



REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION

TUESDAY, SEPTEMBER 20, 2022

ADDISON TREEHOUSE
14681 MIDWAY ROAD, SUITE 200, ADDISON, TX 75001

6:00 P.M. REGULAR MEETING

The Planning and Zoning Commission meeting and public hearing will be held at the Addison TreeHouse, 14681 Midway Road, Suite 200, Addison, Texas 75001 on Tuesday, September 20, 2022 at 6 pm. Seating for the public will be available using CDC recommended social distancing measures. Telephonic or videoconferencing capabilities will be utilized to allow individuals to address the Commission. For more information on the meeting location and ways to view and/or present comments, please contact Lesley Nyp prior to 3:00 pm on the day of the meeting at 972-450-2823 or by emailing zoninginput@addisontx.gov. Members of the public are entitled to participate remotely via Dial-in Number: 346.248.7799; Meeting ID: 319 628 1637; Participant ID: #. For more detailed instructions on how to participate in this meeting, visit our Agenda Page. The meeting will be live streamed on Addison's website at www.addisontexas.net.

Call Meeting to Order

Pledge of Allegiance

Consent Agenda: *All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.*

1. Consider Action on the **Minutes from the August 16, 2022 Planning and Zoning Commission Meeting.**

2. Consider Action on a **Replat of Lot C-R, Block 1, of the Oaks North-West No. 2 Addition, comprising 1.24 Acres situated in the Allen Bledsoe Survey, Abstract No. 157, and located west of Montfort Drive and approximately 275 feet south of Belt Line Road.** Case R2022-03/Oaks North-West No. 2 Addition (14999 Montfort Drive).

Regular Agenda:

3. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 15375 Addison Road, that is currently zoned Local Retail (LR), to allow a restaurant.** Case 1849-SUP/15375 Addison Road (Ambrosia Café).
4. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 14380 Marsh Lane, Suite 100 that is currently zoned Planned Development (PD), Ordinance No. 016-017, to allow a restaurant with a drive-thru.** Case 1855-SUP/14380 Marsh Lane, Suite 100 (Jeremiah's Italian Ice).
5. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Adopting a Development Plan for the Addison Reserve Townhomes, including a Site Plan, Landscape Plan, Lighting Plan, Facade Plans and Floor Plans for 31 Townhomes and associated Public Open Space and Common Area Lots in an existing Planned Development District (PD), through Ordinance 022-08, situated on approximately 1,804 Acres located at 4150 Beltway Drive.** Case 1856-Z/4150 Beltway Drive (Addison Reserve Townhomes).
6. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 14380 Marsh Lane, Suite 160 that is currently zoned Planned Development (PD), Ordinance Nos. 016-017 and 016-018, to allow a restaurant with the Sale of Alcoholic Beverages for On-Premises Consumption.** Case 1858-SUP/14380 Marsh Lane, Suite 160 (Buttermilk Biscuits Brunch House).

7. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Amending Planned Development (PD) District Ordinance No. 099-025 for a 7.76 Acre property Located at the southeast corner of Westgrove Drive and Excel Parkway in order to Modify Use Regulations by allowing Light Assembly of Jewelry as a Permitted Use.** Case 1861-Z / 16650 Westgrove Drive (Precision Set).

8. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Amending Planned Development (PD) District Ordinance No. 016-003 for a 0.552 Acre segment of a property Located East of the Intersection of Runyon Road and Magnolia Street, in order to Modify Use Regulations by Allowing Offsite Parking Lot as a Permitted Use.** Case 1862-Z /18 Runyon Road.

9. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Amending the Development Plans for Planned Development (PD) District Ordinance No. 446 for a 0.945 Acre property Located at 14951 Midway Road, to account for Site Modifications resulting from the Acquisition of Right-of-Way for the Midway Road Reconstruction Project.** Case 1863-Z /14951 Midway Road (Nate's Seafood & Steakhouse).

Adjourn Meeting

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

THE TOWN OF ADDISON IS ACCESSIBLE TO PERSONS WITH DISABILITIES. PLEASE CALL (972) 450-7017 AT LEAST 48 HOURS IN ADVANCE IF YOU NEED ASSISTANCE.

POSTED BY: _____
Lesley Nyp, Planning & Development Manager

DATE POSTED: _____

TIME POSTED: _____

DATE REMOVED FROM BULLETIN BOARD: _____

REMOVED BY: _____

Planning & Zoning Commission
Meeting Date: 09/20/2022

2.

Agenda Caption:

Consider Action on the **Minutes from the August 16, 2022 Planning and Zoning Commission Meeting.**

Staff Report:

The minutes from the August 16, 2022 Planning and Zoning Commission Meeting have been prepared for consideration.

Recommendation:

Administration recommends approval.

Attachments

Minutes of the August 16, 2022 Planning and Zoning Commission Meeting

DRAFT

OFFICIAL ACTIONS OF THE ADDISON PLANNING AND ZONING COMMISSION

August 16, 2022
6:00 P.M. - Addison Treehouse
14681 Midway Road, Suite 200

Note: Commissioner Juli Branson participated remotely via video conference.

Present: Chair Tom Souers; Commissioner Juli Branson; Commissioner Robert Catalani;
Commissioner Nancy Craig; Commissioner Denise Fansler; Commissioner John Meleky

Absent: Vice Chair Chris DeFrancisco

Call Meeting to Order

Chair Souers called the meeting to order.

Pledge of Allegiance

Chair Souers led the Pledge of Allegiance.

Consent Agenda: *All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.*

1. Consider Action on the **Minutes from the July 19, 2022 Planning and Zoning Commission Meeting.**

Motion: Recommend approval of the Consent Agenda, as corrected by Commissioner Fansler.

Moved by Commissioner John Meleky, Seconded by Commissioner Nancy Craig

AYE: Chair Tom Souers, Commissioner Juli Branson, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Denise Fansler, Commissioner John Meleky

Passed

Regular Agenda:

2. Present, Discuss, and Consider Action on a **Site Plan for 6.054 acres within the William Lomax Survey, Abstract No. 792, all Located on the Addison Airport, for Six Airport Hangars, Located on the North Side of the Westernmost Segment of Claire Chennault Drive.** Case SP2022-05/4505 Claire Chennault Drive (Sky Harbour Hangars).

Lesley Nyp, Planning and Development Manager, presented the staff report for Item 2.

Discussion:

Commissioner Fansler asked if maintenance would be conducted inside the hangars. Mrs. Nyp directed the question to the applicant.

Commissioner Branson asked what size planes are expected to use the hangars.

The applicant, Jeff Colasanti, Vice President of Construction for Sky Harbour Group, 136 Tower Road, Suite 205, White Plains, NY 10604, stated that the hangars are intended for private aircraft such as a Global 7500 down to mid-size. There will be no large jets stored.

Chair Souers asked if Sky Harbour had other facilities within the DFW area. Mr. Colasanti commented that they have a campus in Sugar Land, TX.

Eric Stolpman, Vice President of Development and Real Estate for Sky Harbour Group, 136 Tower Road, Suite 205, White Plains, NY 10604, commented that they have hangars in Sugar Land, Nashville International Airport, south Florida, Denver, and Phoenix.

Chair Souers asked what attracted Sky Harbour to Addison. Mr. Stolpman commented that Addison is business friendly and the Addison Airport is a premier airport in the state. There is also a wide range of users at the airport and the business aviation growth has been impressive over the last 5-10 years. Sky Harbour has also

developed great relationships with the Addison Airport staff since they first approached the Town in 2018.

Commissioner Meleky asked if there would be any maintenance work being done at this location. Mr. Colasanti said there would be no maintenance. Mr. Stolpman elaborated that tenants will service aircraft but there would be no maintenance or MROs (Maintenance, Repair, and Overhaul) completed at this location.

Motion: Recommend approval of the Site Plan as presented.

Moved by Commissioner John Meleky, Seconded by Commissioner Juli Branson

AYE: Chair Tom Souers, Commissioner Juli Branson, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Denise Fansler, Commissioner John Meleky

Passed

3. **Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance Rezoning a 2.034 Acre Property Located at 3820 Belt Line Road from the Planned Development District (PD) with Modified Belt Line District (BL) Standards to a New Planned Development District (PD) with Modified Local Retail District (LR) Standards and a Special Use Permit (SUP) to Allow the Development of a Drive-Thru Only Restaurant.** Case 1850-Z/3820 Belt Line Road (Salad & Go).

Lesley Nyp, Planning and Development Manager, presented the staff report for Item 3.

Discussion:

Commissioner Catalani asked how long the site has been vacant. Ken Schmidt, Director of Development Services, replied at least 3 years. He added that it is a challenged site and new investment would be beneficial as it has become a code enforcement issue.

Chair Souers asked what can be done with the former Humberdink's restaurant building since the parking on both sides has been taken away with proposed development. Mrs. Nyp responded that the proposed zoning identifies the former Humberdink's building as retail, as there would not be sufficient parking for it to be used as a restaurant in the future.

Chair Souers commented that it is his hope that this new investment will spur reinvestment in the former Humperdink's building, and asked if it doesn't, would it restrict the development by leaving the building in its current condition. He is concerned that it could negatively impact adjacent businesses as it could remain there for many years.

Mr. Schmidt responded that he brought up those existing issues to highlight the challenges with the site. Addison Code Enforcement is very proactive and has been monitoring the site. The property owner is also very responsive to issues and is interested in reinvestment. The issue is that because the site is vacant, it can be a vector for bad behavior. Having activity with new businesses will likely have a positive impact on crime and code issues. There is ongoing interest in redevelopment of the remainder of the site.

Chair Souers opened the public hearing for Item 3.

Nicholas Wilson, Real Estate Manager for Salad & Go, 14800 Landmark Boulevard, welcomed questions from the Commission.

Chair Souers asked the applicant to describe the operation and concept of Salad & Go. Mr. Wilson said Salad & Go's goal is to bring healthy, nutritious food at a fast-food pace and price point. The site will have a drive-thru and a walkup window. You can also order online through the phone app.

Commissioner Craig asked when they plan to start construction. Matt Copenhaver, Chief Development Officer for Salad & Go, 14800 Landmark Boulevard, replied as soon as they receive a permit.

Commissioner Meleky commented that he noticed other locations were constructed very quickly. Mr. Copenhaver said the average duration of construction is 90-100 days.

Commissioner Catalani asked how long the two locations in close proximity have been open and how are they doing.

Mr. Copenhaver said there are currently 14 locations in DFW and May 5, 2022, was Salad & Go's one year anniversary of entering the DFW market. He added that Salad & Go has been opening 1-2 locations every month for the last year. There is a pipeline of 40-50 locations in DFW that will be opening soon. The company was founded 9 years ago and is headquartered in Arizona. Salad & Go has approximately 40 locations in the Phoenix area. Overall they do extremely well compared to most quick service restaurant due to the efficiency of the

space. Salad & Go has been performing better than anticipated in the Texas market. It is generally slower than the Phoenix market, but that is expected since it is a new market. Salad & Go will also be entering into the Houston, Oklahoma City, Austin, and San Antonio markets soon. Salad & Go is different from most quick service restaurants because of its vertically integrated supply chain. There is a centralized manufacturing plant in south Dallas where their preparation occurs to keep their cost much lower than competitors. By removing the prep from the store, it simplifies the operation. Fresh deliveries are made to the stores daily.

Commissioner Craig asked for the hours of operation. Mr. Copenhagen replied 6:30 AM – 9:00 PM Monday through Friday and 7:00 AM – 9:00 PM Saturday and Sunday.

Commissioner Meleky commented that he notices the location on Trinity Mills busy from around 11:00 AM – 4:00 PM. Mr. Copenhagen responded the highest volume is typical between 11:00 AM – 2:30 PM for lunch. He added that in Texas, they are seeing more volume towards dinner than in there other markets.

Chair Souers asked why they open so early. Mr. Copenhagen replied that Salad & Go also offers breakfast burritos and coffee. One of the co-founders of the company is a classically trained chef that has curated the menu. He added that the vertical integration has allowed them to eliminate third party markups and pass the savings onto consumers.

Chair Souers closed the public hearing for Item 3.

Motion: Recommend approval of the Rezoning and SUP request with the following conditions:

- The 2.034 acre subject property shall be developed in accordance with the LR district standards with the following exceptions:
 - Minimum Building Height = 20 feet.
 - Minimum Landscape Buffer = 19 feet, due to the existing setback from Belt Line Road.
 - The previously approved retail building shall be developed in accordance with standards established by Ordinance O21-37.
- No additional driveway connections to Belt Line Road from the

2.034 acre subject property are permitted.

- If the 2.034 acre subject property was to be subdivided in the future, an easement or private agreement shall be established to allow for cross-access through the subject property to existing and future points of access on Business Avenue and Commercial Drive.
- SUP Ordinance No. 2005-036 (Humperdink's) and all preceding restaurant SUPs shall be repealed upon approval of this ordinance.

Moved by Commissioner Nancy Craig, Seconded by Commissioner John Meleky

AYE: Chair Tom Souers, Commissioner Juli Branson, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Denise Fansler, Commissioner John Meleky

Passed

4. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 4580 Belt Line Road that is currently zoned Local Retail (LR), to allow a Restaurant with the Sale of Alcoholic Beverages for On-Premises Consumption.** Case 1853-SUP/4580 Belt Line Road (Toasted Yolk Cafe).

Lesley Nyp, Planning and Development Manager, presented the staff report for Item 4.

Discussion:

Commissioner Catalani asked how many parking spaces the proposed patio eliminated. Mrs. Nyp replied that 3-4 parking spaces were removed to accommodate the patio.

Chair Souers opened the public hearing for Item 4.

Mark Albert, applicant and property owner, 5452 Glen Lakes Drive, Suite 203, Dallas, TX 75231, commented that he appreciates how staff accommodated them with the transformation of the property.

Rex Heckelman, Toasted Yolk Franchisee, 5150 Locust Grove Road, Garland, TX, 75043, welcomed questions from the commission.

Commissioner Catalani asked if the patio umbrellas would be taken down nightly. Mr. Heckelman, said that the umbrellas would either be taken down or folded up and tied nightly.

Commissioner Catalani asked how many people are accommodated on the patio. Mr. Heckelman replied forty-four.

Chair Souers asked if this was a seasonal patio. Mr. Heckelman responded yes.

Chair Souers asked what types of menu items Toasted Yolk offers. Mr. Heckelman replied that Toasted Yolk is a breakfast-lunch concept that started in Houston in 2010. He added that this is his first location and is still learning about the franchise. Its menu has many breakfast oriented items with frequent limited time offerings such as chicken and waffles.

Chair Souers asked how many Toasted Yolk locations are present in DFW. Mr. Heckelman replied two, located in Highland Village and Southlake.

Chair Souers asked how the current revenue is compared to what was anticipated at the DFW locations. Mr. Heckelman responded that he does not have that information.

Chair Souers closed the public hearing for Item 4.

Motion: Recommend approval of the SUP request with the following conditions:

- The applicants shall not use any terms or graphic depictions that relate to alcoholic beverages in any exterior signage.
- Upon approval of a Certificate of Occupancy (CO) for Toasted Yolk, SUP Ordinance No. O20-02 (Remington's) shall be repealed.
- If any change in occupancy occurs at the retail space (FedEx) prior to the adoption of the UDC, a use that requires less parking would be required for the Town to approve re-occupancy of that space.

Moved by Commissioner John Meleky, Seconded by Commissioner Robert Catalani

AYE: Chair Tom Souers, Commissioner Juli Branson, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Denise Fansler, Commissioner John Meleky

Passed

5. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 3855 Belt Line Road that is currently zoned Planned Development (PD), Ordinance No. 094-037, to allow a Restaurant.** Case 1854-SUP/3855 Belt Line Road (La Pasha).

Lesley Nyp, Planning and Development Manager, presented the staff report for Item 5.

Discussion:

Commissioner Meleky asked if the last condition recommended by staff would repeal the existing SUP which allows a restaurant and the sale of alcohol for on-premises consumption. Ken Schmidt, Director of Development Services, responded yes, it is the SUP currently in place for Los Lupes.

Commissioner Catalani asked what the required parking was when Los Lupes occupied the site. Mrs. Nyp said this site was originally developed as a Joe's Crab Shack in the 1990's and the practice at the time was to exclude the patio square footage from the required parking ratio. The current practice is to include the gross square footage of both the patio and indoor area in the parking ratio. The applicant is expanding the patio area but is decreasing the total square footage of the building overall.

Commissioner Catalani commented that the current building is an eyesore and has some challenges. He added that he couldn't imagine people being out past midnight without having an alcoholic drink. He stated that the business being open that late, seven days a week, could cause some issues.

Chair Souers asked staff to locate the current exterior wall and locate the areas proposed to be changed from indoor dining to patio area. Mrs. Nyp responded that a portion of the patio area will be reconstructed, and the current exterior wall will be relocated to convert interior area to patio area. The overall footprint of the patio will be changing; however, staff does not know if this will require full demolition of the patio.

Commissioner Craig asked if a new solid waste enclosure will be added to the site. Mrs. Nyp responded that the solid waste enclosure will be replaced using the same materials as the building facade and it will be in the same location as the existing enclosure.

Chair Souers opened the public hearing for Item 5.

Mohammed Jetpuri, property owner of 3885 Belt Line Road (Al Amir), 905 Troon Circle, Richardson, TX 75081, stated he is concerned about the children's play area as there is a lot of traffic. He has heard good things about the operator and is excited to have them as a neighbor but is concerned about safety.

Saad Jawad, property owner, developer, and operator of La Pasha, 10190 Katy Freeway, Suite 350, Houston, TX 77043, welcomed questions from the commission.

Imad Lakhany, property owner, developer, and operator of La Pasha, 10190 Katy Freeway, Suite 350, Houston, TX 77043, stated that their restaurant has a family friendly environment, so as an amenity, they will be providing a children's play area. They are extending the patio area and within the patio will be the play area. This play area will not be in the parking lot and will not have direct access to the parking lot. He added that the current location in Houston does not serve alcohol and is doing very well. They would like to bring the same product to Addison.

Chair Souers asked for details regarding the conversion of the interior dining area to patio space.

Kenieth LaForest, Heights Venture Architects, 5741 Legacy Drive, Suite 320, Plano, TX 75024, said the patio conversion will be achieved by relocating the exterior wall. What was formally the bar for Los Lupes will be integrated into the patio space by removing the existing exterior wall and an existing interior wall will become the exterior wall.

Commissioner Meleky asked if the bar would be removed. Mr. LaForest replied yes.

Chair Souers asked if it will be a seasonal patio. Mr. Jawad stated the goal is to design the patio to be used year-round. Mr. Lakhany added that it would be ventilated.

Mr. LaForest said the intention is to extend the existing roof to provide a permanent roof over part of the patio. The remaining area will be covered by a retractable awning.

Chair Souers commented that many restaurants cannot survive without alcohol sales. He asked the applicants what allows them to do so well without serving alcohol. Mr. Lakhany stated that they have a world-renowned chef offering a variety of Mediterranean food and offer a family friendly environment. He added that they also sell a variety of drinks such as teas and smoothies.

Commissioner Catalani asked when construction would begin if approved. Mr. Lakhany replied that construction will take approximately 4-6 months.

Commissioner Craig asked why the applicants did not look to expand their operations in Houston to be more centralized. Mr. Lakhany responded that it is a unique Mediterranean restaurant and is not easily multiplied in the same market. The current restaurant in Houston serves the current market and they would like to expand into a new area.

Chair Souers closed the public hearing for Item 5.

Motion: Recommend approval of the SUP request with the following conditions:

- Operating hours shall result in venue closure no later than 12 am, Sunday – Wednesday, and 2 am, Thursday – Saturday.
- The use of speakers/sound systems and live music on the patio any time after 10 pm shall be prohibited.
- BYOB services shall be prohibited.
- Upon approval of a Certificate of Occupancy (CO) for La Pasha, SUP Ordinance No. 094-044 shall be repealed.

Moved by Commissioner Nancy Craig, Seconded by Commissioner Robert Catalani

AYE: Chair Tom Souers, Commissioner Juli Branson, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Denise Fansler, Commissioner John Meleky

Passed

Adjourn Meeting

There being no further business before the Commission, the meeting was adjourned.

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

Agenda Caption:

Consider Action on a Replat of Lot C-R, Block 1, of the Oaks North-West No. 2 Addition, comprising 1.24 Acres situated in the Allen Bledsoe Survey, Abstract No. 157, and located west of Montfort Drive and approximately 275 feet south of Belt Line Road. Case R2022-03/Oaks North-West No. 2 Addition (14999 Montfort Drive).

Recommendation:

Staff recommends approval of the replat.

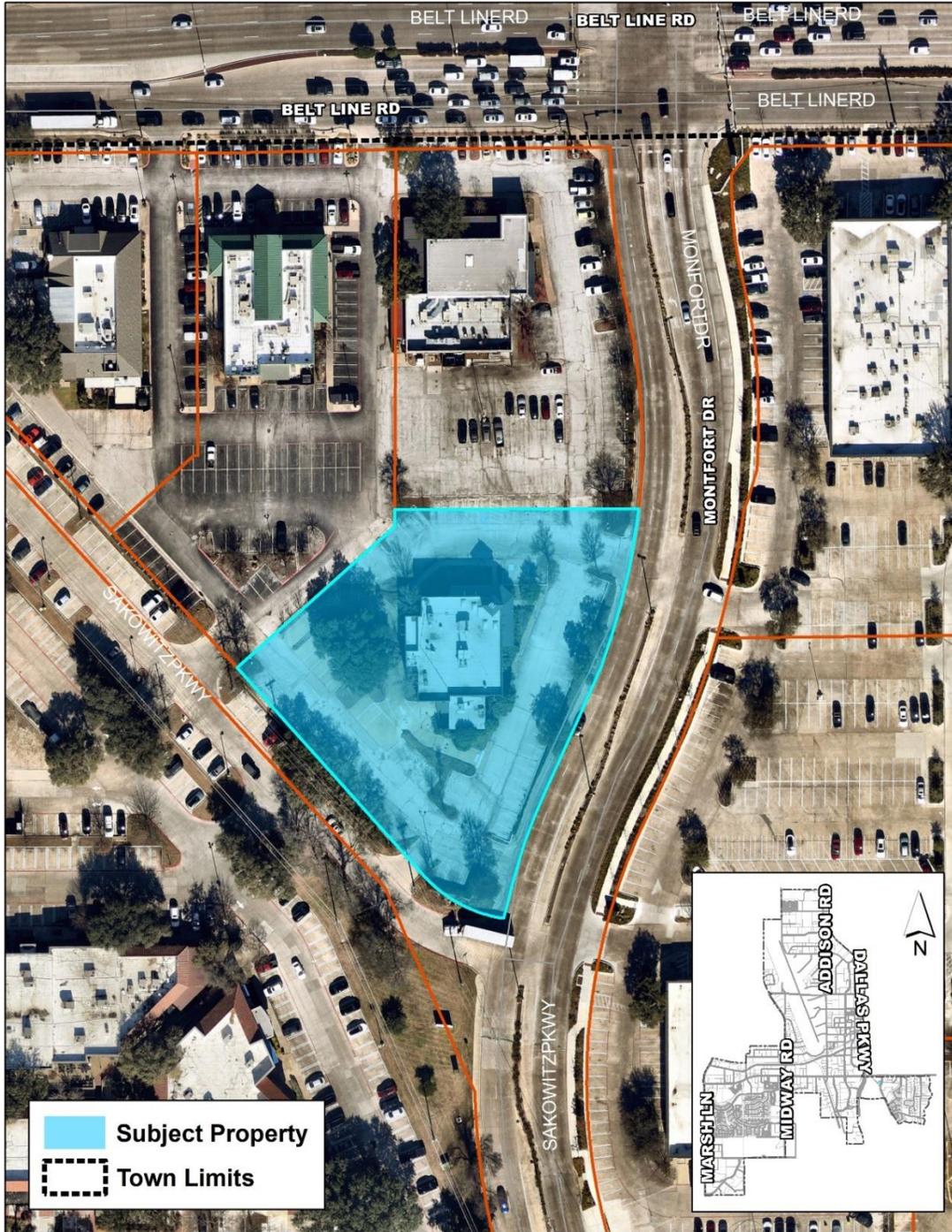
Attachments

R2022-03 Staff Report
R2022-03 Replat

R2022-03

Case R2022-03/Oaks North-West No. 2 Addition (14999 Montfort Drive). Consider Action on a Replat of Lot C-R, Block 1, of the Oaks North-West No. 2 Addition, comprising 1.24 Acres situated in the Allen Bledsoe Survey, Abstract No. 157, and located west of Montfort Drive and approximately 275 feet south of Belt Line Road.

LOCATION MAP





September 20, 2022

STAFF REPORT

RE: R2022-03/ Replat - Lot C-R, Block 1, Oaks North-West No. 2

LOCATION: 1.24 Acres situated in the Allen Bledsoe Survey, Abstract No. 157, and located west of Montfort Drive and approximately 275 feet south of Belt Line Road

REQUEST: Approval of a Replat

APPLICANT: Mike Davis, Bannister Engineering

DISCUSSION:

Background: The subject property is located west of Montfort Drive and approximately 275 feet south of Belt Line Road. In September 2021, this site was rezoned to the Planned Development (PD) zoning district and received SUP approval to facilitate the construction of Loro Asian Smokehouse.

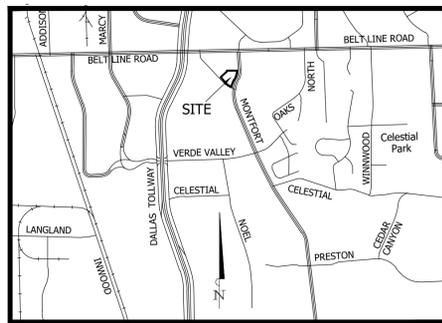
A replat was previously approved by the Planning & Zoning Commission in April 2022, Case No. R2022-01, to dedicate needed right-of-way for Montfort Drive and to establish necessary access, utility, and drainage easements. This replat was never recorded, as the applicant soon after identified the need for an additional utility easement due to changes required during the construction process.

A revised replat is needed to dedicate an additional easement due to the relocation of a proposed water line to align with existing infrastructure conditions.

Regulatory Compliance: The replat has been reviewed by Town staff and is in compliance with all requirements.

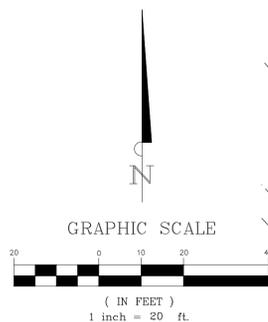
RECOMMENDATION:

Staff recommends approval of the proposed replat.



