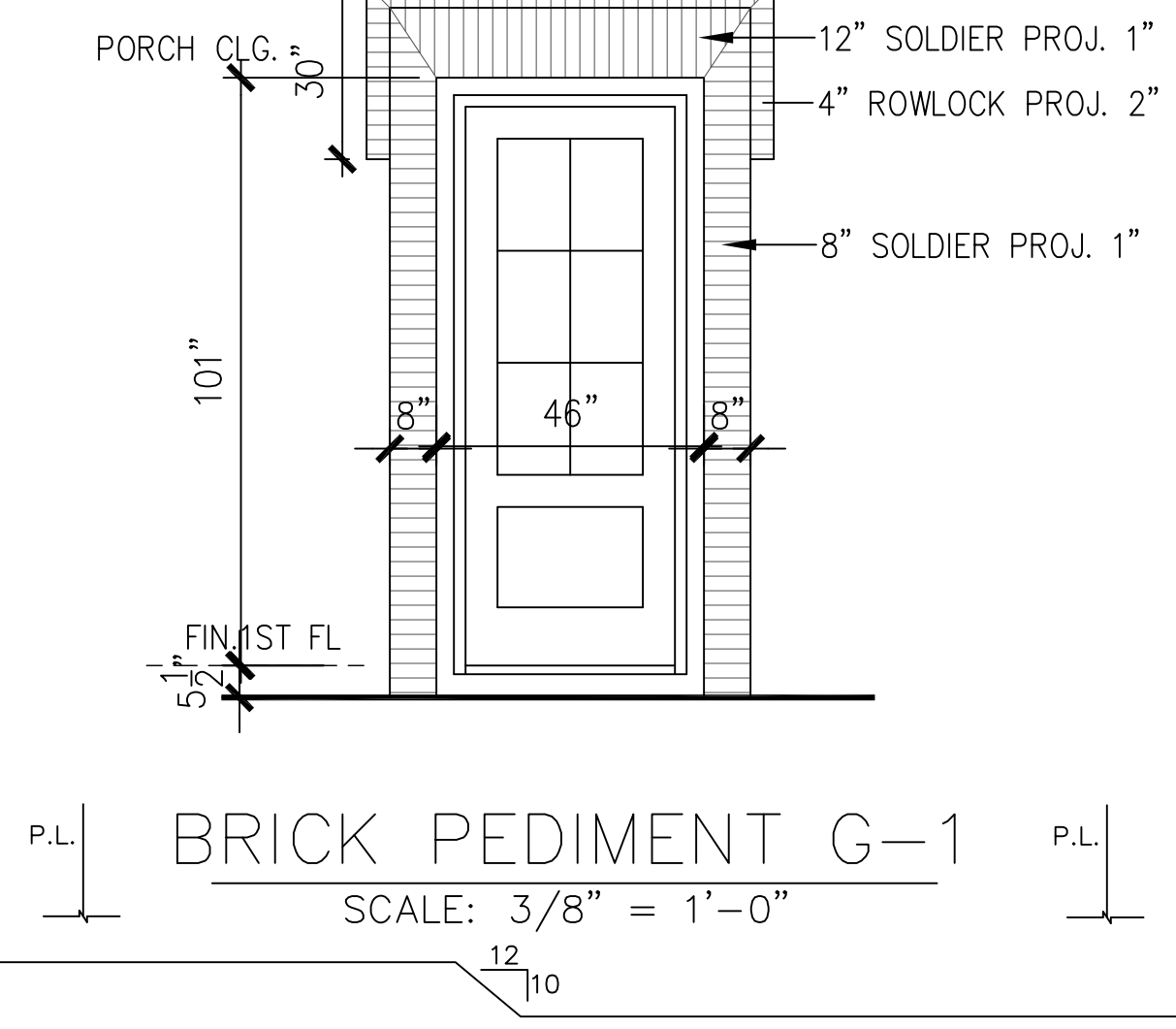
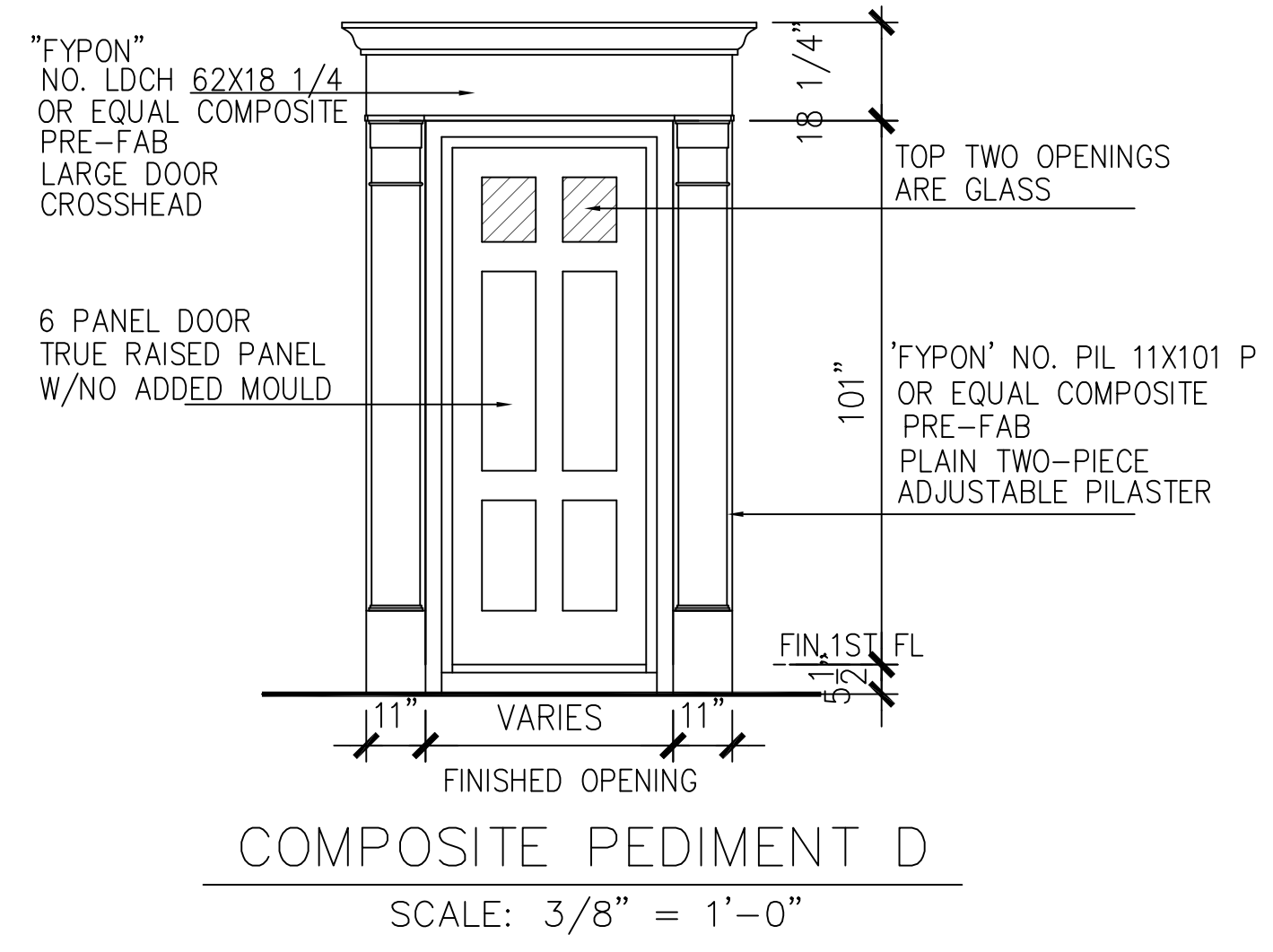
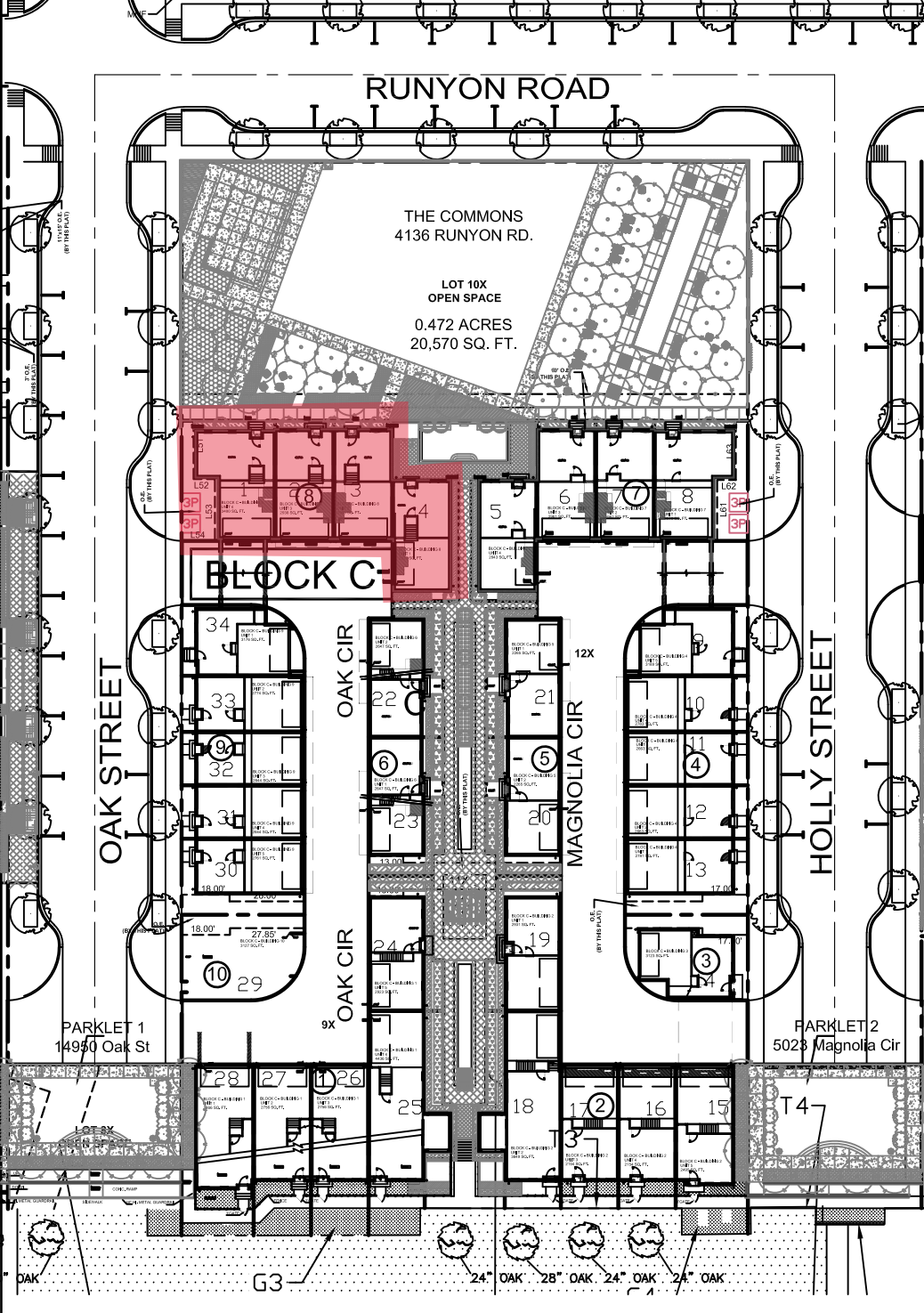
URBANINTOWNHOMES

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FLOOR PLANS

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Original Date Issued: 08/11/2022
Scale: 1/8" = 1'-0"
Last Updated: 11/24/2022

Town Case #: 1865-Z



TOTAL MATERIAL CALCULATION TABLE

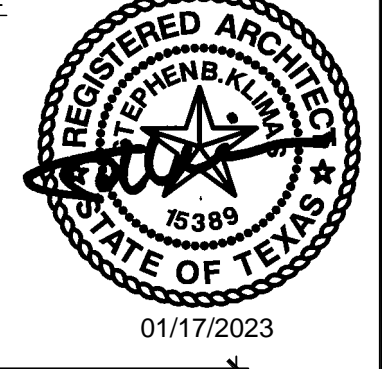
BRICK	9292	82.8%
3-COAT CEMENT PLASTER SYSTEM	756	6.8%
FIBER CEMENT STUCCO BOARD	576	5.1%
ACCENT MATERIAL	596	5.3%
TOTAL SURFACE AREA	11220	

NORTH/FRONT MATERIAL CALCULATION TABLE

BRICK	2385	80.7%
FIBER CEMENT STUCCO BOARD	154	5.2%
ACCENT MATERIAL	418	14.1%
TOTAL SURFACE AREA	2957	

- LEGEND
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - COMPOSITE PEDIMENT (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - FIX. SHUTTER (ACCENT MATERIAL)
 - HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

- FACADE PLAN NOTES
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Drawn By/Checked By: O.C./F.M.
Original Date Issued: 08/11/2022
Scale: 1/4" = 1'-0"
Last Updated: 01/04/2023

URBANINTOWNHOMES
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ADDISON GROVE - BLOCK C - BUILDING 8
NORTH/FRONT ELEVATION

PLAN NO.

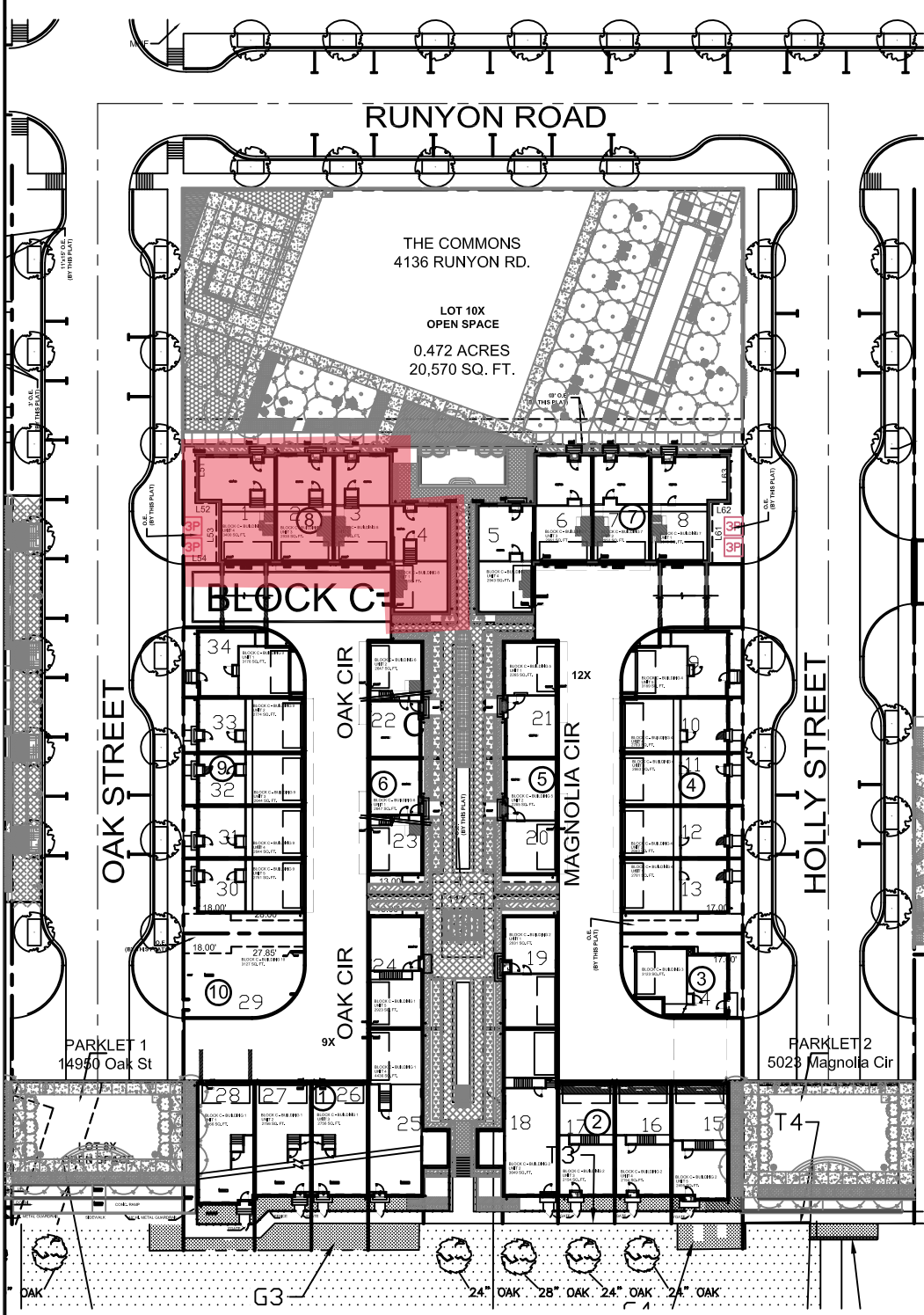
UNIT 1	2921
UNIT 2	2943
UNIT 3	2938
UNIT 4	3400

SHEET NO.

A-45

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Town Case #: 1865-Z



LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

WEST/RIGHT MATERIAL CALCULATION TABLE		
BRICK	2185	90.9%
FIBER CEMENT STUCCO BOARD	162	6.7%
ACCENT MATERIAL	58	2.4%
TOTAL SURFACE AREA	2405	

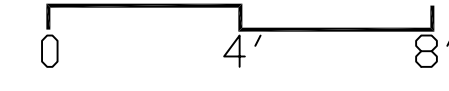
FAÇADE PLAN NOTES

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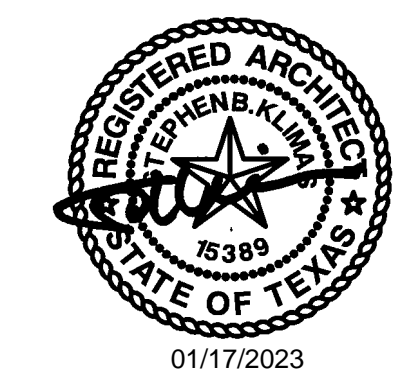


west/right(OAK STREET) elevation

SCALE: 1/4" = 1'-0"



ADDISON GROVE



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

URBANINTOWNHOMES

ADDISON GROVE - BLOCK C - BUILDING 8

WEST/RIGHT ELEVATIONS

PLAN NO.	UNIT 1	2921
	UNIT 2	2943
	UNIT 3	2938
	UNIT 4	3400

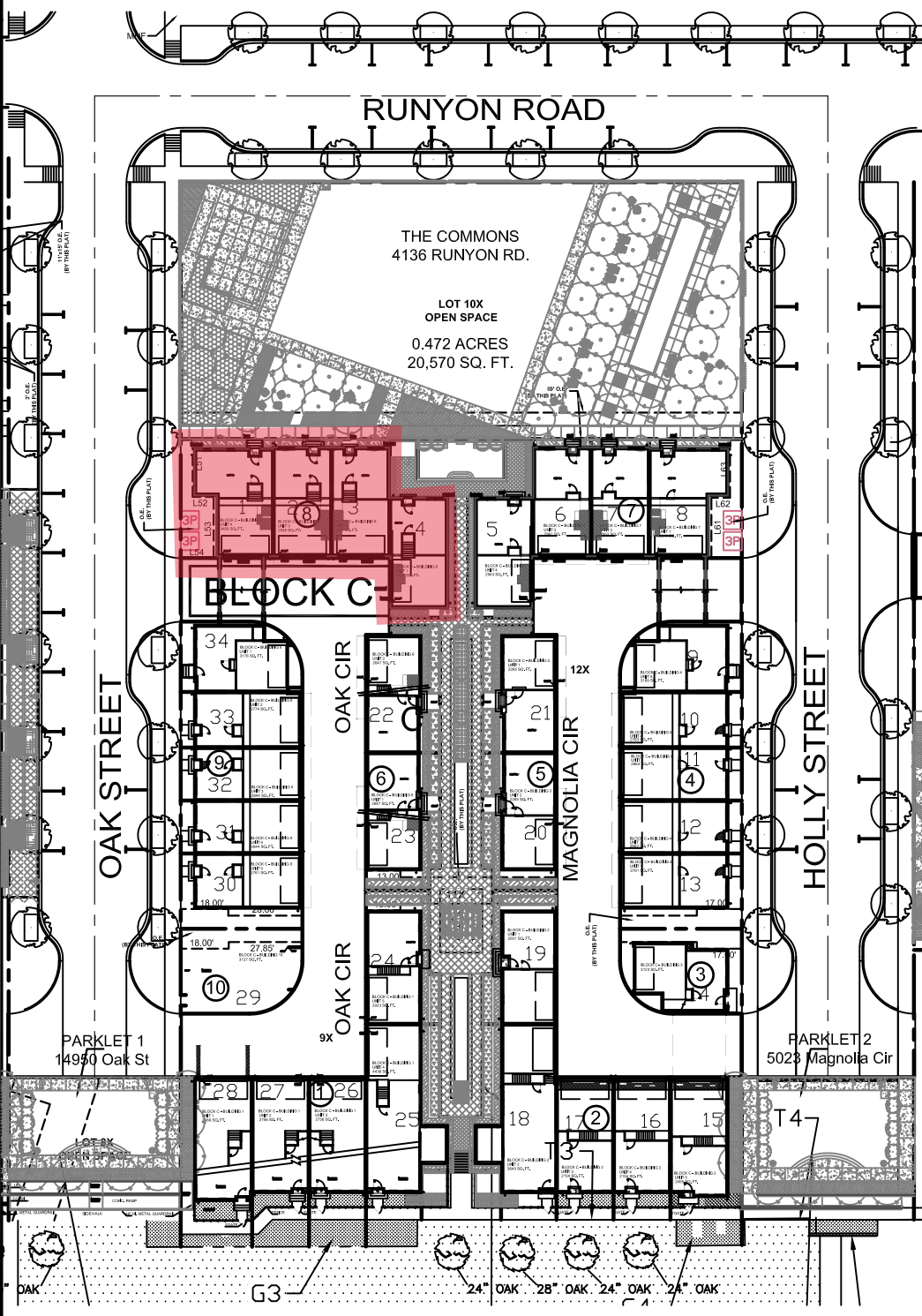
SHEET NO.

A-47

Drawn By/Checked By: O.C./F.M.
 Original Date Issued: 08/11/2022
 Scale: 1/4" = 1'-0"
 Last Updated: 01/04/2023

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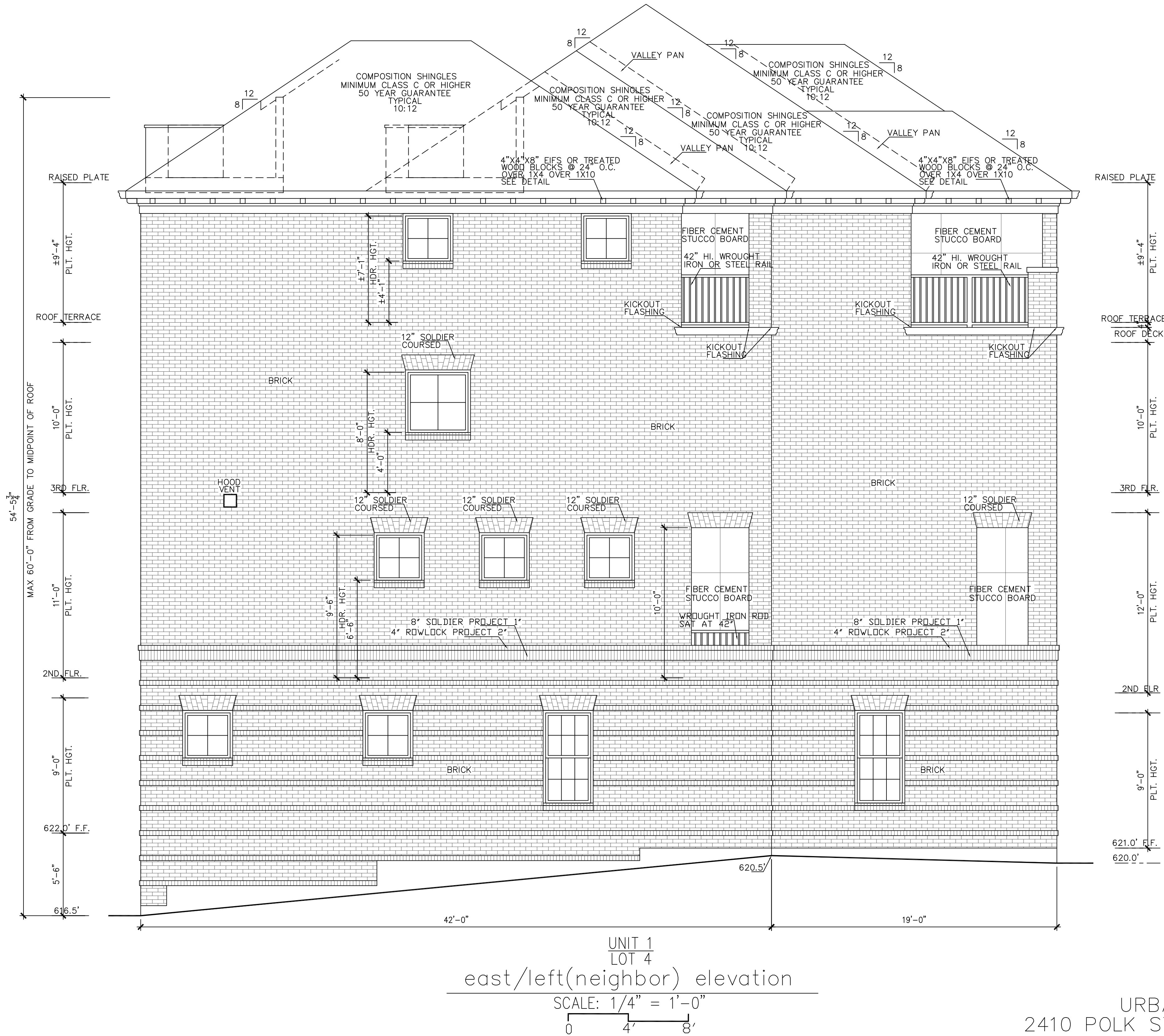
Town Case #:1865-Z



EAST/LEFT MATERIAL CALCULATION TABLE		
BRICK	2347	93.4%
FIBER CEMENT STUCCO BOARD	119	4.7%
ACCENT MATERIAL	47	1.9%
TOTAL SURFACE AREA	2513	

- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)

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UNIT 1
LOT 4
east/left(neighbor) elevation
SCALE: 1/4" = 1'-0"
0 4' 8'



ADDISON GROVE

ADDISON GROVE - BLOCK C - BUILDING 8 URBAN INTOWN HOMES

2410 POLK ST, STE 200, HOUSTON, TX 77003
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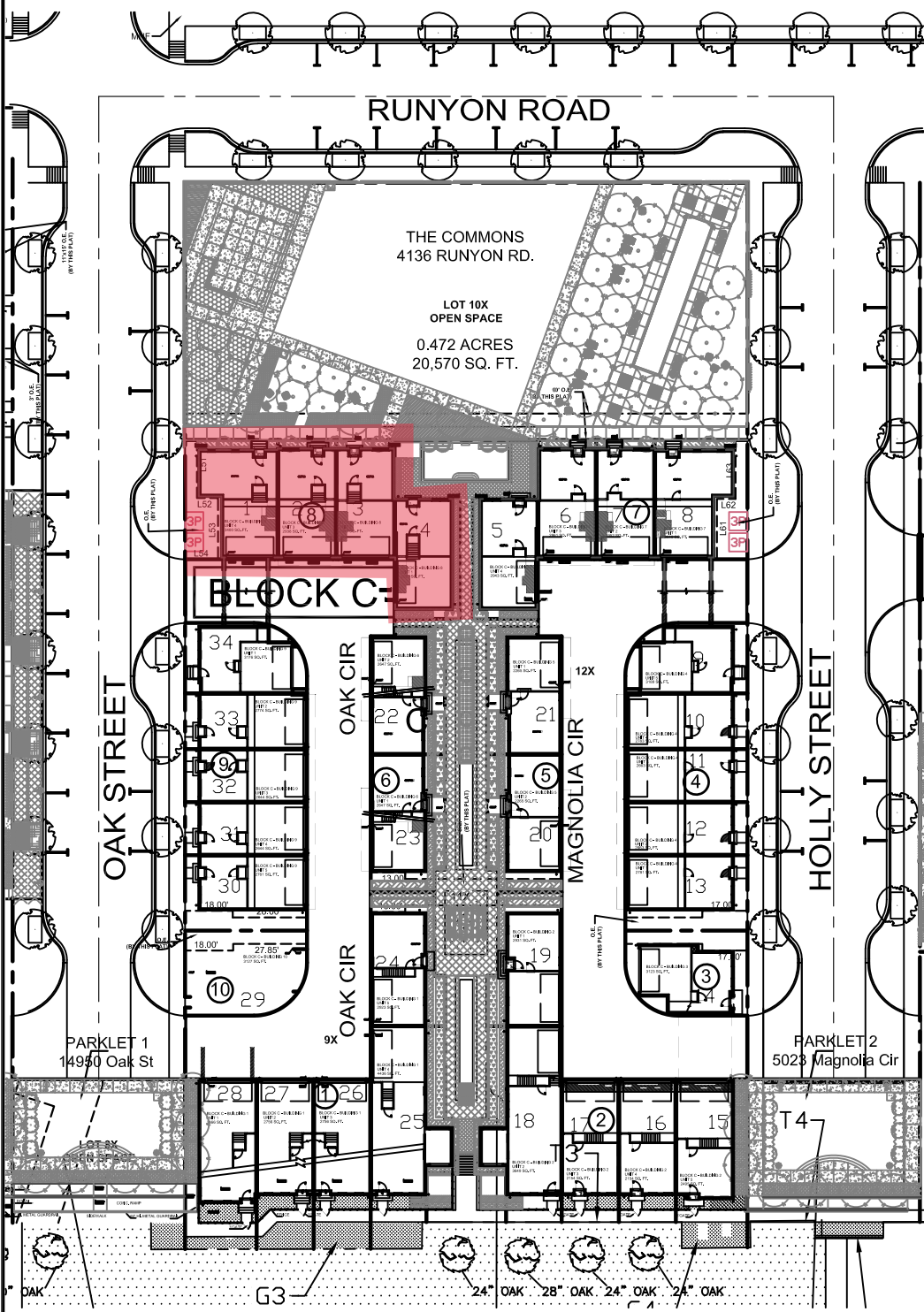
PLAN NO.	2921
UNIT 1	2943
UNIT 2	2938
UNIT 3	3400
UNIT 4	

SHEET NO.

A-48

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Drawn By/Checked By: O.C./F.M.
Original Date Issued: 08/11/2022
Scale: 1/4" = 1'-0"
Last Updated: 01/04/2023

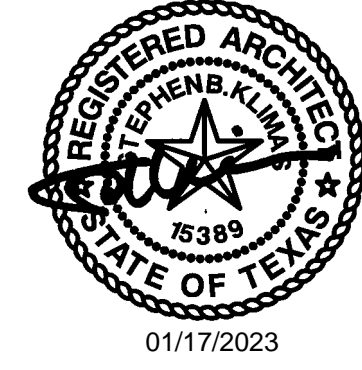


WEST/RIGHT MATERIAL CALCULATION TABLE		
BRICK	1747	88.8%
FIBER CEMENT STUCCO BOARD	162	8.2%
ACCENT MATERIAL	58	3.0%
TOTAL SURFACE AREA	1967	

- LEGEND
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

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Drawn By/Checked By: O.C./F.M.
 Original Date Issued: 08/11/2022
 Scale: 1/4" = 1'-0"
 Last Updated: 01/04/2023



BUILDING 8 UNIT 4 LOT 1
 west/right(OAK STREET) elevation
 SCALE: 1/4" = 1'-0"

BUILDING 9 UNIT 1 LOT 34

ADDISON GROVE

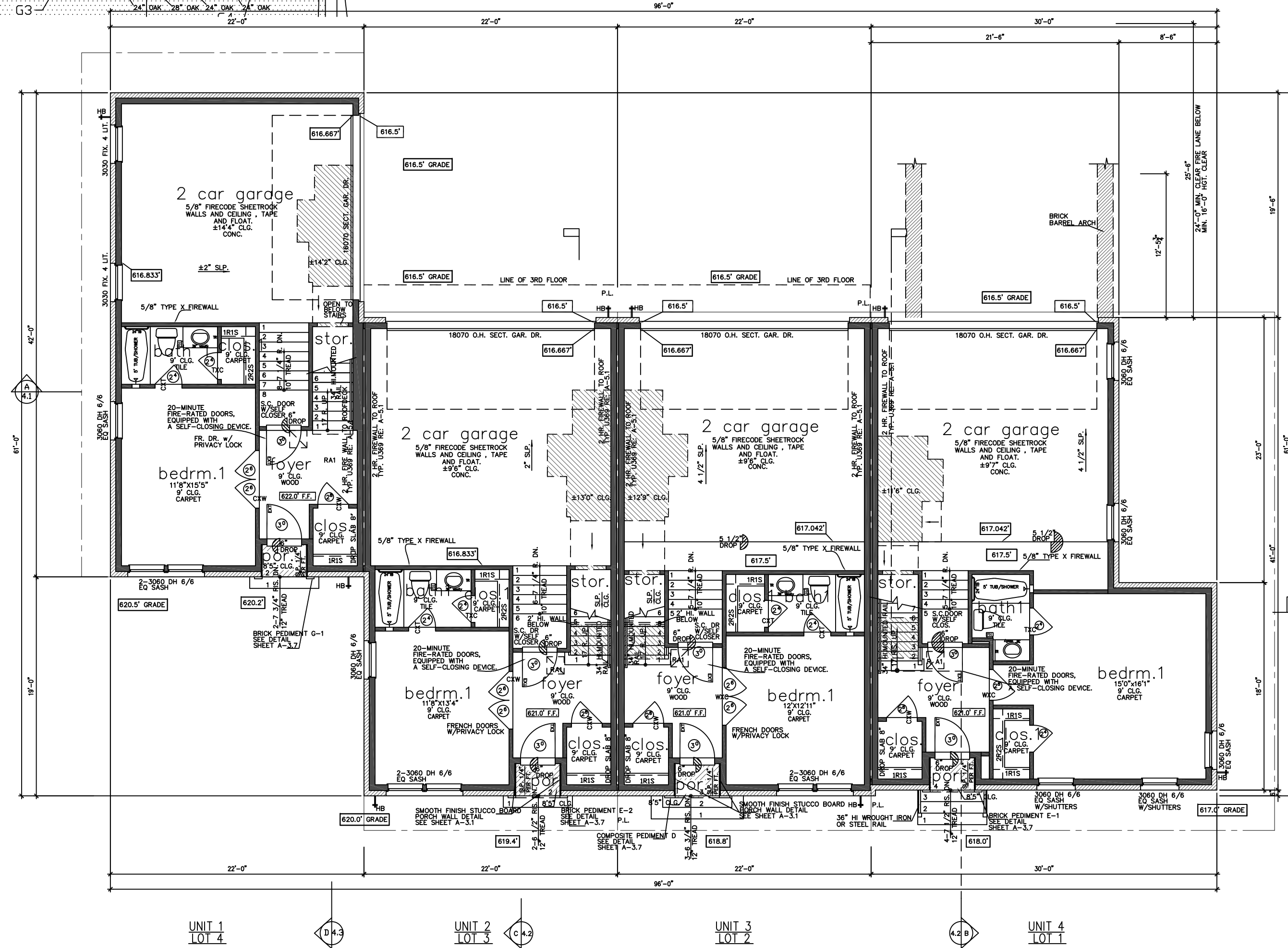
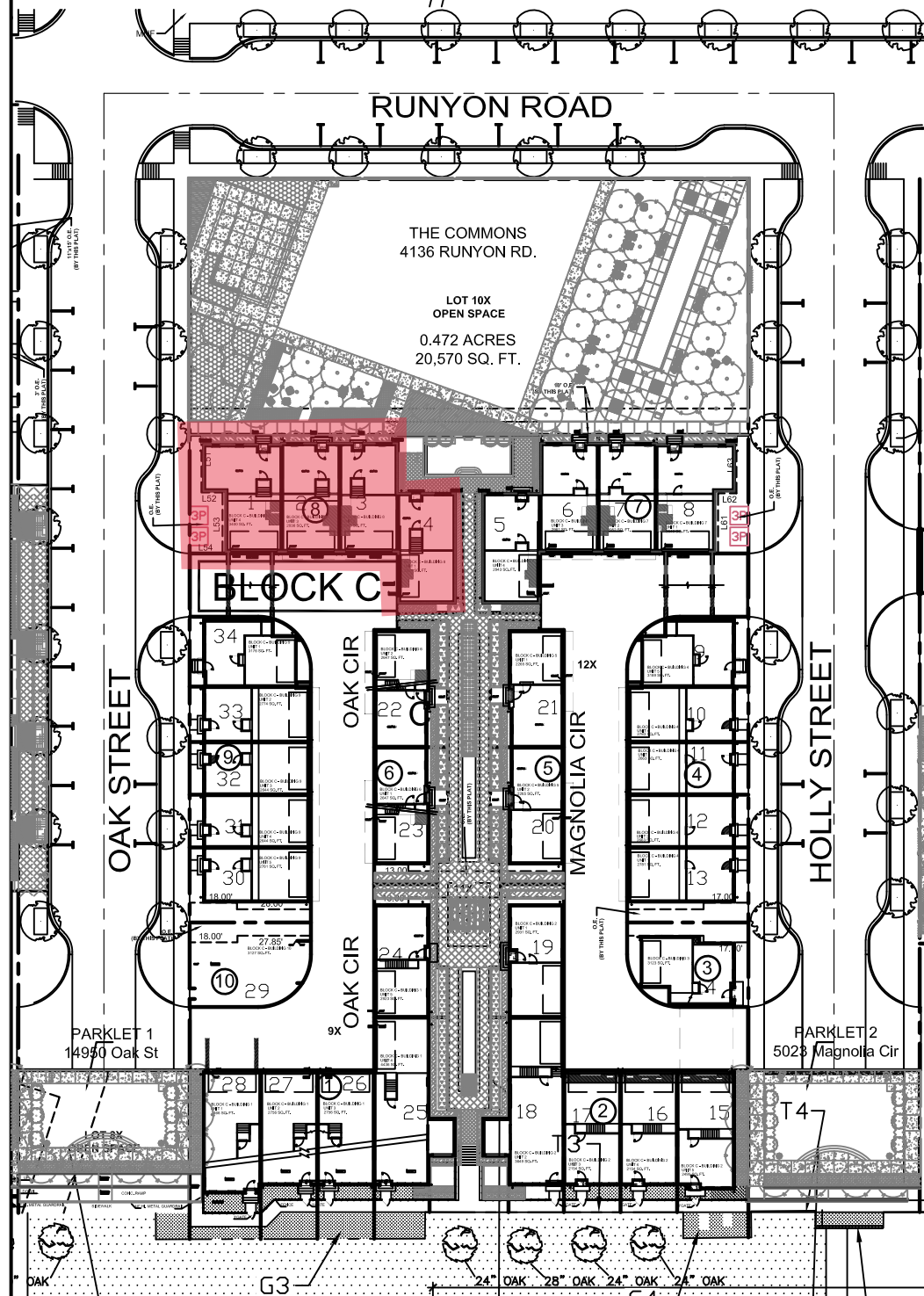
ADDISON GROVE - BLOCK C - BUILDING 8 URBAN INTOWN HOMES

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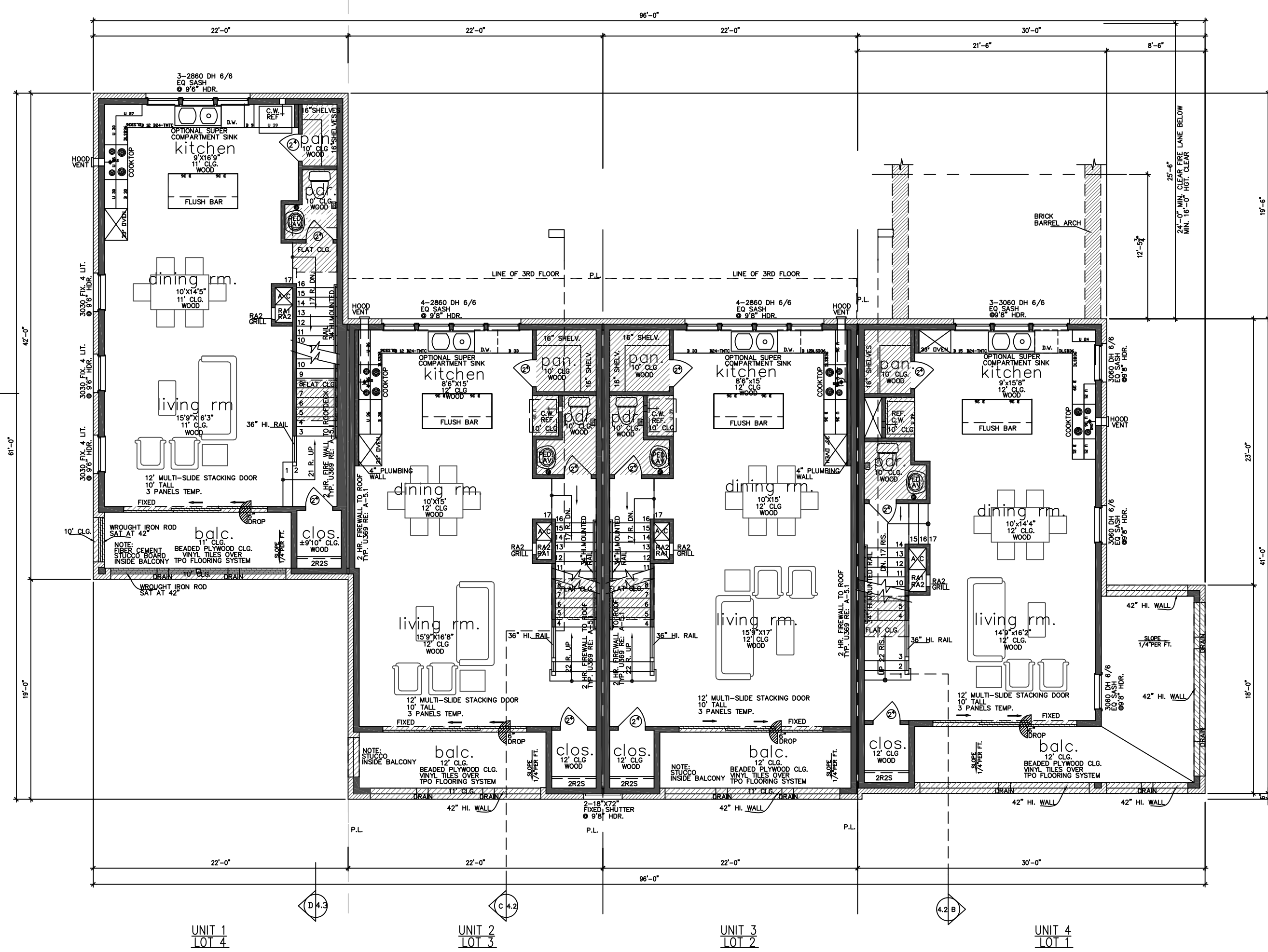
PLAN NO.	
UNIT 1	2921
UNIT 2	2943
UNIT 3	2938
UNIT 4	3400

SHEET NO. **A-49**

Town Case #:1865-Z



First Floor Plan
SCALE: 1/8" = 1'-0"
NORTH



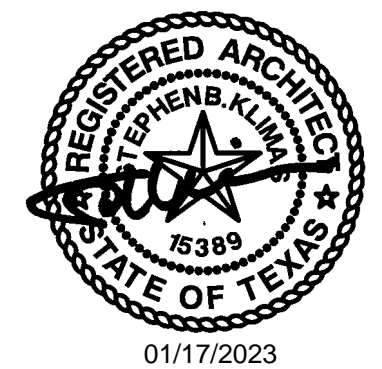
Second Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

unit 1 square footage	unit 2 square footage	unit 3 square footage	unit 4 square footage
FIRST FLOOR 521	FIRST FLOOR 521	FIRST FLOOR 521	FIRST FLOOR 521
SECOND FLOOR 875	SECOND FLOOR 875	SECOND FLOOR 875	SECOND FLOOR 875
TERRACE 241	TERRACE 241	TERRACE 241	TERRACE 241
ROOF TERRACE 732	ROOF TERRACE 732	ROOF TERRACE 732	ROOF TERRACE 732
TOTAL LIVING AREA 8708	TOTAL LIVING AREA 8708	TOTAL LIVING AREA 8708	TOTAL LIVING AREA 8708
PORCH 11	PORCH 11	PORCH 11	PORCH 11
GARAGE 289	GARAGE 289	GARAGE 289	GARAGE 289
BALCONY 99	BALCONY 99	BALCONY 99	BALCONY 99
COVERED ROOF DECK 34	COVERED ROOF DECK 34	COVERED ROOF DECK 34	COVERED ROOF DECK 34
UNCOVERED ROOF DECK 183	UNCOVERED ROOF DECK 183	UNCOVERED ROOF DECK 183	UNCOVERED ROOF DECK 183
AC DECK 82	AC DECK 82	AC DECK 82	AC DECK 82
TOTAL SLAB AREA 984	TOTAL SLAB AREA 984	TOTAL SLAB AREA 984	TOTAL SLAB AREA 984

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE EXISTING PERIMETERS. IN GENERAL, COMPLIANCE WITH THE 2000 INTERNATIONAL RESIDENTIAL CODE SHALL BE MAINTAINED. ACTUAL SQUARE FOOTAGE MAY VARY.

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2921	4
UNIT 2	2943	4
UNIT 3	2938	4
UNIT 4	3400	4

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



Drawn By/Checked By: O.C./F.M.
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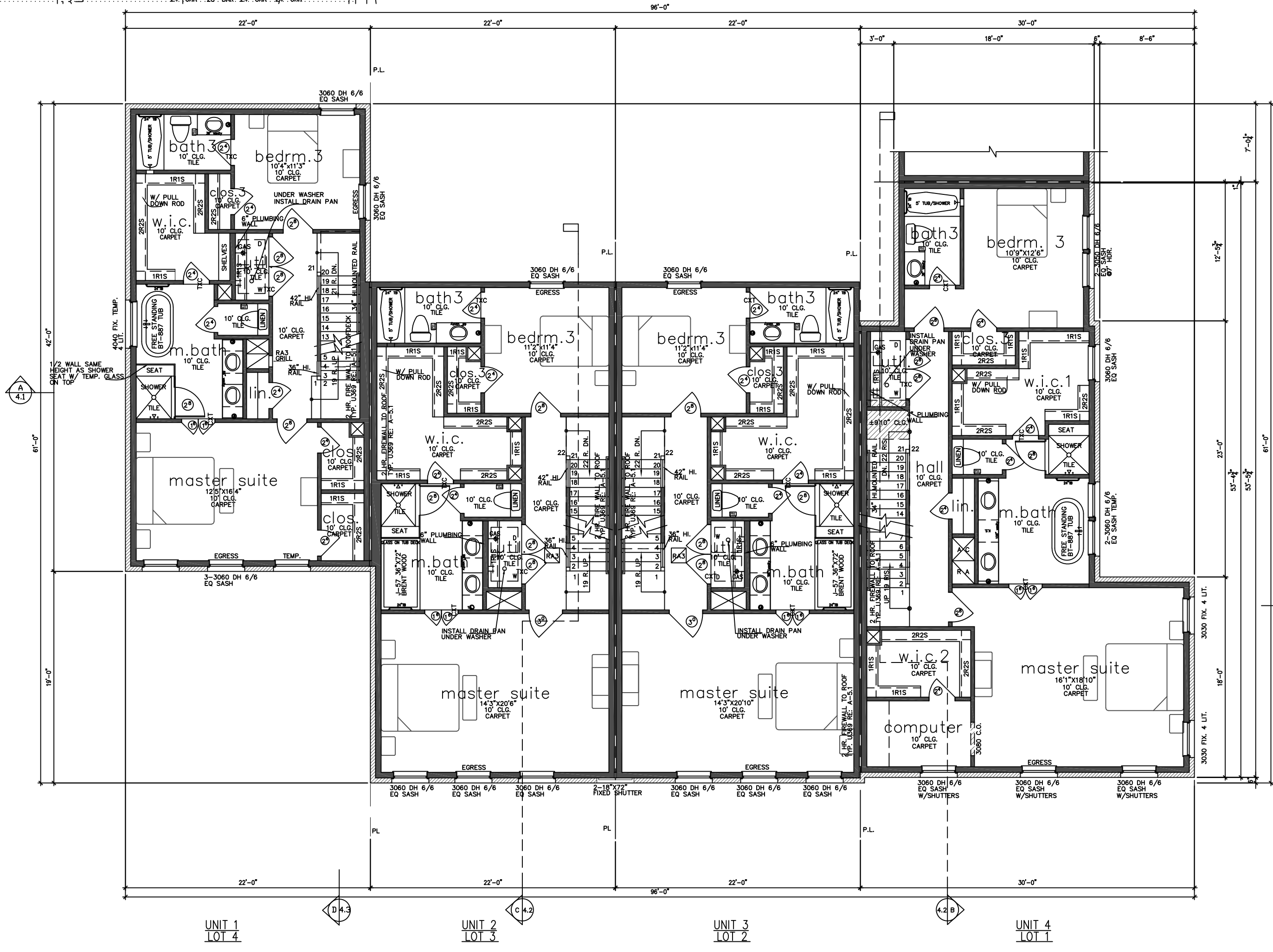
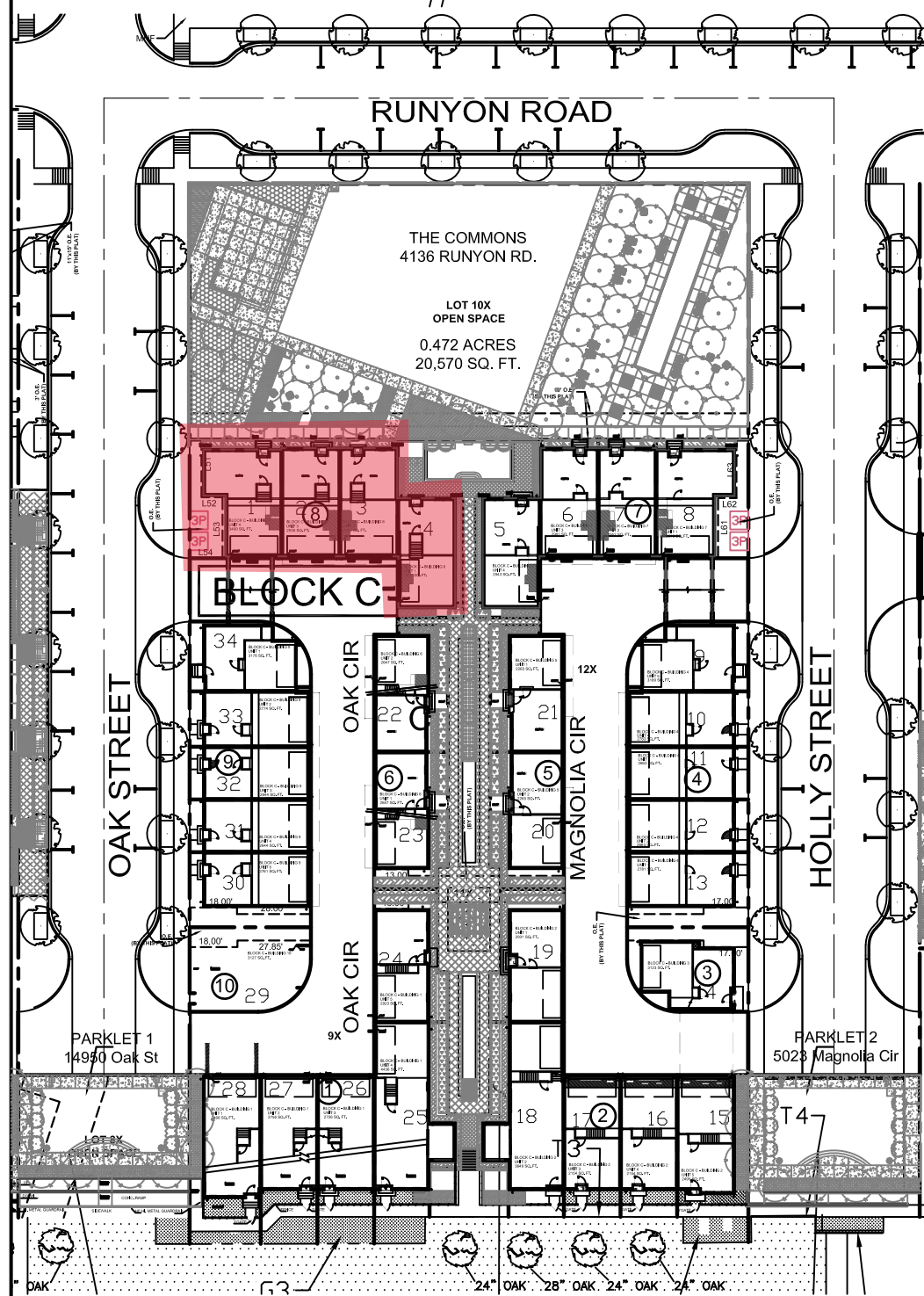
URBAN INTOWN HOMES
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(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK C - BUILDING 8
FLOOR PLANS