VICINITY MAP
NOT TO SCALE
ADDISON, TEXAS

LEGEND
N NORTH
S SOUTH
E EAST
W WEST
• DEGREES
• MINUTES/FEET
• SECONDS/INCHES
O.P.R.D.C.T.
OFFICIAL PUBLIC RECORDS
DALLAS COUNTY, TEXAS
D.R.D.C.T.
DEED RECORDS
DALLAS COUNTY, TEXAS
M.R.D.C.T.
MAP RECORDS
DALLAS COUNTY, TEXAS



Line Table

Line #	Length	Direction
L1	10.75'	N49° 11' 50"E
L2	17.08'	N4° 11' 50"E
L3	132.25'	N49° 11' 50"E
L4	116.44'	N89° 26' 29"E
L5	30.65'	S45° 33' 31"E
L6	3.42'	S0° 33' 31"E
L7	10.50'	N89° 26' 29"E
L8	16.50'	S79° 02' 49"E
L9	16.46'	N79° 03' 09"W
L10	6.91'	S89° 26' 29"W
L11	11.25'	S0° 33' 31"E
L12	150.85'	S21° 56' 29"W
L13	88.68'	S47° 25' 08"W
L14	85.30'	N47° 25' 08"E
L15	144.47'	N21° 56' 29"E
L16	20.04'	N0° 33' 31"W
L17	18.23'	N45° 33' 31"W
L18	104.73'	S89° 26' 29"W
L19	120.54'	S49° 11' 50"W
L20	17.08'	S4° 11' 50"W
L21	16.58'	S49° 11' 50"W

GENERAL NOTES:

- 1. All bearings shown herein are based upon the Texas State Plane Coordinate System, NAD83 (2011), Texas North Central Zone (4202). All distances shown herein are surface distances.
- 2. Notice: Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and state law and is subject to fines and withholding of utilities and building permits.
- 3. According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48113C0180K, dated July 7, 2014. The property appears to lie within Zone "X" and the entire property lies within a "Areas determined to be outside the 0.2% annual chance floodplain" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.
- The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".
- 4. All lot corners (Original Monumentation) shall be iron rods set (IRS) are 5/8-inch with a red plastic cap stamped "RPLS 4838".

SURVEYOR'S CERTIFICATE:

THAT I, Michael Dan Davis, a Registered Professional Land Surveyor in the State of Texas, do hereby declare that I have prepared this plat from an actual on the ground survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with Subdivision Regulations of the Town of Addison, Texas.

For: Bannister Engineering, LLC

PRELIMINARY,
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE AND SHALL NOT BE
USED OR VIEWED OR RELIED UPON AS A FINAL
SURVEY DOCUMENT



Michael Dan Davis
Registered Professional Land Surveyor
Texas Registration No. 4838

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared Michael Dan Davis, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes and consideration therein expressed, in the capacity therein stated and as the act and deed of said Partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public, The State of Texas

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	15.71'	10.00'	90°00'00"	S55° 57' 11"W	14.14'
C2	102.55'	437.00'	13°26'45"	S20° 33' 42"W	102.32'
C3	97.98'	652.24'	8°36'24"	S23° 56' 25"W	97.88'
C4	51.41'	25.00'	117°49'54"	S78° 33' 10"W	42.82'
C5	36.44'	30.00'	69°35'42"	S55° 45' 39"E	34.24'
C6	10.85'	54.00'	11°30'41"	S84° 48' 10"E	10.83'
C7	11.96'	10.00'	68°32'35"	N76° 48' 11"W	11.26'
C8	18.29'	10.00'	104°46'12"	S38° 10' 24"E	15.84'
C9	94.04'	413.00'	13°02'45"	S20° 44' 04"W	93.83'
C10	86.75'	676.24'	7°21'00"	S24° 33' 05"W	86.69'
C11	20.35'	10.00'	116°35'32"	S79° 10' 21"W	17.02'
C12	16.01'	10.00'	91°43'43"	N3° 19' 58"E	14.35'
C13	21.07'	30.00'	40°14'40"	N69° 19' 10"E	20.64'
C14	10.86'	30.00'	20°44'34"	S58° 33' 16"W	10.80'
C15	14.86'	10.21'	83°24'28"	N50° 04' 18"E	13.58'
C16	12.04'	418.00'	1°39'02"	N7° 02' 12"E	12.04'
C17	17.89'	442.00'	2°19'09"	S7° 00' 13"W	17.89'
C18	15.22'	10.00'	87°12'37"	S35° 26' 31"E	13.79'

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBPLS REGISTRATION NO. 10193823 PROJECT NO.: 240-21-001

B:\Clients\240 (HAT Hospitality)\240-21-001 (Lono Adam Smokehouse - Addison)\Survey\240-21-001 Survey Base.dwg
9/8/2022 11:53:48 AM

LOT C-R, BLOCK 1
OAKS NORTH - WEST NO. 2
1.225 ACRES OR
53,357 SQUARE FEET
LOT C, BLOCK 1
OAKS NORTH - WEST NO. 2
VOLUME 79121, PAGE 579
D.R.D.C.T.
PWP PPTY OWNER, LP
INSTRUMENT NUMBER 201600247714
O.P.R.D.C.T.

TOTAL AREA:
1.240 ACRES OR
54,004 SQUARE FEET

PURPOSE: The purpose of this replat is to
dedicate public right-of-way and add easements
for future development.

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE
TOWN OF ADDISON, TEXAS ON

_____, 2022.

CHAIR PERSON

CITY SECRETARY

OWNER'S CERTIFICATE:

State of Texas §
County of Dallas §

WHEREAS, PWP PROPERTY OWNER LP is the owner of that certain 1.240 acres (54,004 square feet) of land in the Allen Bledsoe Survey, Abstract No. 157, Town of Addison, Dallas County, Texas, described as Lot C, Block 1, Oaks North - West No. 2 (hereinafter referred to as Lot C), an addition to the City of Addison, Dallas County, Texas, according to the plat recorded in Volume 79121, Page 579, Deed Records, Dallas County, Texas (D.R.D.C.T.), and being more particularly described, by metes and bounds, as follows:

BEGINNING at a one-half inch iron rod found for the Southerly corner of said Lot C, same being the intersection of the existing Westerly right-of-way line of Montfort Drive (80' right-of-way), as recorded in Volume 82006, Page 1250, D.R.D.C.T. and the existing Northeasterly line of the Abandoned Sakowick Drive retained as Utility Easement (hereinafter referred to as Utility Easement), as recorded in Instrument Number 201300139206, Official Public Records, Dallas County, Texas (O.P.R.D.C.T.), same also being the beginning of a curve to the right, whose long chord bears North 62 degrees 04 minutes 40 seconds West, a distance of 67.81 feet;

THENCE Northwesterly, departing the existing Westerly right-of-way line of said Montfort Drive, with the common line between said Lot C and said Utility Easement, with said curve to the right, having a radius of 100.00 feet, through a central angle of 39 degrees 38 minutes 17 seconds, for an arc distance of 69.18 feet;

THENCE North 42 degrees 15 minutes 31 seconds West, continuing with the common line between said Lot C and said Utility Easement, a distance of 207.17 feet to the Southerly corner of that certain tract of land described as Lot B, Block 1, Oaks North - West No. 1 (hereinafter referred to as Lot B), an addition to the City of Addison, Dallas County, Texas, according to the plat recorded in Volume 79121, Page 563, D.R.D.C.T.;

THENCE North 47 degrees 44 minutes 29 seconds East, departing the existing Northeasterly line of said Utility Easement, with the common line between said Lot C and said Lot B, a distance of 157.38 feet to the Southeast corner of said Lot B;

THENCE North 00 degrees 31 minutes 41 seconds West, continuing with the common line between said Lot C and said Lot B, a distance of 12.48 feet to the Northwest corner of said Lot C, same being the Southwest corner of that certain tract of land described as Lot D, Block 1, Oaks North - West No. 3 (hereinafter referred to as Lot D), an addition to the City of Addison, Dallas County, Texas, according to the plat recorded in Volume 79121, Page 571, D.R.D.C.T.;

THENCE North 89 degrees 28 minutes 19 seconds East, a distance of 184.78 feet to the Northeast corner of said Lot C, same being the Southeast corner of said Lot D, same being the existing Westerly right-of-way line of said Montfort Drive, same also being the beginning of a non-tangent curve to the right, whose long chord bears South 16 degrees 50 minutes 36 seconds West, a distance of 179.48 feet;

THENCE Southerly with the common line between said Lot C and the existing Westerly right-of-way line of said Montfort Drive, with said non-tangent curve to the right, having a radius of 460.00 feet, through a central angle of 22 degrees 29 minutes 58 seconds, for an arc distance of 180.64 feet to the beginning of a non-tangent curve to the left, whose long chord bears South 20 degrees 31 minutes 08 seconds West, a distance of 142.35 feet;

THENCE Southerly, continuing with the common line between said Lot C and the existing Westerly right-of-way line of said Montfort Drive, with said non-tangent curve to the left, having a radius of 540.00 feet, through a central angle of 15 degrees 08 minutes 54 seconds, for an arc distance of 142.77 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 1.240 acres (54,004 square feet) of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That PWP PROPERTY OWNER LP, does hereby adopt this plat designating the hereinabove property as:

LOT C-R, BLOCK 1, OAKS NORTH - WEST NO. 2

an addition to the Town of Addison, Dallas County, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown hereon.

This plat is approved by the Town of Addison and accepted by the owners(s), subject to the following conditions which shall be binding upon the owners(s), his heirs, grantees and successors, and assigns:

The easement shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

The proposed detention area easement(s) within the limits of the addition, will remain as detention area(s) to the line and grade shown on the plans at all times and will be maintained by the individual owner(s) of the lot or lots that are traversed by or adjacent to the detention area(s). The Town of Addison shall not be responsible for the maintenance and operation of said detention area(s) or any damage or injury to private property of person that results from the flow of water along, into or out of said detention area(s), or for the control of erosion.

No obstruction to the natural flow of storm water run-off shall be permitted by filling or construction of any type of dam, building, bridge, fence, walkway or any other structure within the designated detention area(s) unless approved by the Director of Public Works, provided; however it is understood that in the event it becomes necessary for the Town of Addison to erect any type of drainage structure in order to improve the storm drainage that may be occasioned by the streets and alleys in or adjacent to the subdivision, then, in such event, the Town of Addison shall have the right to enter upon the detention area(s) at any point, or points, to erect, construct and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the detention area(s) traversing or adjacent to his property clean of debris, silt and any substance which would result in unsanitary conditions or blockage of the drainage. The Town of Addison shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner(s), or to alleviate any undesirable conditions, which may occur.

The detention area(s) as in the case of all detention areas are subject to storm water overflow(s) to an extent which cannot be clearly defined. The Town of Addison shall not be held liable for any damages of any nature resulting from the occurrences of these natural phenomena, nor resulting from the failure of any structure of structures, within the detention area(s) or subdivision storm drainage system. The detention area easement line identified on this plat shown the detention area(s) serving this addition.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

WITNESS UNDER MY HAND, THIS THE ____ DAY OF _____, 2022.

PWP PROPERTY OWNER LP
By: Northwood Investors

By: _____
Name: James Geskey
Title: Managing Director

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared James Geskey, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated and as the act and deed of said Partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public, The State of _____

REPLAT
LOT C-R, BLOCK 1
OAKS NORTH - WEST NO. 2
Being a Replat of Lot C, Block 1,
Oaks North - West No. 2, an addition to the Town of Addison,
Dallas County, Texas, according to the plat recorded in Volume
79121, Page 579, Deed Records, Dallas County, Texas
and Being 1.240 acres out of the
Allen Bledsoe Survey, Abstract Number 157
Town of Addison, Dallas County, Texas
Town Case No. R2022-03
Preparation Date: September 2021
Revision Date: August 2022
SHEET 1 OF 1

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER / DEVELOPER:
PWP PROPERTY OWNER LP
575 FIFTH AVENUE, 23RD FLOOR
NEW YORK, NEW YORK 10017

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 15375 Addison Road, that is currently zoned Local Retail (LR), to allow a restaurant.** Case 1849-SUP/15375 Addison Road (Ambrosia Café).

Recommendation:

Staff recommends approval of this request, subject to the following conditions:

- Upon issuance of a CO for this restaurant, SUP Ordinance Nos. 083-025, 091-036, and 091-062 permitting a restaurant with the sale of alcohol for on-premises consumption shall be repealed.
- Operating hours that result in venue closure at 12:00 am, Sunday – Thursday, and 2:00 am, Friday – Saturday.
- Prohibition on the use of BYOB services.

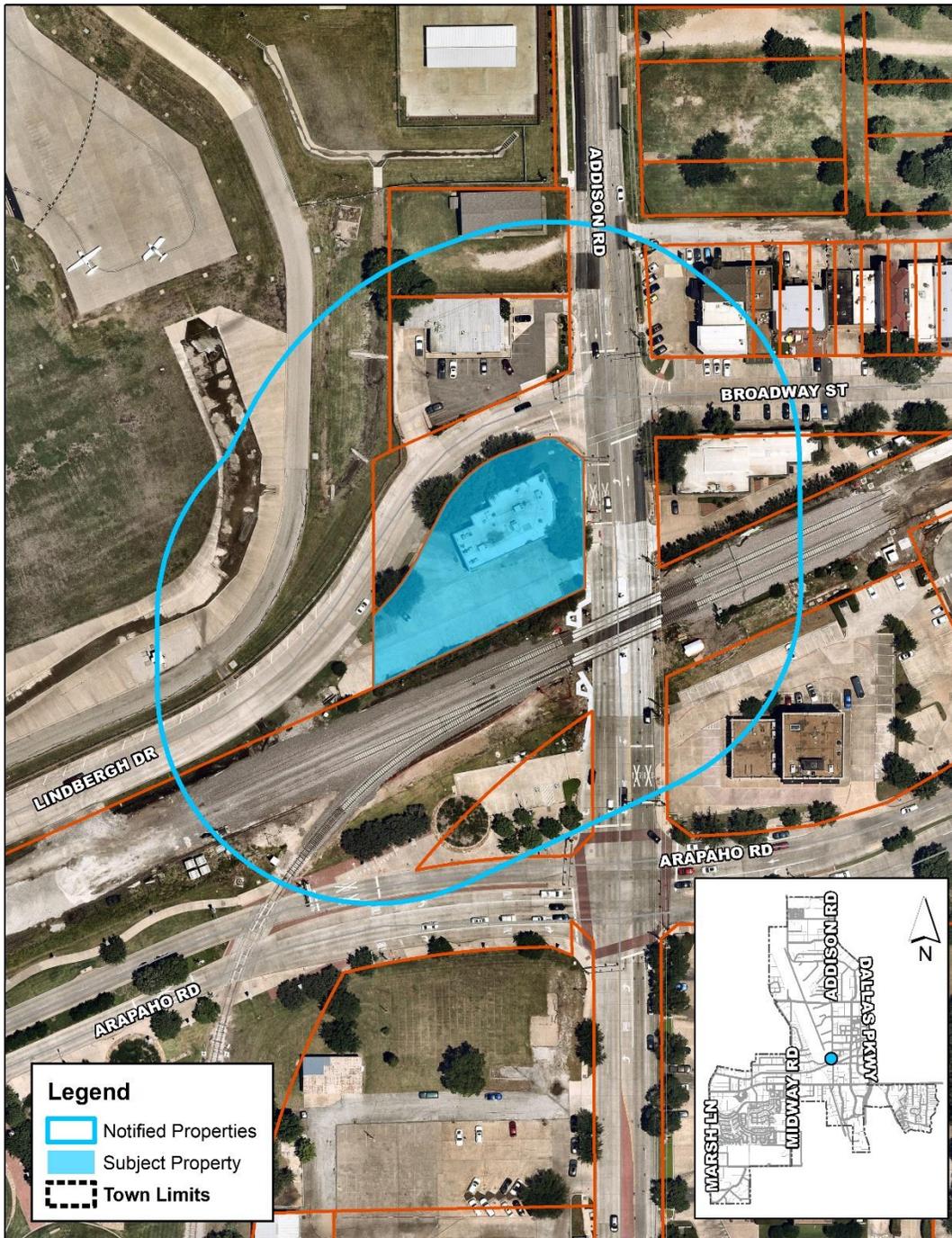
Attachments

1849-SUP Staff Report
1849-SUP Plans
1849-SUP Letter of Intent

1849-SUP

PUBLIC HEARING Case 1849-SUP/15375 Addison Road (Ambrosia Café). Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 15375 Addison Road, that is currently Zoned Local Retail (LR), to Allow a Restaurant.

LOCATION MAP





September 20, 2022

STAFF REPORT

RE: 1849-SUP/Ambrosia Café
LOCATION: 15375 Addison Road
REQUEST: Approval of a Special Use Permit for a Restaurant
APPLICANT: Hassan Naser

DISCUSSION:

Background: The subject property is located at 15375 Addison Road, which is the at the southwest corner of Addison Road and Lindbergh Drive. The site was developed in 1983 with the existing 4,797 square foot building. The site is zoned Local Retail (LR) with Special Use Permits (SUP) for a restaurant with the sale of alcohol for on-premises consumption. The structure is currently vacant and was formerly occupied by Villa Lounge and Nine45North.

Ambrosia Café is a full-service restaurant specializing in American-Mediterranean cuisine. The proposed menu will include breakfast, lunch, and dinner options. They will also offer specialty coffee, teas, and smoothies. Hookah will be available to patrons. No alcohol is proposed to be served. The proposed operating hours are 6:00 am – 12:00 am, Monday through Thursday, and 6:00 am – 2:00 am, Friday through Sunday.

The proposed restaurant requires an SUP due to the proposed building and site modifications.

Proposed Plan: With this request, Ambrosia Café proposes to occupy the existing 4,797 square foot structure. Improvements to the site include an interior renovation, façade updates, the addition of a solid waste enclosure, increased landscaping, parking lot modifications, and sidewalk improvements. The restaurant provides indoor seating for 88 individuals. The interior floor plan is comprised of dining areas with table seating and various kitchen and service areas. The proposed plan is proposed to expand an existing mezzanine area, to be used as office space and storage, by 785 square feet for a total square footage of 5,582. The interior addition will not increase the existing building footprint or height.

Given the existing site constraints, there was a challenge to achieve a balance of improvements without detrimentally impacting the economic viability of the property.

Parking: The site currently has two access points; one on Addison Road and one on Lindbergh Drive. There are currently 41 parking spaces, including 1 accessible space. Due to proposed site alterations, 3 parking spaces are proposed to be removed. This would result in 38 parking spaces remaining on site, including 2 accessible spaces. Since this is a freestanding restaurant, the parking ratio of 1 space per 70 square feet applies. The proposed 5,582 square foot structure would require 80 parking spaces.

The proposed site plan is deficient 42 spaces, however, per Ordinance No. 091-036, it was approved for a restaurant with alcohol sales with 49 parking spaces in 1991. Based upon aerial imagery, the parking lot was restriped in 2015 and 8 parking spaces were removed, resulting in 41 spaces remaining on site. Parking lot restriping does not require a permit in Addison.

Given that this site has operated as a restaurant since 1983 and has not had parking difficulties, staff believes the proposed parking will adequately serve the site.

Exterior Facades: The façade plans reflect modifications to the north, south and east building facades with the replacement and addition of various doors and windows. The applicant is also proposing a solid waste enclosure, constructed of wood plank fencing materials, at the northwest corner of the building. There currently is no solid waste enclosure on site.

Landscaping and Open Space: For the existing condition, the subject property met the 20% landscaped area requirement, however, it did not meet many of the requirements for landscape materials. The proposed plan exceeds the landscaped area requirement by providing 30% or 8,105 square feet of landscaped area. The plan also proposes the addition of landscape islands within the parking lot, trees, and shrubs to meet the minimum street landscape buffer and interior parking lot landscaping and screening.

There is an existing five-foot sidewalk located immediately at the back of curb along Addison Road. Staff worked with the applicant to relocate the sidewalk in an effort to provide a landscape buffer between the curb and sidewalk. The site was able to accommodate a six-foot sidewalk with a five-foot landscape buffer along the Addison Road frontage, north of the access drive. To accommodate the existing pedestrian crossing for the DART Line, the sidewalk south of the Addison Road access drive will remain.

RECOMMENDATION: **APPROVAL WITH CONDITIONS**

Staff supports reinvestment efforts to bring the site closer into compliance with Town regulations. The Ambrosia Café will enhance the appearance of the existing building and site. While the applicant is unable to meet all requirements, this application has significantly improved the existing nonconformities on the site.

Staff recommends approval of this request, subject to the following conditions:

- Upon issuance of a CO for this restaurant, SUP Ordinance Nos. 083-025, 091-036, and 091-062 permitting a restaurant with the sale of alcohol for on-premises consumption shall be repealed.
- Operating hours that result in venue closure at 12:00 am, Sunday – Thursday, and 2:00 am, Friday – Saturday.
- Prohibition on the use of BYOB services.

SITE DATA SUMMARY TABLE:

ZONING: (LR) LOCAL RETAIL	
PROPOSED USE: RESTAURANT USE NO ALCOHOL SALES	
LOT AREA SQUARE FOOTAGE: 26,685 S.F.	
LOT AREA ACREAGE: 0.613 AC	
BUILDING: (EXISTING) TOTAL (1) STORY	4,797 SQFT
BUILDING REMODEL: (MEZZANINE ADDITION)	
NEW TOTAL S.F.	5,582 SQFT
BUILDING HEIGHT: 20'-6" (1 1/2 STORIES)	
GROUND FLOOR:	
ASSEMBLY / DINING AREA	2,769 SQFT
KITCHEN/COMMERCIAL	953 SQFT
STORAGE	548 SQFT
RESTROOMS (NEW)	527 SQFT
MEZZANINE: (NEW)	
OFFICE	313 SQFT
STORAGE	385 SQFT
HALLWAY	87 SQFT
PARKING:	
2 HANDICAP SPACES REQUIRED	
2 HANDICAP SPACES PROVIDED	
PARKING RATIO REQUIRED 1 SPACE PER 70 S.F.	
80 SPACES REQUIRED	
38 SPACES PROVIDED	
LOT COVERAGE:	
USEABLE OPEN SPACE REQUIRED	5,337 S.F.
USEABLE OPEN SPACE PROVIDED	8,105 S.F.
PERCENTAGE	30% OF THE SITE
IMPERVIOUS	18,580 S.F. 70% OF SITE

ADJACENT PROPERTY:

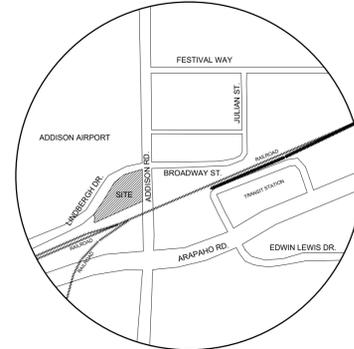
15401 ADDISON ROAD
 EDWARD COOK ABSTRACT NO. 326, PGG482, TRACT 1, ACS 0.417
 OWNER: ADDISON POST OFFICE JV, ATTN: US POSTAL SVC REAL EST
 TENANT: WILES KEN (DBA: ADDISON CIGAR & TOBACCO)

ADJACENT PROPERTY:

ADDISON AIRPORT
 OWNER: TOWN OF ADDISON

ADJACENT TENANT

ADJACENT PROPERTY:
 15404 ADDISON ROAD
 JULIAN, BLOCK A, LOT 1
 OWNER: SIDERIS PROPERTIES, ATTN: GEORGE SIDERIS
 TENANT: SALON 972, LESPIRIT JULIETT & JEANCLAUDE (DBA: SALON JEAN CLAUDE),
 G NAGIN (DBA: STUDIO EIGHT), KENDAL RANDY (DBA: SALON KINDLE)



VICINITY MAP
 0' 10' 20'
 SCALE: 1"=20'-0"

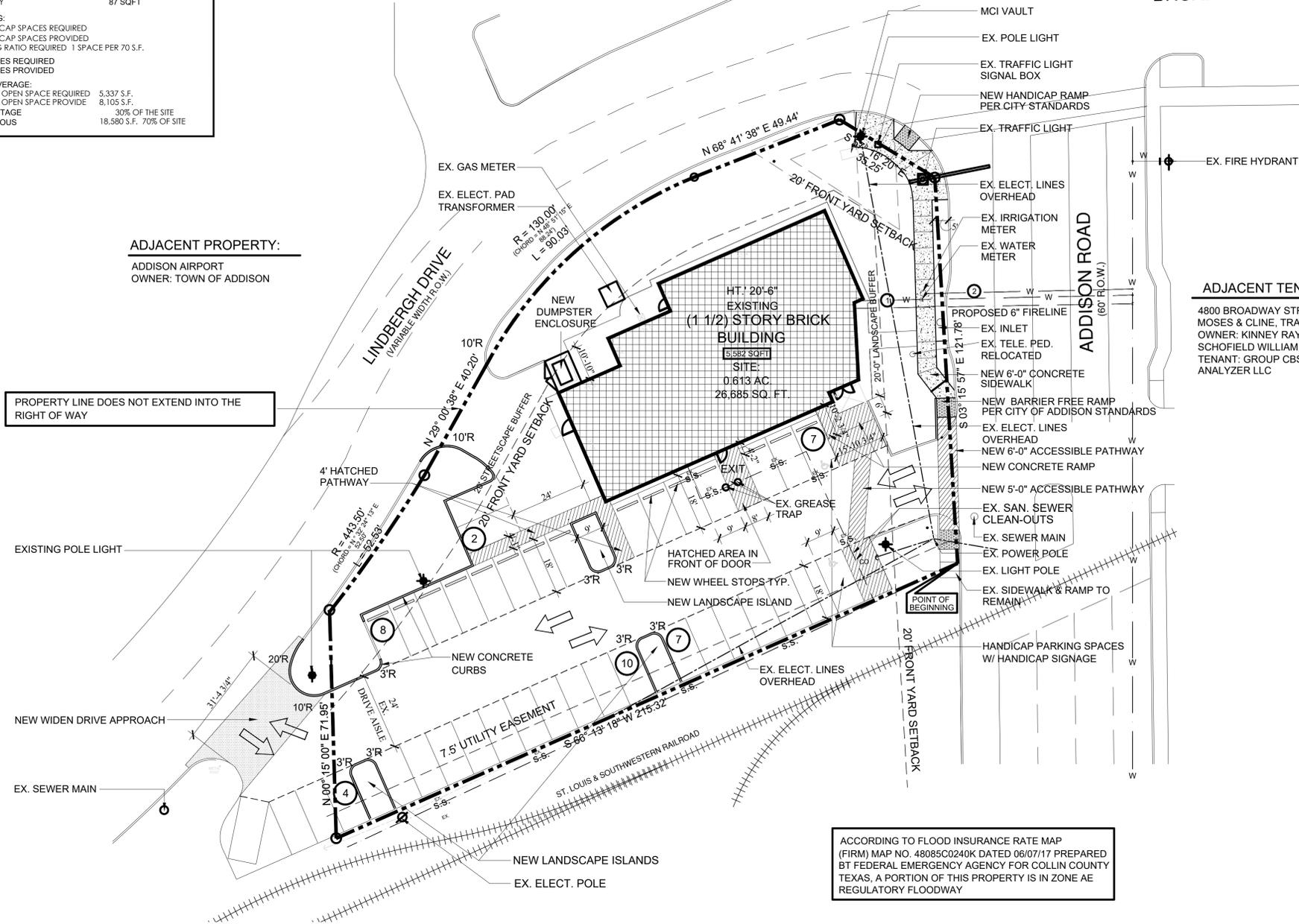


ADDRESS:
 6205 Tower Court
 Plano, Texas 75074
 PHONE:
 (469)-835-1893



PROJECT:
AMBROSIA CAFE
 15375 ADDISON ROAD
 ADDISON, TX

SUP-1



PROPERTY LINE DOES NOT EXTEND INTO THE RIGHT OF WAY

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48085C0240K DATED 06/07/17 PREPARED BY FEDERAL EMERGENCY AGENCY FOR COLLIN COUNTY TEXAS, A PORTION OF THIS PROPERTY IS IN ZONE AE REGULATORY FLOODWAY