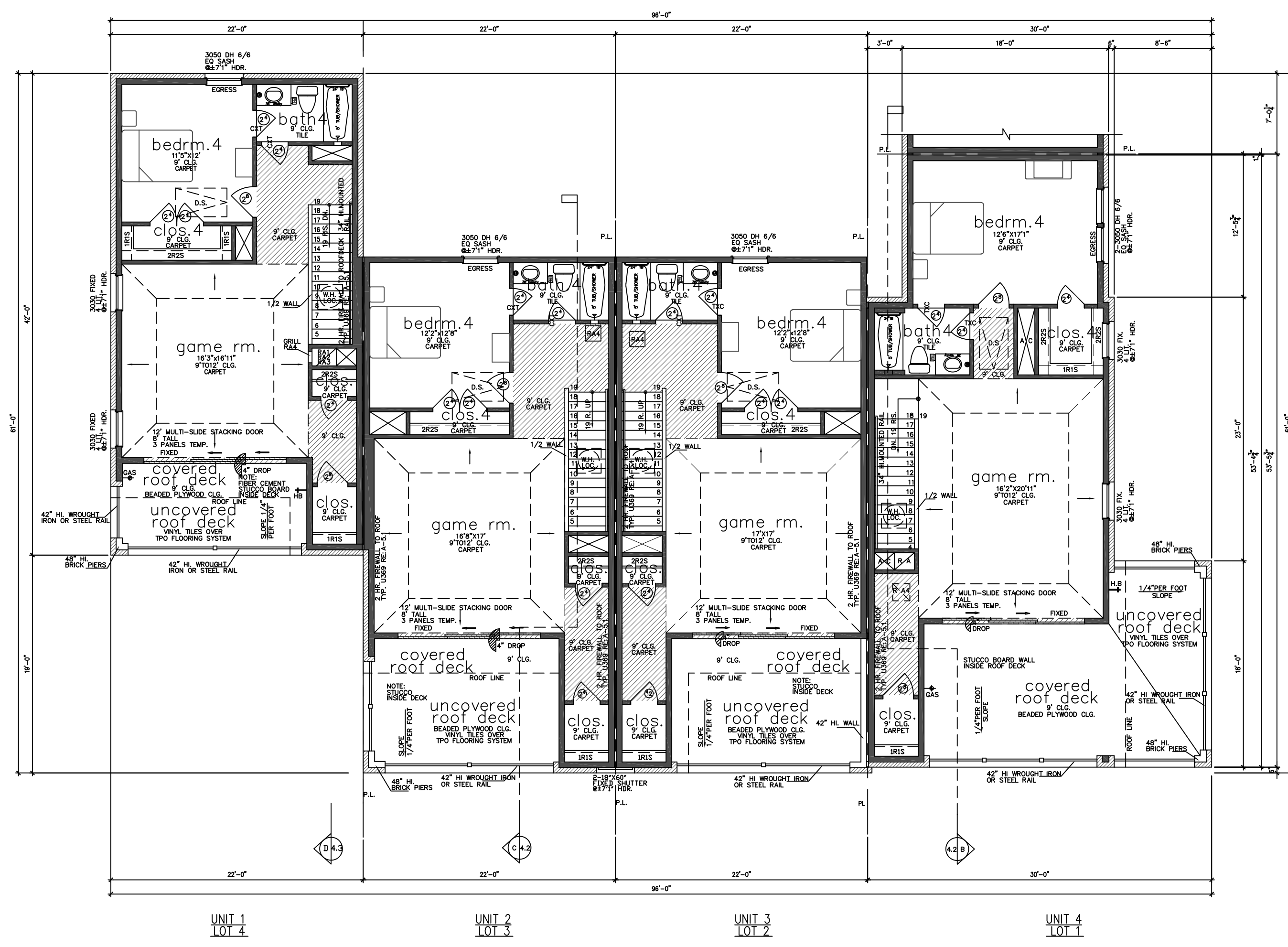
PLAN NO.	2921
UNIT 1	2943
UNIT 2	2938
UNIT 3	3400

SHEET NO.
A-50

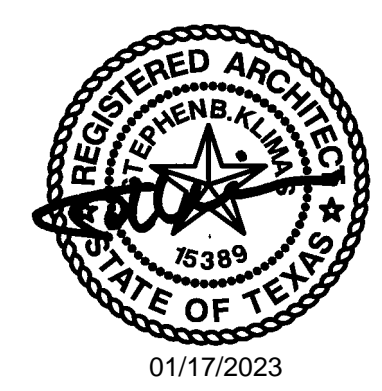
Town Case #:1865-Z



Third Floor Plan
NORTH
SCALE: 1/8" = 1'-0"



Roof Terrace Plan
NORTH
SCALE: 1/8" = 1'-0"

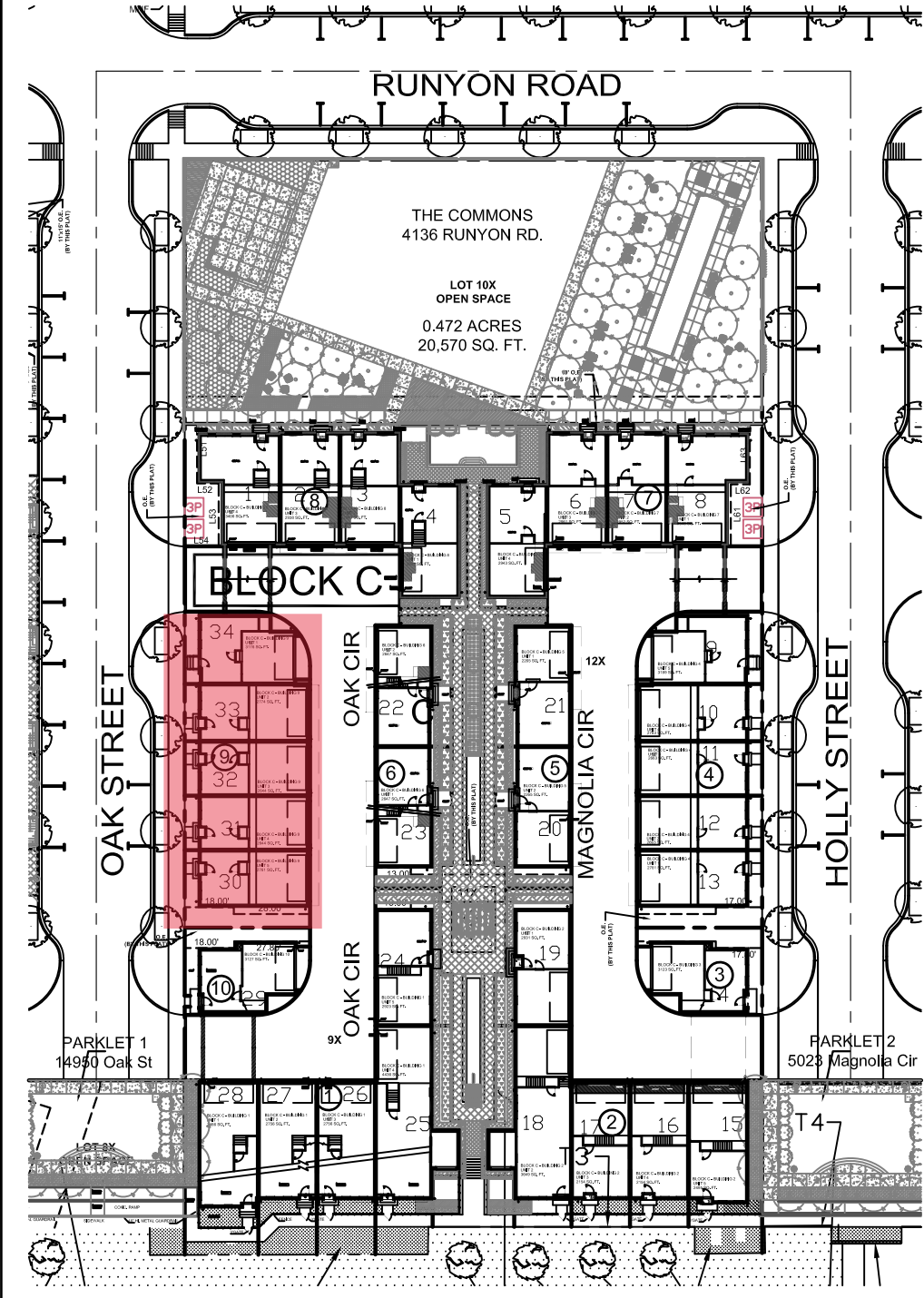


URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Drawn By/Checked By: O.C./F.M.
Original Date Issued: 08/11/2022
Scale: 1/8" = 1'-0"
Last Updated: 01/04/2023

URBANINTOWNHOMES
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ADDISON GROVE - BLOCK C - BUILDING 8
FLOOR PLANS
ADDISON GROVE
PLAN NO.
UNIT 1 2921
UNIT 2 2943
UNIT 3 2938
UNIT 4 3400
SHEET NO.
A-51



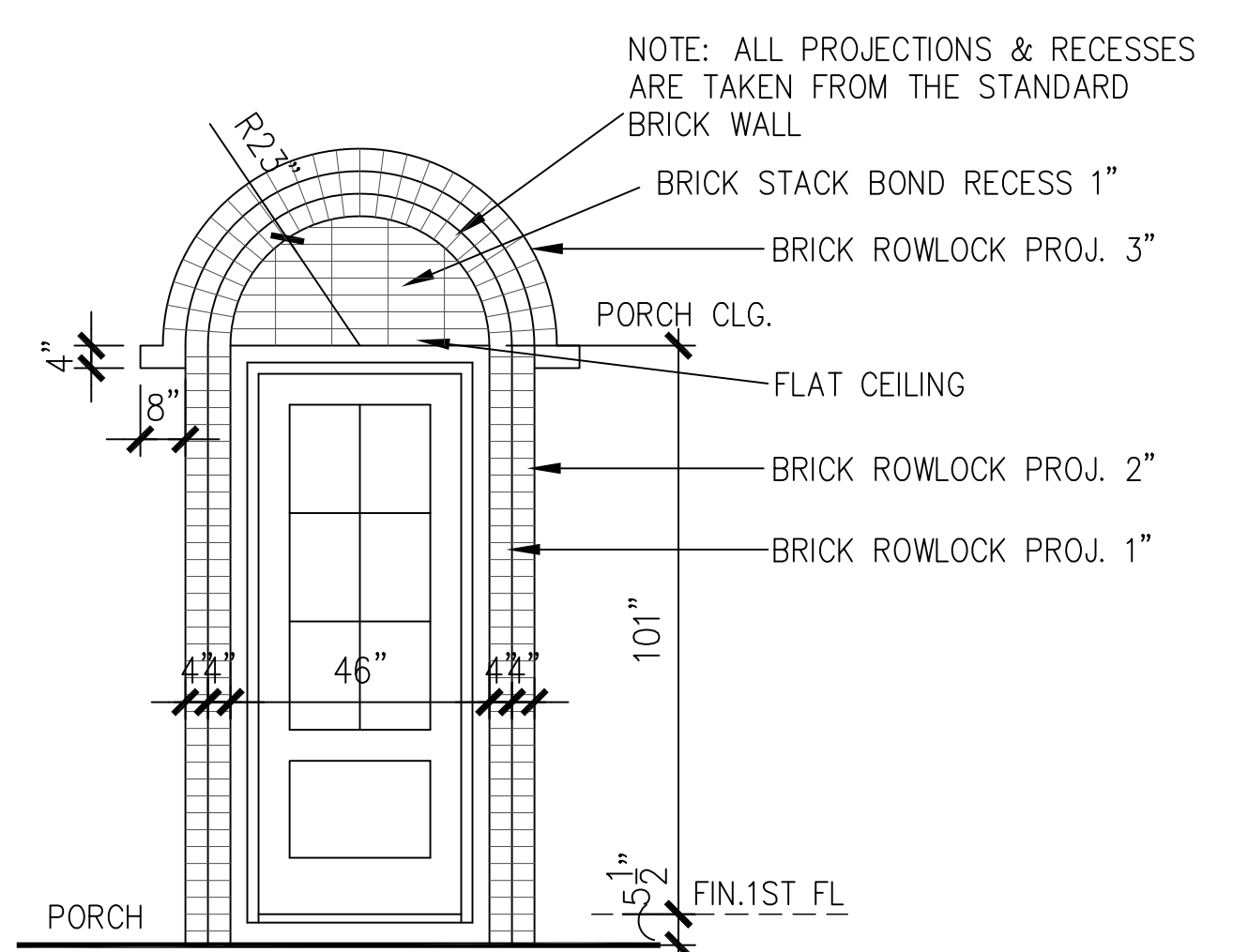
- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 4X4X8 WOOD OR EFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - FIX. SHUTTER (ACCENT MATERIAL)
 - HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)
- FAÇADE PLAN NOTES**
- THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
 - ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
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 - ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.
 - THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT.

WEST/FRONT MATERIAL CALCULATION TABLE

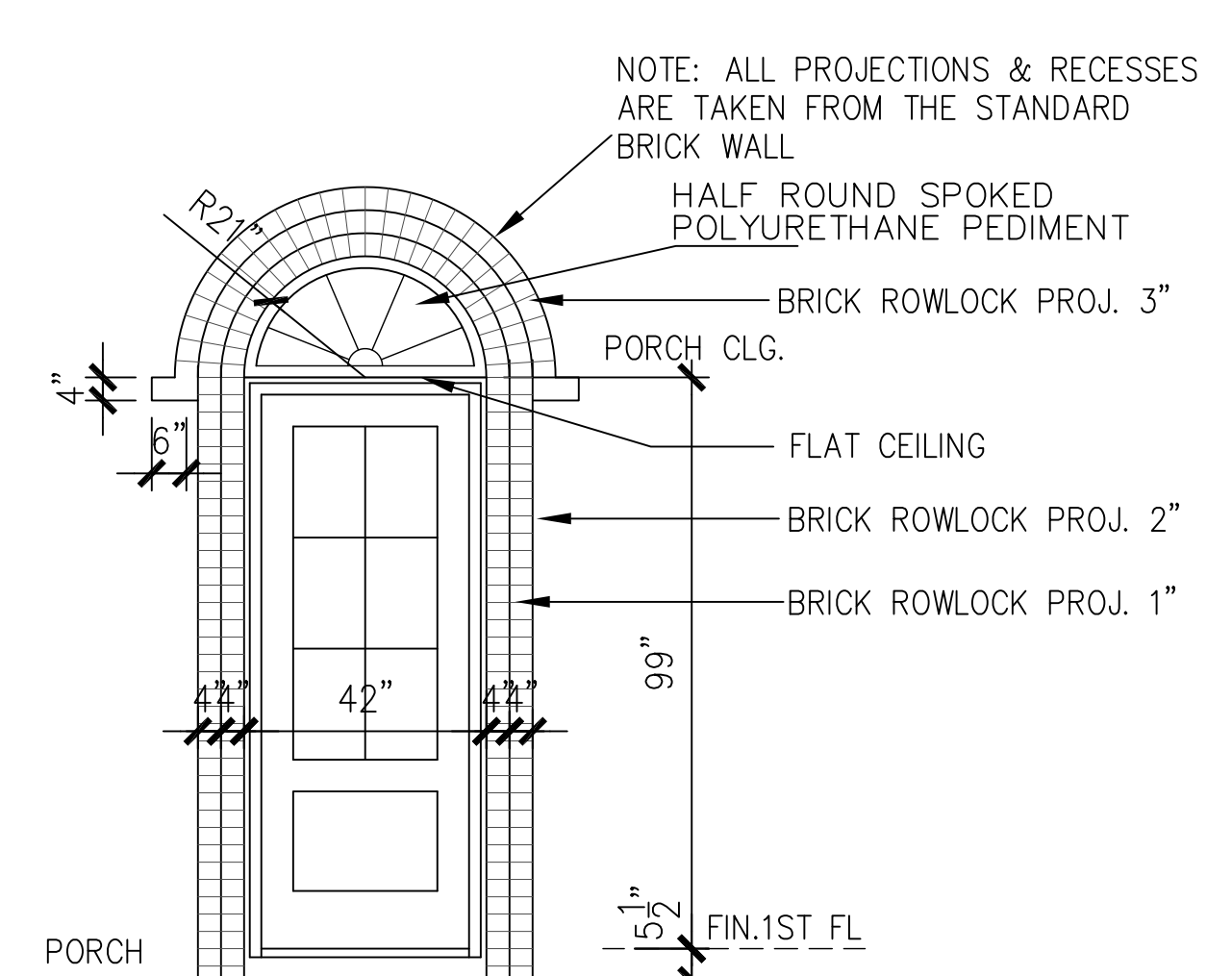
BRICK	3385	89.1%
FIBER CEMENT STUCCO BOARD	99	2.6%
ACCENT MATERIAL	317	8.3%
TOTAL SURFACE AREA	3801	

TOTAL MATERIAL CALCULATION TABLE

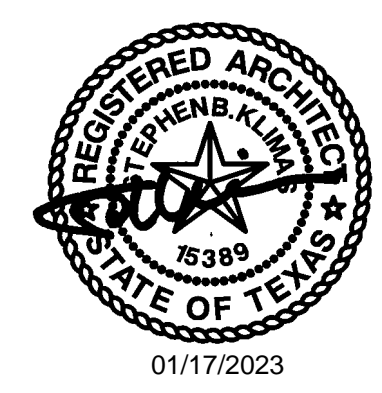
BRICK	9054	79.1%
3-COAT CEMENT PLASTER SYSTEM	1518	13.3%
FIBER CEMENT STUCCO BOARD	410	3.6%
ACCENT MATERIAL	460	4.0%
TOTAL SURFACE AREA	11442	



BRICK PEDIMENT E-1
SCALE: 3/8" = 1'-0"



BRICK PEDIMENT E-2
SCALE: 3/8" = 1'-0"



BUILDING 8

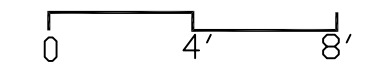
UNIT 1
LOT 34

BUILDING 9

UNIT 2
LOT 33

west/front (OAK STREET) elevation

SCALE: 3/16" = 1'-0"



UNIT 3
LOT 32

UNIT 4
LOT 31

UNIT 5
LOT 30

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ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE - BLOCK C - BUILDING 9

WEST/FRONT ELEVATION

PLAN NO.

UNIT 1	3176
UNIT 2	2774
UNIT 3	2644
UNIT 4	2644
UNIT 5	2761

SHEET NO.

A-52

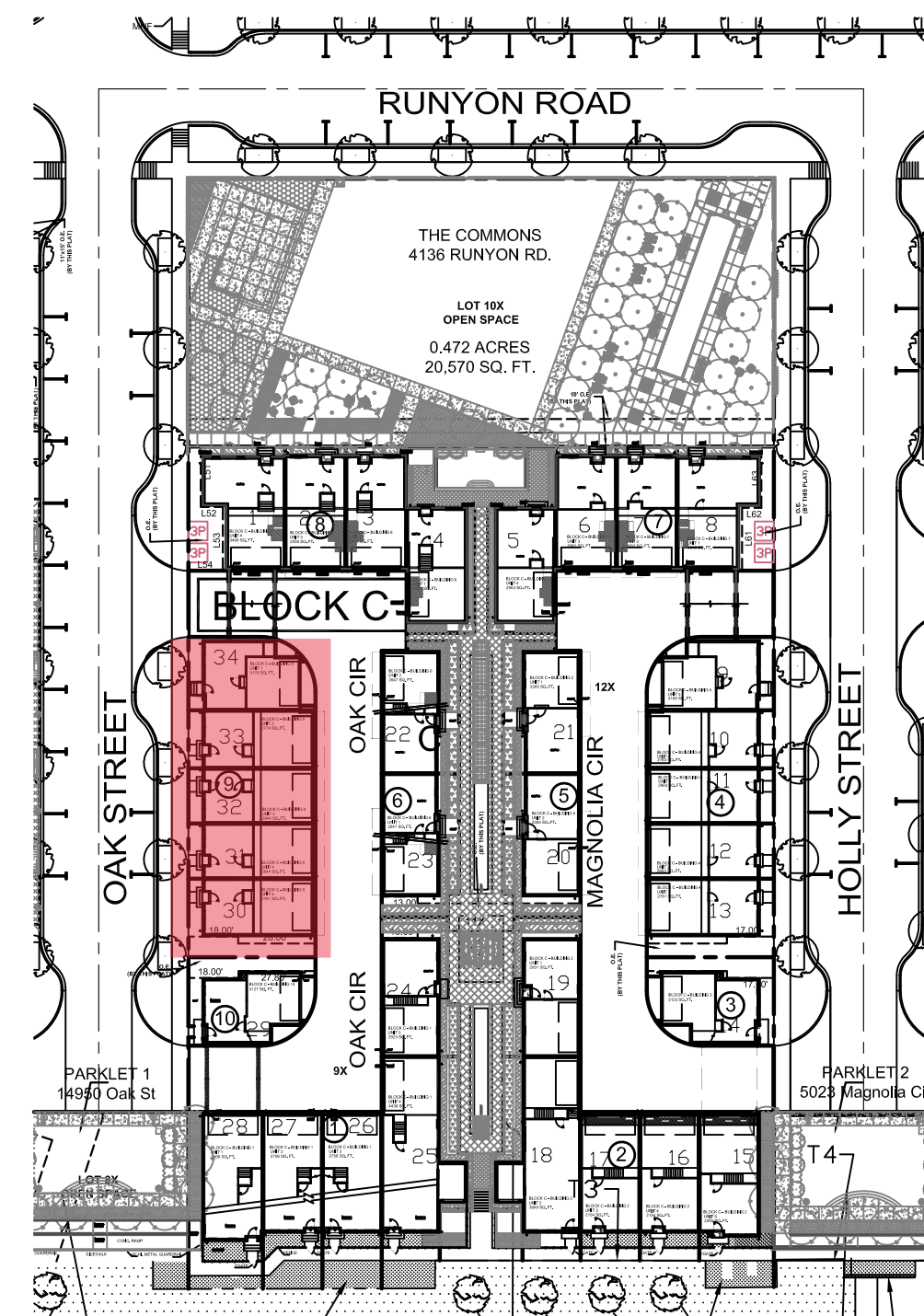
Drawn By/Checked By: C.C./F.M.
Original Date Issued: 07/15/2022

Scale: 3/16" = 1'-0"
Last Updated: 01/04/2023

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Drawn By/Checked By: C.C./F.M.
 Original Date Issued: 07/15/2022
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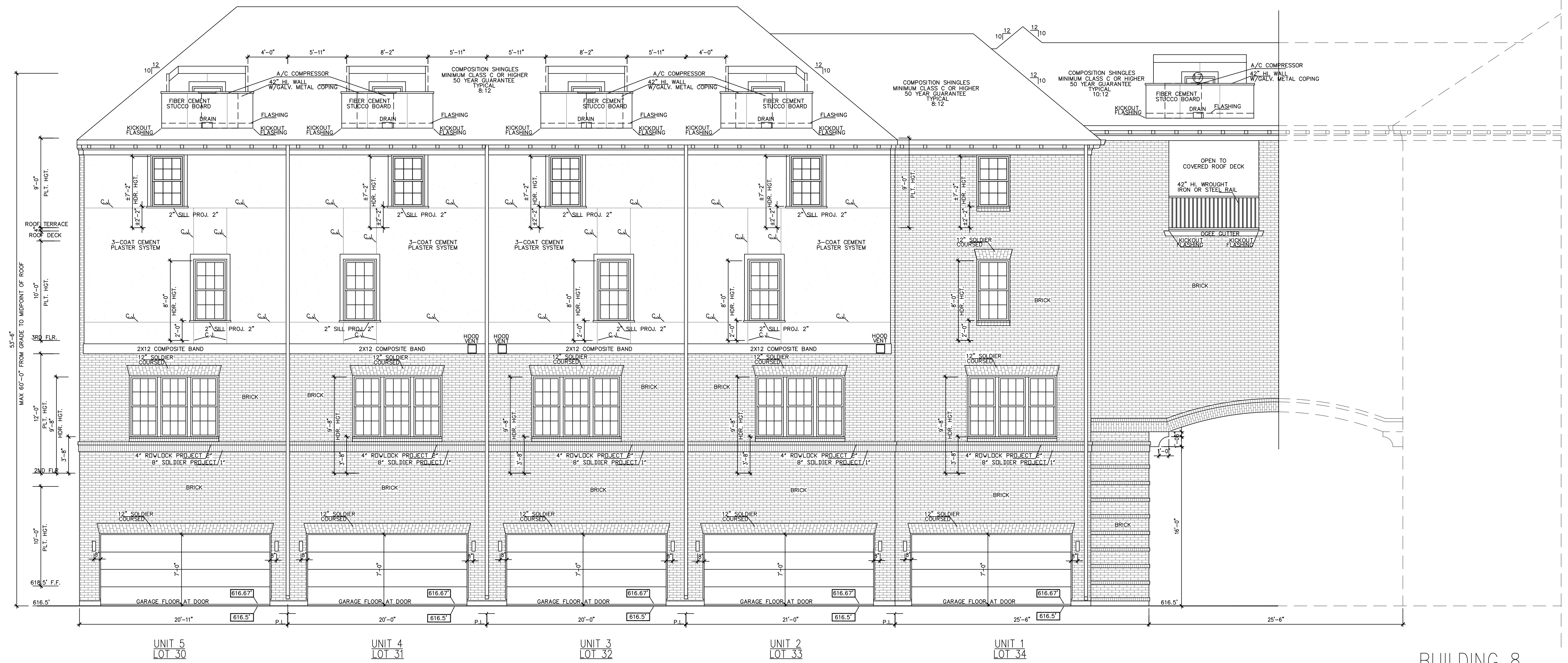
FACADE PLAN NOTES

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LEGEND

- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

EAST/REAR MATERIAL CALCULATION TABLE		
BRICK	2612	60.1%
3-COAT CEMENT PLASTER SYSTEM	1386	31.9%
FIBER CEMENT STUCCO BOARD	230	5.3%
ACCENT MATERIAL	118	2.7%
TOTAL SURFACE AREA	4346	



east/rear(OAK CIR.) elevation
 SCALE: 3/16" = 1'-0"

BUILDING 9

BUILDING 8
 URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877

URBANINTOWNHOMES, Ltd.

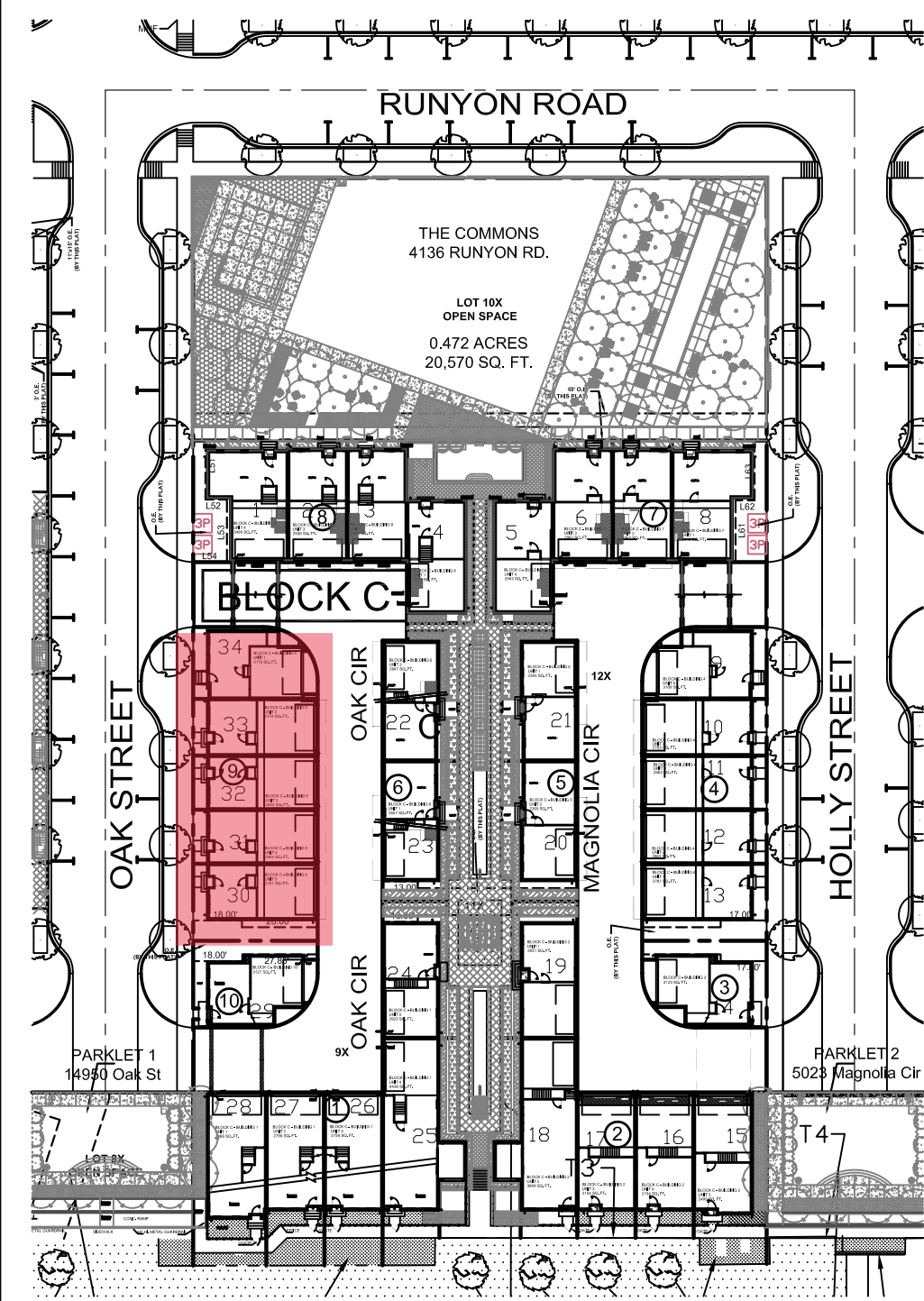
2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK C - BUILDING 9

EAST/REAR ELEVATION

PLAN NO.	
UNIT 1	3176
UNIT 2	2774
UNIT 3	2644
UNIT 4	2644
UNIT 5	2761

SHEET NO.
A-53



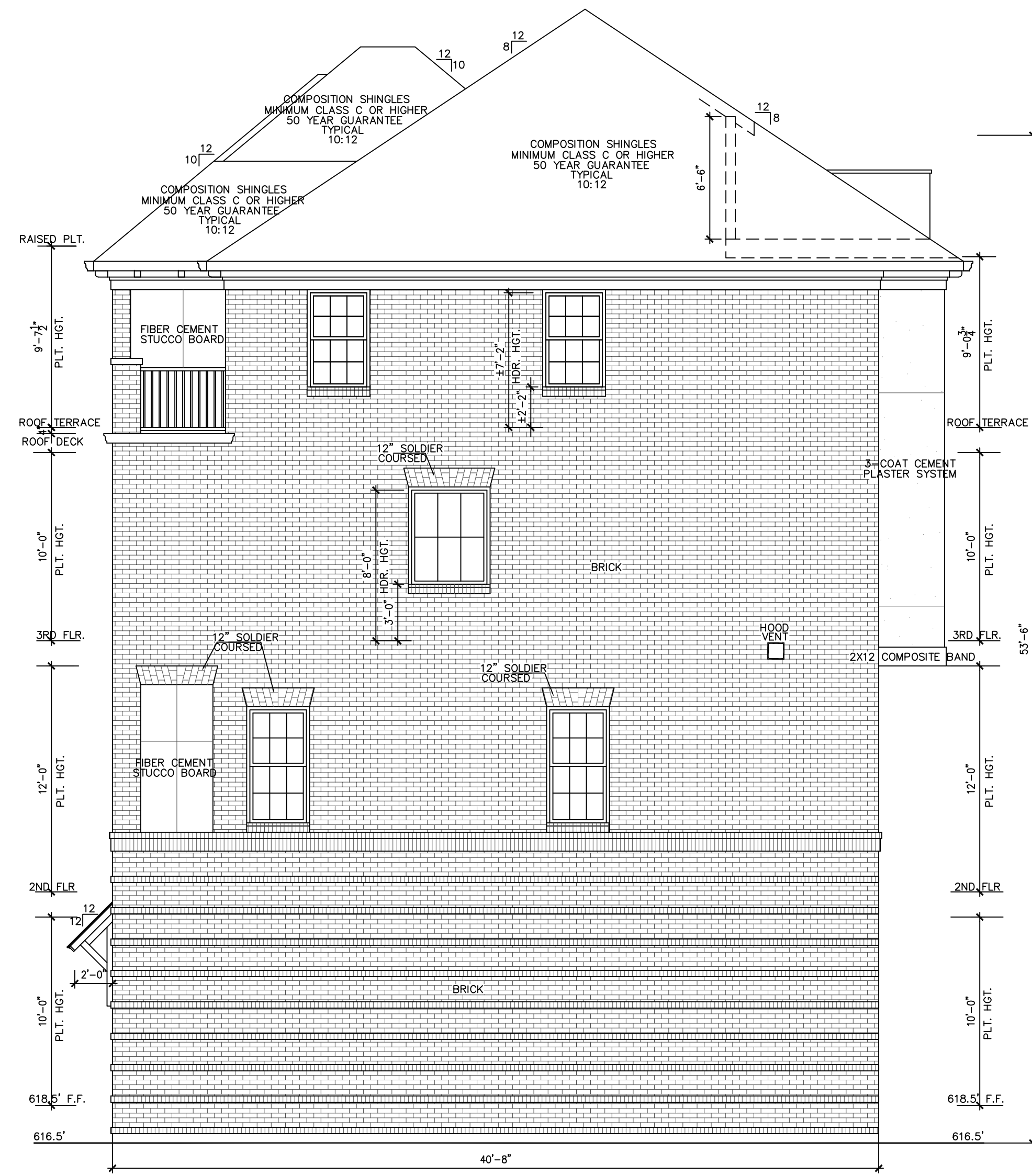
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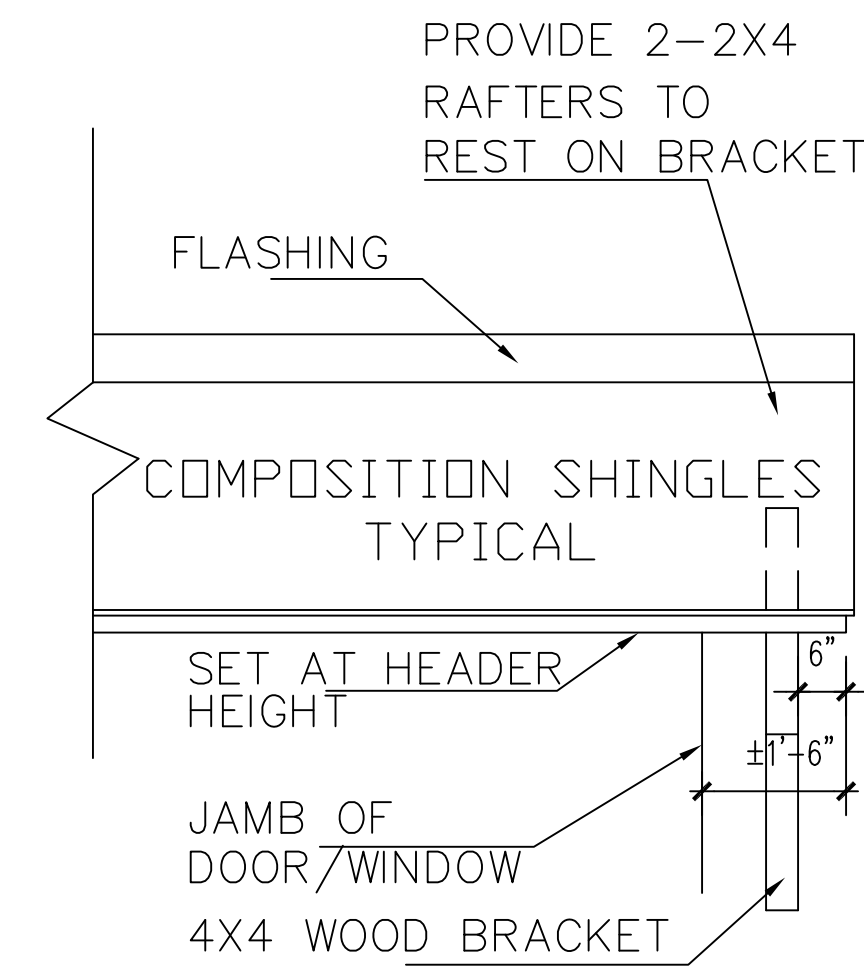
LEGEND

- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)

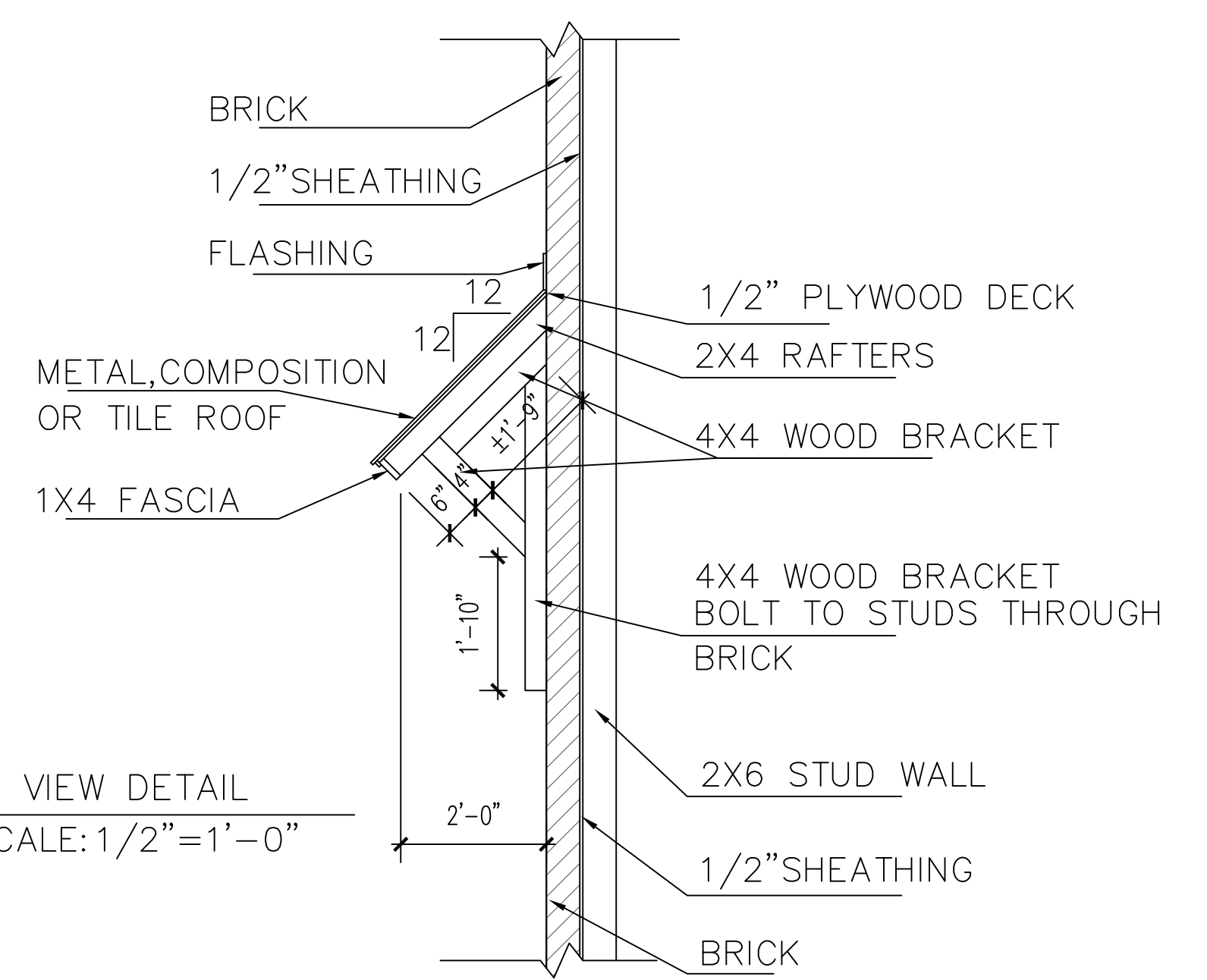
SOUTH/RIGHT MATERIAL CALCULATION TABLE		
BRICK	1659	91.9%
3-COAT CEMENT PLASTER SYSTEM	66	3.6%
FIBER CEMENT STUCCO BOARD	61	3.4%
ACCENT MATERIAL	20	1.1%
TOTAL SURFACE AREA	1806	



UNIT 5
LOT 30
south/right(neighbor) elevation
SCALE: 3/16" = 1'-0"
0 4' 8'

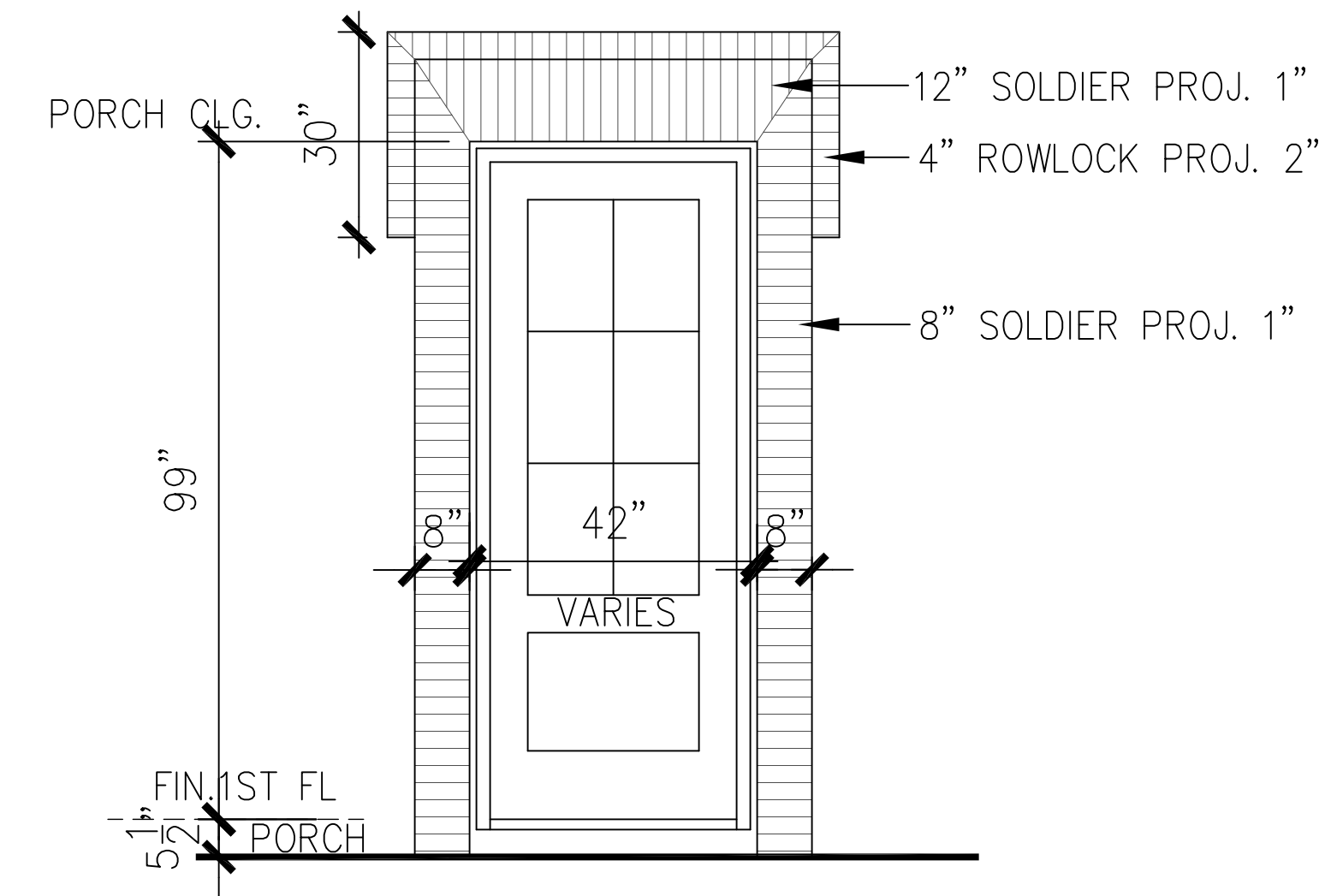


FRONT VIEW DETAIL
SCALE: 1/2" = 1'-0"



SIDE VIEW DETAIL
SCALE: 1/2" = 1'-0"

SHED ROOF(BRICK) DETAIL(A)
SCALE: 1/2" = 1'-0"



BRICK PEDIMENT G-1
SCALE: 1/2" = 1'-0"

ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE - BLOCK C - BUILDING 9

SOUTH/RIGHT ELEVATIONS

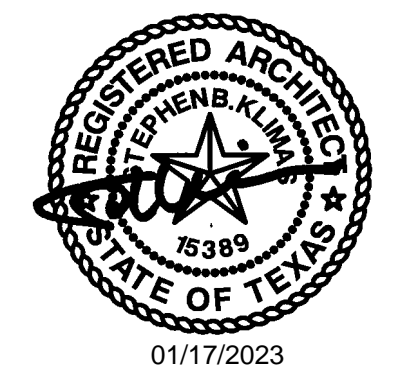
PLAN NO.	UNIT NO.	UNIT NO.
	UNIT 1	3176
	UNIT 2	2774
	UNIT 3	2644
	UNIT 4	2644
	UNIT 5	2761

SHEET NO.