CONCEPT PLAN
CASE# 1849-SUP
AMBROSIA CAFE

TR 7 ACS 0.6126
 EDWARD COOK ABST 326 PG 482
 ABSTRACT NO. 626
 IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
 PREPARED: SEPT. 20, 2022

CONTACT
 OWNER/OCCUPANT
 AMBROSIA CAFE
 HASSAN NASER
 CONTACT: HASSAN NASER
 P: 469.422.5944
 E: AAAPROSERVICES@HOTMAIL.COM

ARCHITECT
 ROA Design Group
 6205 TOWER COURT
 PLANO, TX
 CONTACT: JOSEPH N ANTHONY
 P: 469.835.1893
 E: JOEANT12345@YAHOO.COM
 E: REED@ROADDESIGNGROUPS.COM

GENERAL CONTRACTOR
 HASSAN NASER
 CONTACT: HASSAN NASER
 P: 469.422.5944
 E: AAAPROSERVICES@HOTMAIL.COM

CITY OF ADDISON
 BUILDING INSPECTIONS
 16801 Westgrove Dr
 ADDISON, Texas 75001
 Phone: 972.450.2880
 E: Registrations@addisontx.gov

SITE DATA SUMMARY TABLE:

ZONING: (LR) LOCAL RETAIL
 PROPOSED USE: RESTAURANT USE NO ALCOHOL SALES
 LOT AREA SQUARE FOOTAGE: 26,685 S.F.
 LOT AREA ACREAGE: 0.613 AC

BUILDING: (EXISTING) TOTAL **4,797 SQFT**
 (1) STORY

BUILDING REMODEL: (MEZZANINE ADDITION)
 NEW TOTAL S.F. **5,582 SQFT**

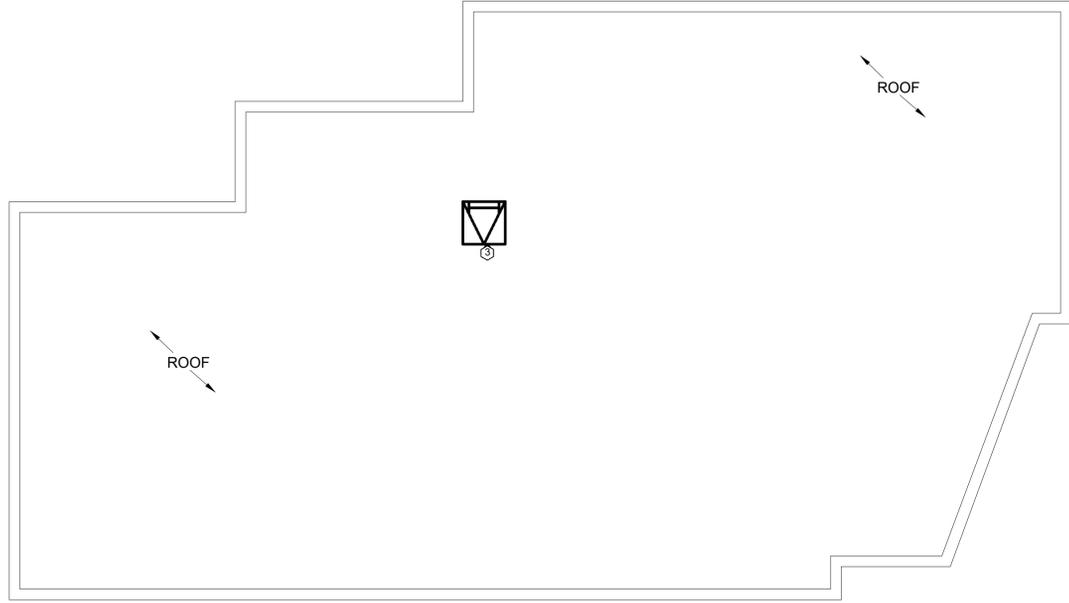
BUILDING HEIGHT: 20'-6" (1 1/2 STORIES)

GROUND FLOOR:
 ASSEMBLY/DINING AREA 2,769 SQFT
 KITCHEN/COMMERCIAL 953 SQFT
 STORAGE 548 SQFT
 RESTROOMS (NEW) 527 SQFT

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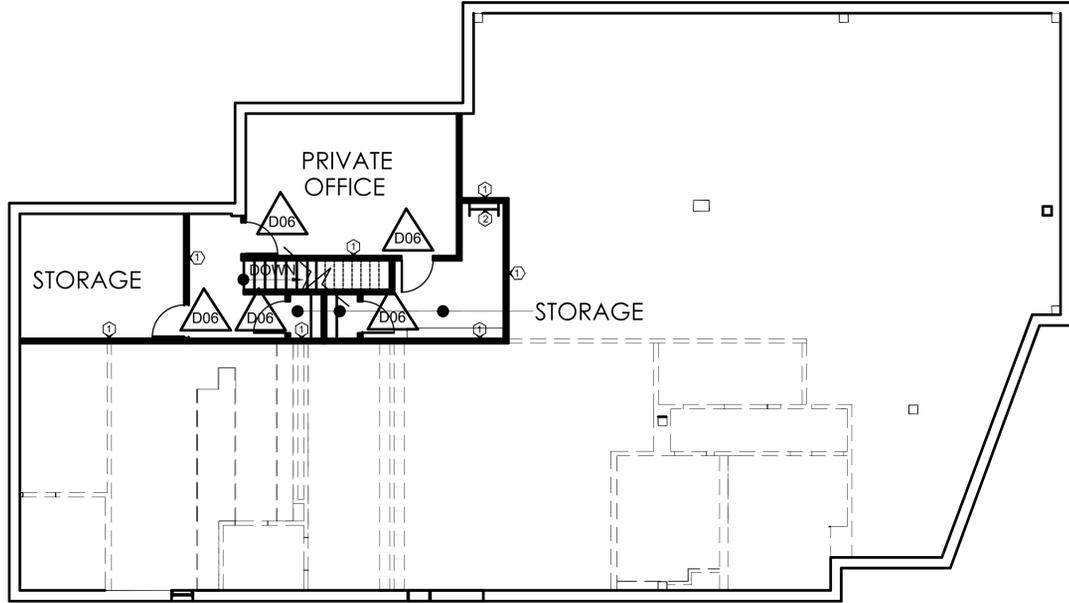
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 USEABLE OPEN SPACE REQUIRED 5,337 S.F.
 USEABLE OPEN SPACE PROVIDED 8,105 S.F.
 PERCENTAGE 30% OF THE SITE
 IMPERVIOUS 18,580 S.F. 70% OF SITE



ROOF PLAN

PROJECT TO COMPLY WITH 2018 IBC AND 2017 NEC

THIS PROJECT WILL BE REQUIRED TO COMPLY WITH THE SPECIAL INSPECTION REQUIREMENTS



DIMENSION FLOOR PLAN

PROJECT TO COMPLY WITH 2018 IBC AND 2017 NEC

- FLOOR PLAN NOTES:**
- ① NEW WALL
 - ② ROOF HATCH LADDER
 - ③ ROOF HATCH



PROJECT:
AMBROSIA CAFE
 15375 ADDISON ROAD
 ADDISON, TX

FLOOR PLAN
 SCALE: 1/8"=1'-0"
CASE# 1849-SUP
AMBROSIA CAFE

TR 7 ACS 0.6126
 EDWARD COOK ABST 326 PG 482
 ABSTRACT NO. 626
 IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
 PREPARED: SEPT. 20, 2022

<p>CONTACT OWNER/OCCUPANT AMBROSIA CAFE HASSAN NASER CONTACT: HASSAN NASER P: 469.422.5944 E: AAAPROSERVICES@HOTMAIL.COM</p>	<p>ARCHITECT ROA Design Group 6205 TOWER COURT PLANO, TX CONTACT: JOSEPH N ANTHONY P: 469.835.1893 E: JOEANT12345@YAHOO.COM E: REED@ROADESIGNGROUPS.COM</p>	<p>GENERAL CONTRACTOR HASSAN NASER CONTACT: HASSAN NASER P: 469.422.5944 E: AAAPROSERVICES@HOTMAIL.COM</p>	<p>CITY OF ADDISON BUILDING INSPECTIONS 16801 Westgrove Dr ADDISON, Texas 75001 Phone: 972.450.2880 E: Registrations@addisontx.gov</p>
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 (1) STORY

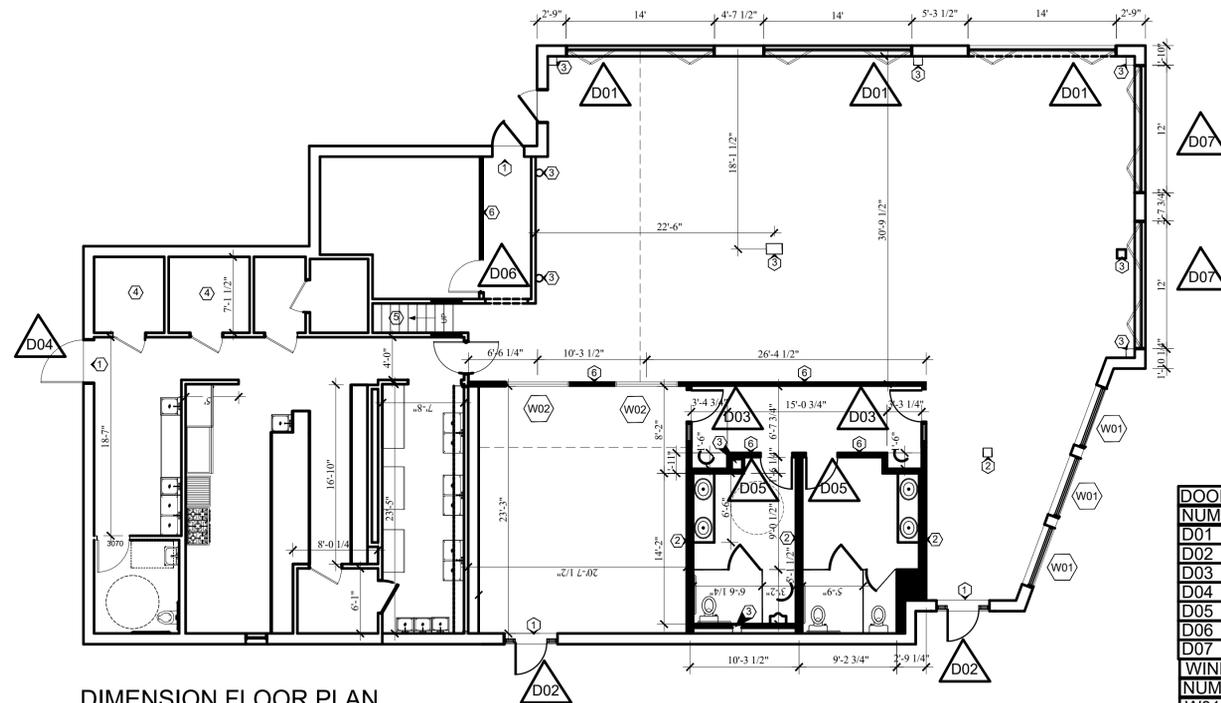
BUILDING REMODEL: (MEZZANINE ADDITION)
 NEW TOTAL S.F. **5,582 SQFT**
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 PARKING RATIO REQUIRED 1 SPACE PER 70 S.F.
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 USEABLE OPEN SPACE PROVIDED 8,105 S.F.
 PERCENTAGE 30% OF THE SITE
 IMPERVIOUS 18,580 S.F. 70% OF SITE



DIMENSION FLOOR PLAN

PROJECT TO COMPLY WITH 2018 IBC AND 2017 NEC

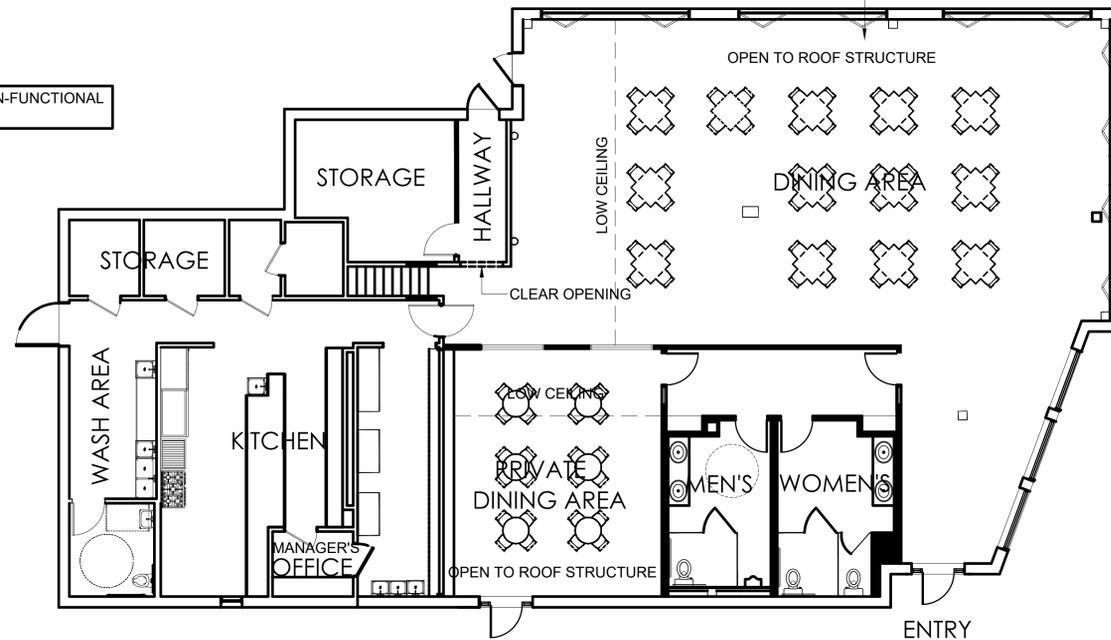
DESIGN TO COMPLY WITH 2018 IBC AND 2017 NEC

- FLOOR PLAN NOTES:**
- ① CAL-ROYAL F-2200 PANIC EXIT DEVICE (UL10C) (ANSI GRD1) OAE
 - ② NEW WALL: 6" STUDS FOR PLUMBING
 - ③ EXISTING COLUMN
 - ④ EXISTING WALK-IN COOLER TO BE REMOVED
 - ⑤ STAIR TO MECHANICALS/STORAGE
 - ⑥ NEW WALL

DOOR SCHEDULE					
NUMBER	QTY	SIZE	MATERIAL	FRAME	REMARKS
D01	3	14'-0" X 12'-0"	WOOD	WOOD	WOOD (EXTERIOR)
D02	2	3'-0" X 7'-0"	ALUM. STOREFRONT	ALUM. STOREFRONT	ALUM. STOREFRONT
D03	2	3'-0" X 7'-0"	ALUM. STOREFRONT	ALUM. STOREFRONT	W/ TOP & SIDE LIGHTS
D04	2	4'-0" X 7'-0"	HOLLOW METAL	HOLLOW METAL	W/ TOP & SIDE LIGHTS (EXTERIOR)
D05	2	3'-0" X 7'-0"	SOLID WOOD	REDI FRAME	W/ KICK PLATE
D06	2	3'-0" X 7'-0"	SOLID WOOD	REDI FRAME	
D07	2	12'-0" X 12'-0"	WOOD	WOOD	

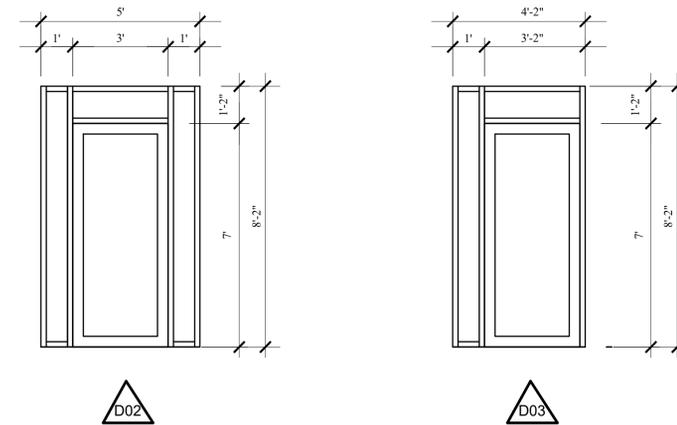
WINDOW SCHEDULE					
NUMBER	QTY	SIZE	MATERIAL	FRAME	REMARKS
W01	3	4'-0" X 6'-0"	ALUM. STOREFRONT	ALUM. STOREFRONT	LOW "E" (COLOR BY OWNER)
W02	2	4'-0" X 6'-0"	ALUM. STOREFRONT	ALUM. STOREFRONT	LOW "E" (COLOR BY OWNER)

REMOVE ALL EXISTING NON-FUNCTIONAL FOOD SERVICE EQUIPMENT



FLOOR PLAN

PROJECT TO COMPLY WITH 2018 IBC AND 2017 NEC



FLOOR PLAN
 SCALE: 1/8"=1'-0"
CASE# 1849-SUP
AMBROSIA CAFE

TR 7 ACS 0.6126
 EDWARD COOK ABST 326 PG 482
 ABSTRACT NO. 626
 IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
 PREPARED: SEPT. 20, 2022

SEATING CAPACITY

TYPE	QUANTITY	TOTAL
4-TOP	22	88

OCCUPANCY SUMMARY

OCCUPANCY (USE)	FLOOR AREA (SF)	LOAD FACTOR (SF)	OCCUPANCY (#)
GROUP A-2			
ASSEMBLY/UNCONSECRATED	2,832 s.f.	15 NET	189
KITCHEN/COMMERCIAL	953	200 GROSS	5
STORAGE	771	300 GROSS	3
OFFICE	313	150 GROSS	2
TOTAL OCCUPANCY			199

CONTACT
 OWNER/OCCUPANT
 AMBROSIA CAFE
 6205 TOWER COURT
 PLANO, TX
 CONTACT: HASSAN NASER
 P: 469.422.5944
 E: AAAPROSERVICES@HOTMAIL.COM

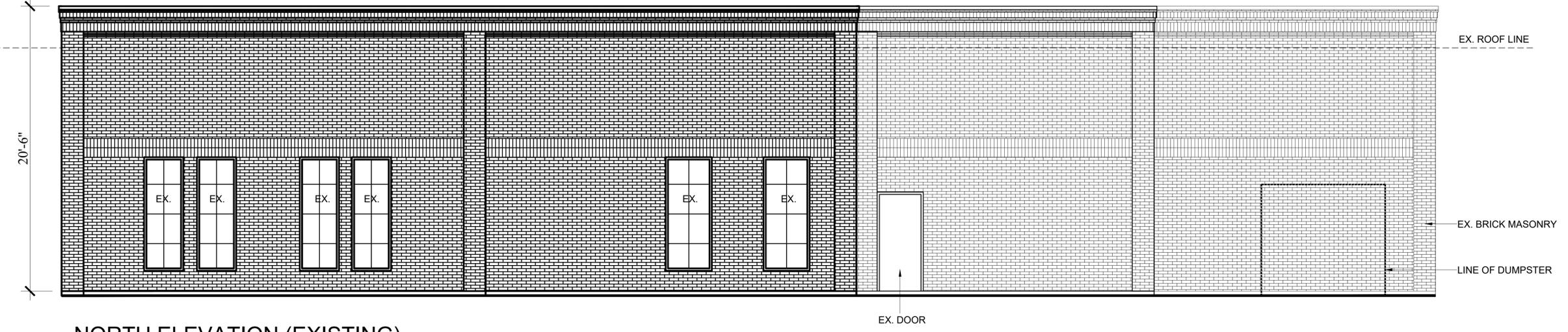
ARCHITECT
 ROA Design Group
 6205 TOWER COURT
 PLANO, TX
 CONTACT: JOSEPH N ANTHONY
 P: 469.835.1893
 E: JOEANTI2345@YAHOO.COM
 E: REED@ROADESIGNGROUPS.COM

GENERAL CONTRACTOR
 HASSAN NASER
 CONTACT: HASSAN NASER
 P: 469.422.5944
 E: AAAPROSERVICES@HOTMAIL.COM

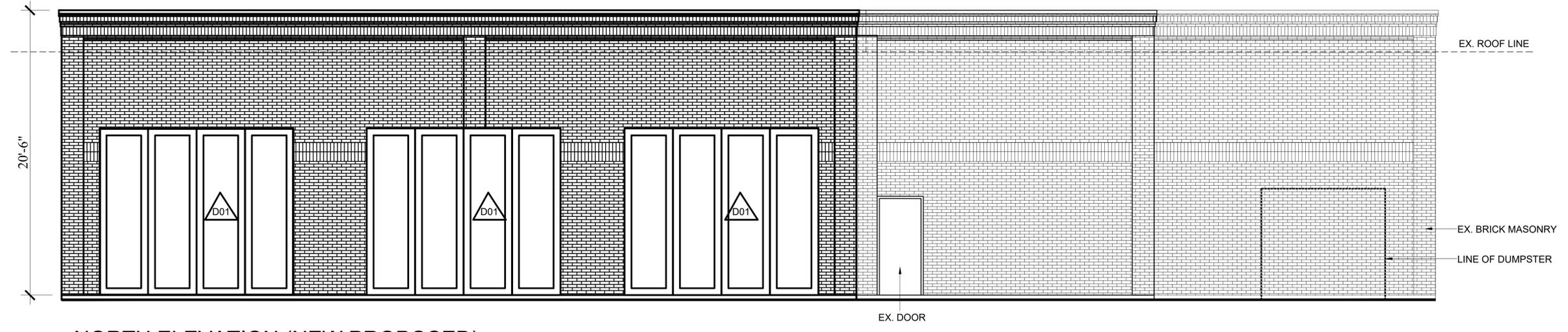
CITY OF ADDISON
 BUILDING INSPECTIONS
 16801 Westgrove Dr
 ADDISON, Texas 75001
 Phone: 972.450.2880
 E: Registrations@addisontx.gov



PROJECT:
AMBROSIA CAFE
 15375 ADDISON ROAD
 ADDISON, TX



NORTH ELEVATION (EXISTING)



NORTH ELEVATION (NEW PROPOSED)

ELEVATIONS
 SCALE: 1/4"=1'-0"
CASE# 1849-SUP
AMBROSIA CAFE

TR 7 ACS 0.6126
 EDWARD COOK ABST 326 PG 482
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 IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
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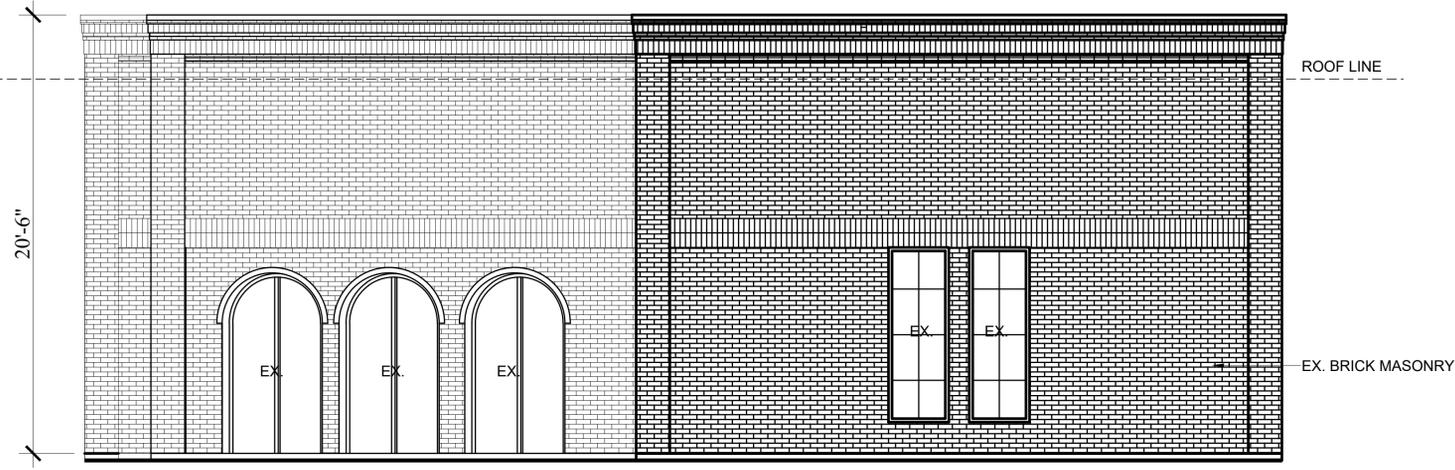
PROJECT: **AMBROSIA CAFE**
 15375 ADDISON ROAD
 ADDISON, TX



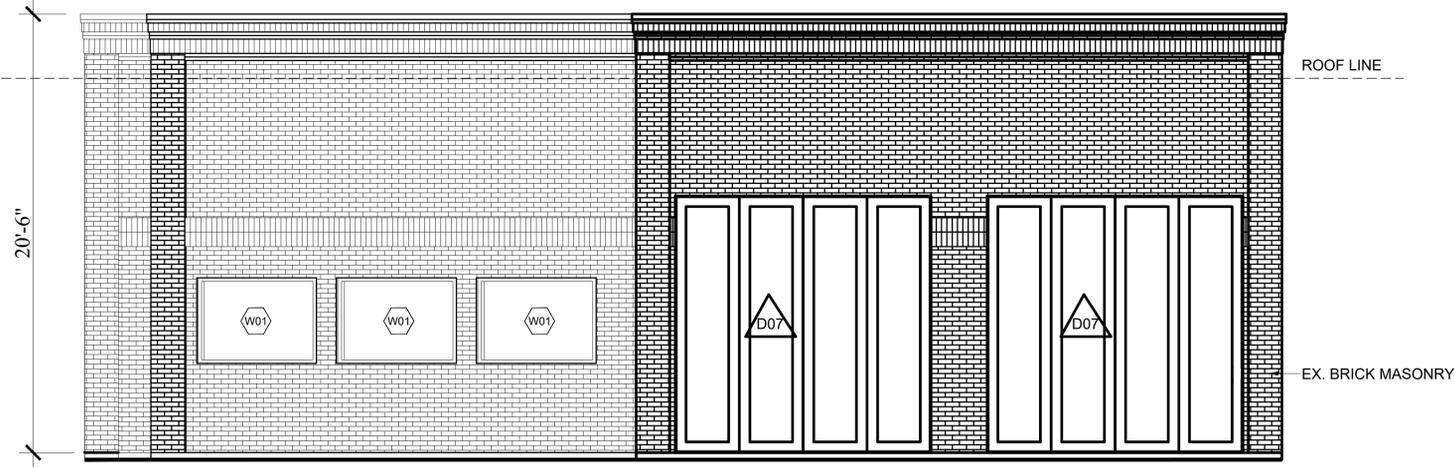
ADDRESS:
6205 Tower Court
Plano, Texas 75074
PHONE:
(469)-835-1893



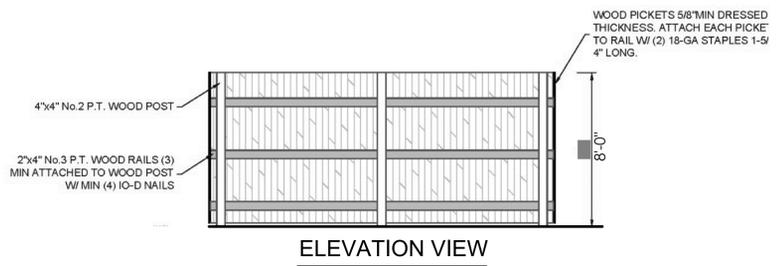
PROJECT:
AMBROSIA CAFE
15375 ADDISON ROAD
ADDISON, TX



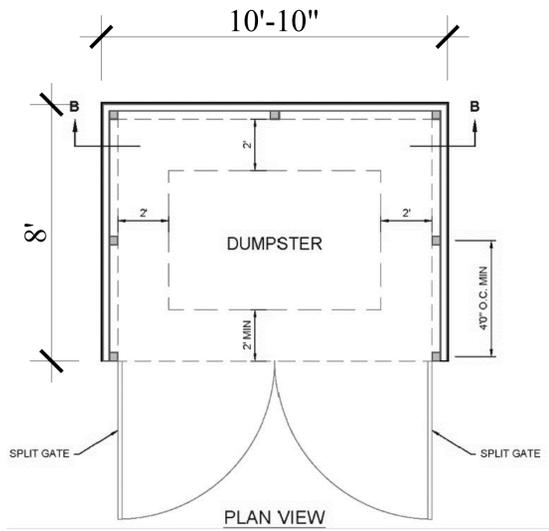
EAST ELEVATION (EXISTING)



EAST ELEVATION (NEW PROPOSED)



ELEVATION VIEW



PLAN VIEW

ELEVATIONS
SCALE: 1/4"=1'-0"
CASE# 1849-SUP
AMBROSIA CAFE

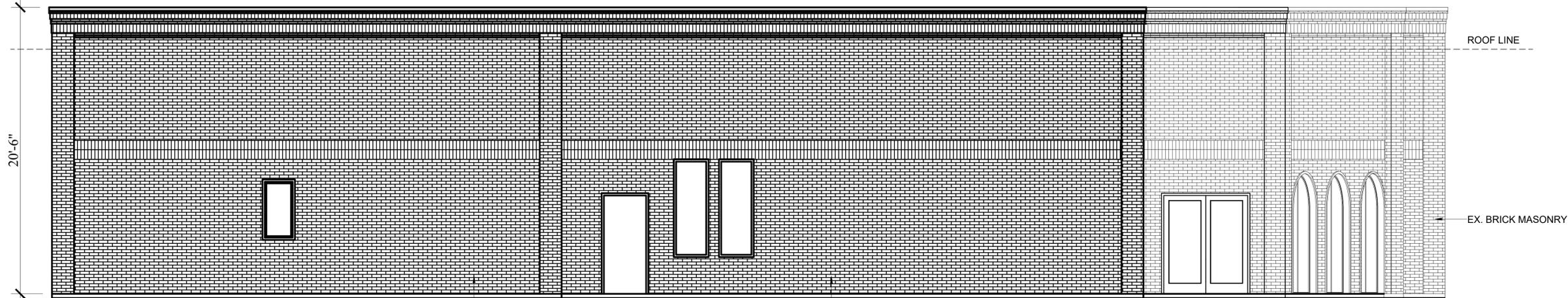
TR 7 ACS 0.6126
EDWARD COOK ABST 326 PG 482
ABSTRACT NO. 626
IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
PREPARED: SEPT. 20, 2022

CONTACT
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E: AAAPROSERVICES@HOTMAIL.COM

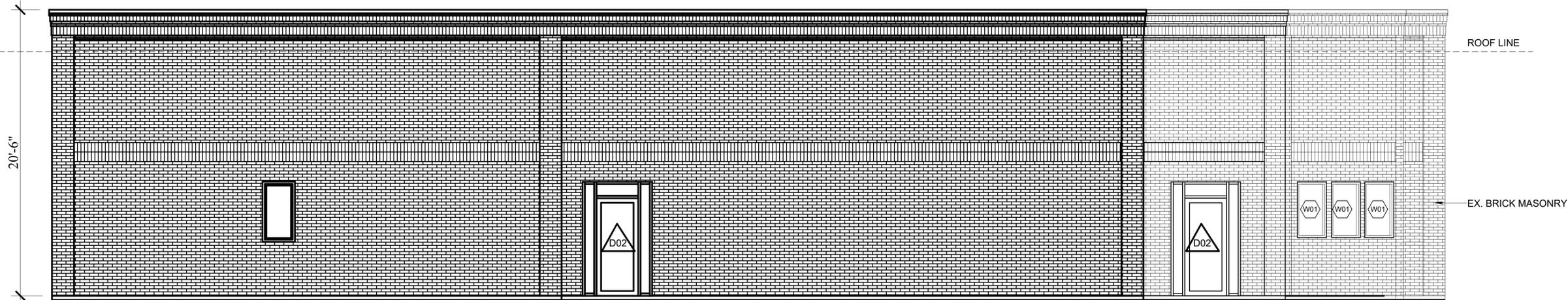
ARCHITECT
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PLANO, TX
CONTACT: JOSEPH N ANTHONY
P: 469.835.1893
E: JOEANT12345@YAHOO.COM
E: REED@ROADESIGNGROUPS.COM

GENERAL CONTRACTOR
HASSAN NASER
CONTACT: HASSAN NASER
P: 469.422.5944
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CITY OF ADDISON
BUILDING INSPECTIONS
16801 Westgrove Dr
ADDISON, Texas 75001
Phone: 972.450.2880
E: Registrations@addisontx.gov



SOUTH ELEVATION (EXISTING)



SOUTH ELEVATION (NEW PROPOSED)

PROJECT: **AMBROSIA CAFE**
 15375 ADDISON ROAD
 ADDISON, TX

ELEVATIONS
 SCALE: 1/4"=1'-0"
CASE# 1849-SUP
AMBROSIA CAFE

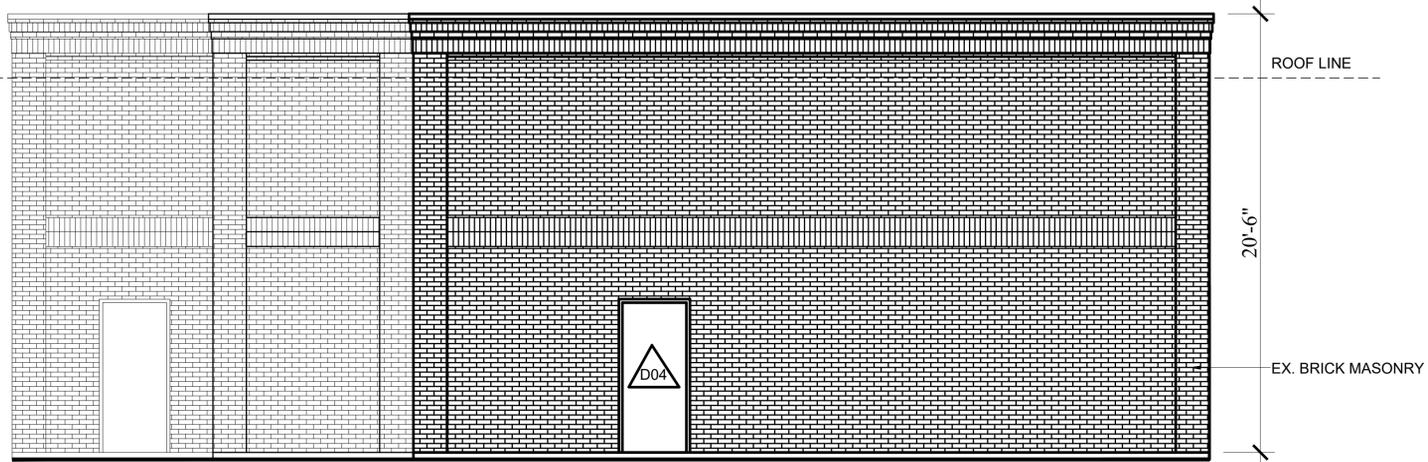
TR 7 ACS 0.6126
 EDWARD COOK ABST 326 PG 482
 ABSTRACT NO. 626
 IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
 PREPARED: SEPT. 20, 2022

CONTACT
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 HASSAN NASER
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 E: AAAPROSERVICES@HOTMAIL.COM

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 16801 Westgrove Dr
 ADDISON, Texas 75001
 Phone: 972.450.2880
 E: Registrations@addisontx.gov



WEST ELEVATION (EXISTING)

ROA DESIGN GROUP
 ADDRESS:
 6205 Tower Court
 Plano, Texas 75074
 PHONE:
 (469)-835-1893



PROJECT:
AMBROSIA CAFE
 15375 ADDISON ROAD
 ADDISON, TX

ELEVATIONS
 SCALE: 1/4"=1'-0"
CASE# 1849-SUP
AMBROSIA CAFE

TR 7 ACS 0.6126
 EDWARD COOK ABST 326 PG 482
 ABSTRACT NO. 626
 IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
 PREPARED: SEPT. 20, 2022

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CITY OF ADDISON
 BUILDING INSPECTIONS
 16801 Westgrove Dr
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SITE DATA SUMMARY TABLE:

ZONING: (LR) LOCAL RETAIL	
PROPOSED USE: RESTAURANT USE NO ALCOHOL SALES	
LOT AREA SQUARE FOOTAGE: 26,685 S.F.	
LOT AREA ACREAGE: 0.613 AC	
BUILDING: (EXISTING) TOTAL	4,797 SQFT
(1) STORY	
BUILDING REMODEL: (MEZZANINE ADDITION)	
NEW TOTAL S.F.	5,582 SQFT
BUILDING HEIGHT: 20'-6" (1 1/2 STORIES)	
GROUND FLOOR:	
ASSEMBLY/DINING AREA	2,769 SQFT
KITCHEN/COMMERCIAL	953 SQFT
STORAGE	548 SQFT
RESTROOMS (NEW)	527 SQFT
MEZZANINE: (NEW)	
OFFICE	313 SQFT
STORAGE	385 SQFT
HALLWAY	87 SQFT
PARKING:	
2 HANDICAP SPACES REQUIRED	
2 HANDICAP SPACES PROVIDED	
PARKING RATIO REQUIRED: 1 SPACE PER 70 S.F.	
80 SPACES REQUIRED	
38 SPACES PROVIDED	
LOT COVERAGE:	
USEABLE OPEN SPACE REQUIRED	5,337 S.F.
USEABLE OPEN SPACE PROVIDED	8,105 S.F.
PERCENTAGE	30% OF THE SITE
IMPERVIOUS	18,580 S.F. 70% OF SITE

ADJACENT PROPERTY:

15401 ADDISON ROAD
 EDWARD COOK ABSTRACT NO. 326, PGG482, TRACT 1, ACS 0.417
 OWNER: ADDISON POST OFFICE JV, ATTN: US POSTAL SVC REAL EST
 TENANT: WILES KEN (DBA: ADDISON CIGAR & TOBACCO)

ADJACENT TENANT

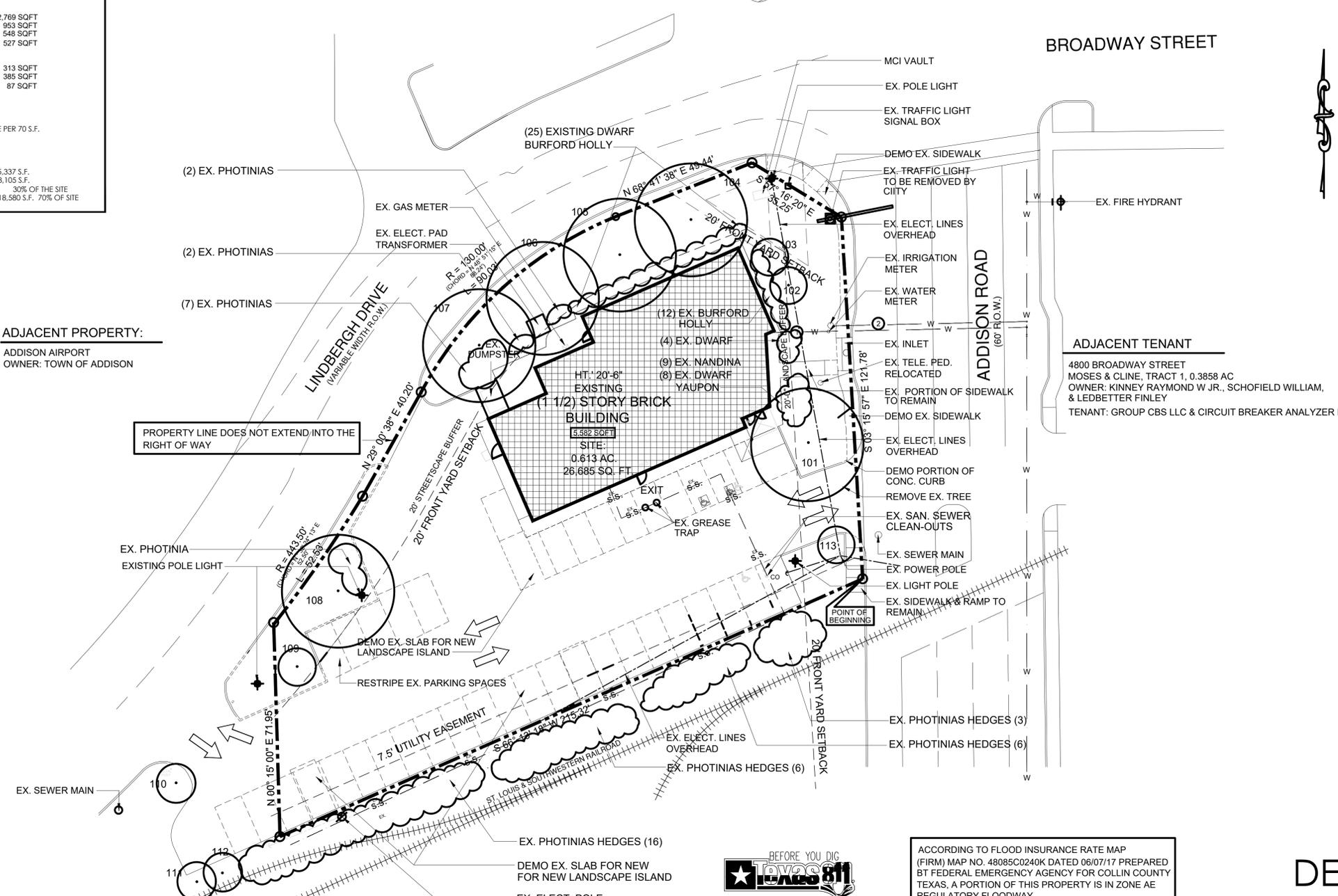
ADJACENT PROPERTY:
 15404 ADDISON ROAD
 JULIAN, BLOCK A, LOT 1
 OWNER: SIDERIS PROPERTIES, ATTN: GEORGE SIDERIS
 TENANT: SALON 972, LESPIRIT JULIETT & JEANCLAUDE
 (DBA: SALON JEAN CLAUDE),
 G NAGIN (DBA: STUDIO EIGHT), KENDAL RANDY
 (DBA: SALON KINDLE)



VICINITY MAP
 0' 10' 20'
 SCALE: 1"=20'-0"

ADJACENT PROPERTY:

ADDISON AIRPORT
 OWNER: TOWN OF ADDISON



LEGEND

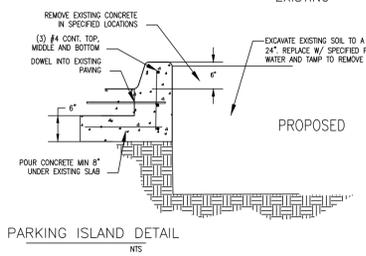
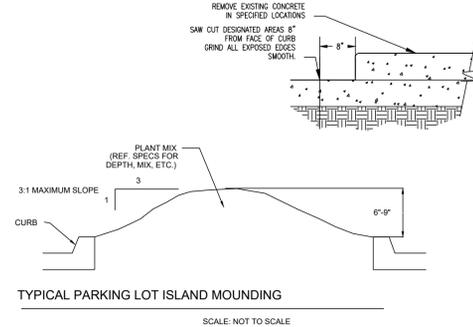
[Hatched Box]	EX. BUILDING
[Dotted Box]	NEW 6' CONCRETE SIDEWALK
[Circle with Crosshair]	EX. FIRE HYDRANT
[Circle with 1]	EX. DOMESTIC (WATER)
[Circle with 2]	EX. IRRIGATION (WATER)
[Vertical Line]	WHEEL STOPS
[Circle with O]	CLEAN-OUT
[Circle with G]	EX. GREASE TRAPS
[Square with T]	EX. TRAFFIC LIGHTS
[Circle with SS]	EX. SANITARY SEWER MAIN
[Circle with L]	EX. LIGHT POLE
[Square with X]	EX. GAS METER
[Line with S.S.]	EX. SANITARY SEWER LINE
[Line with W]	EX. WATER LINE
[Line with H]	EX. RAIL ROAD TRACKS
[Wide Line]	WIDENED CONCRETE DRIVE APPROACHED

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 4972 ON 06/02/22 WHO MAINTAINS THE ORIGINAL FILE. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL LIABILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN AND TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ADDISON, TEXAS AND THE BOARD OF ARCHITECTURAL EXAMINERS. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL LIABILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN AND TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ADDISON, TEXAS AND THE BOARD OF ARCHITECTURAL EXAMINERS.

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48085C0240K DATED 06/07/17 PREPARED BY FEDERAL EMERGENCY AGENCY FOR COLLIN COUNTY TEXAS, A PORTION OF THIS PROPERTY IS IN ZONE AE REGULATORY FLOODWAY

DEMOLITION PLAN
CASE# 1849-SUP
AMBROSIA CAFE

TR 7 ACS 0.6126
 EDWARD COOK ABST 326 PG 482
 ABSTRACT NO. 626
 IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
 PREPARED: SPET. 20, 2022



CONTACT
 OWNER/OCCUPANT
 AMBROSIA CAFE
 HASSAN NASER
 CONTACT: HASSAN NASER
 P: 469.422.5944
 E: AAAPROSERVICES@HOTMAIL.COM

ARCHITECT
 ROA Design Group
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 CONTACT: JOSEPH N ANTHONY
 P: 469.835.1893
 E: JOEANTI2345@YAHOO.COM
 E: REED@ROADESIGNGROUPS.COM

GENERAL CONTRACTOR
 HASSAN NASER
 CONTACT: HASSAN NASER
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 E: AAAPROSERVICES@HOTMAIL.COM

CITY OF ADDISON
 BUILDING INSPECTIONS
 16801 Westgrove Dr
 ADDISON, Texas 75001
 Phone: 972.450.2880
 E: Registrations@addisontx.gov

PROJECT: **AMBROSIA CAFE**
 15375 ADDISON ROAD
 ADDISON, TX
 FAIN & CUPPETT
 LANDSCAPE ARCHITECTS, LLC
 1921 MAPLEWOOD DRIVE
 WEATHERFORD, TEXAS 76087 817-251-9151
 9/09/2022

CITY OF ADDISON LANDSCAPE REQUIREMENTS	
AREA	
MIN. WIDTH OF LANDSCAPE BUFFER 6.240 S.F.	A 20' SETBACK ADJACENT TO STREET REQUIRED
	REQUIRED
	PROVIDED
OPEN SPACE	20' MINIMUM SETBACK
	20' MINIMUM PROVIDED
	1 SHADE TREE PER 30 LF
PARKING LOT SCREENING	REQUIRED
	PROVIDED
	38930 = 13 TREES
OFF STREET LOADING SCREENING	MIN 20% OF SITE SHALL BE LANDSCAPED
	REQUIRED
	PROVIDED
INTERIOR PARKING LANDSCAPE	26,885 X 20% = 5,337 SF
	8,105 SF
	MINIMUM 3' TALL SCREENING; MINIMUM (5) GAL. SHRUBS @ 3' O.C.
REQUIRED	PROVIDED
	24" TALL GAL. SHRUBS @ 3' OC
	5 GAL. 3' O.C.
REQUIRED	PROVIDED
	SCREENED
	SCREENED
REQUIRED	PROVIDED
	5% OF PARKING LOT LANDSCAPED
	13,783 S.F. X 5% = 689.15
254 SF	

PLANT SCHEDULE									
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS	
NEW	LAG IND	1	Lagerstroemia indica	Crape Myrtle	45 gal.	8'-10' Ht.	As Shown	(New) To match existing	
NEW	QUE VIR	5	Quercus virginiana	Southern Live Oak	4" Cal.	12' Height Min	As Shown	Staff recommends the 'Highest' cultivar of Live Oak growth habit is much more vertical to help minimize the overhead utility conflict.	
NEW	ILE DWA	57	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	5 gal.	24" min.	36" O.C.	Staff recommends the Dwarf Wax Myrtle variety to meet the intent of the landscape buffer. Myrica Cerifera with Myrica Pusilla (Dwarf Wax Myrtle) 4.7' max spacing.	
NEW	MYR CER	14	Myrica cerifera	Wax Myrtle	5 gal.	36" Min	48" O.C.	To match existing	
NEW	PHO FRA	9	Photinia x fraseri	Red Tip Photinia	5 gal.	24" min.	48" O.C.	To match existing	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS	
NEW	STEN SEC	6,624 sf	Stenotaphrum secundatum	St Augustine	Solid Sod				
NEW	TRA ASI	410	Trachelospermum asiaticum	Asiatic Jasmine	4" pots		12" O.C.	12" o.c.	