A-54

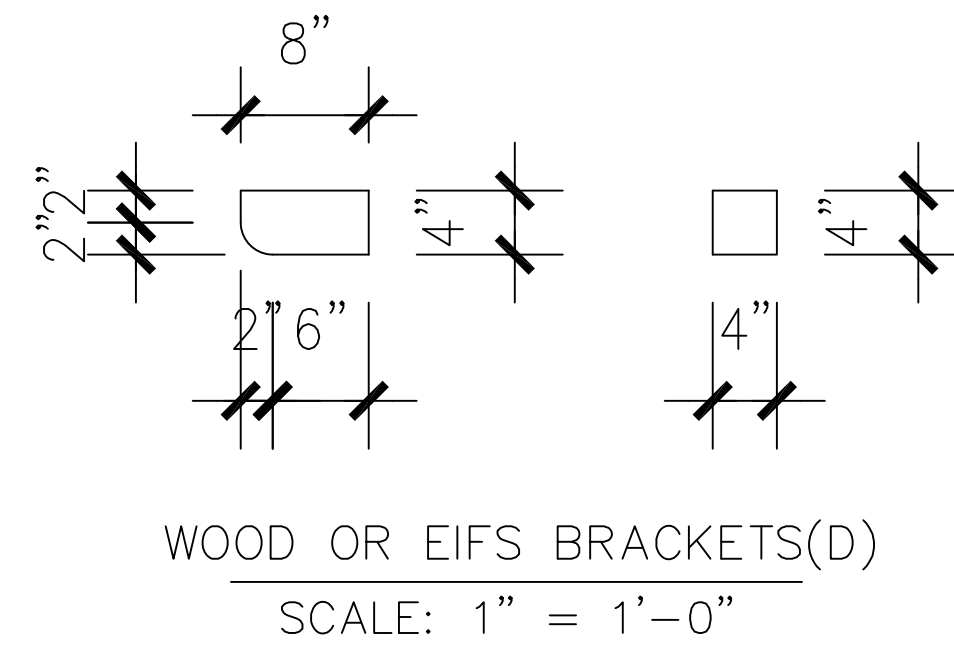
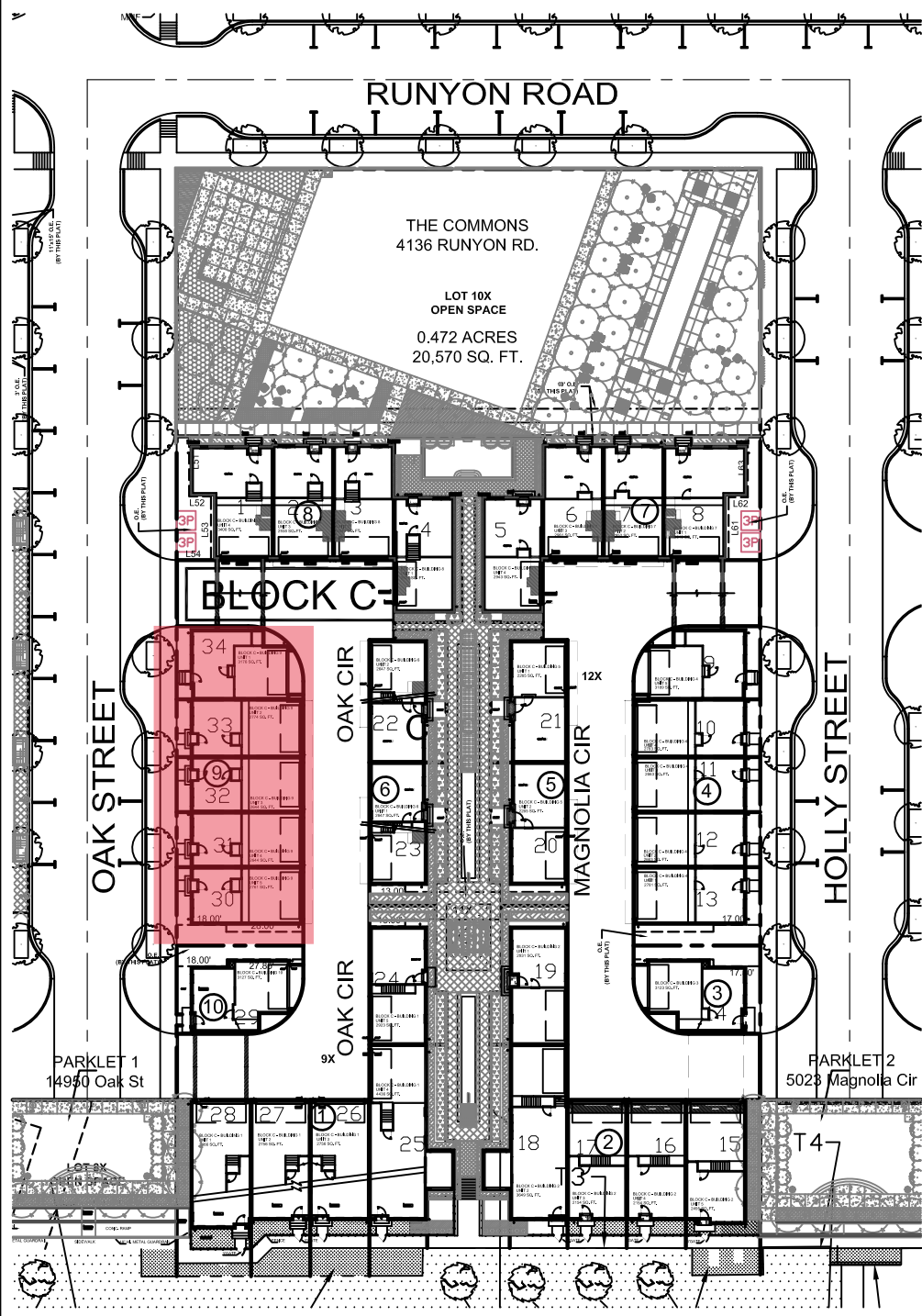
Drawn By/Checked By: C.C./F.M.
Original Date Issued: 07/15/2022
Scale: 3/16" = 1'-0"
Last Updated: 01/04/2023

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URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Town Case #: 1865-Z



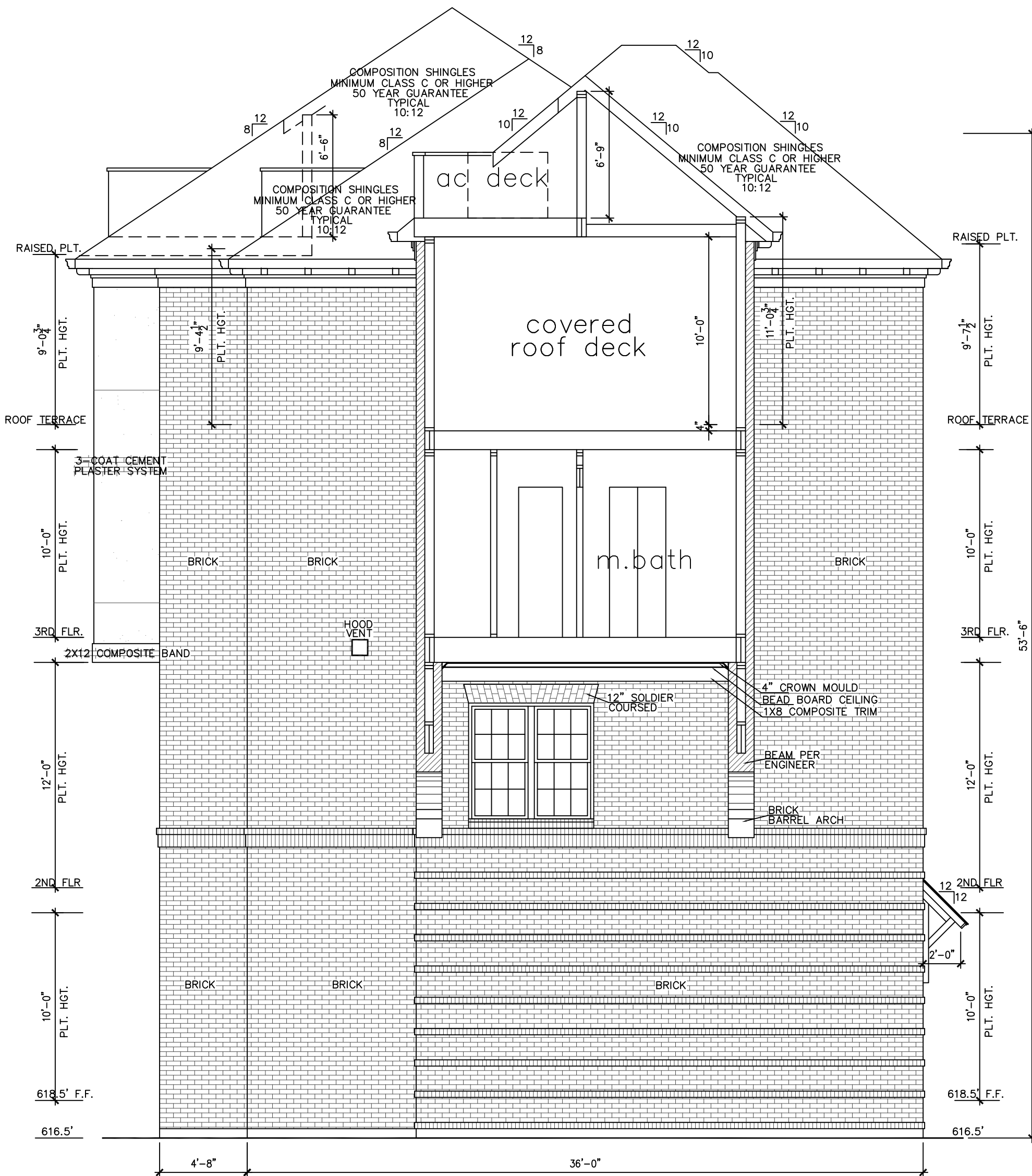
FACADE PLAN NOTES

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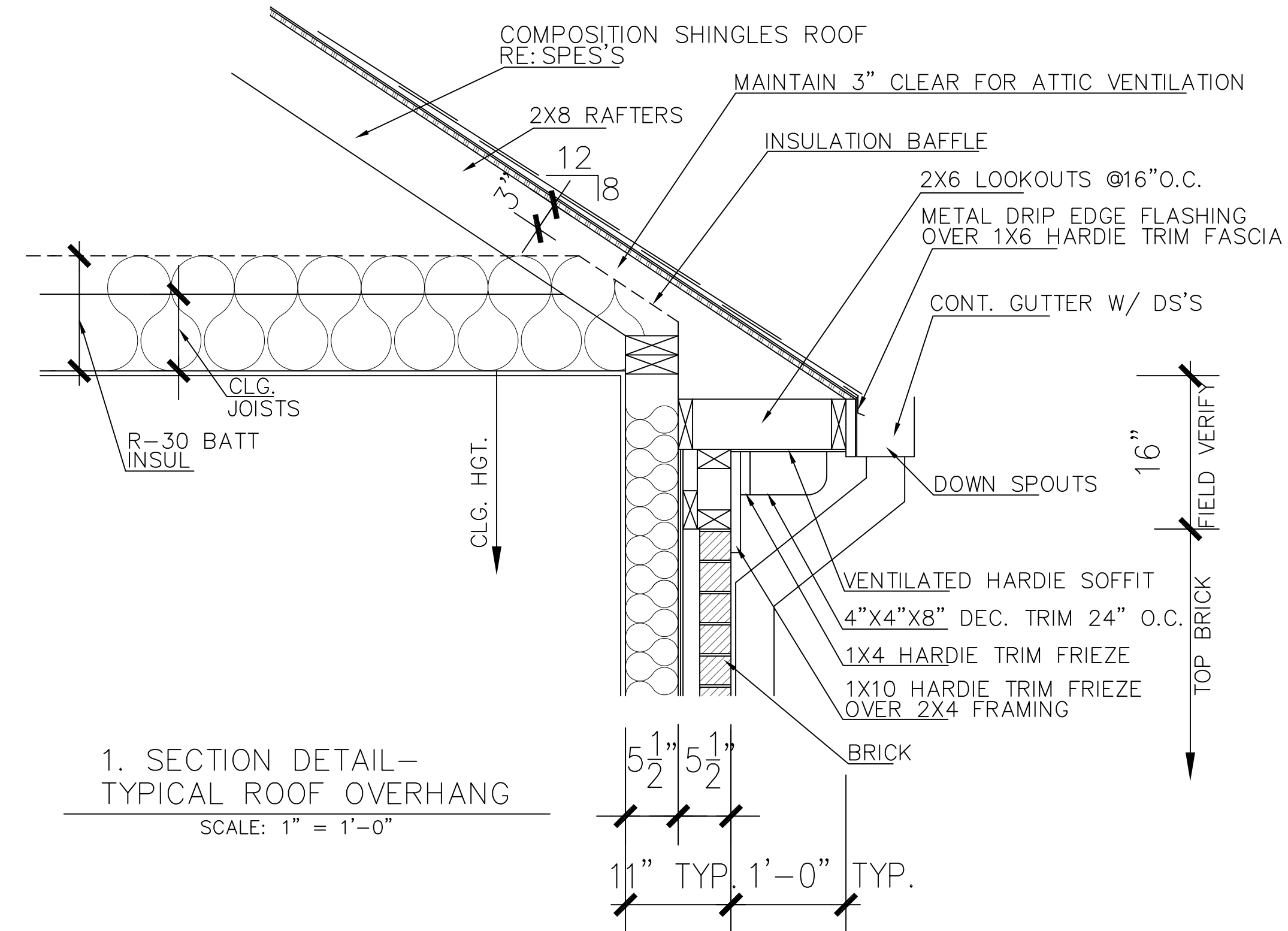
LEGEND

- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)

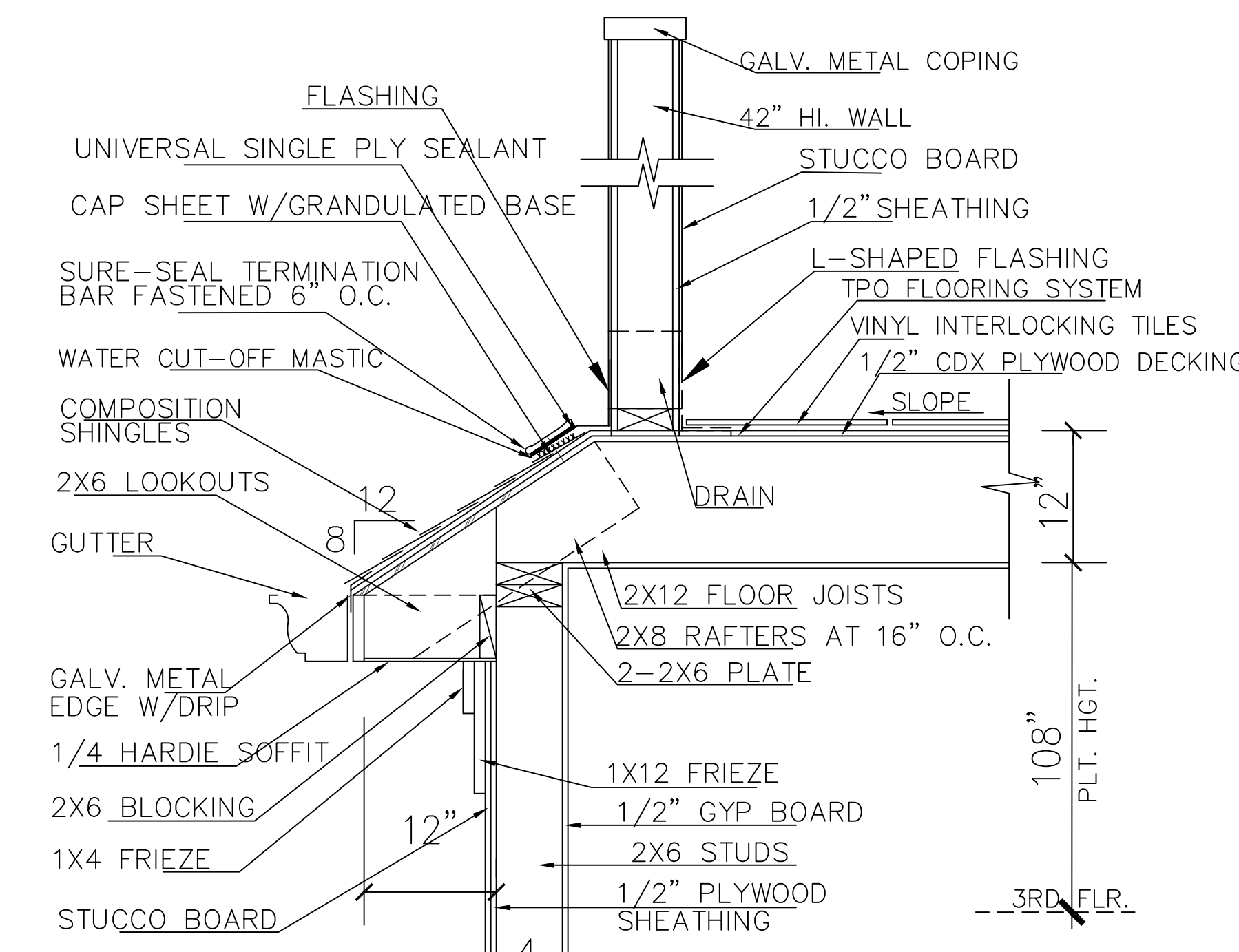
NORTH/LEFT MATERIAL CALCULATION TABLE		
BRICK	1398	93.9%
3-COAT CEMENT PLASTER SYSTEM	66	4.4%
FIBER CEMENT STUCCO BOARD	20	1.4%
ACCENT MATERIAL	5	0.3%
TOTAL SURFACE AREA	1489	



UNIT 1
LOT 34
north/left(OAK CIR.) elevation
SCALE: 3/16" = 1'-0"
0 4 8

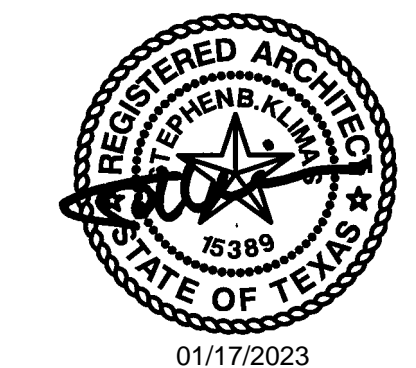


1. SECTION DETAIL - TYPICAL ROOF OVERHANG
SCALE: 1" = 1'-0"



2. SECTION DETAIL - A/C COMPRESSOR LOCATION AT ROOF
SCALE: 1" = 1'-0"

ADDISON GROVE



Drawn By/Checked By: C.C./F.M.
Original Date Issued: 07/15/2022
Scale: 3/16" = 1'-0"
Last Updated: 01/04/2023

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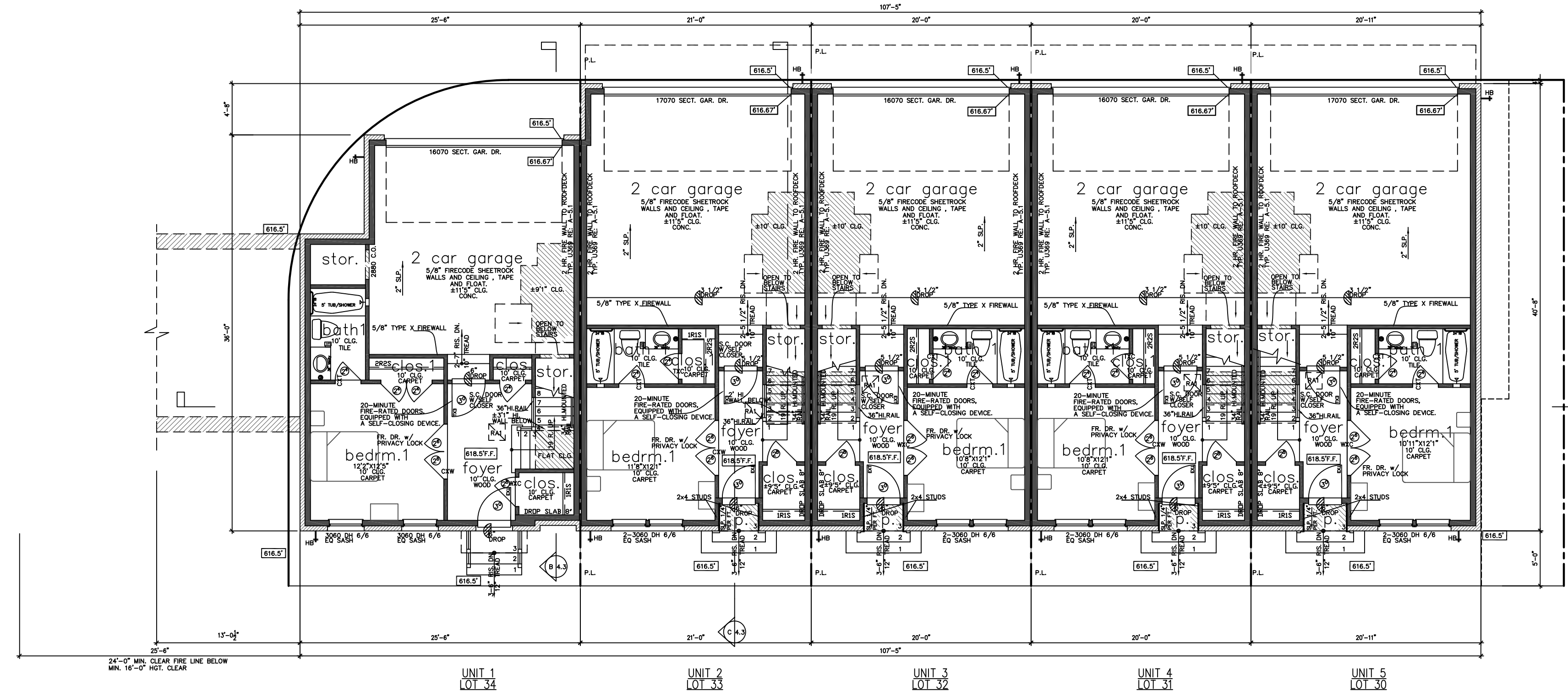
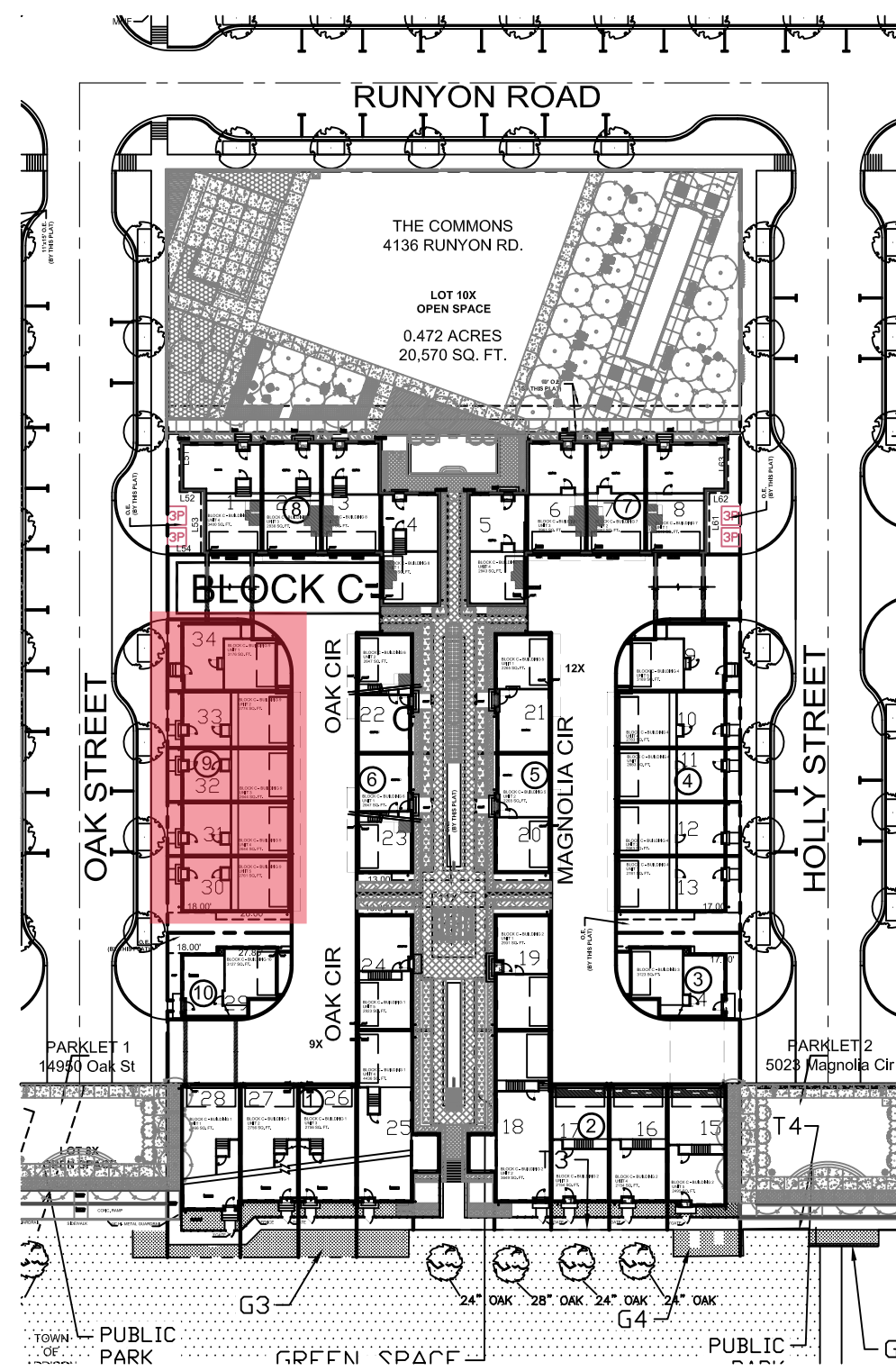
ADDISON GROVE - BLOCK C - BUILDING 9
NORTH/LEFT ELEVATIONS

PLAN NO.	UNIT	NO.
UNIT 1	3176	
UNIT 2	2774	
UNIT 3	2644	
UNIT 4	2644	
UNIT 5	2761	

SHEET NO. **A-55**

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Town Case #: 1865-Z



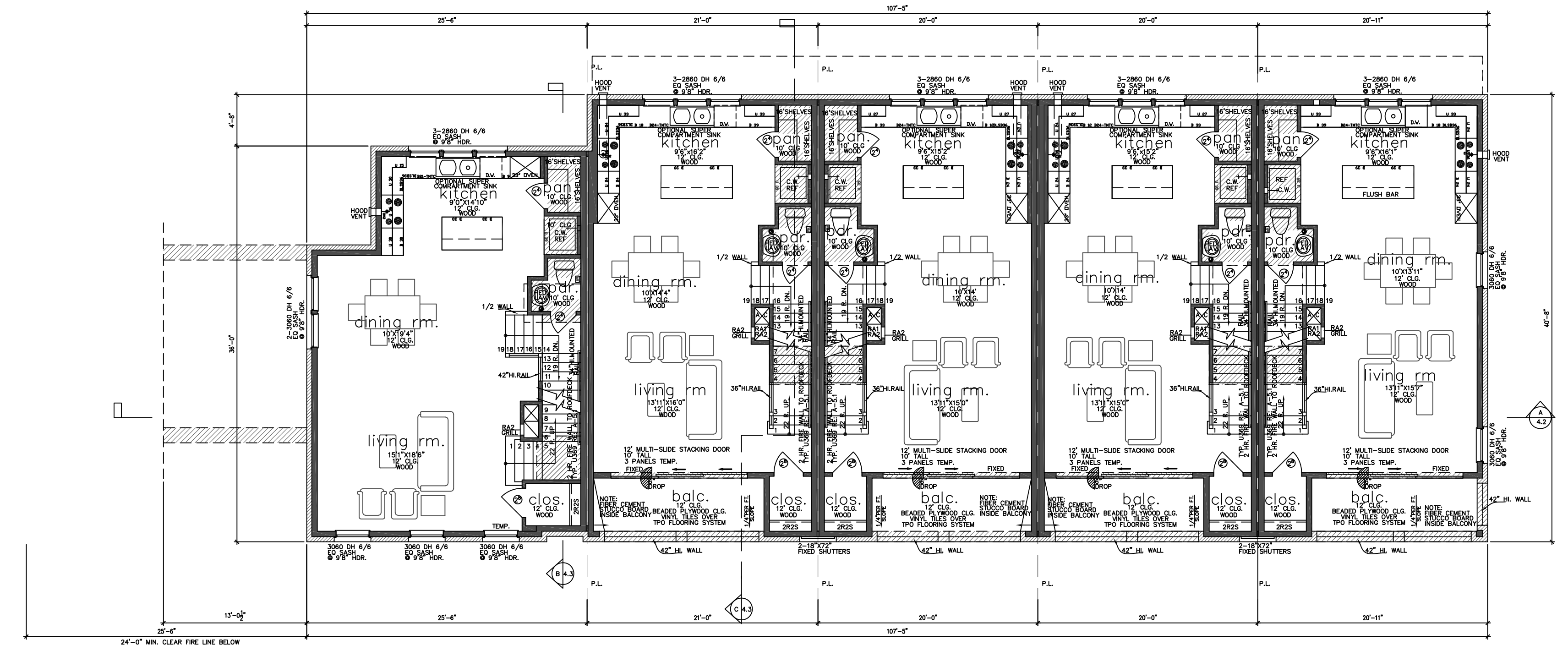
First Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

NOTE: ALL EXTERIOR WALLS TO BE 2x8 FRAMED RE. STRUCTURAL PLANS
NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE USED THEY SHALL BE LISTED LABELED IN ACCORDANCE WITH UL 325 AS REQUIRED IN THE SEC. SECTION 5008.4
NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE

Unit 1 square footage		Unit 2 square footage		Unit 3 square footage		Unit 5 square footage	
FIRST FLOOR	438	FIRST FLOOR	368	FIRST FLOOR	358	FIRST FLOOR	365
SECOND FLOOR	864	SECOND FLOOR	742	SECOND FLOOR	728	SECOND FLOOR	728
THIRD FLOOR	108	THIRD FLOOR	822	THIRD FLOOR	882	THIRD FLOOR	822
ROOF TERRACE	176	ROOF TERRACE	178	ROOF TERRACE	188	ROOF TERRACE	178
TOTAL LIVING AREA	2676	TOTAL LIVING AREA	2774	TOTAL LIVING AREA	2644	TOTAL LIVING AREA	2761
BEDRM	426	BEDRM	476	BEDRM	476	BEDRM	476
BALCONY	8	BALCONY	38	BALCONY	47	BALCONY	47
COVERED ROOF DECK	6	COVERED ROOF DECK	48	COVERED ROOF DECK	45	COVERED ROOF DECK	48
UNCOVERED ROOF DECK	6	UNCOVERED ROOF DECK	36	UNCOVERED ROOF DECK	36	UNCOVERED ROOF DECK	36
AC DECK	88	AC DECK	88	AC DECK	88	AC DECK	88
TOTAL SLAB AREA	862	TOTAL SLAB AREA	822	TOTAL SLAB AREA	814	TOTAL SLAB AREA	822

THE SQUARE FOOTAGE INFORMATION SETS CALCULATED FROM THE BUILDING DRAWINGS. GENERAL CONTRACTORS SHALL VERIFY THIS SQUARE FOOTAGE SETS WITH THE GENERAL CONTRACTOR'S MEASUREMENTS. SQUARE FOOTAGE SETS MAY VARY.

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	3176	4
UNIT 2	2774	4
UNIT 3	2644	4
UNIT 4	2644	4
UNIT 5	2761	4



Second Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

NOTE: ALL EXTERIOR WALLS TO BE 2x8 FRAMED RE. STRUCTURAL PLANS

ADDISON GROVE

URBAN INTOWN HOMES, Ltd.

ADDISON GROVE - BLOCK C - BUILDING 9

FLOOR PLAN

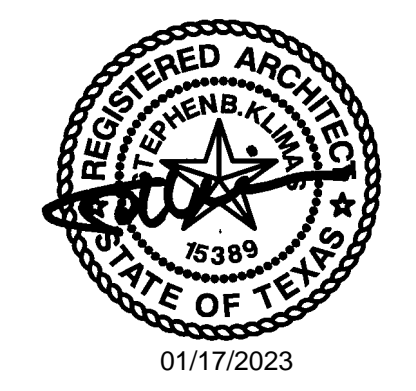
PLAN NO.	AREA
UNIT 1	3176
UNIT 2	2774
UNIT 3	2644
UNIT 4	2644
UNIT 5	2761

SHEET NO.

A-56

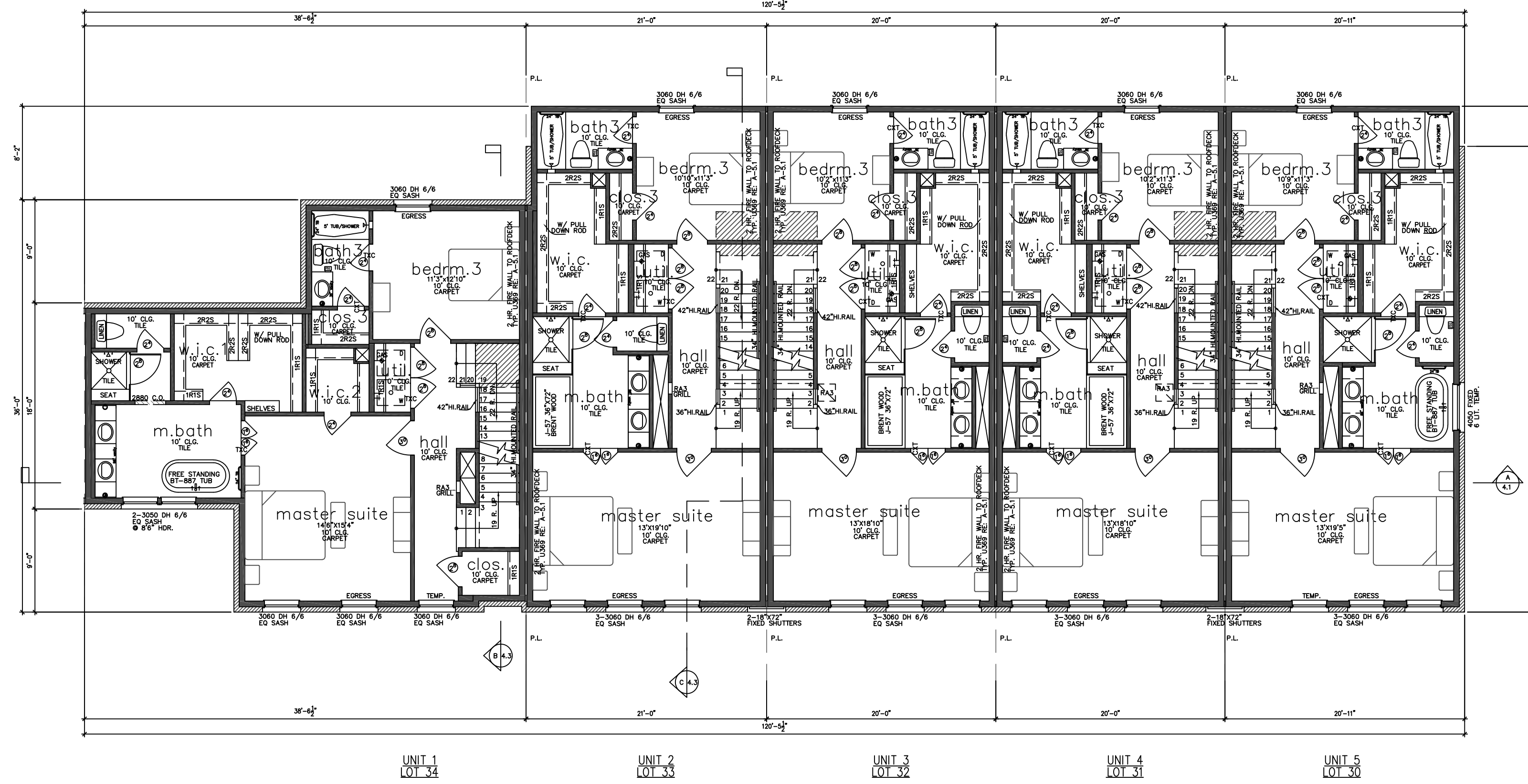
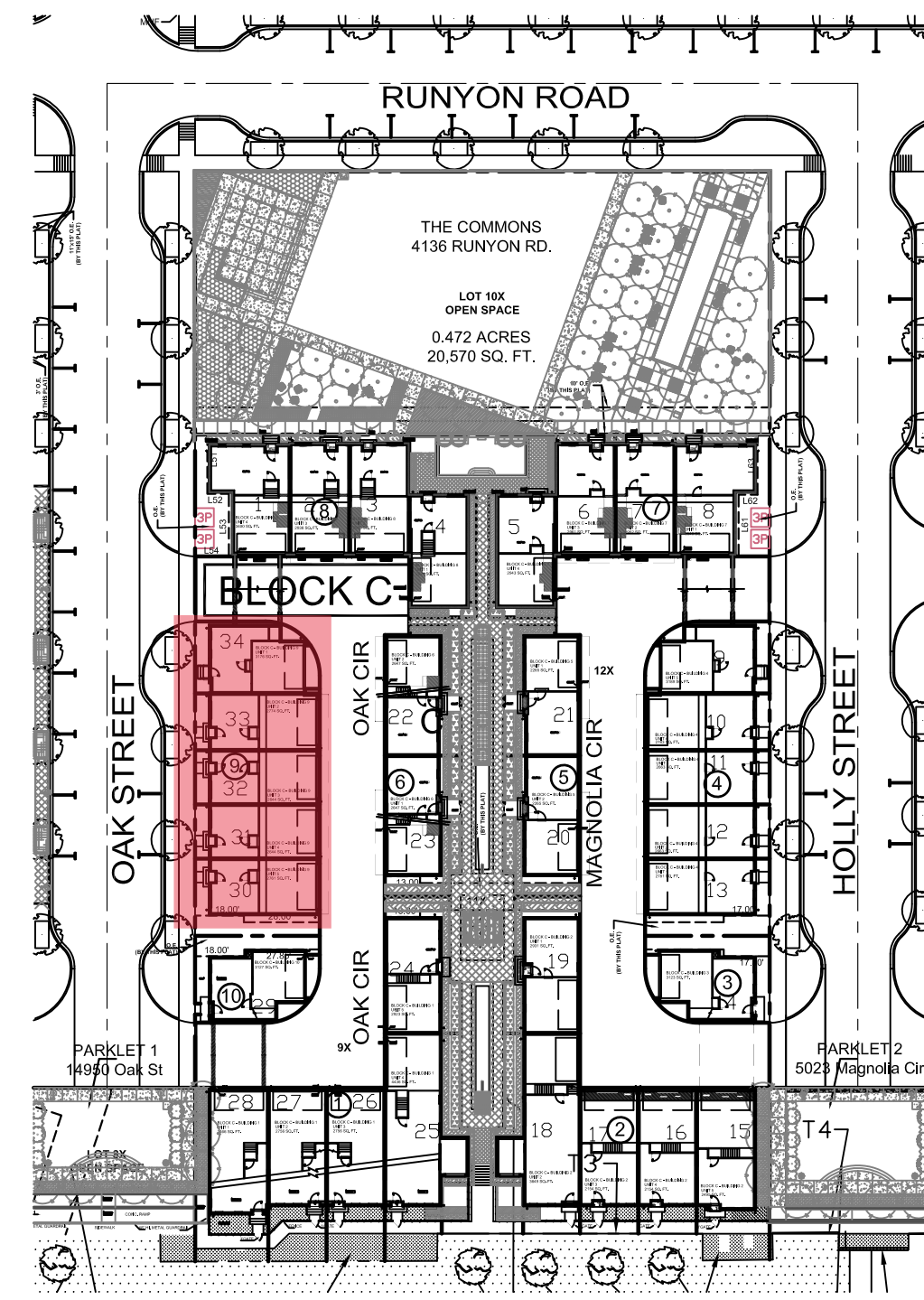
Drawn By/Checked By: C.C./E.M.
Original Date: 07/15/2022
Scale: 1/8" = 1'-0"
Last Updated: 01/04/2023

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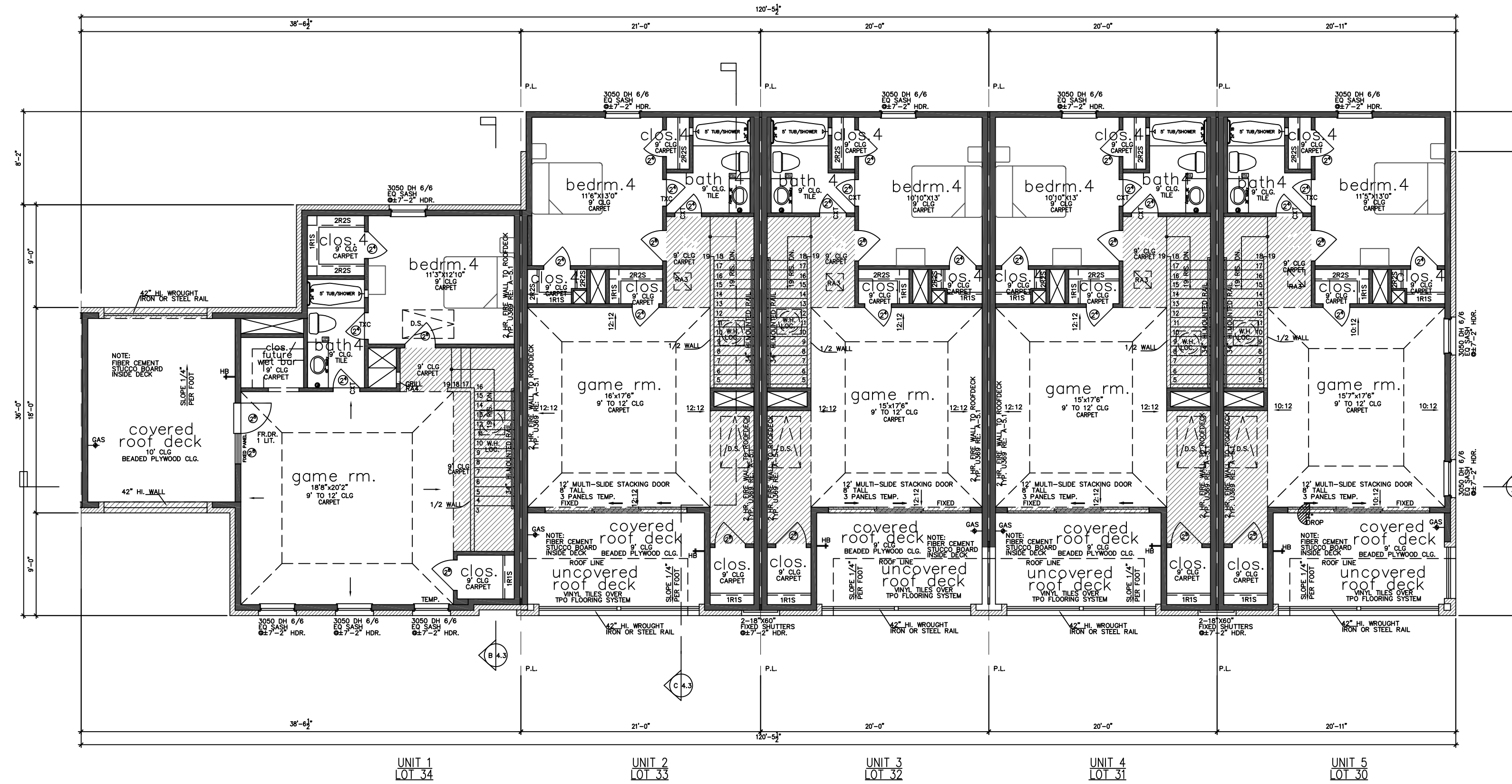
URBAN INTOWN HOMES
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Town Case #: 1865-Z



Third Floor Plan
SCALE: 1/8" = 1'-0"

NOTE: ALL EXTERIOR WALLS TO BE SW. FRAME. SEE STRUCTURAL PLANS.



roof terrace
SCALE: 1/8" = 1'-0"

NOTE: ALL EXTERIOR WALLS TO BE SW. FRAME.

ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE - BLOCK C - BUILDING 9

FLOOR PLAN

Drawn By/Checked By: C.C./F.M.
Original Date Issued: 07/15/2022
Scale: 1/8" = 1'-0"
Last Updated: 01/04/2023

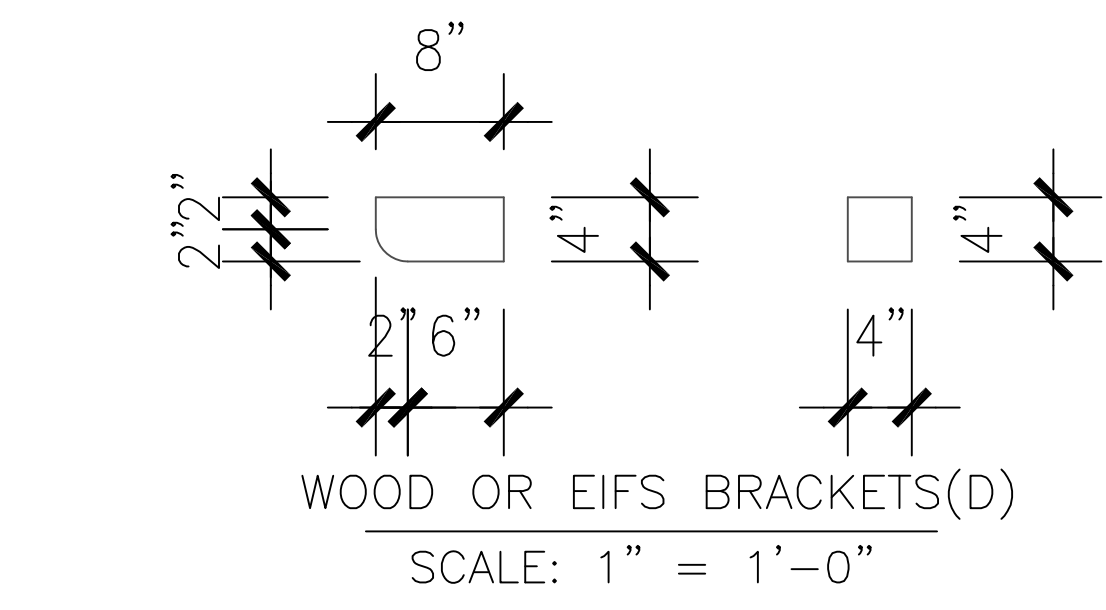
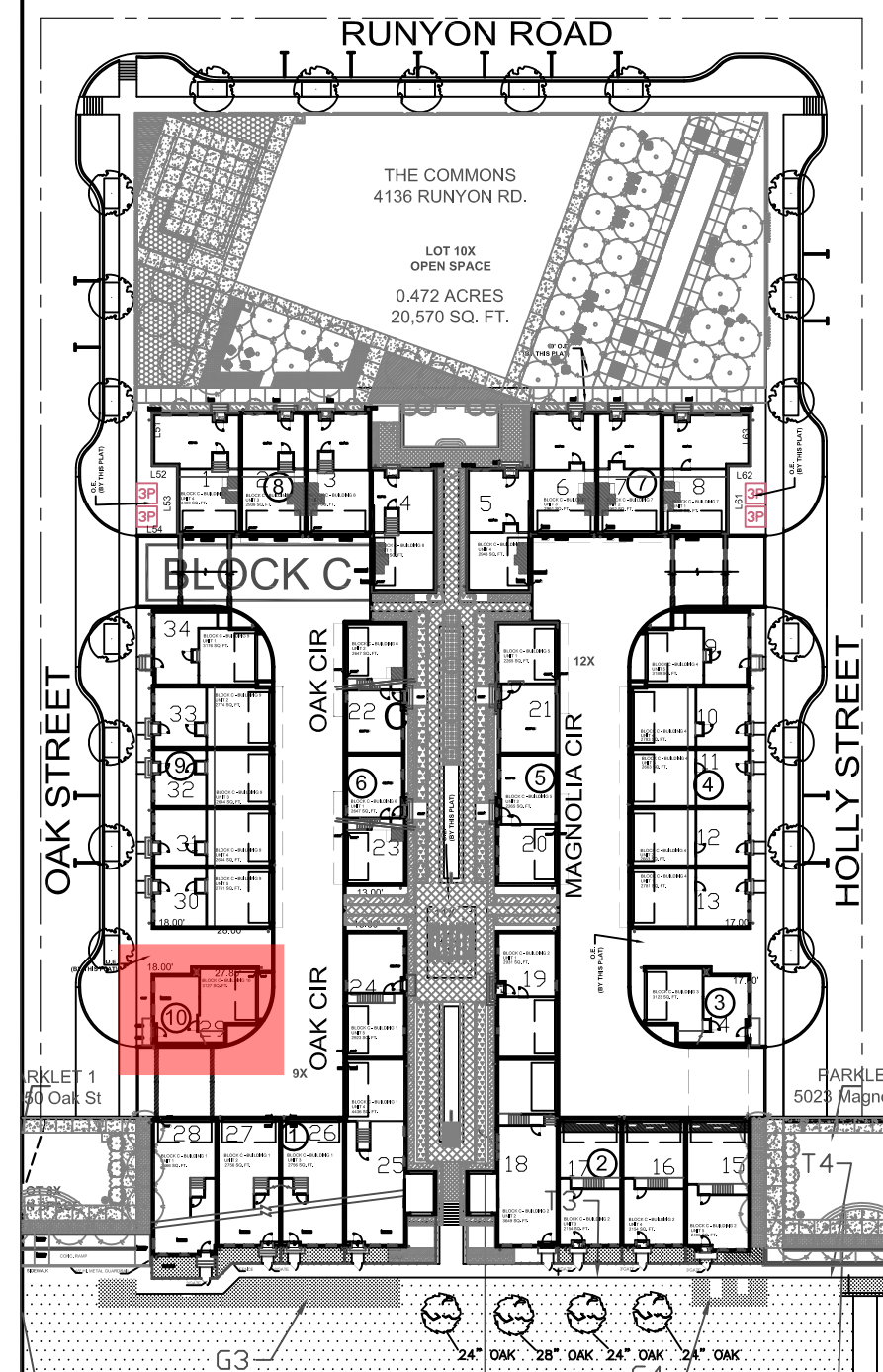
2410 POLK ST., STE 200, HOUSTON, TX 77003
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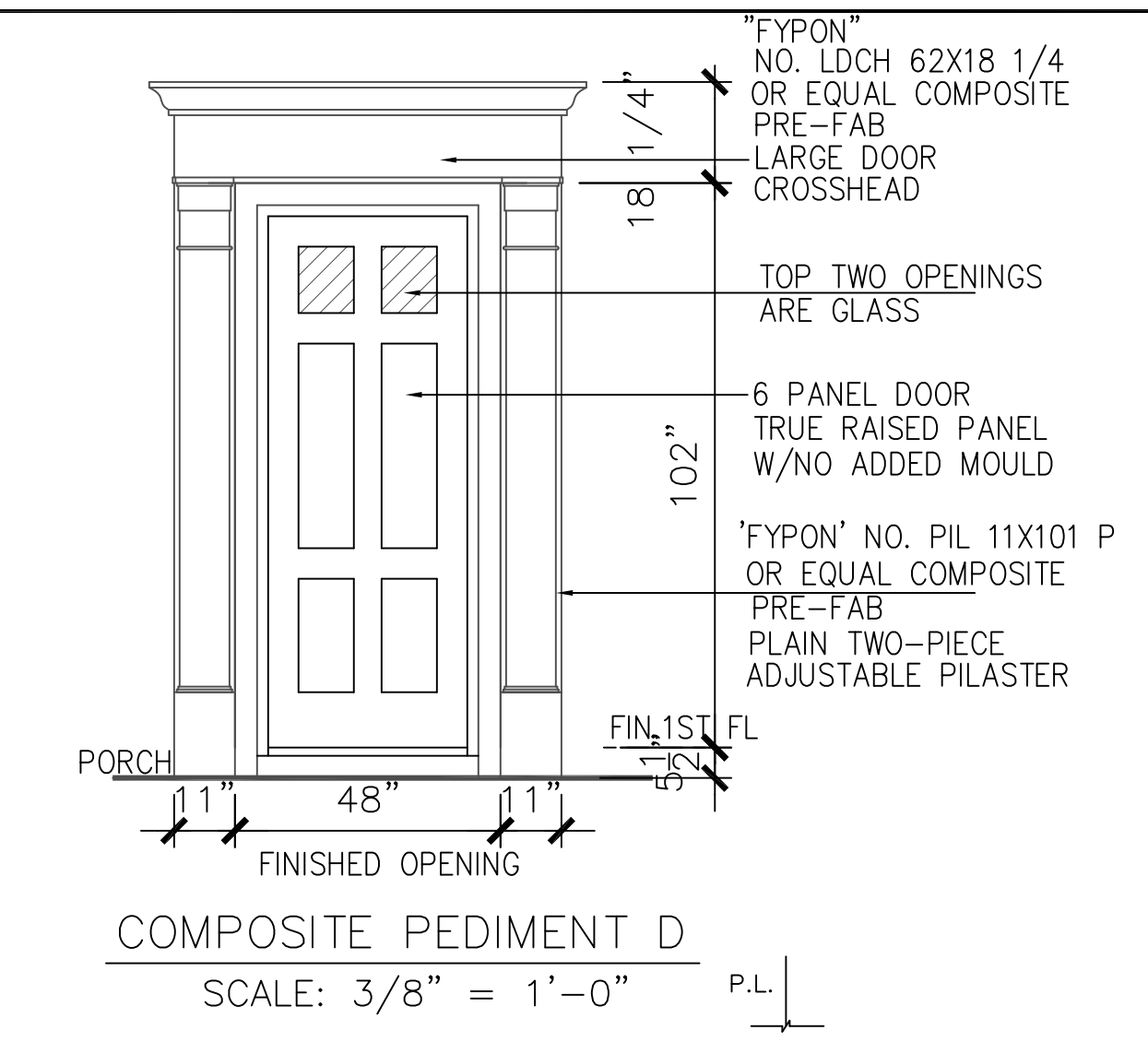
PLAN NO.	NO.
UNIT 1	3176
UNIT 2	2774
UNIT 3	2644
UNIT 4	2644
UNIT 5	2781

SHEET NO. A-57

URBAN INTOWN HOMES
2410 POLK ST., STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.