ADJACENT PROPERTY:
 15401 ADDISON ROAD
 EDWARD COOK ABSTRACT NO. 326, PGG482, TRACT 1, ACS 0.417
 OWNER: ADDISON POST OFFICE JV, ATTN: US POSTAL SVC REAL EST
 TENANT: WILES KEN (DBA: ADDISON CIGAR & TOBACCO)

ADJACENT TENANT
 ADJACENT PROPERTY:
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 G NAGIN (DBA: STUDIO EIGHT), KENDAL RANDY (DBA: SALON KINDLE)

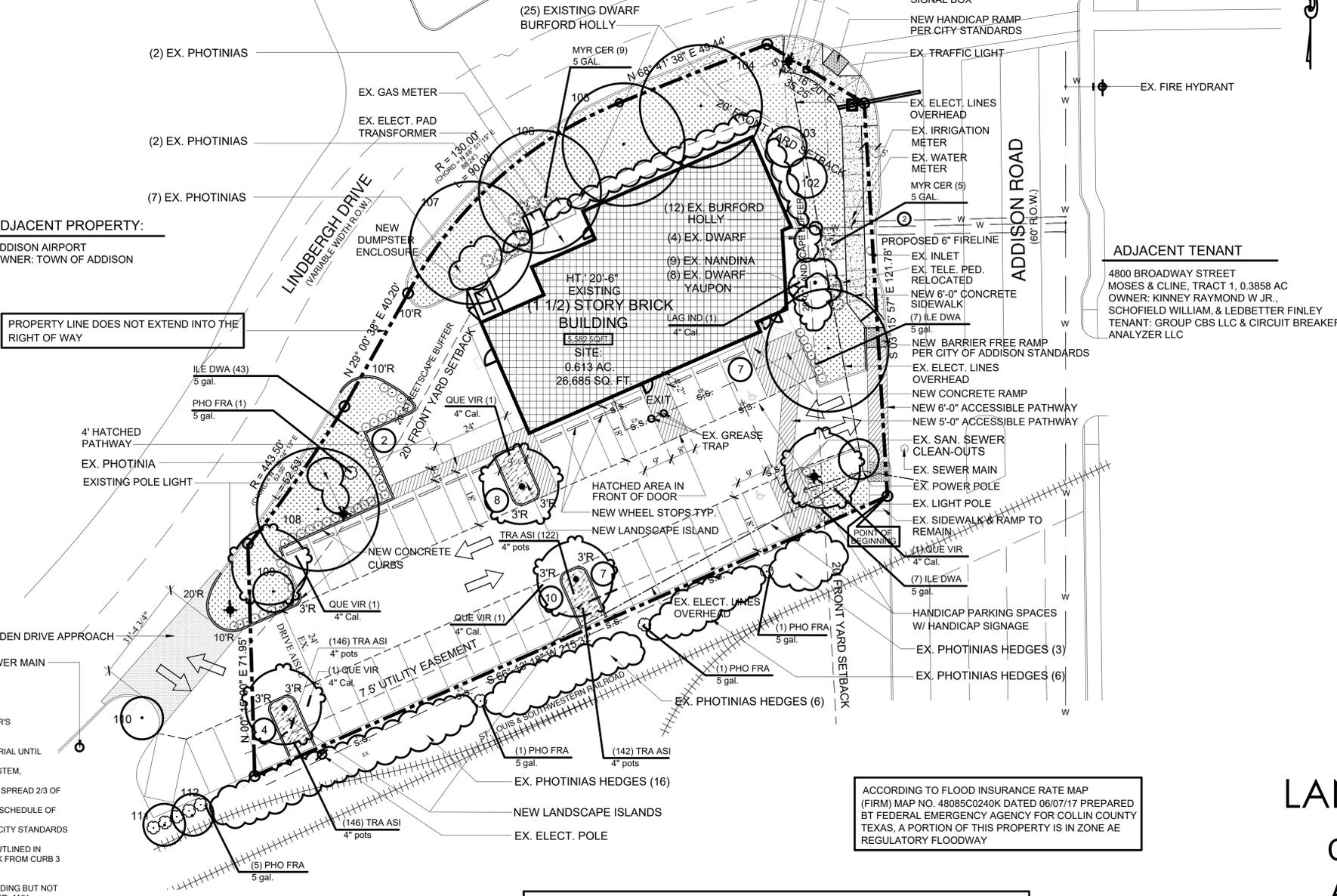


VICINITY MAP
 0' 10' 20'
 SCALE: 1"=20'-0"

SITE DATA SUMMARY TABLE:	
ZONING: (LR) LOCAL RETAIL	
PROPOSED USE: RESTAURANT USE NO ALCOHOL SALES	
LOT AREA SQUARE FOOTAGE: 26,685 S.F.	
LOT AREA ACREAGE : 0.613 AC	
BUILDING: (EXISTING) TOTAL	4,797 SQFT
(1) STORY	
BUILDING REMODEL: (MEZZANINE ADDITION)	
NEW TOTAL S.F.	5,582 SQFT
BUILDING HEIGHT: 20'-6" (1 1/2 STORIES)	
GROUND FLOOR:	
ASSEMBLY/DINING AREA	2,769 SQFT
KITCHEN/COMMERCIAL	953 SQFT
STORAGE	548 SQFT
RESTROOMS (NEW)	527 SQFT
MEZZANINE: (NEW)	
OFFICE	313 SQFT
STORAGE	385 SQFT
HALLWAY	87 SQFT
PARKING:	
2 HANDICAP SPACES REQUIRED	
2 HANDICAP SPACES PROVIDED	
PARKING RATIO REQUIRED 1 SPACE PER 70 S.F.	
80 SPACES REQUIRED	
38 SPACES PROVIDED	
LOT COVERAGE:	
USEABLE OPEN SPACE REQUIRED	5,337 S.F.
USEABLE OPEN SPACE PROVIDED	8,105 S.F.
PERCENTAGE	30% OF THE SITE
IMPERVIOUS	18,580 S.F. 70% OF SITE

ADJACENT PROPERTY:
 ADDISON AIRPORT
 OWNER: TOWN OF ADDISON

ADJACENT TENANT
 4800 BROADWAY STREET
 MOSES & CLINE, TRACT 1, 0.3858 AC
 OWNER: KINNEY RAYMOND W JR.,
 SCHOFIELD WILLIAM, & LEDBETTER FINLEY
 TENANT: GROUP CBS LLC & CIRCUIT BREAKER ANALYZER LLC



LEGEND	
[Symbol]	EX. BUILDING
[Symbol]	NEW 6" CONCRETE SIDEWALK
[Symbol]	EX. FIRE HYDRANT
[Symbol]	EX. DOMESTIC (WATER)
[Symbol]	EX. IRRIGATION (WATER)
[Symbol]	WHEEL STOPS
[Symbol]	CLEAN-OUT
[Symbol]	EX. GREASE TRAPS
[Symbol]	EX. TRAFFIC LIGHTS
[Symbol]	EX. SANITARY SEWER MAIN
[Symbol]	EX. LIGHT POLE
[Symbol]	EX. GAS METER
[Symbol]	EX. SANITARY SEWER LINE
[Symbol]	EX. WATER LINE
[Symbol]	EX. RAIL ROAD TRACKS
[Symbol]	WIDENED CONCRETE DRIVE APPROACHED

- PLANTING NOTES:**
1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
 3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
 4. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
 5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
 6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
 7. MAINTAIN PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
 8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
 9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
 10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
 11. EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE ONLY ON APPROVAL OF CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIBARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRING.
 13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
 14. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURERS INSTRUCTIONS ON ALL GROUNDCOVERS/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
 15. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
 16. BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN)
 17. PRIOR TO PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY

CHANGES TO LANDSCAPE, I.E. PARKING LOT SCREEN AND PARKING LOT ISLAND TREES, REQUIRE AN IRRIGATION PLAN SEALED BY A LICENSED IRRIGATOR.

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48085C0240K DATED 06/07/17 PREPARED BY FEDERAL EMERGENCY AGENCY FOR COLLIN COUNTY TEXAS, A PORTION OF THIS PROPERTY IS IN ZONE AE REGULATORY FLOODWAY

CONTACT OWNER/OCCUPANT AMBROSIA CAFE HASSAN NASER CONTACT: HASSAN NASER P: 469.422.5944 E: AAAPROSERVICES@HOTMAIL.COM	ARCHITECT ROA Design Group 6205 TOWER COURT PLANO, TX CONTACT: JOSEPH N ANTHONY P: 469.835.1893 E: JOEANTI2345@YAHOO.COM E: REED@ROADESIGNGROUPS.COM	GENERAL CONTRACTOR HASSAN NASER CONTACT: HASSAN NASER P: 469.422.5944 E: AAAPROSERVICES@HOTMAIL.COM	CITY OF ADDISON BUILDING INSPECTIONS 16801 Westgrove Dr ADDISON, Texas 75001 Phone: 972.450.2880 E: Registrations@addisontx.gov
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LANDSCAPE PLAN

CASE# 1849-SUP

AMBROSIA CAFE

TR 7 ACS 0.6126
 EDWARD COOK ABST 326 PG 482
 ABSTRACT NO. 626
 IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
 PREPARED: SEPT. 20, 2022

ADDRESS:
 6205 Tower Court
 Plano, Texas 75074
 PHONE:
 (469)-835-1893

9/09/2022

PROJECT:

AMBROSIA CAFE

15375 ADDISON ROAD
 ADDISON, TX

Ambrosia Café

Lounge and Restaurant

15735 Addison Rd, Addison Texas

Subject: Ambrosia Café Lounge and Restaurant SUP Submittal, Letter of Intent

To whom it may concern,

Ambrosia Café is women's business owned, with a fusion of culture and atmosphere. We would like to provide a convenient non-alcoholic atmosphere to meet different desires and activities. Our concept is to create a relaxing, exotic, and attractive place beneficial to the City of Addison consumers. Our menu will include a variety of breakfast, lunch, and dinner items to enhance our concept and provide the best quality and services. A fusion of Mediterranean and American foods will be adopted such as sandwiches, burgers, salads, and pastries. Our drinks will include handcrafted coffee drinks, teas, greens, smoothies, and fresh juices. Hookahs it will be serve in our hookah section for leisure.

Our hours of operation have been studied to meet our concept for convenience Mon. – Thurs. 6am to 12am. Fri. – Sun. 6am to 2am.

It is our pleasure to be part of the City of Addison's family and together we go far.

Kindly,

Hassan Naser

CEO and Co-Founder

Phone: 469-422-5944

Website: Ambrosiacafes.com

Address: 15375 Addison Rd, Addison, Texas

Ambrosia Café Lounge and Restaurant

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 14380 Marsh Lane, Suite 100 that is currently zoned Planned Development (PD), Ordinance No. 016-017, to allow a restaurant with a drive-thru. Case 1855-SUP/14380 Marsh Lane, Suite 100 (Jeremiah's Italian Ice).

Recommendation:

Staff recommends approval of this request.

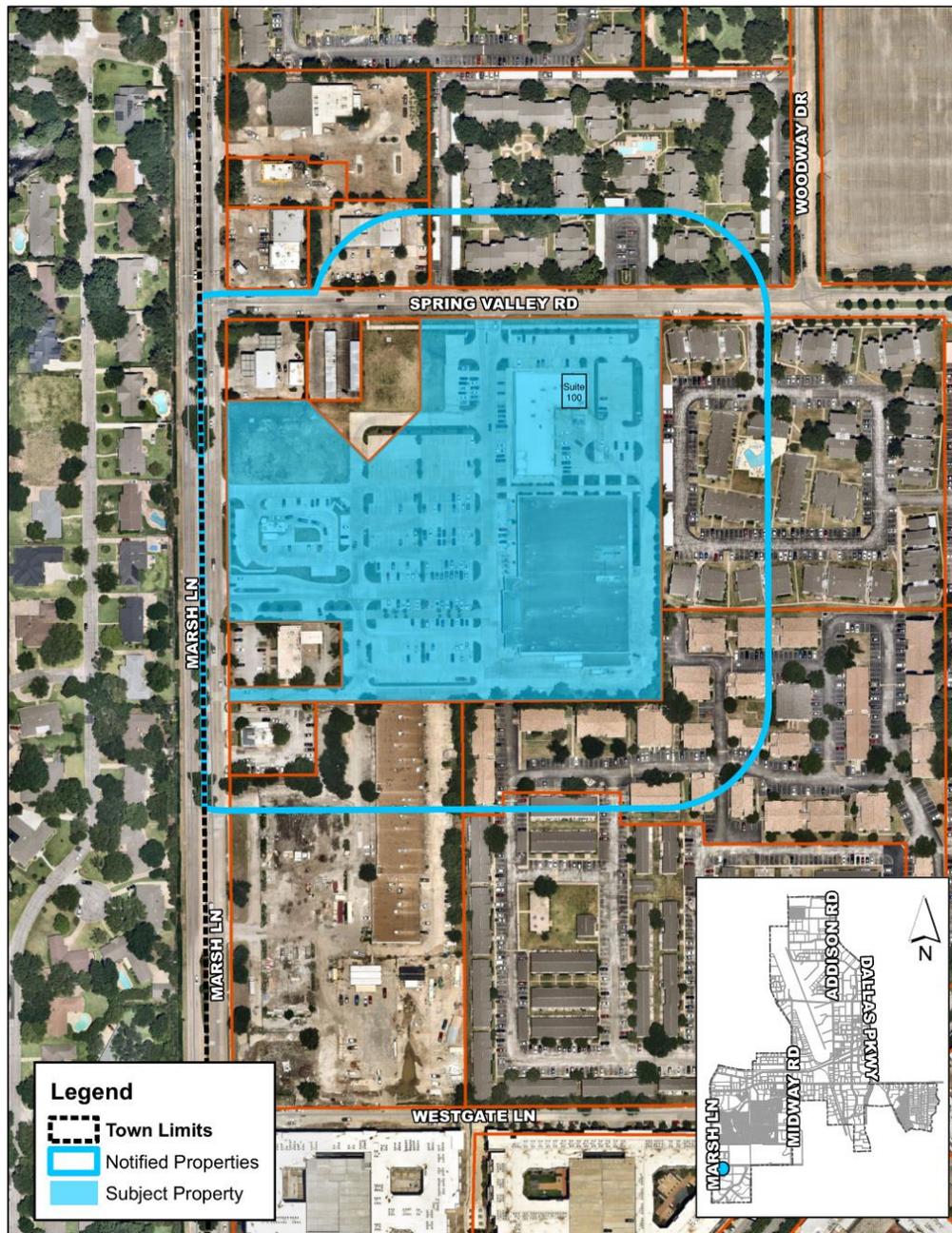
Attachments

1855-SUP Staff Report
1855-SUP Plans

1855-SUP

PUBLIC HEARING Case 1855-SUP/14380 Marsh Lane, Suite 100 (Jeremiah's Italian Ice). Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 14380 Marsh Lane, Suite 100 that is currently Zoned Planned Development (PD) through Ordinance Nos. O16-017 and O16-018, to Allow a Restaurant with a Drive-Thru.

LOCATION MAP





September 20, 2022

STAFF REPORT

RE: 1855-SUP/Jeremiah's Italian Ice
LOCATION: 14380 Marsh Lane, Suite 100
REQUEST: Approval of a Special Use Permit for a restaurant with a drive-thru.
APPLICANT: Ismael Mercado, MECO Contractors, LLC

DISCUSSION:

Background: The subject property is located within the Brookhaven Village Shopping Center, Block 211, at 14380 Marsh Lane, Building B, Suite 100. Brookhaven Village is part of the Vitruvian Park Development and is included within Block 211 in the Vitruvian Park's Planned Development District Concept Plan, through Ordinance No. 007-034, as previously amended by Ordinance Nos. 013-026, 016-017, 016-018, and 019-06.

Building B is a 17,500 square foot multitenant structure with seven suites. There are currently four businesses operating within Building B: Isla Veterinary Boutique Hospital, Athletico Physical Therapy, Champions Nail Spa, and Premier Martial Arts, and three vacant suites. There are currently two businesses pending approval of SUPs, including this application, to occupy two additional suites.

Jeremiah's Italian Ice is a dessert franchise that offers Italian ice, ice cream, and gelati. Indoor and outdoor seating will be available for customers. The existing drive-thru along the east side of the building will also be utilized. The proposed operating hours for the Addison location are 12:00 pm – 10:00 pm, seven days a week.

Jeremiah's Italian Ice was founded in Winter Park, Florida in 1996 by Jeremy Litwack. The franchise has grown to 71 locations across the southern United States. There are currently 3 locations operating in North Texas with 6 additional locations coming soon. They are known for their extensive flavor options and gelati, a layering of Italian ice and soft ice cream.

The PD Ordinance allows restaurants through the approval of an SUP within Block 211. The proposed use complies with the ordinance.

Proposed Plan: With this request, Jeremiah's Italian Ice proposes to occupy the existing 1,852 square foot tenant space at the northeast corner of Building B. The applicant proposes an interior finish-out of the suite. The proposed restaurant will provide seating for 44 individuals (32 indoor seats and 12 patio seats). The interior floor plan is comprised of kitchen and service areas and table seating. Significant site improvements occurred with the redevelopment of Brookhaven

Village that concluded in 2019. Staff will confirm compliance with the approved site plan and landscape plans during the inspection process and through routine code enforcement efforts.

Parking: Parking ratios were established within the PD Ordinance. Retail uses require 1 space for each 250 square feet and restaurants require 1 space for each 100 square feet of gross floor area. Building B is 17,500 square feet and allows 50% of the floor area to be used as retail and 50% to be used for restaurant. The total parking requirement for Building B is 123 parking spaces and 136 spaces were provided on site. Based upon the current uses, there are two pending SUPs for restaurants that include 5,335 square feet, which is still well below the allowed 50%. The remaining uses are retail and personal services.

The existing parking meets the PD Ordinance and will provide adequate parking for the existing and proposed businesses.

Exterior Facades: The exterior facades were constructed as approved within the PD Ordinance. The application is not proposing any modifications to the existing building facades. A sign advertising the business is proposed on the primary façade fronting Spring Valley Road and for the drive-thru. A sign permit is required.

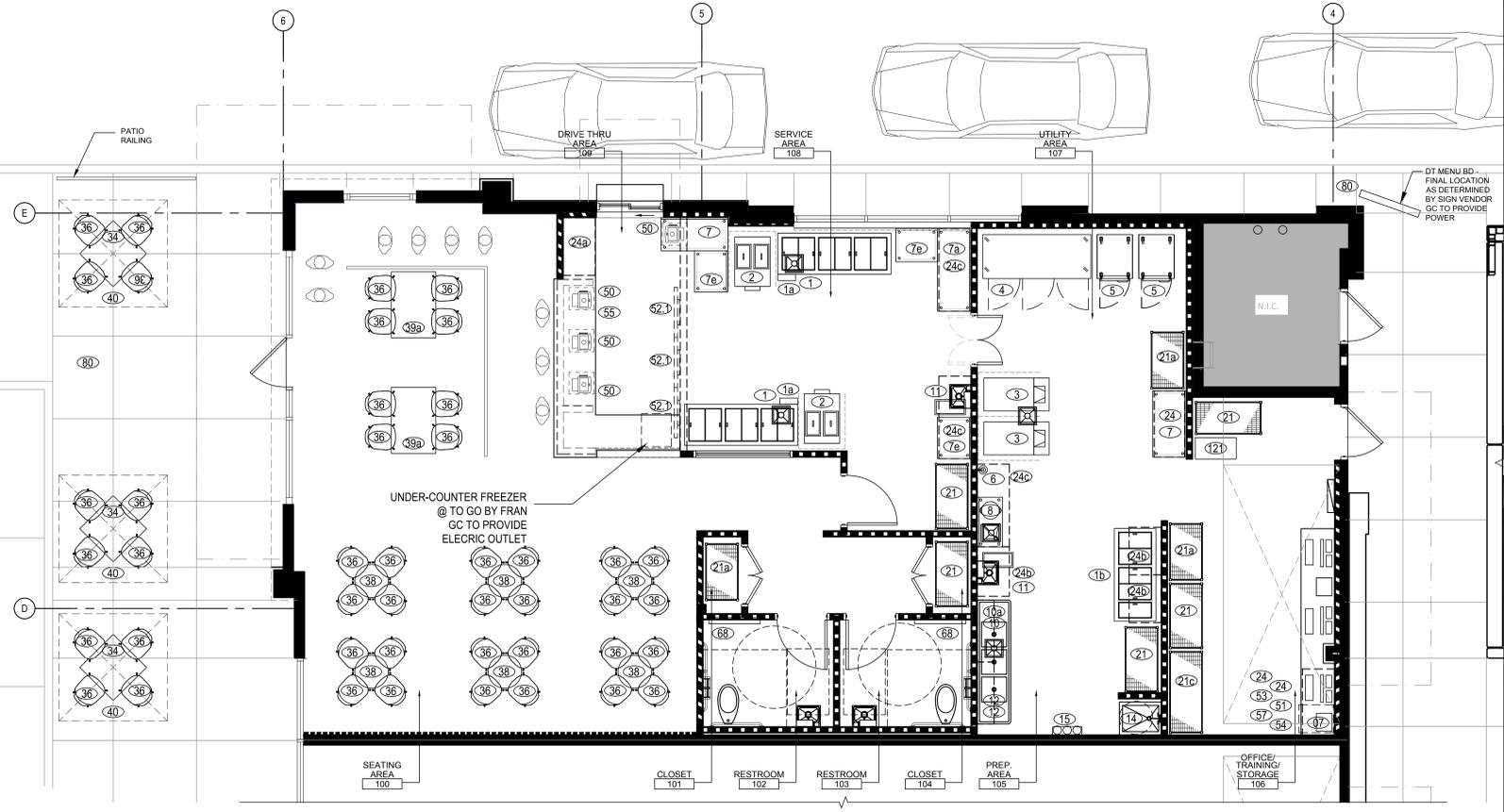
Landscaping and Open Space: All landscape requirements were satisfied during previous reinvestment activities, and this building and tenant space area remains in compliance.

RECOMMENDATION: **APPROVAL**

Jeremiah's Italian Ice is a successful national dessert chain that will offer a unique addition to the Brookhaven Village Shopping Center. The restaurant will fill a currently vacant suite within the retail center and given the diverse mix of uses in the surrounding area, this location is fitting for such a use.

Staff recommends approval of this request with no conditions.

H:\DRAWINGS\JEREMIAH'S\JEREMIAH22-079 - JEREMIAH'S ITALIAN ICE ADDENDUM\14280 MARSH LANE\CD\JEREMIAH22-079-A-600 EQUIPMENT LAYOUT.DWG R0543 PLOTTED: 6/27/2022 4:20 PM



1 EQUIPMENT LAYOUT
SCALE: 1/4"=1'-0"



#	COMMON NAME	CAT	MANUF.
1	Dipping Cabinets	EQ	Nelson Manufacturing
1a	Dipper Wells	EQ	Franklin Machine
1b	Dipping Cabinets	EQ	Nelson Manufacturing
2	Taylor Twin Twist Soft Serve	EQ	Taylor
3	Batch Machine	EQ	Electro Freeze
4	3-Door Refrigerator Turbo Air	EQ	Turbo Air
5	Single Door Freezer Turbo Air	EQ	Turbo Air
6	Masher - Hand Mixer	EQ	Robot Coupe
7	4'-0" SS Work Table	EQ	Advance Tabco
7a	5'-0" SS work table - option	EQ	Advance Tabco
7B	6'-0" SS work table - option	EQ	Advance Tabco
7C	7'-0" SS work table - option	EQ	Advance Tabco
7D	8'-0" SS work table - option	EQ	Advance Tabco
7E	30" SS work Table	EQ	Advance Tabco
8	36" Mashing table	EQ	Custom
10	3 Comp Sink	EQ	Advance Tabco
10a	3 Comp Sink sprayer	EQ	Krowne
11	Hand sinks	EQ	Krowne
12	Metro rack - drying system	EQ	Olympic
13	1848 drying wall shelf w/ brackets	EQ	Olympic
14	Mop Sink	EQ	
15	Water filter	EQ	Kinetico
20	74" Shelf Post	EQ	Olympic
21	2448 Floor Shelving unit	EQ	Olympic
21a	2442 Floor Shelving unit	EQ	Olympic
21b	2436 Floor Shelving unit	EQ	Olympic
21c	2460 Floor Shelving unit	EQ	Olympic
22	1848 Floor Shelving unit	EQ	Olympic
22a	1842 Floor Shelving unit	EQ	Olympic
22b	1836 Floor Shelving unit	EQ	Olympic
22c	1860 Floor Shelving unit	EQ	Olympic
24	2448 Wall Shelving unit	EQ	Olympic
24a	2442 Wall Shelving unit	EQ	Olympic
24b	2436 Wall Shelving unit	EQ	Olympic
24c	2460 Wall Shelving unit	EQ	Olympic
25	1848 Wall Shelving unit	EQ	Olympic
25a	1842 Wall Shelving unit	EQ	Olympic
25b	1836 Wall Shelving unit	EQ	Olympic
25c	1860 Wall Shelving unit	EQ	Olympic
30	Round picnic table - Exterior	EQ-EXT	Uline
31	Square picnic table - Exterior	EQ-EXT	Uline
32	6' Rectangle picnic table - Exterior	EQ-EXT	Uline
33	ADA Round picnic table - Exterior	EQ-EXT	Uline
33a	ADA Square picnic table - Exterior	EQ-EXT	Uline
33b	ADA 8' Rectangle picnic table - Exterior	EQ-EXT	Uline
34	Upgraded exterior table	EQ-EXT	Uline

35	Bench - Exterior	EQ-EXT	Uline
36	Interior Chair	INT SEATING	Emu
37	Interior Barstool	INT SEATING	Emu
38	Interior 24" Round Table	INT SEATING	Emu
39	Interior 24 x 24" Sq table	INT SEATING	Emu
39a	Interior 48"x32" ADA table	INT SEATING	Emu
40	Exterior branded Umbrella	EQ-EXT	Tuuci
40a	Exterior branded Umbrella	EQ-EXT	Tuuci
40b	Exterior branded Umbrella	EQ-EXT	Tuuci
41c	Exterior branded Umbrella	EQ-EXT	Tuuci
50	POS Station	EQ	Various refer below
a	Ipad	EQ	Apple
b	Stand	EQ	Revel
c	Cash Drawer	EQ	Generic
d	TriPOS Card Reader	EQ	Ingenico
e	Receipt Printer	EQ	Epson
f	Barcode Scanner	EQ	Honeywell
g	Revel Networking Package	EQ	Various
51	Management Computer System	EQ	
a	BOH Computer	EQ	Beelink
b	Monitor	EQ	Acer
c	Keyboard / Mouse	EQ	Logitech
d	Printer	EQ	Brother
e	Printer Cable	EQ	Amazon
f	Wifi router	EQ	netgear, belkin
g	Surge Protector	EQ	Any

52	Digital Menu Boards	EQ	
a	TCL 4k TV	EQ	TCL
b	Chromebox	EQ	AOPEN
c	TV wall mount	EQ	Mounting Dream
52.1	Digital Menu Boards	EQ	
53	NVR and camera system	EQ	Dahua
54	Audio System		
a	Rockbot player	EQ	Rockbot
b	Amplifier	EQ	Monoprice or other
c	Volume Selector	EQ	Audtek or other
d	Speakers	EQ	Definitive Technology
e	Speakers	EQ	Pure Resonance
55	Front Counter Casework	EQ	Millwork Contractor
56	Drive through casework	EQ	Millwork Contractor
57	Standing Desk and Shelving	EQ	
60	Water Heater	EQ	Refer to drawings
68	Baby Changing Station	EQ	Koala Kare
70	Safe	EQ	Florida Lock and Key
75a	Paper Towel Dispenser	Paper	Imperial Dade
75b	Soap Dispenser	Paper	Imperial Dade
75c	Toilet Paper Dispenser	Paper	Imperial Dade
80	A-frame sign	EQ	

CODE DATA

GENERAL DESCRIPTION: RETAIL STORE & RESTAURANT ONE STORY BUILDING

BUILDING USE GROUP: B

TENANT USE GROUP: (2.2) 1

CONSTRUCTION CLASSIFICATION: I-B

FIRE SPRINKLERS: FULLY SPRINKLERED

NO ALCOHOLIC BEVERAGE WILL BE SERVED, STORED OR CONSUMED ON THE PREMISES.

REQUIRED FIRE RESISTANCE RATINGS:

	REQUIRED	PROVIDED
EXITS:	0 HR	EXISTING
EXIT ACCESS CORRIDOR:	0 HR	EXISTING
TENANT SEPARATIONS:	0 HR	EXISTING
COLUMNS, BEARING WALLS:	N/A	EXISTING
FLOOR CONSTRUCTION:	N/A	EXISTING

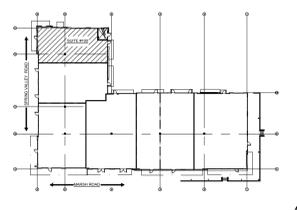
FIRST FLOOR	NUMBER OF EXIT ACCESS DOORS REQUIRED		NUMBER OF EXIT ACCESS DOORS PROVIDED	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
01	02	02		

	REQUIRED	PROVIDED
MAXIMUM ALLOWABLE DISTANCE TO EXIT ACCESS (PER IBC TABLE 1017.2):	250'	LESS THAN 250'
MAXIMUM LENGTH OF COMMON TRAVEL:	100'	LESS THAN 100'

	FLOOR AREA	MAX. OCCUP. LOAD
DRIVING AREA:	641 SF	641/15 = 43 OCCUPANTS
HALLWAY:	90 SF	09 QUE LINE
SERVICE AREA, KITCHEN & PREP AREA:	949 SF	949/200 = 5 OCCUPANT
RESTROOMS:	105 SF	
TOTAL FLOOR AREA (NET):	1,785 SF	57 OCCUPANT
TOTAL FLOOR AREA (GROSS):	1,802 SF	

APPLICABLE CODES:

- 2018 INTERNATIONAL BUILDING CODE & LOCAL AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE & LOCAL AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE & LOCAL AMENDMENTS
- 2018 NATIONAL ELECTRIC CODE AND LOCAL AMENDMENTS
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE AND LOCAL AMENDMENTS
- 2017 ICC/ANSI A117.1-2017 (CHAPTER 11) ACCESSIBILITY CODE
- 2018 EDITION, NFPA 101 LIFE SAFETY CODE



KEY PLAN

Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com
Architecture
Engineering
Interior Design
Implementation Services

TX State Board Of Architects Authorization No. 88399
TX State Board Of Engineers & Land Surveyors Authorization No. F-20947

ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	2022-04-22	FOR CLIENT REVIEW	MBJ
2.	2022-06-02	FOR PERMIT	MBJ
3.	2022-09-29	FOR PERMIT	MBJ

REVISION

NO.	DATE	DESCRIPTION	INT.
-----	------	-------------	------

REVISION

NO.	DATE	DESCRIPTION	INT.
-----	------	-------------	------

PRINCIPALS
MATTHEW B. JARMEL, AIA, MBA
RICHARD A. JARMEL, PE
IRWIN H. KIZEL, AIA, PP
ARCHITECTS & ENGINEERS
RONALD A. BRIDENBERRY, PE
JEROME LESLIE EBEL, FAIA, PP
GERARDO P. GEBARRO, PE
FREDERICK KRACORZ, AIA
DAVID L. LESCHKE, RA
KAROLINA PODKONCZAK, AIA
ROBERT B. RICHARDSON, AIA
CHRISTY SCHNEIDER, AIA

Project: **JEREMIAH'S ITALIAN ICE INTERIOR FIT-OUTS**
BROOKHAVEN VILLAGE SHOPPING CENTER
14380 MARSH LANE, BUILD. "B", SUITE 100
ADDISON, TEXAS 75001

Project Number: **JEREMIAH22-079** Scale: **AS NOTED**

Drawn By: **RD** Approved By: **MBJ**

Drawing Name: **EQUIPMENT LAYOUT PLAN AND EQUIPMENT SCHEDULE**

Drawing Number: **A-600**

Initial Date: 2022-04-07

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Project



14380 Marsh Lane
Addison TX 75001

Scale: AS NOTED

Original Page Size: 11" x 17"

Notes

Florida State Certified Electrical Sign Contractor
ES 12000915

ALL ELECTRICAL COMPONENTS WILL BE UL LISTED AND APPROVED AS PER 2018 NEC 600.3 AND MARKED AS PER NEC 600.4. THE INSTALLATION OF THE WIRING WILL BE DONE AS PER FBC (CURRENT EDITION) 4505.4 AND DESIGNATED TO UL 48. ALL SIGNS ARE TO BE GROUNDED AND BONDED PER NEC 600.7 AND 250.122. AN ELECTRICAL DISCONNECT WILL BE PROVIDED PER NEC 600.6 AND CONTROLLED BY TIMER / PHOTOCELL. ALL WIRING INSIDE LETTERING WILL BE LOW VOLTAGE UNDER UL SIGN ACCESSORIES MANUAL (SAM) E242084, LISTED AND APPROVED AS PER 2011 NEC 600.3 AND MARKED PER NEC 600.4. PRIMARY ELECTRICAL SOURCE TO BE SUPPLIED BY CUSTOMER WITHIN SIX (6) FEET OF SIGN. ALL PRIMARY WIRING WILL BE #12 THWN. THIS SIGN IS A UL LISTED ASSEMBLY PER NEC 600.3. THE DISCONNECT SHALL BE LOCATED AT THE POINT OF THE BRANCH CIRCUIT SUPPLYING A SIGN ENTERS A SIGN ENCLOSURE NEC 600.6A1 TO STRUCTURAL.

Revisions

REV	DESCRIPTION	BY	DATE
--			

Rep.: SH

Drawn By: RM

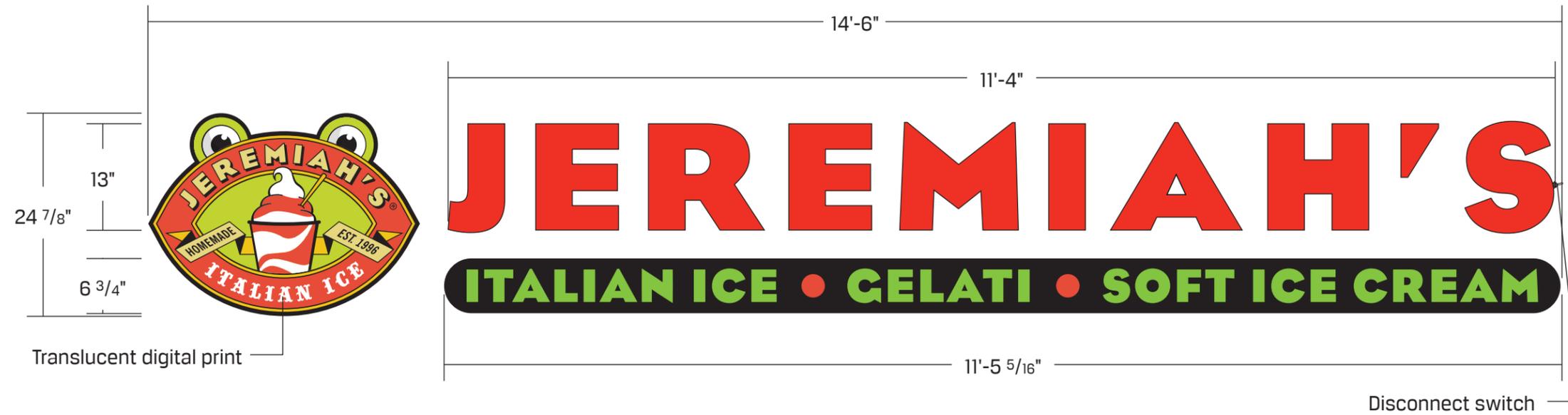
Orig. Date: 05/25/22

CL

Sign. Type

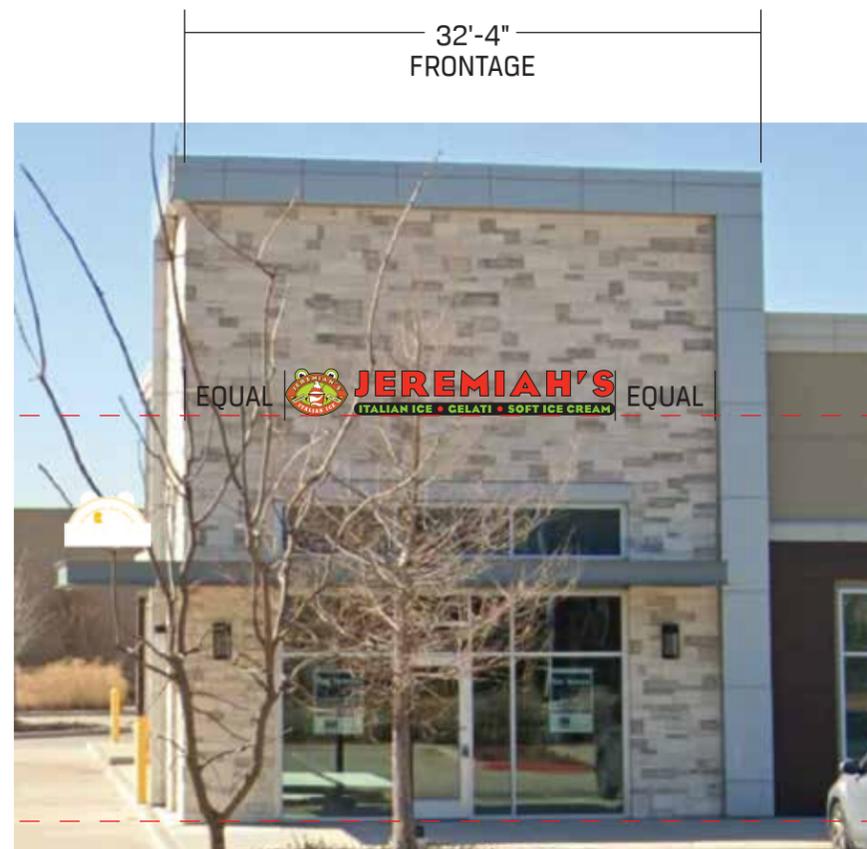
101476

C01



RACEWAY CHANNEL LETTERS - 30 SF

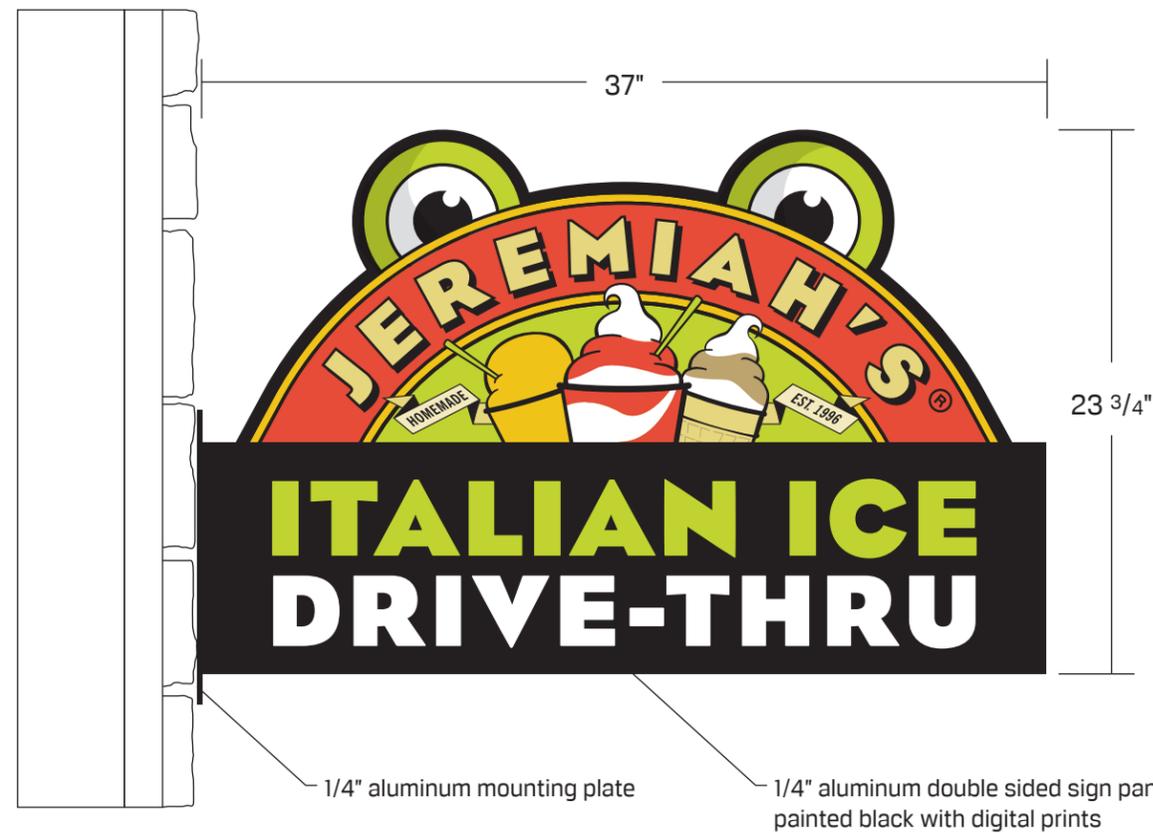
SCALE: 3/4"=1'-0"



COLORS	
	PMS 460
	PMS 382
	PMS 7417
	PMS 7406
	BLACK
	RACEWAY

ELEVATION

SCALE: 1/8"=1'-0"



COLORS	
	PMS 460
	PMS 382
	PMS 7417
	PMS 7406
	BLACK
	RACEWAY

ELEVATION
SCALE: 1/8"=1'-0"

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14380 Marsh Lane
Addison TX 75001

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Notes

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Electrical Sign Contractor
ES 12000915

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Revisions

REV	DESCRIPTION	BY	DATE

Rep: SH

Drawn By: RM

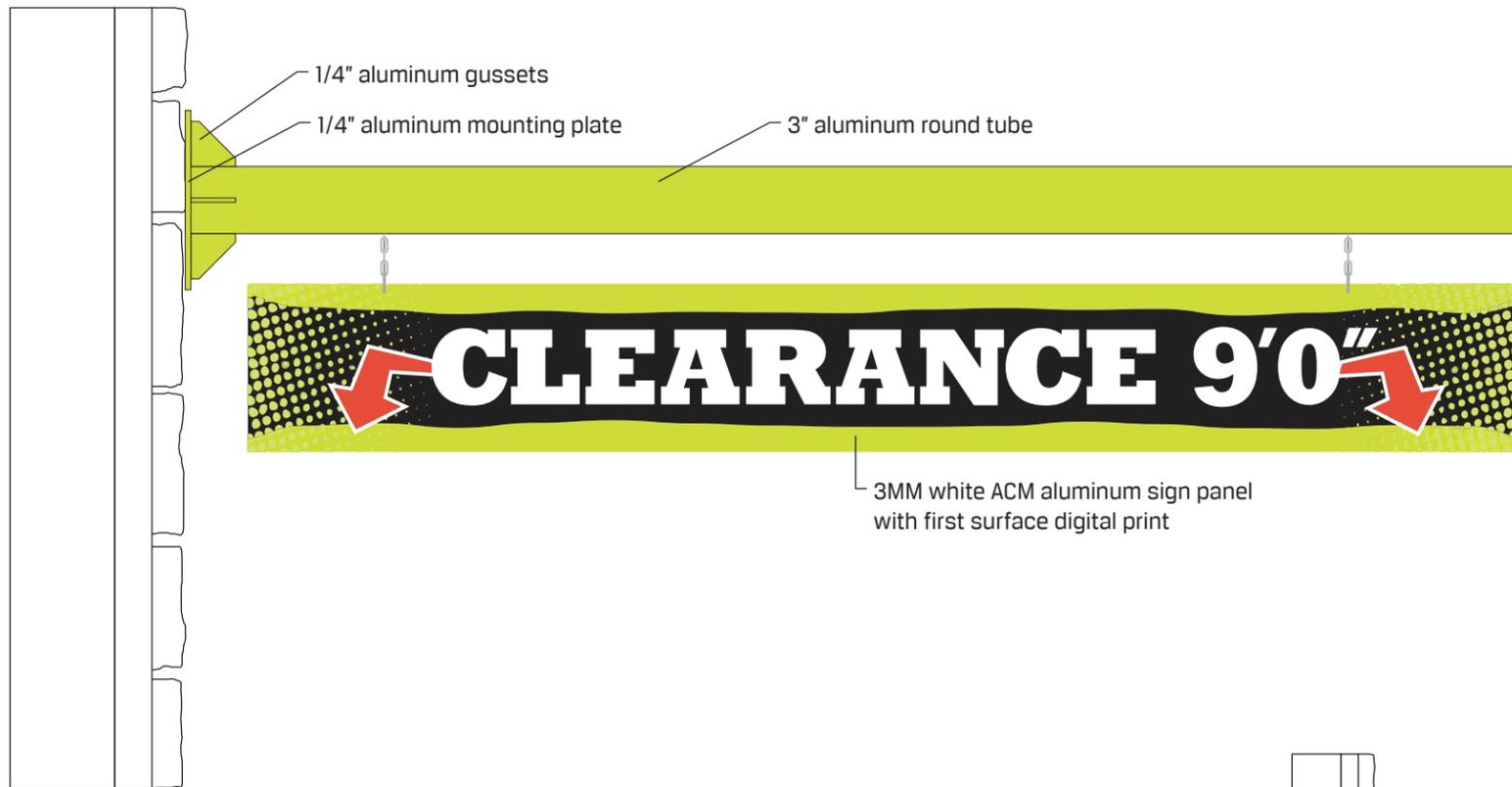
Orig. Date: 05/25/22

CL

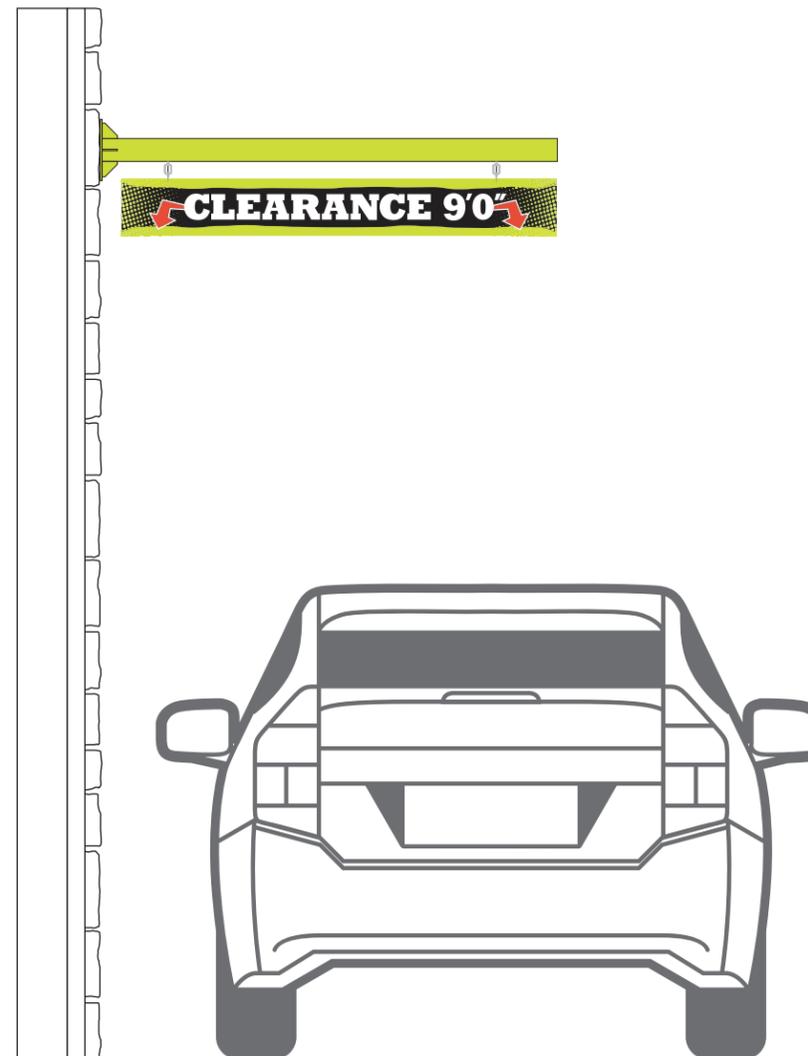
Sign. Type

101476

C03



COLORS	
	PMS 460
	PMS 382
	PMS 7417
	PMS 7406
	BLACK
	RACEWAY



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14380 Marsh Lane
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Revisions

REV	DESCRIPTION	BY	DATE

Rep.: SH

Drawn By: RM

Orig. Date: 05/25/22



101476

C04

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance Adopting a Development Plan for the Addison Reserve Townhomes, including a Site Plan, Landscape Plan, Lighting Plan, Facade Plans and Floor Plans for 31 Townhomes and associated Public Open Space and Common Area Lots in an existing Planned Development District (PD), through Ordinance 022-08, situated on approximately 1,804 Acres located at 4150 Beltway Drive. Case 1856-Z/4150 Beltway Drive (Addison Reserve Townhomes).

Recommendation:

Staff recommends approval of this request

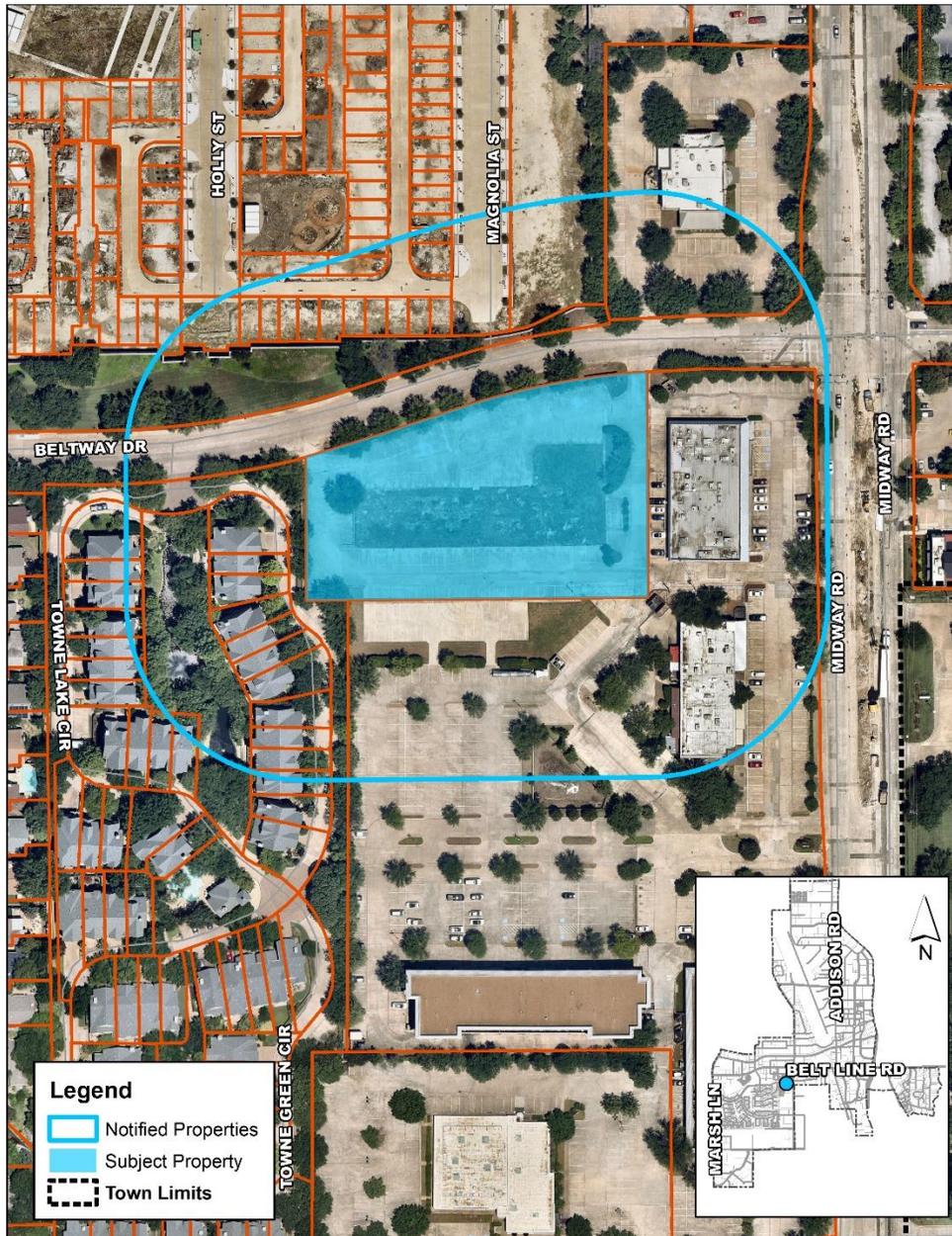
Attachments

1856-Z Staff Report
1856-Z Site & Landscape Plans
1856-Z Façade Plans
1856-Z Floor Plans

1856-Z

PUBLIC HEARING Case 1856-Z/4150 Beltway Drive (Addison Reserve Townhomes). Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance Adopting a Development Plan for the Addison Reserve Townhomes, including a Site Plan, Landscape Plan, Lighting Plan, Façade Plans, and Floor Plans for 31 Townhomes and associated Public Open Space and Common Area Lots in an existing Planned Development (PD) through Ordinance O22-08, situated on approximately 1.804 Acres located at 4150 Beltway Drive.

LOCATION MAP





September 20, 2022

STAFF REPORT

RE: 1856-Z/Addison Reserve Townhomes

LOCATION: 4150 Beltway Drive

REQUEST: Development Plan Approval in accordance with development standards for Planned Development O22-08, including site plan, landscape plan, lighting plan, façade plans, and floor plans for the construction of 31 townhomes units and associated public open space and common area lots.

APPLICANT: Josh Nichols, Cobalt Homes

DISCUSSION:

Background: Addison Reserve Townhomes is a townhome development situated on 1.804-acres at 4150 Beltway Drive. The subject property was the former site of the Super 8 Motel until it was damaged by fire and demolished in 2018. In March 2022, Cobalt Homes received approval from City Council for Planned Development (PD) District, Ordinance No. O22-08, to construct 31 fee-simple townhomes and associated public open space and common area lots.

At this time, Cobalt Homes is ready to proceed, and in order to receive the necessary civil construction and building permits, they must first obtain Development Plan Approval from the Town.

Proposed Plan: The development plans include the site plan, landscape plan, and lighting plan for the subject property. There are also façade plans and floor plans for the 31 townhome units that are included in the project. The plan accommodates four, three-story buildings. The architectural character of the neighborhood is modern, using a combination of glazing, masonry, and board and batten Hardie board for the facades. Each unit contains three bedrooms and 3.5 bathrooms that range from 2,058 square feet to 2,495 square feet in floor area.

Staff Review: Development Plan approval differs from a typical zoning case. While zoning is a legislative decision that is discretionary in nature, Development Plan approval is a ministerial function that is more like plat approval. The purpose of the Development Plan approval process is to review the proposal in the context of the existing zoning requirements for the site. If the proposal meets the requirements, then it should be approved.

Uses: The applicant is proposing 31 townhome units and various lots for public and private open space, and private streets. **The proposed uses meet the standards in the ordinance.**

Development Standards: PD O22-08 established development standards defining required setbacks, building heights, lot sizes, minimum floor area, parking, and landscaping. The development plan is in compliance with all development standards, as detailed below:

Minimum Building Setbacks: For townhome lots fronting onto Beltway Drive, the minimum front and side yard setback is 5 feet. For those lots fronting onto public open space, a minimum setback of 10 feet is required from the property line and 65 feet from the western project boundary. There are no minimum rear yard requirements. All building setbacks have been met.