TOTAL MATERIAL CALCULATION TABLE

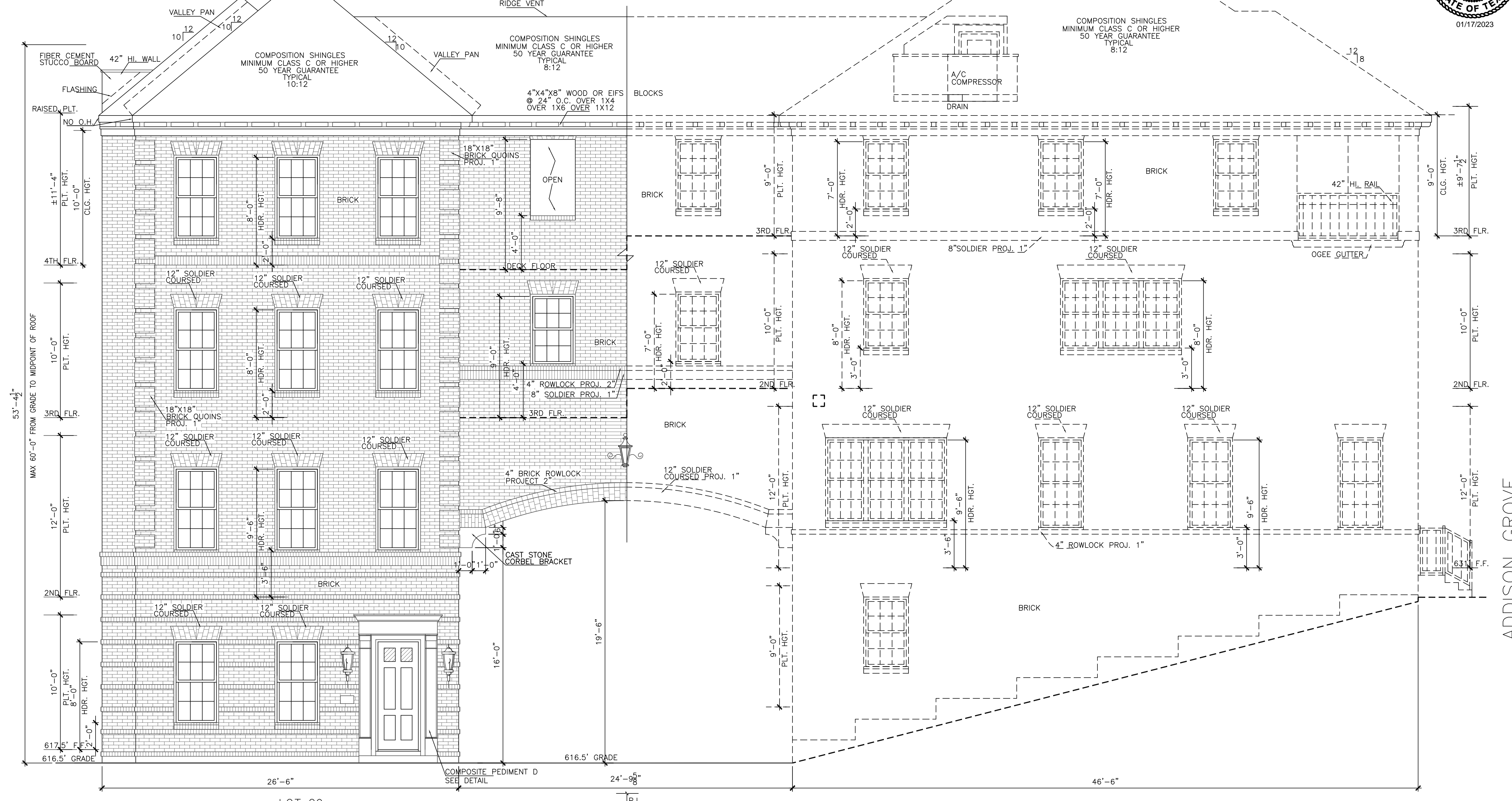
BRICK	5319	97.7%
FIBER CEMENT STUCCO BOARD	54	1.0%
ACCENT MATERIAL	71	1.3%
TOTAL SURFACE AREA	5444	

WEST/FRONT MATERIAL CALCULATION TABLE

BRICK	1250	97.2%
FIBER CEMENT STUCCO BOARD	6	0.5%
ACCENT MATERIAL	30	2.3%
TOTAL SURFACE AREA	1286	

- LEGEND
- BRICK
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - COMPOSITE PEDIMENT (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

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LOT 29
BUILDING 10

West/Front(OAK STREET) elevation
SCALE: 1/4" = 1'-0"

BUILDING 1

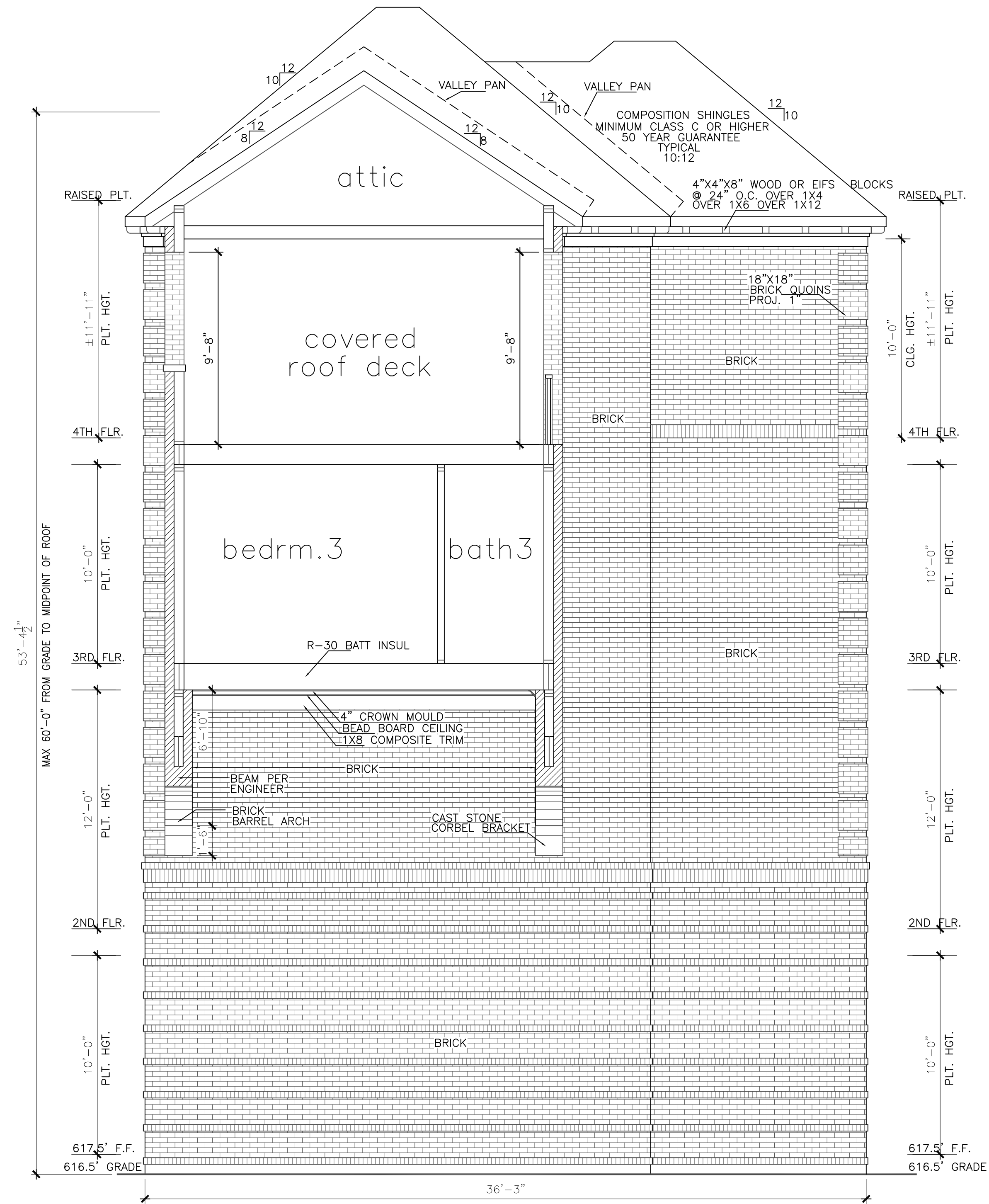
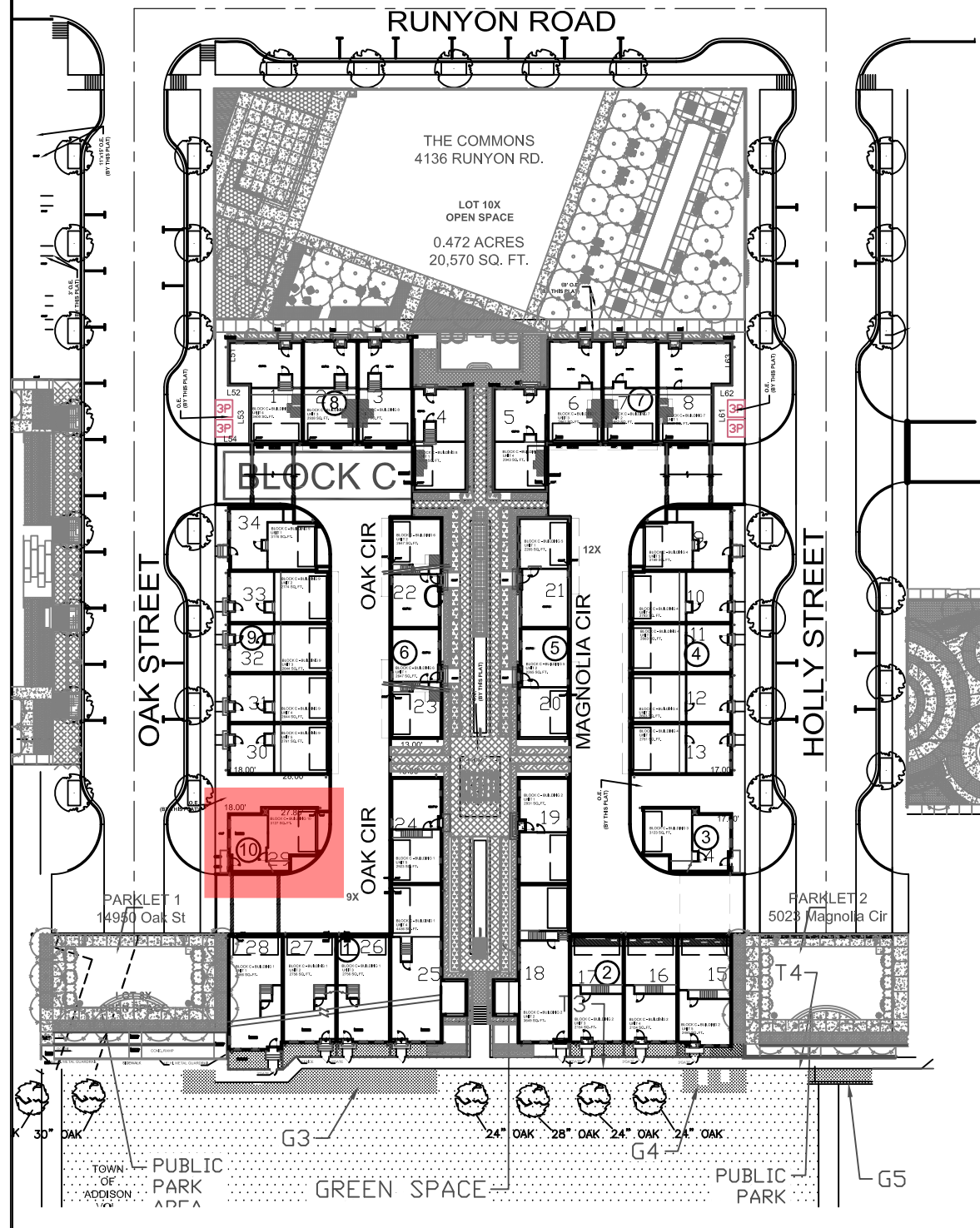
URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Drawn By/Checked By: E.C./F.M.
Original Date Issued: 08/06/2022
Scale: 1/4" = 1'-0"
Last Updated: 11/24/2022

URBAN INTOWN HOMES, Ltd.
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK C - BUILDING 10
WEST/FRONT ELEVATION

PLAN NO. **3127**
SHEET NO. **A-58**



NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.

- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

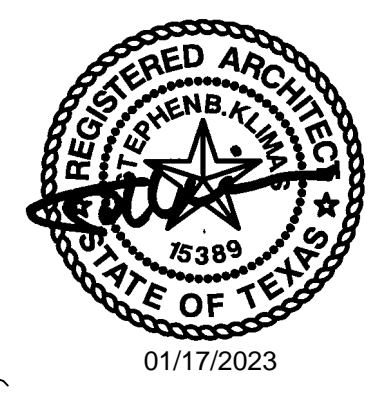
NORTH/RIGHT MATERIAL CALCULATION TABLE

MATERIAL	QUANTITY	PERCENTAGE
BRICK	1222	99.6%
ACCENT MATERIAL	5	0.4%
TOTAL SURFACE AREA	1227	

- FACADE PLAN NOTES**
- * THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
 - * ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE
 - * WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
 - * ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
 - * ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING
 - * THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT

LOT 29
south/right (OAK CIRCLE) elevation
SCALE: 1/4" = 1'-0"

ADDISON GROVE



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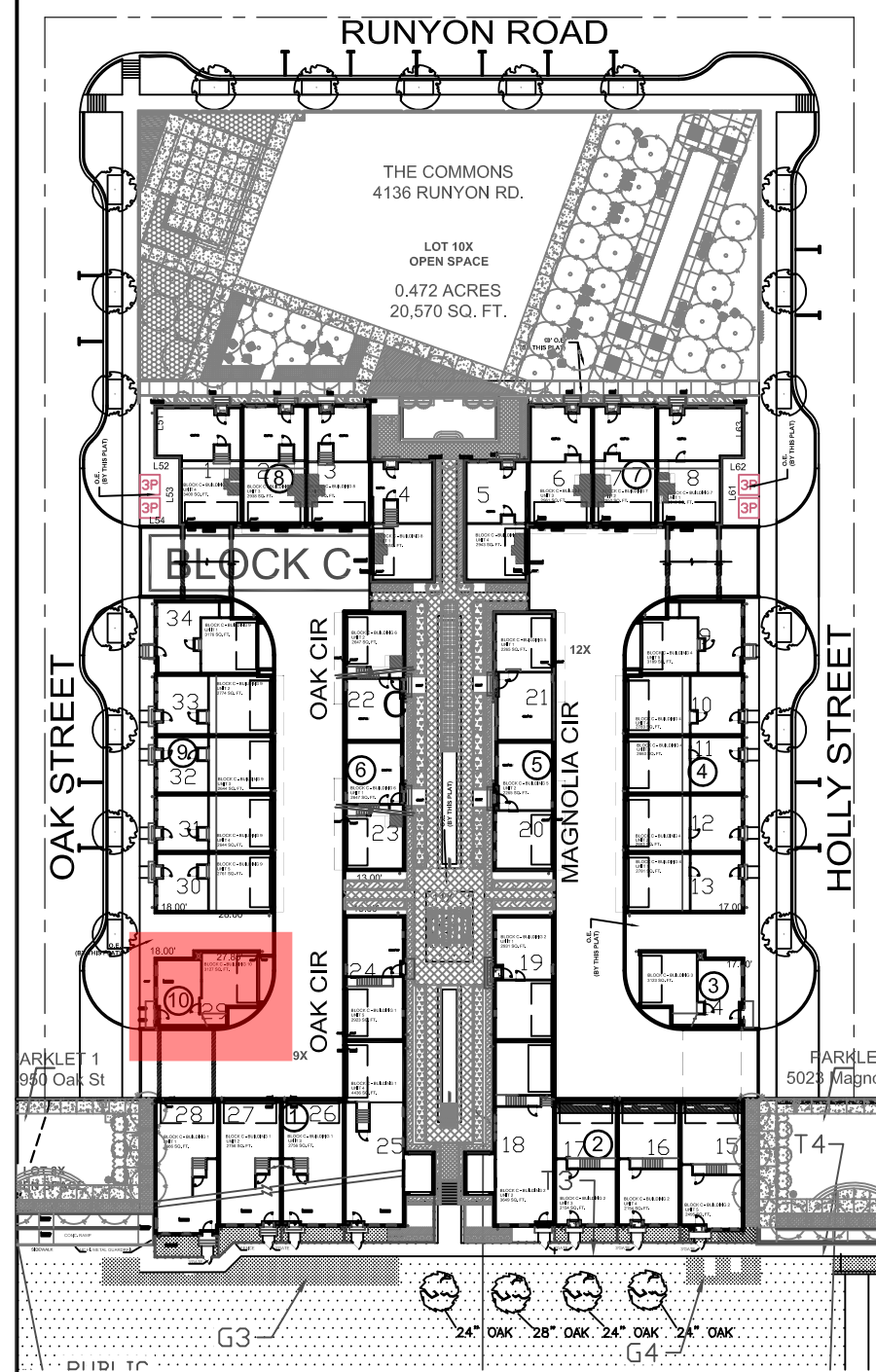
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ADDISON GROVE - BLOCK C - BUILDING 10
SOUTH / RIGHT ELEVATION

PLAN NO.
3127
SHEET NO.
A-59

Drawn By/Checked By:
E.C./F.M.
Original Date Issued:
08/06/2022
Scale:
1/4" = 1'-0"
Last Updated:
11/24/2022

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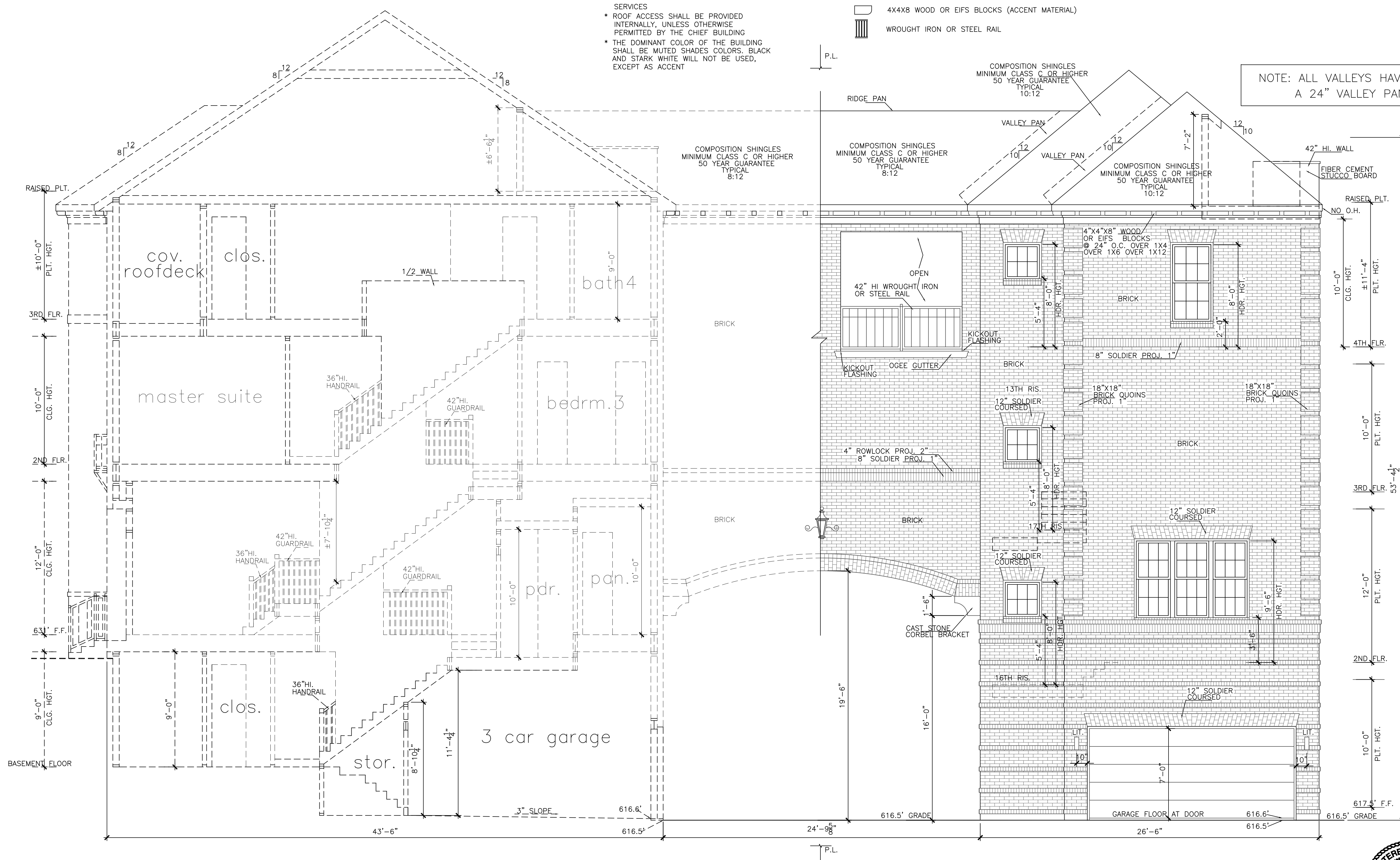
FAÇADE PLAN NOTES

- THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
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- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING.
- THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS, BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT.

LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL

EAST/REAR MATERIAL CALCULATION TABLE		
BRICK	1269	96.8%
FIBER CEMENT STUCCO BOARD	6	0.5%
ACCENT MATERIAL	36	2.7%
TOTAL SURFACE AREA	1311	



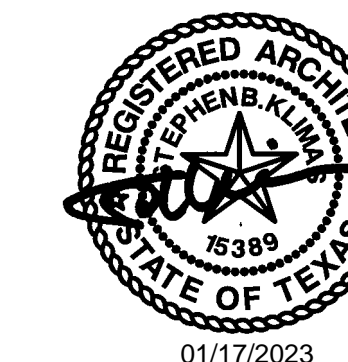
BUILDING 1

east/rear(OAK CIRCLE) elevation

SCALE: 1/4" = 1'-0"

LOT 29
BUILDING 10

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ADDISON GROVE

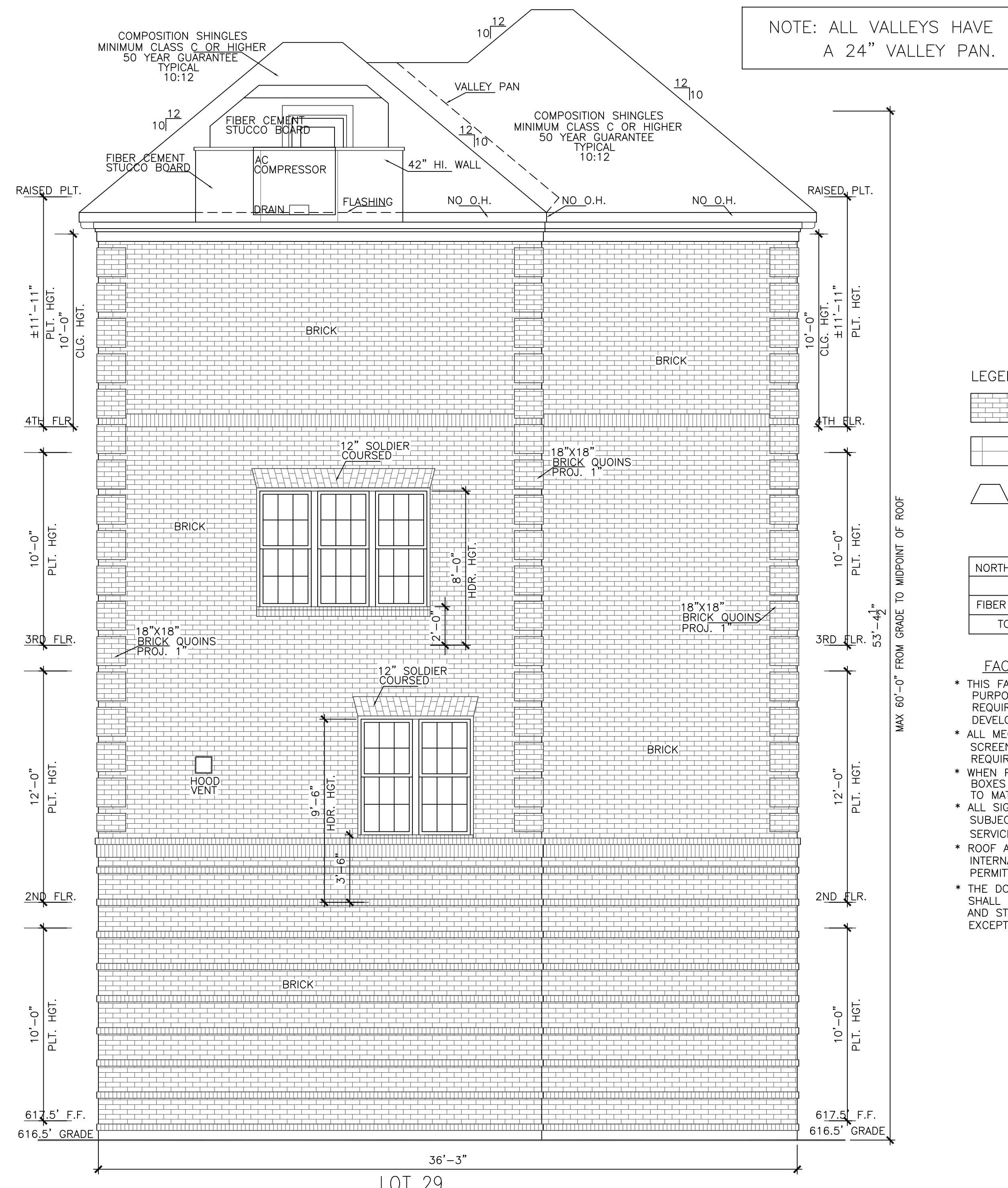
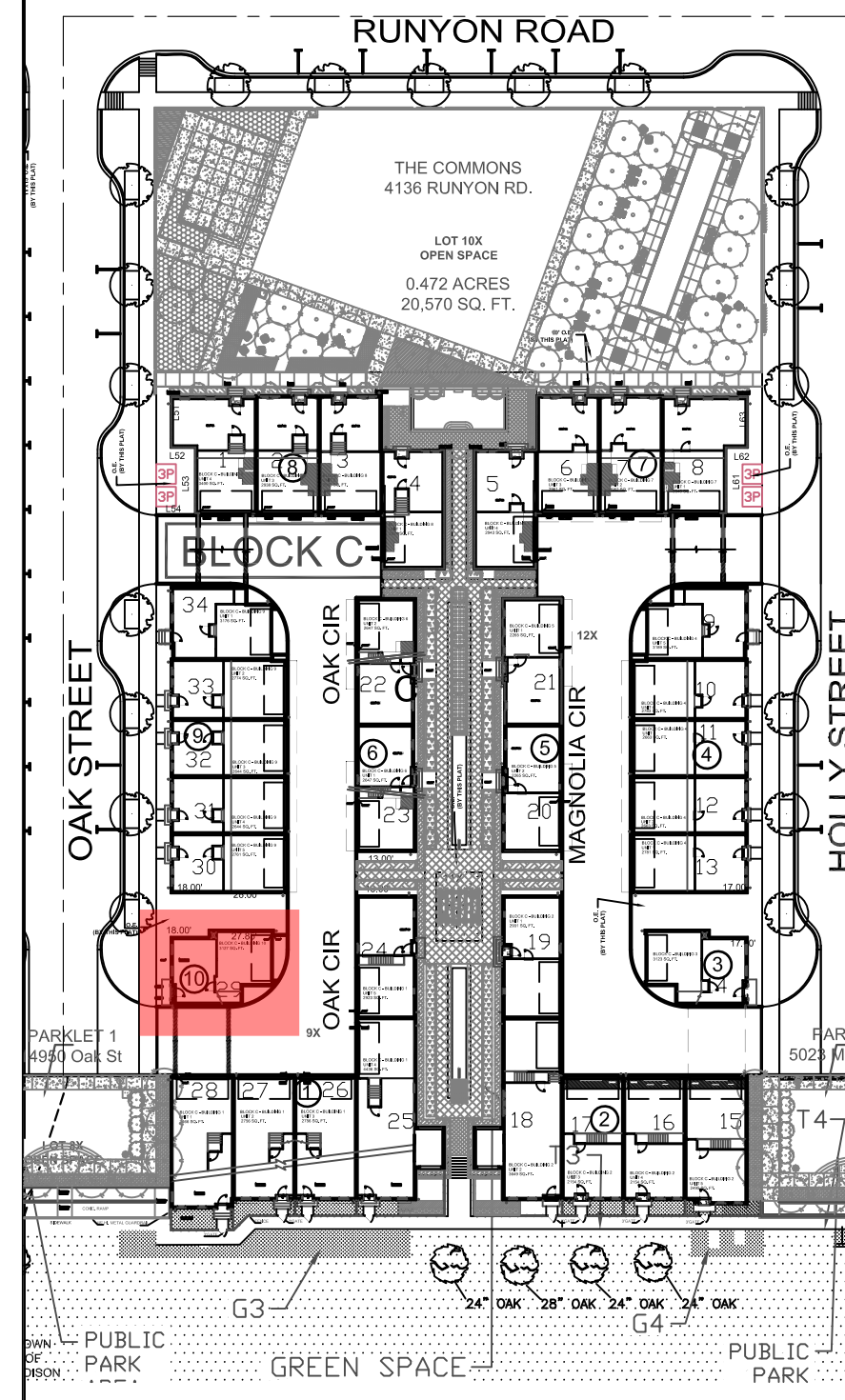
ADDISON GROVE - BLOCK C - BUILDING 10
EAST / REAR ELEVATION

PLAN NO.
3127

SHEET NO.
A-60

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Scale: 1/4" = 1'-0"
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LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL

NORTH/LEFT MATERIAL CALCULATION TABLE

Material	Quantity	Percentage
BRICK	1579	96.4%
FIBER CEMENT STUCCO BOARD	59	3.6%
TOTAL SURFACE AREA	1638	

- FACADE PLAN NOTES**
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north/left(neighbor) elevation
SCALE: 1/4" = 1'-0" 0 4 8'

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Original Date Issued: 08/06/2022
Scale: 1/4" = 1'-0"
Last Updated: 11/24/2022

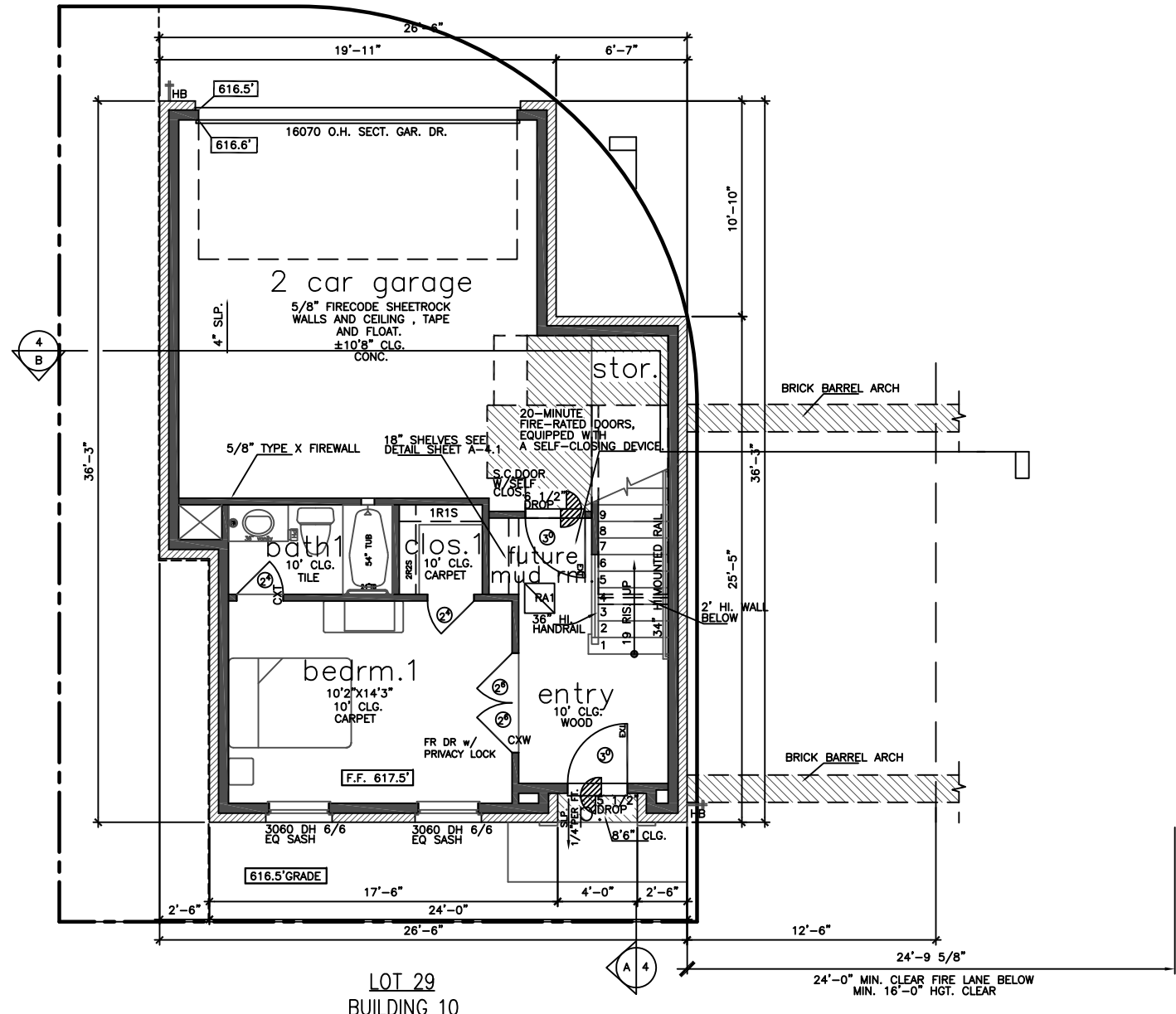
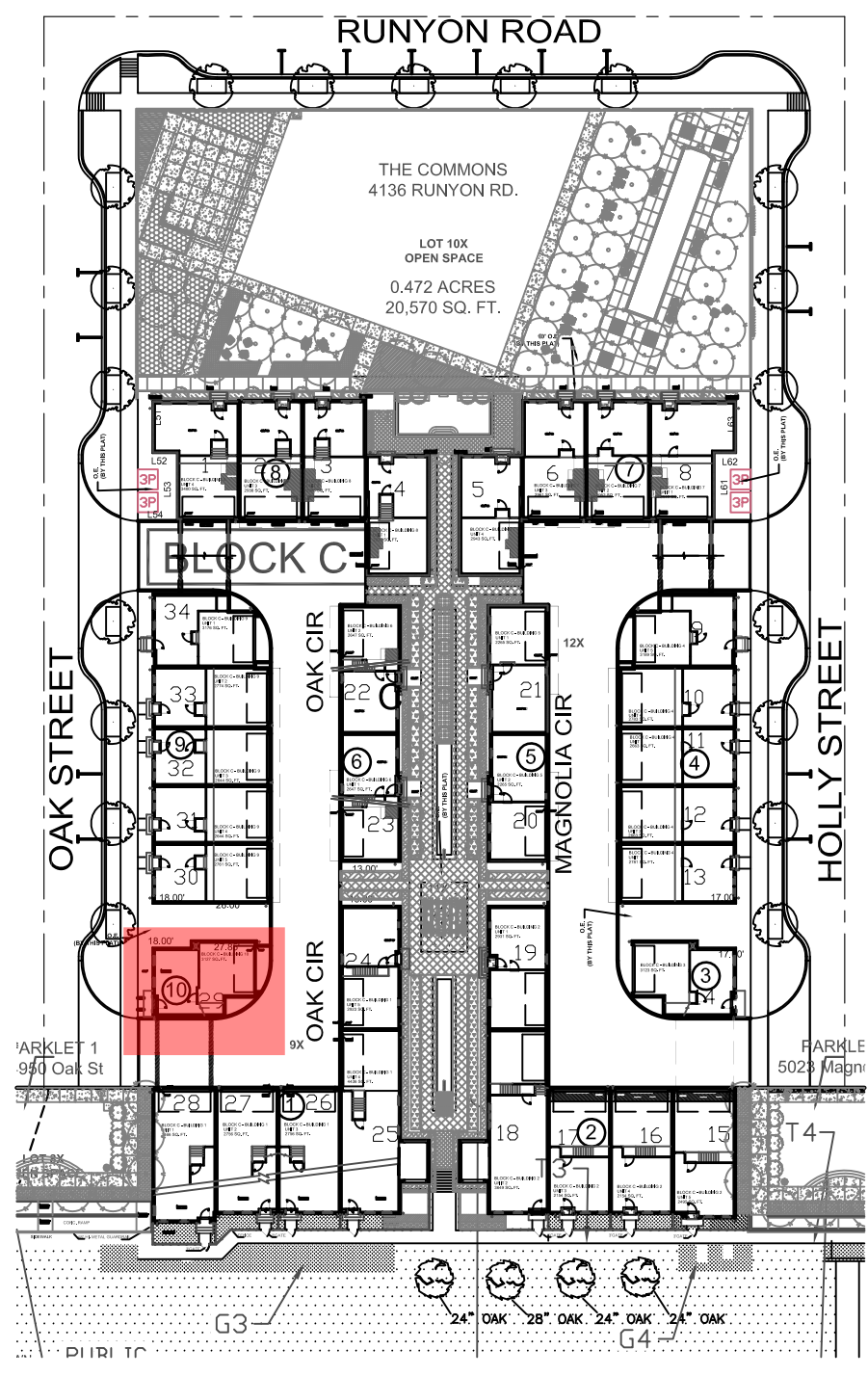
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ADDISON GROVE
ADDISON GROVE - BLOCK C - BUILDING 10
NORTH / LEFT ELEVATION



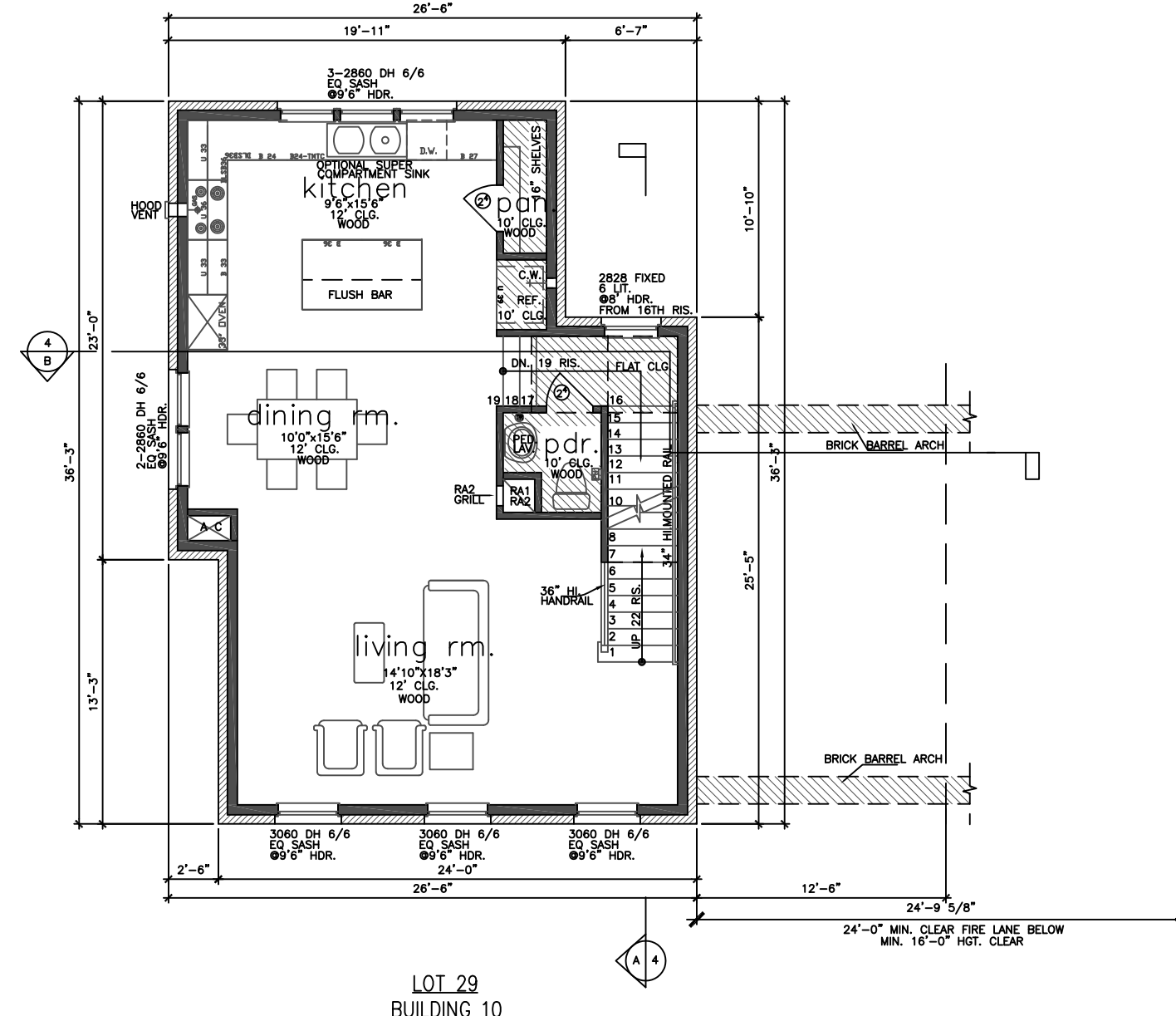
PLAN NO. **3127**
SHEET NO. **A-61**

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PHONE: 713-961-3877



First Floor Plan
 SCALE: 1/8" = 1'-0"
 NORTH

NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED RE: STRUCTURAL PLANS
 NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE USED THEY SHALL BE LISTED LABELLED IN ACCORDANCE WITH UL 325 AS REQUIRED IN THE IRC SECTION A02.2.1
 NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

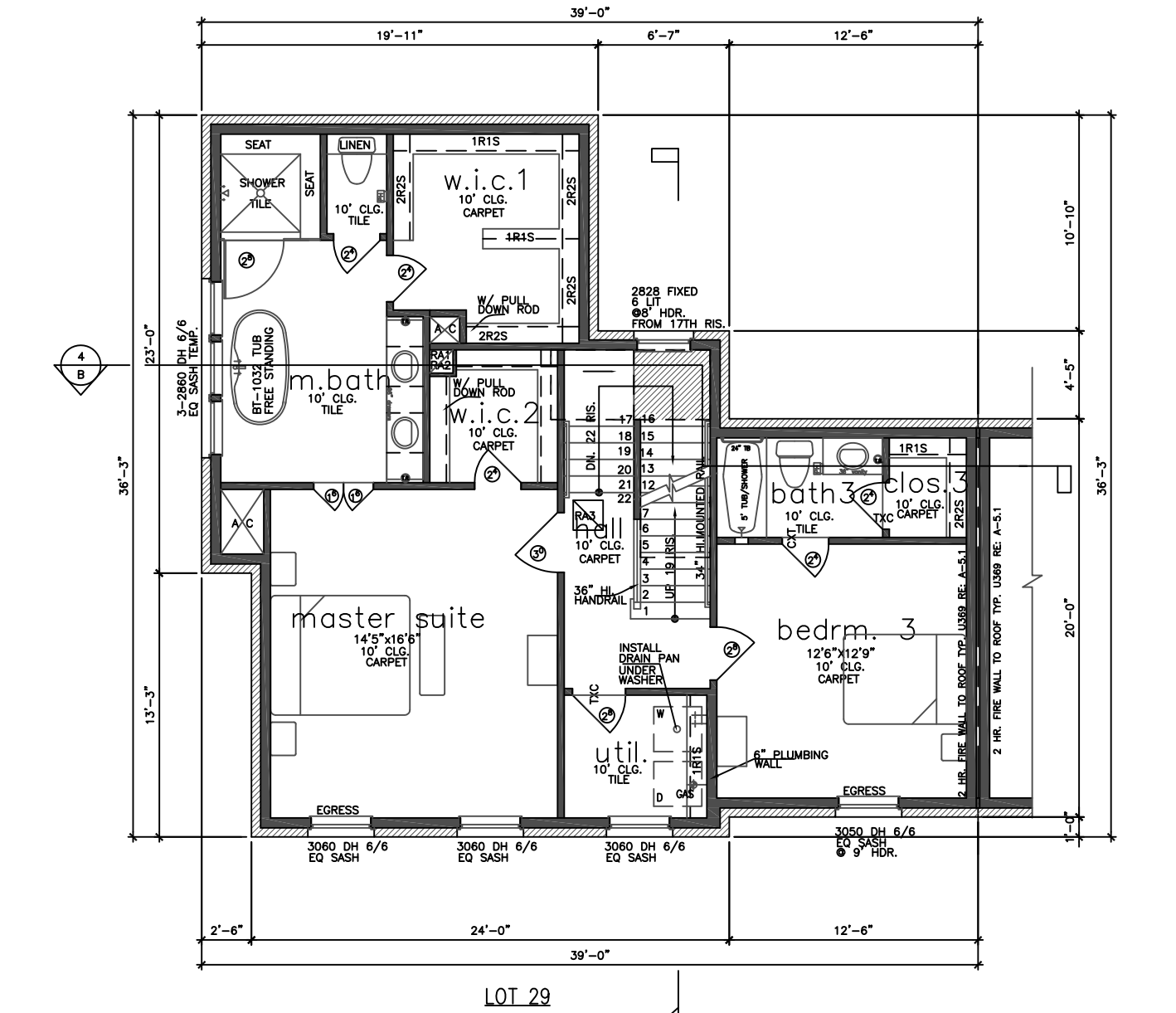


Second Floor Plan
 SCALE: 1/8" = 1'-0"
 NORTH

NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED RE: STRUCTURAL PLANS

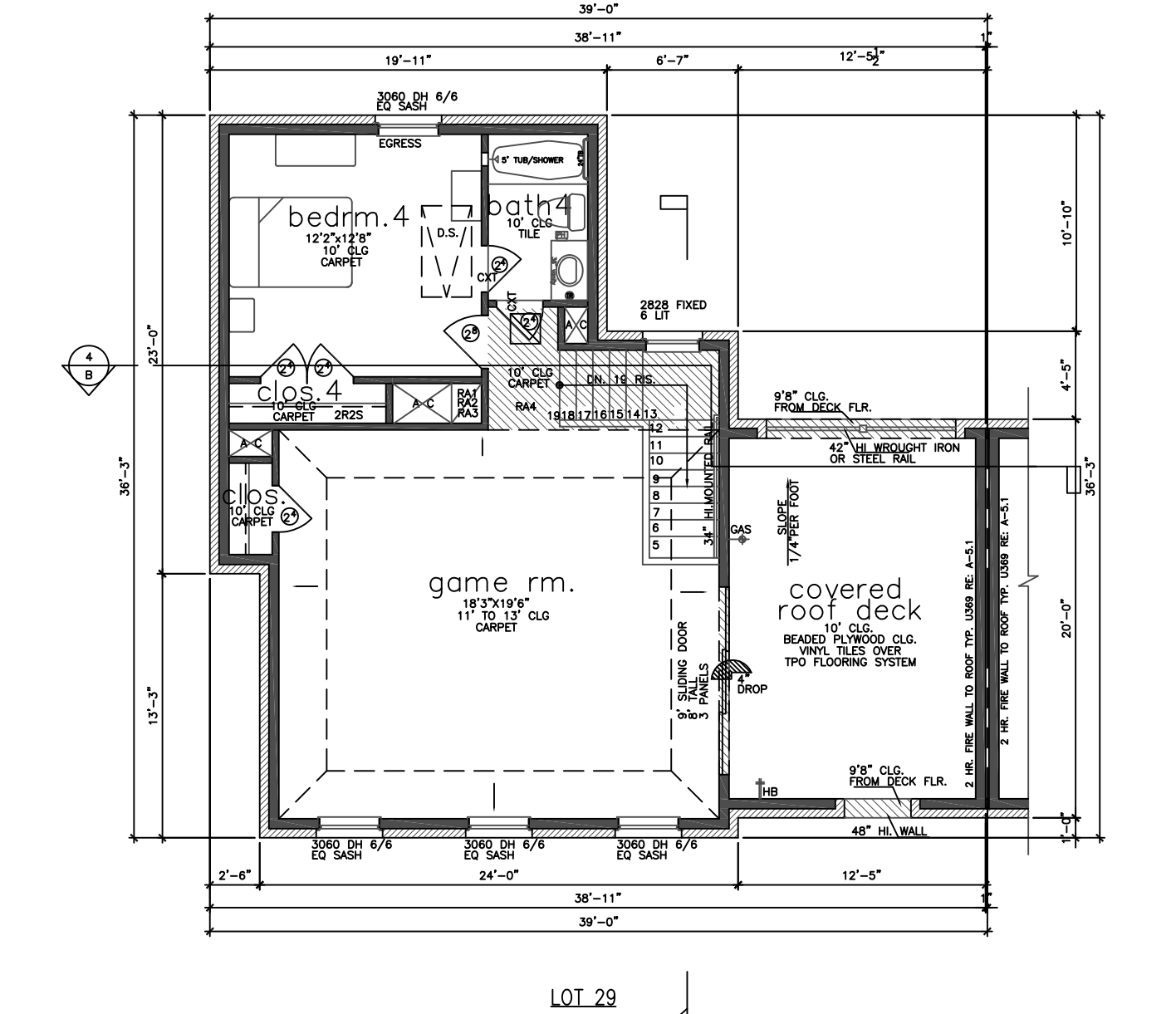
Square Footage	
FIRST FLOOR	383
SECOND FLOOR	856
THIRD FLOOR	1306
FOURTH FLOOR	782
TOTAL LIVING AREA	3127
GARAGE	464
PORCH	4
COVERED ROOF DECK	259
AC DECK	80
TOTAL SLAB AREA	856

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH AIA/CES-2003. ACTUAL SQUARE FOOTAGE MAY VARY.



Third Floor Plan
 SCALE: 1/8" = 1'-0"
 NORTH

NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED RE: STRUCTURAL PLANS



Fourth Floor Plan
 SCALE: 1/8" = 1'-0"
 NORTH

NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED RE: STRUCTURAL PLANS

LIVING AREA(SQ. FT.)	BEDROOM
3127	4



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ADDISON GROVE - BLOCK C - BUILDING 10
FLOOR PLANS

PLAN NO.
3127
 SHEET NO.
A-62

Drawn By/Checked By: E.C./F.M.
 Original Date Issued: 08/06/2022
 Scale: 1/8" = 1'-0"
 Last Updated: 11/24/2022