Permitted Setback Encroachments: The development standards allow overhangs and balconies to encroach up to 5 feet into the setbacks. All private patios and courtyards must meet the required setbacks. This has been met.

Building Height: The development standards require a maximum building height of three stories or 45 feet from grade to peak for the townhome units. The townhomes are three stores, at approximately 41 feet, 10 inches in height. All buildings meet this requirement.

Minimum Area per Dwelling Unit: The development standards require that townhomes be at least 1,400 square feet. All proposed units exceed this requirement with the smallest units being 2,058 square feet.

Minimum Lot Width: The development standards require a minimum lot width of 20 feet for each townhome lot. All proposed lots exceed this requirement with the smallest lot approximately 20 feet 10 inches in width.

The proposed plans comply with the development standards in the ordinance.

Open Space: PD O22-08 requires open space to be provided as shown in the landscape plan within the ordinance. 23.9% (18,801 SF) of the site was identified as open space within the PD and 24.5% (19,270 SF) of the site was provided as open space on the proposed plans. Additionally, all public and private open spaces must be landscaped and irrigated. **The proposed plans comply with the open space standards in the ordinance.**

Parking: PD O22-08 requires that two off-street, enclosed parking spaces and 0.5 surface parking spaces be provided for each townhome. **The proposed plans comply with the parking standards in the ordinance.**

Landscape: PD O22-08 requires that 20% of the gross site is landscaped, this is exceeded at 24.5% provided. A minimum of one canopy or ornamental tree shall be provided per townhome unit and 0.5 canopy or ornamental trees shall be provided for each surface parking space. The

plans proposed 31 townhome units and 18 surface parking spaces, requiring a total of 40 canopy or ornamental trees. The applicant proposes a total of 58 trees, including 6 existing canopy trees that will be preserved. Site landscaping, such as ground cover, low shrubs, and ornamental trees, is also required in common areas and at townhome ground floor frontages. This landscape plan has been reviewed by the Parks Department and no issues were identified. **The proposed plans comply with the landscape standards in the ordinance.**

Street and Pedestrian Lighting: PD O22-08 requires that all streets and pedestrian pathways shall have streetlamps and pedestrian lighting to support safe pedestrian and vehicle movement. The applicant has provided a lighting plan identifying 3-foot tall, illuminated bollards along the public trail at the western edge of the project and surrounding the private open space. 30-foot pedestrian streetlights are provided along Beltway Drive and along the eastern property line.

Screening of Mechanical Equipment: PD O22-08 requires that mechanical equipment be mounted on the roof and be screened from view from all public roadways and to minimize noise intrusion off each lot. All mechanical equipment, as represented on the provided plans, is shown to be screened accordingly. **The proposed plans comply with the screening standards in the ordinance.**

Temporary Perimeter Fencing and Access Gates and Private Yard Fencing: PD O22-08 requires that fencing substantially comply with the concept plan. Private fencing for the townhome lots shall not exceed 4 feet in height, shall be no more than 50% opaque, and shall be constructed of ornamental iron materials. The proposed plan provides 4-foot tall, iron fences. **The proposed plans comply with the fencing standards in the ordinance.**

The proposed plans comply with all general requirements in the ordinance. Staff will continue to monitor the project through the construction phase to ensure that all requirements are met.

RECOMMENDATION: **APPROVAL**

Staff has reviewed the development plans and found them to comply with all requirements of the approved PD zoning ordinance, PD O22-08.

ADDISON RESERVE

SITE PLAN PACKAGE - REVISION 03

14 SEPTEMBER 2022

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CIVIL

C1 CONCEPT UTILITY & DRAINAGE PLAN
C2 CONCEPTUAL DRAINAGE AREA MAP (PRE DEVELOPMENT)
C3 CONCEPTUAL DRAINAGE AREA MAP (POST DEVELOPMENT)

ARCHITECTURAL

A0.00 CONCEPT PLAN
A0.01 LIGHTING PLAN REV. 02
A0.02 LOT PLAN REV. 03
A1.00 SITE PLAN

A1.01 FLOOR PLAN - BUILDING 1
A1.02 FLOOR PLAN - BUILDING 1
A1.03 FLOOR PLAN - BUILDING 1
A1.03 FLOOR PLAN - BUILDING 1
A1.04 FLOOR PLAN - BUILDING 2
A1.05 FLOOR PLAN - BUILDING 2
A1.06 FLOOR PLAN - BUILDING 2
A1.07 FLOOR PLAN - BUILDING 2
A1.08 FLOOR PLAN - BUILDING 2
A1.09 FLOOR PLAN - BUILDING 2
A1.10 FLOOR PLAN - BUILDING 3
A1.11 FLOOR PLAN - BUILDING 3
A1.12 FLOOR PLAN - BUILDING 3
A1.13 FLOOR PLAN - BUILDING 3
A1.14 FLOOR PLAN - BUILDING 3
A1.15 FLOOR PLAN - BUILDING 3
A1.16 FLOOR PLAN - BUILDING 4
A1.17 FLOOR PLAN - BUILDING 4
A1.18 FLOOR PLAN - BUILDING 4
A1.19 FLOOR PLAN - BUILDING 4
A1.20 FLOOR PLAN - BUILDING 4
A1.21 FLOOR PLAN - BUILDING 4

A5.01 EXTERIOR ELEVATIONS
A5.02 EXTERIOR ELEVATIONS
A5.03 EXTERIOR ELEVATIONS
A5.04 EXTERIOR ELEVATIONS
A5.05 EXTERIOR ELEVATIONS
A5.06 EXTERIOR ELEVATIONS
A5.07 EXTERIOR ELEVATIONS
A5.08 EXTERIOR ELEVATIONS
A5.09 EXTERIOR ELEVATIONS
A5.10 EXTERIOR ELEVATIONS
A5.11 EXTERIOR ELEVATIONS
A5.12 EXTERIOR ELEVATIONS
A5.13 EXTERIOR ELEVATIONS
A5.14 EXTERIOR ELEVATIONS
A5.15 EXTERIOR ELEVATIONS
A5.16 EXTERIOR ELEVATIONS
A5.17 EXTERIOR ELEVATIONS
A5.18 EXTERIOR ELEVATIONS
A5.19 EXTERIOR ELEVATIONS
A5.20 EXTERIOR ELEVATIONS
A5.21 EXTERIOR ELEVATIONS
A5.22 EXTERIOR ELEVATIONS
A5.23 EXTERIOR ELEVATIONS
A5.26 EXTERIOR ELEVATIONS

L1.01 LANDSCAPE PLANTING PLAN
L1.02 LANDSCAPE EXISTING TREE PLAN
L1.03 LANDSCAPE DETAILS
L1.04 OPEN SPACE PLAN

EXHIBITS

CONSTRUCTION PHASE EXHIBIT

REV. 02



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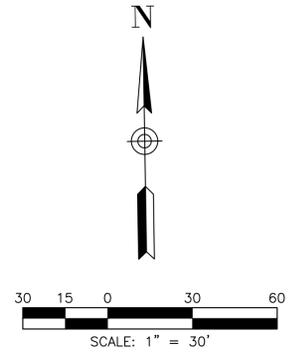
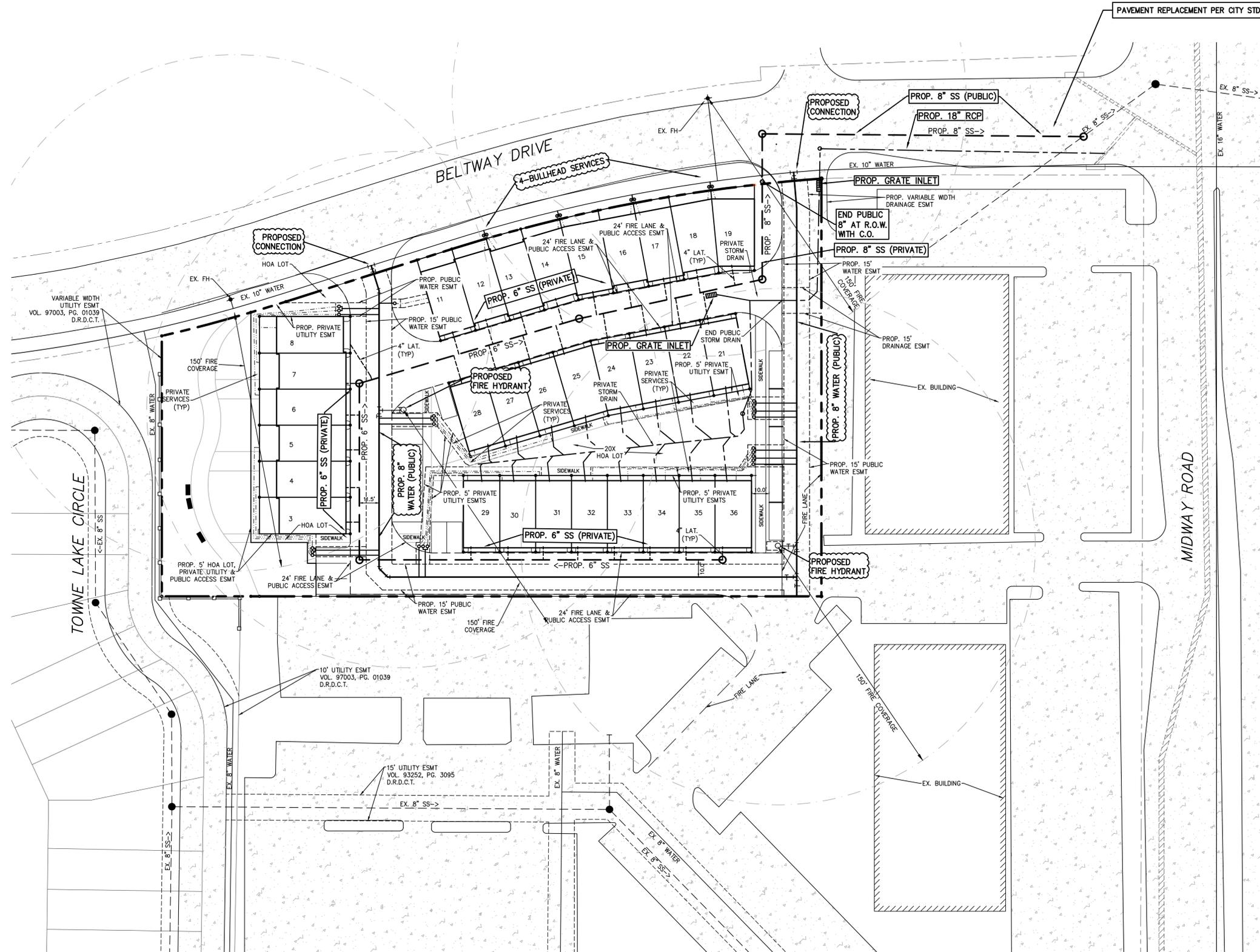
Date	Issue
06.20.2022	SITE PLAN REVIEW PACKAGE
08.01.2022	REVISION 01
08.31.2022	REVISION 02
09.14.2022	REVISION 03

THOMAS L. CHENOWETH SURVEY,
ABSTRACT NO. 273
TOWN PROJECT NO. 1856-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
4150 BELTWAY DRIVE ADDISON, TEXAS 75001
LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

G1.00



THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.

CONCEPTUAL WATER/SEWER AND DRAINAGE CONFIGURATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING DESIGN.

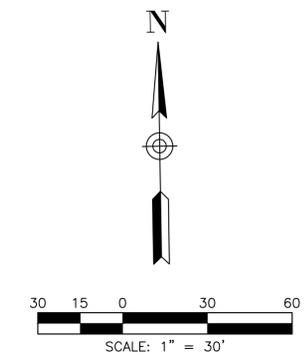
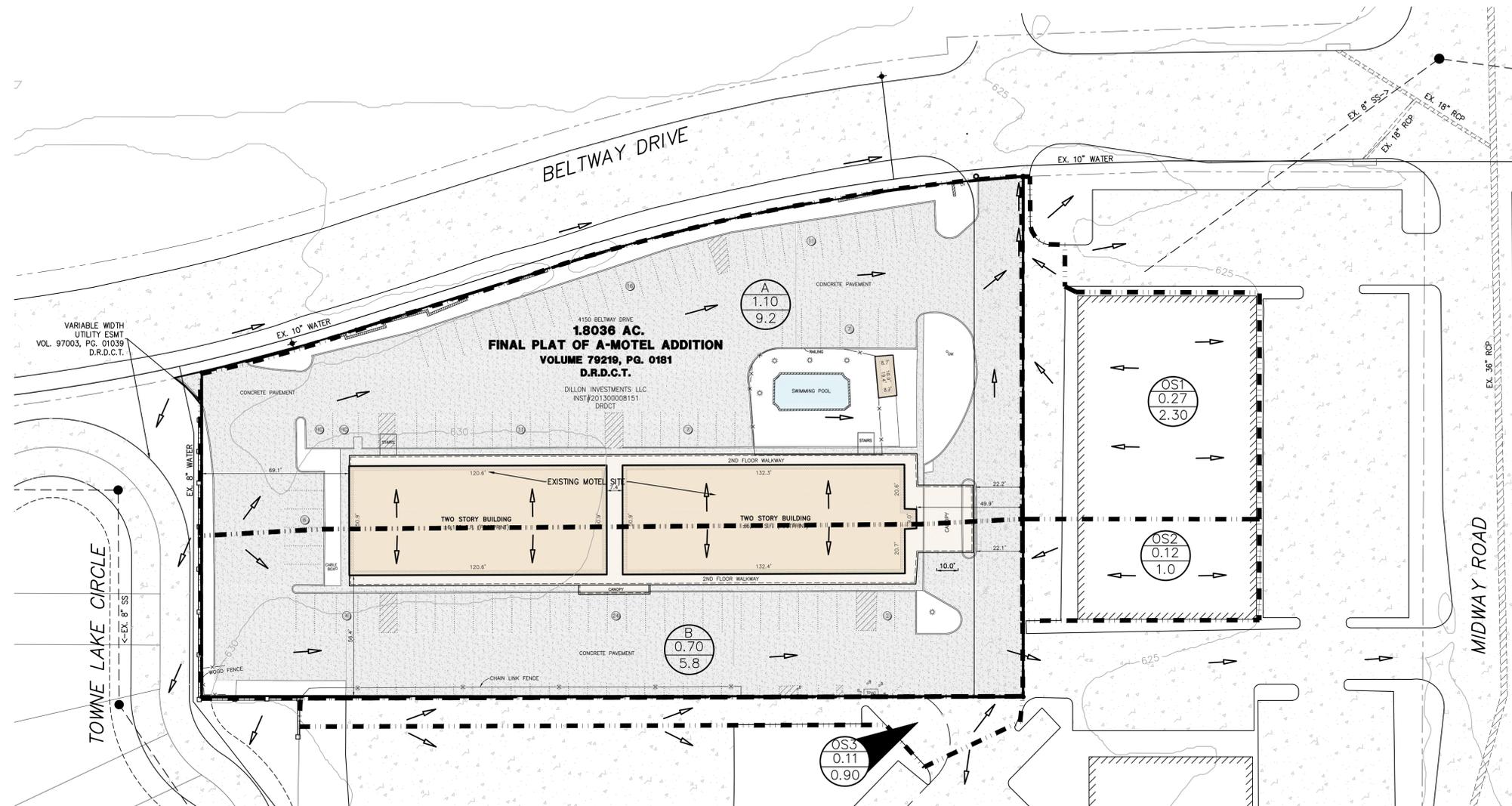
13D FIRE SUPPRESSION SYSTEMS WILL BE PROVIDED FOR EACH UNIT - NO FDC REQUIRED

FINAL LOCATION OF PROPOSED FIRE HYDRANTS WILL BE DETERMINED DURING FINAL DESIGN

ROUTING OF GAS AND ELECTRIC LINES WILL BE DETERMINED DURING FINAL DESIGN

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CONCEPT UTILITY & DRAINAGE PLAN					
ADDISON RESERVE					
THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS					
			CIVIL ENGINEERING DESIGN & CONSULTING (Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com philipj@macatee-engineering.com		
DESIGNED	CHECKED	DATE	DWG FILE UTILITY	PROJECT #	SHEET NO.
		09/13/2022	07-22-2022	BELTWAY	C1

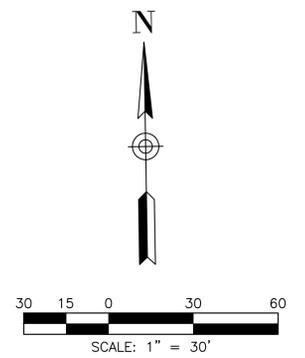
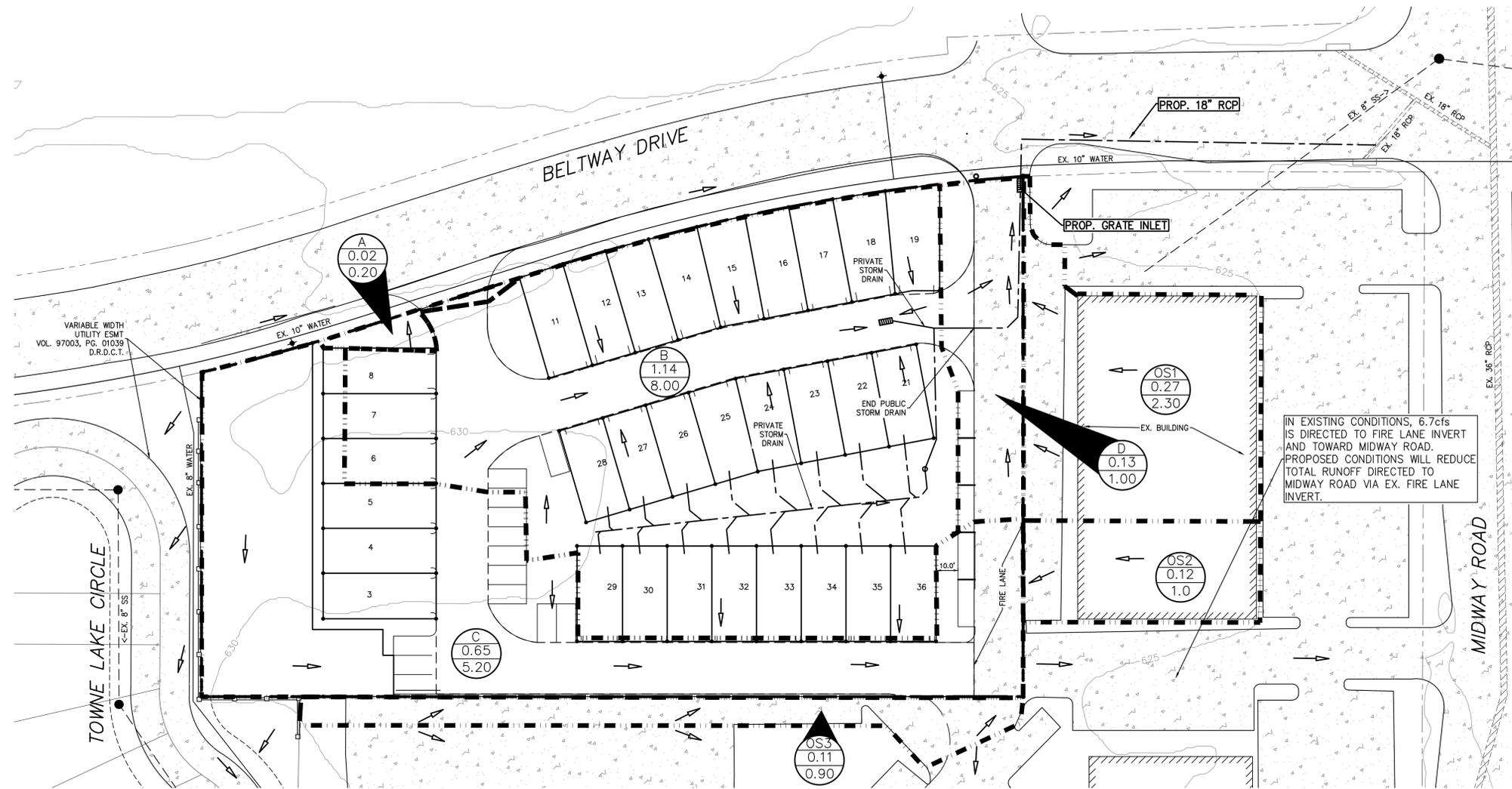


LEGEND	
	EXISTING 5 FOOT CONTOUR INTERVAL
	DRAINAGE DIVIDE
	DRAINAGE AREA ACRES RUNOFF (Q ₁₀₀)
	DIRECTION OF RUNOFF
	CONCEPTUAL STORM ALIGNMENT

EXISTING RUNOFF CALCULATIONS						
AREA	ACRES	Tc (min)	C	I100	Q100	NOTES
A	1.10	10	0.9	9.27	9.2	11.5cfs to BELTWAY DRIVE
B	0.70	10	0.9	9.27	5.8	7.7cfs TO MIDWAY ROAD
OS1	0.27	10	0.9	9.27	2.3	11.5cfs to BELTWAY DRIVE
OS2	0.12	10	0.9	9.27	1.0	7.7cfs TO MIDWAY ROAD
OS3	0.11	10	0.9	9.27	0.9	7.7cfs TO MIDWAY ROAD
TOTALS	2.30				19.2	

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CONCEPTUAL DRAINAGE AREA MAP (PRE DEVELOPMENT)				
ADDISON RESERVE				
THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS				
		CIVIL ENGINEERING DESIGN & CONSULTING <small>(Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com philip@macatee-engineering.com</small>		
DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #
		07/22/2022	Drainage	BELTWAY
				SHEET NO. C2



PROPOSED STORM SEWER LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING DESIGN. PROPOSED STORM SYSTEM WILL MEET ALL APPLICABLE TOWN OF ADDISON REGULATIONS.

DRAINAGE DIVIDES ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING DESIGN

IN EXISTING CONDITIONS, 6.7cfs IS DIRECTED TO FIRE LANE INVERT AND TOWARD MIDWAY ROAD. PROPOSED CONDITIONS WILL REDUCE TOTAL RUNOFF DIRECTED TO MIDWAY ROAD VIA EX. FIRE LANE INVERT.

VARIABLE WIDTH UTILITY ESMT VOL. 97003, PG. 01039 D.R.D.C.T.

LEGEND	
	EXISTING 5 FOOT CONTOUR INTERVAL
	DRAINAGE DIVIDE
	DRAINAGE AREA
	ACRES RUNOFF (Q ₁₀₀)
	DIRECTION OF RUNOFF
	CONCEPTUAL STORM ALIGNMENT

PROPOSED RUNOFF CALCULATIONS						NOTES
AREA	ACRES	T _c (min)	C	I100	Q100	
A	0.02	10	0.86	9.27	0.2	11.5cfs TO BELTWAY DRIVE
B	1.00	10	0.86	9.27	8.0	11.5cfs TO BELTWAY DRIVE
C	0.65	10	0.86	9.27	5.2	6.6cfs TO MIDWAY ROAD
D	0.13	10	0.86	9.27	1.0	11.5cfs TO BELTWAY DRIVE
OS1	0.27	10	0.9	9.27	2.3	11.5cfs TO BELTWAY DRIVE
OS2	0.12	10	0.9	9.27	1.0	6.6cfs TO MIDWAY ROAD
OS3	0.11	10	0.9	9.27	0.9	6.6cfs TO MIDWAY ROAD
TOTALS	2.30				18.5	

Weighted C Calculations			
Area	Total Area (Ac)	C	CA
Project Boundary	1.81		
Impervious Area	1.47	1.00	1.47
Pervious Area	0.34	0.25	0.09
Total CA			1.56
Weighted C			0.86

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CONCEPTUAL DRAINAGE AREA MAP
(POST DEVELOPMENT)

ADDISON RESERVE

THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS

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DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #	SHEET NO.
		09/01/2022	Drainage	BELTWAY	C-3

BUILDING LOT AREAS:

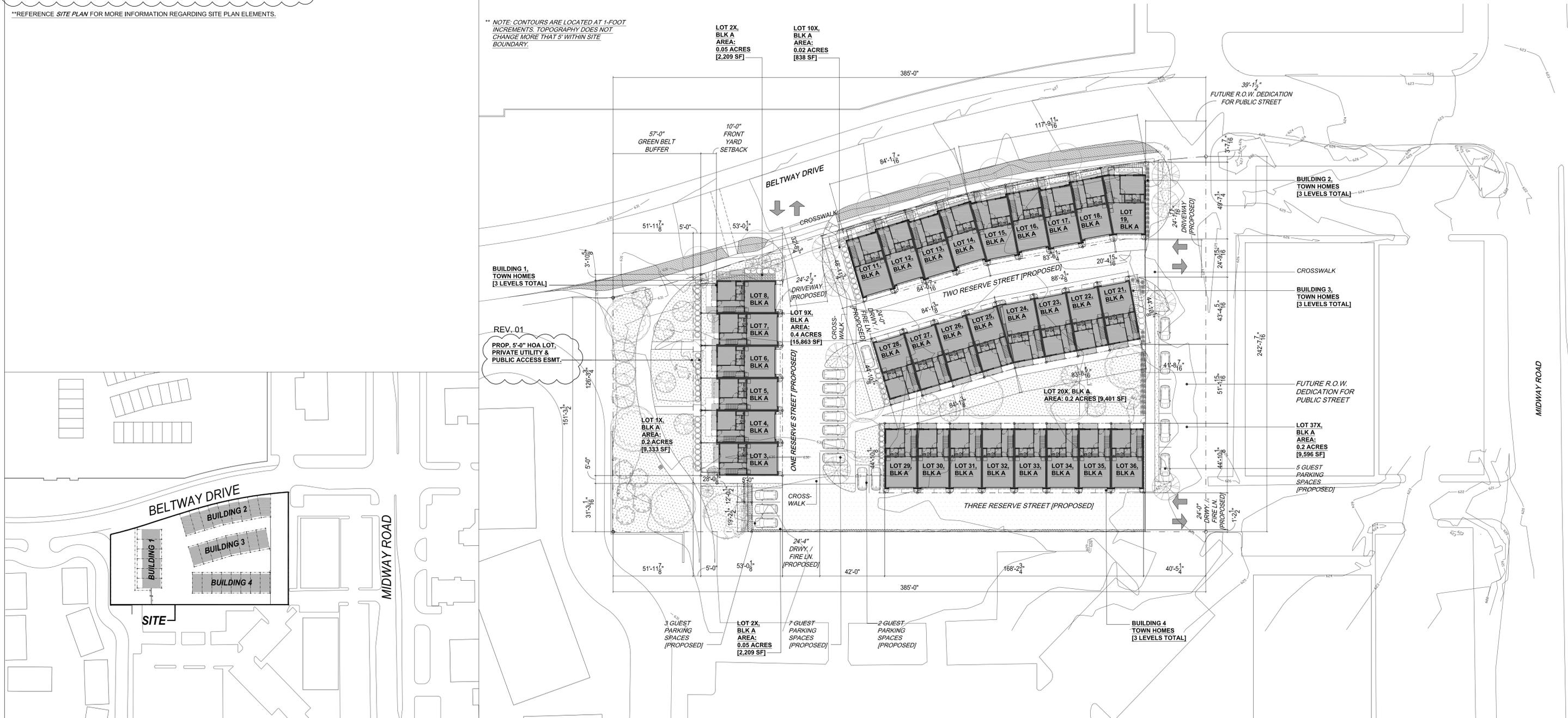
	BUILDING 1						BUILDING 2									
	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8	UNIT 9	UNIT 10	UNIT 11	UNIT 12	UNIT 13	UNIT 14	UNIT 15	
LOT AREA (SF)	1,126 SF	1,111 SF	1,111 SF	1,111 SF	1,111 SF	1,126 SF	1,043 SF	1,033 SF	1,030 SF	1,018 SF	1,116 SF	1,025 SF	1,026 SF	1,017 SF	1,208 SF	
LOT AREA (ACRE)	.03 ACRE	.03 ACRE	.03 ACRE	.03 ACRE	.03 ACRE	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.03 ACRE	
	BUILDING 3						BUILDING 4									
	UNIT 16	UNIT 17	UNIT 18	UNIT 19	UNIT 20	UNIT 21	UNIT 22	UNIT 23	UNIT 24	UNIT 25	UNIT 26	UNIT 27	UNIT 28	UNIT 29	UNIT 30	UNIT 31
LOT AREA (SF)	953 SF	940 SF	940 SF	940 SF	1,022 SF	940 SF	940 SF	953 SF	953 SF	940 SF	953 SF					
LOT AREA (ACRE)	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE

REV. 01

**REFERENCE LANDSCAPE PLAN FOR MORE INFORMATION REGARDING LANDSCAPE ELEMENTS.

**REFERENCE SITE PLAN FOR MORE INFORMATION REGARDING SITE PLAN ELEMENTS.

** NOTE: CONTOURS ARE LOCATED AT 1-FOOT INCREMENTS. TOPOGRAPHY DOES NOT CHANGE MORE THAN 5' WITHIN SITE BOUNDARY.



SCALE: 1" = 100'-0"



VICINITY MAP 02

SCALE: 1" = 30'-0"



CONCEPT PLAN 01

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Date: 06.20.2022
08.01.2022
08.31.2022
Issue: **SITE PLAN REVIEW PACKAGE**
REVISION 01
REVISION 02
THOMAS L CHENOWETH SURVEY,
ABSTRACT NO. 273
TOWN PROJECT NO. 1846-Z



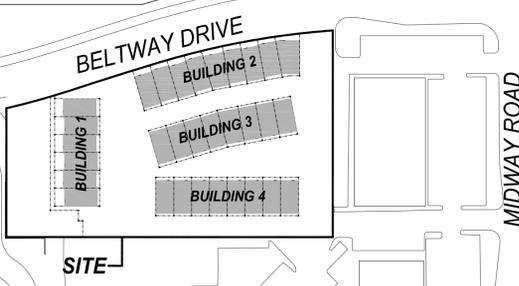
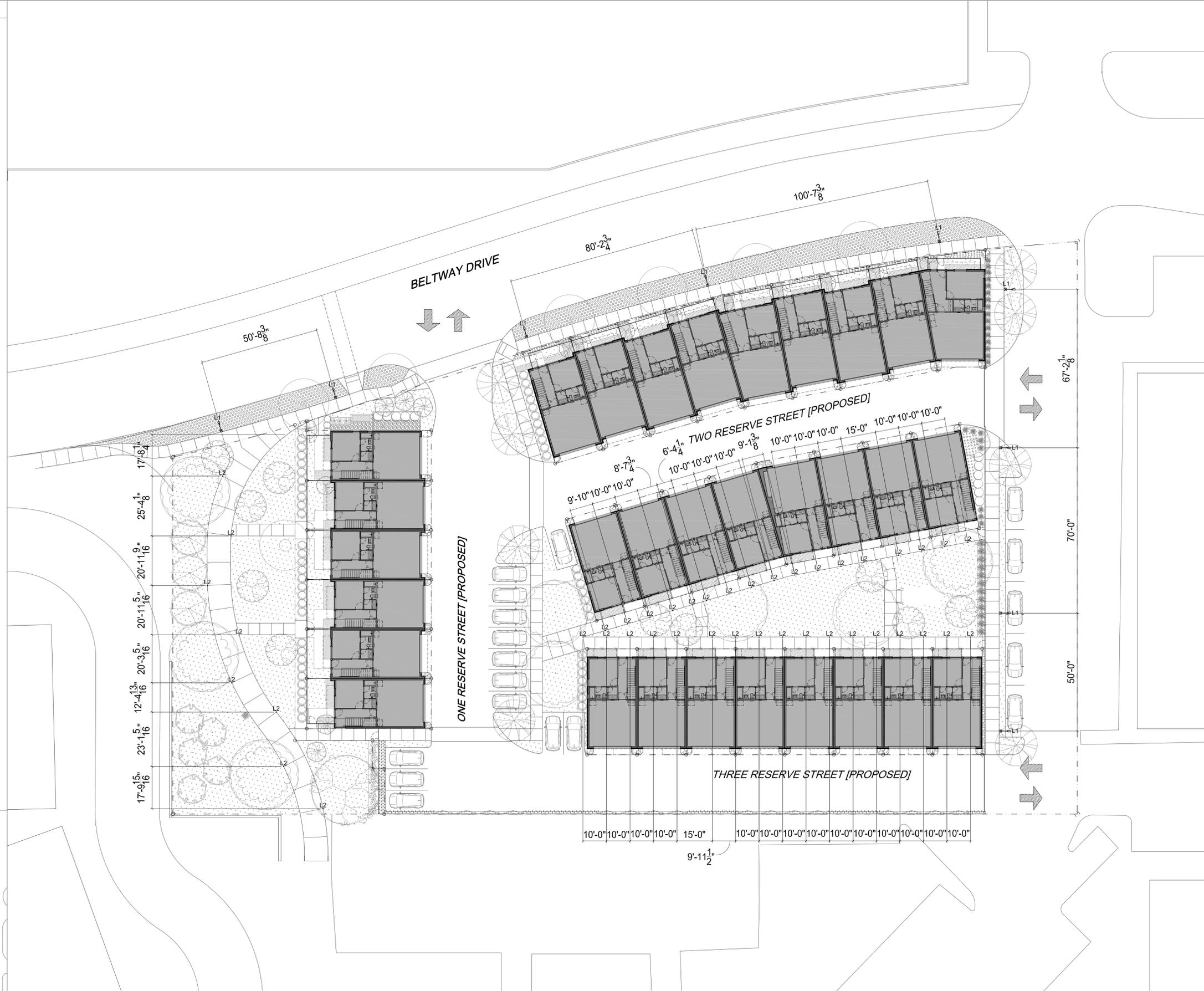
ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
4150 BELTWAY DRIVE ADDISON, TEXAS 75001
LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A0.00

LIGHTING PLAN LEGEND

-  **L1**
PEDESTRIAN STREET LIGHT,
DARK BRONZE FINISH,
1'-0" WIDE X
4'-10" LONG X
30'-0" HIGH

-  **L2**
BOLLARD PATHWAY LIGHT,
DARK BRONZE FINISH,
0'-4" WIDE X
0'-4" LONG X
3'-0" HIGH



SCALE: 1" = 100'-0" VICINITY MAP 02 SCALE: 1" = 20'-0" LIGHTING PLAN 01

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	TOWN PROJECT NO. 1846-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
4150 BELTWAY DRIVE ADDISON, TEXAS 75001
LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
A0.01

BUILDING LOT AREAS:

	BUILDING 1						BUILDING 2						BUILDING 3						BUILDING 4						**REFERENCE CONCEPT PLAN [SHEET A0.00] FOR SQUARE FOOTAGE AND ACREAGE OF LOTS 1X, 2X, 9X, 10X, 20X, AND 37X							
	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8	UNIT 9	UNIT 10	UNIT 11	UNIT 12	UNIT 13	UNIT 14	UNIT 15	UNIT 16	UNIT 17	UNIT 18	UNIT 19	UNIT 20	UNIT 21	UNIT 22	UNIT 23	UNIT 24		UNIT 25	UNIT 26	UNIT 27	UNIT 28	UNIT 29	UNIT 30	UNIT 31
	LOT 8, BLK A	LOT 7, BLK A	LOT 6, BLK A	LOT 5, BLK A	LOT 4, BLK A	LOT 3, BLK A	LOT 11, BLK A	LOT 12, BLK A	LOT 13, BLK A	LOT 14, BLK A	LOT 15, BLK A	LOT 16, BLK A	LOT 17, BLK A	LOT 18, BLK A	LOT 19, BLK A	LOT 28, BLK A	LOT 27, BLK A	LOT 26, BLK A	LOT 25, BLK A	LOT 24, BLK A	LOT 23, BLK A	LOT 22, BLK A	LOT 21, BLK A	LOT 29, BLK A		LOT 30, BLK A	LOT 31, BLK A	LOT 32, BLK A	LOT 33, BLK A	LOT 34, BLK A	LOT 35, BLK A	LOT 36, BLK A
LOT AREA (SF)	1,126 SF	1,111 SF	1,111 SF	1,111 SF	1,111 SF	1,126 SF	1,043 SF	1,033 SF	1,030 SF	1,018 SF	1,116 SF	1,025 SF	1,026 SF	1,017 SF	1,208 SF	953 SF	940 SF	940 SF	940 SF	1,022 SF	940 SF	940 SF	953 SF	953 SF	940 SF	940 SF	940 SF	940 SF	940 SF	940 SF	953 SF	
LOT AREA (ACRE)	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE															
UNIT AREA (SF)	2,100 SF	2,058 SF	2,071 SF	2,058 SF	2,071 SF	2,087 SF	2,087 SF	2,058 SF	2,058 SF	2,058 SF	2,252 SF	2,058 SF	2,058 SF	2,058 SF	2,495 SF	2,144 SF	2,115 SF	2,116 SF	2,116 SF	2,288 SF	2,116 SF	2,146 SF	2,144 SF	2,116 SF	2,116 SF	2,116 SF	2,116 SF	2,116 SF	2,116 SF	2,145 SF		

SITE PLAN INFORMATION

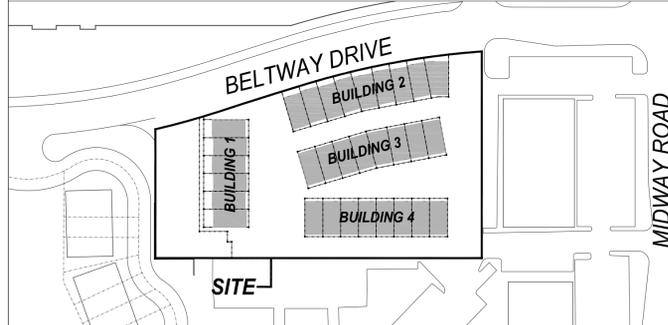
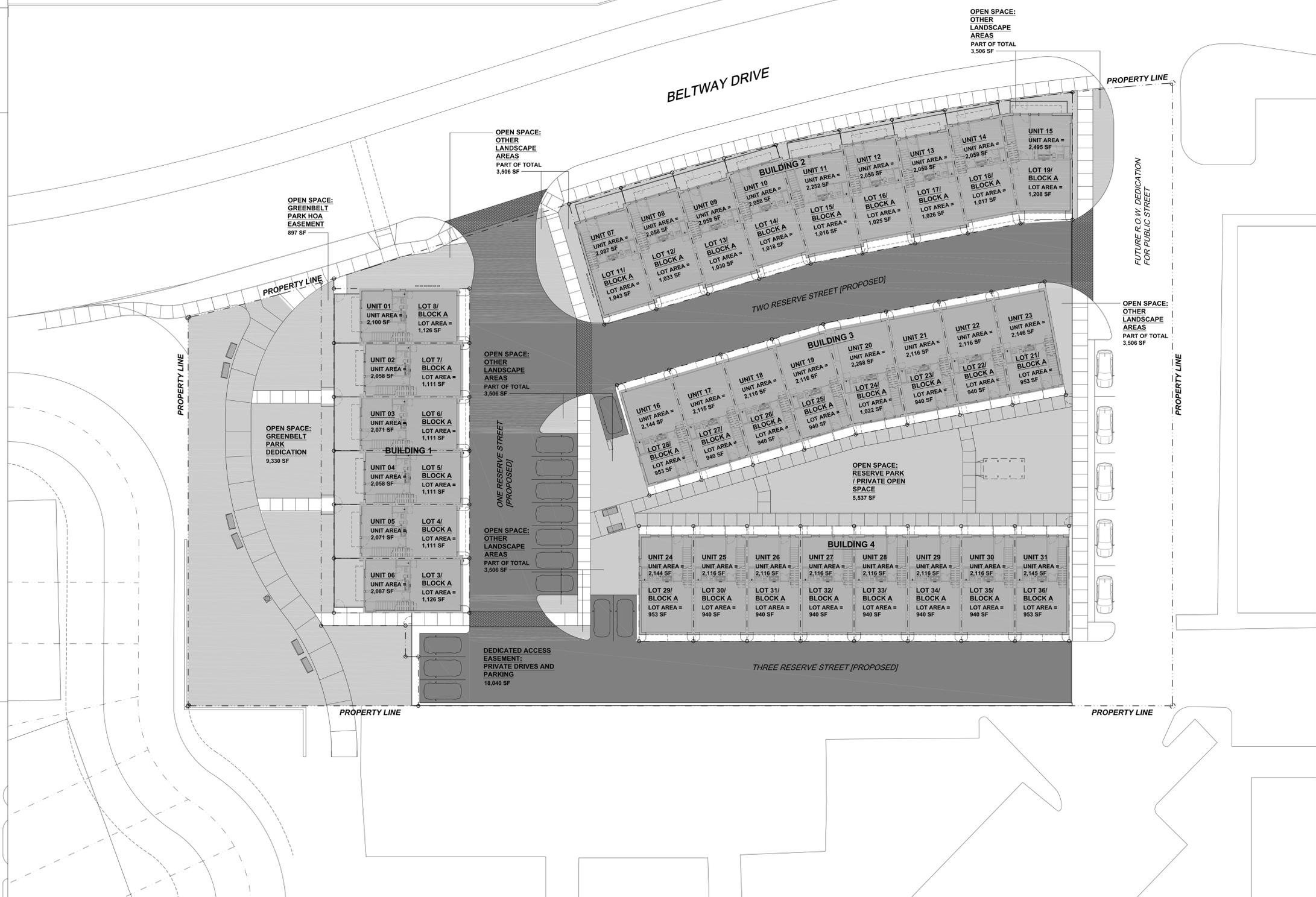
**REFERENCE SITE PLAN FOR MORE INFORMATION REGARDING SITE PLAN ELEMENTS.

DRIVES + PARKING

OPEN SPACE

OPEN SPACE AREA:

GREENBELT PARK DEDICATION	9,330 SF
GREENBELT PARK HOA EASEMENT	897 SF
RESERVE PARK, PRIVATE OPEN SPACE	5,537 SF (INCLUDING SIDEWALKS & PAVILION)
LANDSCAPE (EXCLUDING SIDEWALKS AND PAVILION)	18,000 SF
LANDSCAPE (INCLUDING SIDEWALKS AND PAVILION)	19,270 SF
TOTAL	19,270 SF
	19,270 SF / 78,564 SF
	= 24.5% OF SITE IS LANDSCAPE
	18,000 SF
	18,000 SF / 78,564 SF
	= 23% OF SITE IS PERMEABLE



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1" = 20'-0"



CASE NO. 1856-Z

LOT PLAN 01

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OWNER / DEVELOPER: JOSH NICHOLS, PRINCIPAL
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Date Issue
06.20.2022 SITE PLAN REVIEW PACKAGE
08.01.2022 REVISION 01
08.31.2022 REVISION 02
09.14.2022 REVISION 03

THOMAS L. CHENOWETH SURVEY,
ABSTRACT NO. 273
TOWN PROJECT NO. 1856-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
4150 BELTWAY DRIVE ADDISON, TEXAS 75001
LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A0.02

BUILDING LOT AREAS:

	BUILDING 1						BUILDING 2									BUILDING 3									BUILDING 4							
	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8	UNIT 9	UNIT 10	UNIT 11	UNIT 12	UNIT 13	UNIT 14	UNIT 15	UNIT 16	UNIT 17	UNIT 18	UNIT 19	UNIT 20	UNIT 21	UNIT 22	UNIT 23	UNIT 24	UNIT 25	UNIT 26	UNIT 27	UNIT 28	UNIT 29	UNIT 30	UNIT 31	
LOT AREA (SF)	1,126 SF	1,111 SF	1,111 SF	1,111 SF	1,111 SF	1,126 SF	1,043 SF	1,033 SF	1,030 SF	1,018 SF	1,116 SF	1,025 SF	1,026 SF	1,017 SF	1,208 SF	953 SF	940 SF	940 SF	940 SF	1,022 SF	940 SF	940 SF	953 SF	953 SF	940 SF	940 SF	940 SF	940 SF	940 SF	940 SF	953 SF	
LOT AREA (ACRE)	.03 ACRE	.03 ACRE	.03 ACRE	.03 ACRE	.03 ACRE	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	
UNIT AREA (SF)	2,100 SF	2,058 SF	2,071 SF	2,058 SF	2,071 SF	2,087 SF	2,087 SF	2,058 SF	2,058 SF	2,058 SF	2,252 SF	2,058 SF	2,058 SF	2,058 SF	2,495 SF	2,144 SF	2,115 SF	2,116 SF	2,116 SF	2,288 SF	2,116 SF	2,116 SF	2,146 SF	2,144 SF	2,116 SF	2,116 SF	2,116 SF	2,116 SF	2,116 SF	2,116 SF	2,145 SF	

**REFERENCE CONCEPT PLAN [SHEET A0.00] FOR SQUARE FOOTAGE AND ACREAGE OF LOTS 1X, 2X, 9X, 10X, 20X, AND 37X

REV. 01

REV. 03

REV. 02

SITE PLAN INFORMATION

ZONING: PD [PLANNED DEVELOPMENT DISTRICT]
 PD ORD. NO. 022-08, CASE #1856-Z REV. 03

SITE AREA: 1.8039 ACRES (78,564 SF)

BUILDINGS: 4 TOTAL

PROPOSED USE: TOWN HOMES

DWELLING UNITS: 31 TOTAL

NUMBER OF BEDROOMS PER UNIT: 3 TOTAL

MINIMUM SETBACKS:

FRONT YARD: NONE
 SIDE YARD: NONE
 REAR YARD: NONE
 PERIMETER SETBACK: 5'-0", FRONT YARDS FACING BELTWAY DRIVE
 PERIMETER SETBACK: 10'-0", FRONT YARDS FACING GREENBELT PARK
 PERIMETER SETBACK: 65'-0", WESTERN BOUNDARY OF DEVELOPMENT TO UNITS FACING GREENBELT BUFFER

BUILDING GROSS SQUARE FOOTAGE AND HEIGHT:

BUILDING 1	15,501 SF	41'-9 1/4" HIGH (3 LEVELS TOTAL)
BUILDING 2	23,809 SF	41'-9 1/4" HIGH (3 LEVELS TOTAL)
BUILDING 3	21,257 SF	41'-9 1/4" HIGH (3 LEVELS TOTAL)
BUILDING 4	21,017 SF	41'-9 1/4" HIGH (3 LEVELS TOTAL)

PARKING DATA:

TENANT PARKING: 2 TOTAL PER UNIT [2-CAR GARAGE]
 GUEST PARKING: 0.5 PARKING SPACES / UNIT REQUIRED [15.5] 18 PROVIDED

OPEN SPACE AREA:

GREENBELT PARK DEDICATION	9,330 SF
GREENBELT PARK HOA EASEMENT	897 SF
RESERVE PARK, PRIVATE OPEN SPACE	5,537 SF (INCLUDING SIDEWALKS & PAVILION)
LANDSCAPE [EXCLUDING SIDEWALKS AND PAVILION]	18,000 SF
LANDSCAPE [INCLUDING SIDEWALKS AND PAVILION]	19,270 SF
TOTAL	19,270 SF
	19,270 SF / 78,564 SF
	= 24.5% OF SITE IS LANDSCAPE
	18,000 SF
	18,000 SF / 78,564 SF
	= 23% OF SITE IS PERMEABLE

SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 32,230 SF

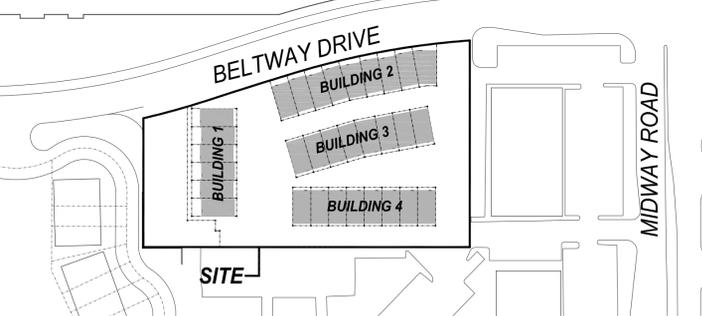
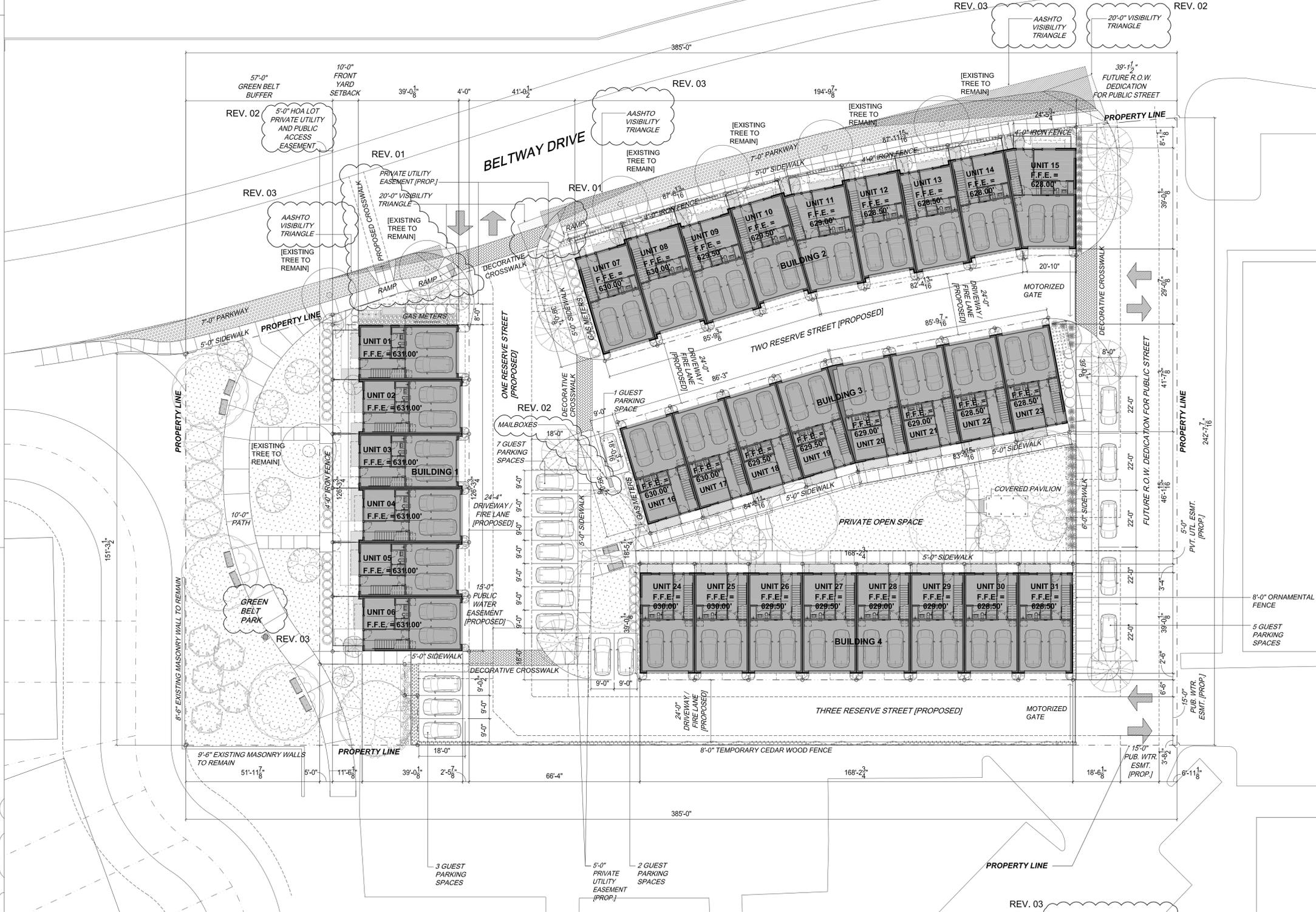
SITE PLAN NOTES:

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDINGS WITH AN AGGREGATE SUM OF 500 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.

REV. 01

**REFERENCE LANDSCAPE PLAN FOR MORE INFORMATION REGARDING LANDSCAPE ELEMENTS.



SCALE: 1" = 100'-0" VICINITY MAP 02 SCALE: 1" = 20'-0" CASE NO. 1856-Z SITE PLAN 01

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Date: 06.20.2022
 Issue: 08.01.2022
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Issue: **SITE PLAN REVIEW PACKAGE**
 REVISION 01
 REVISION 02
 REVISION 03

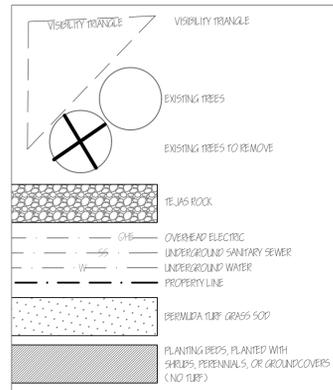
THOMAS L. CHENOWETH SURVEY,
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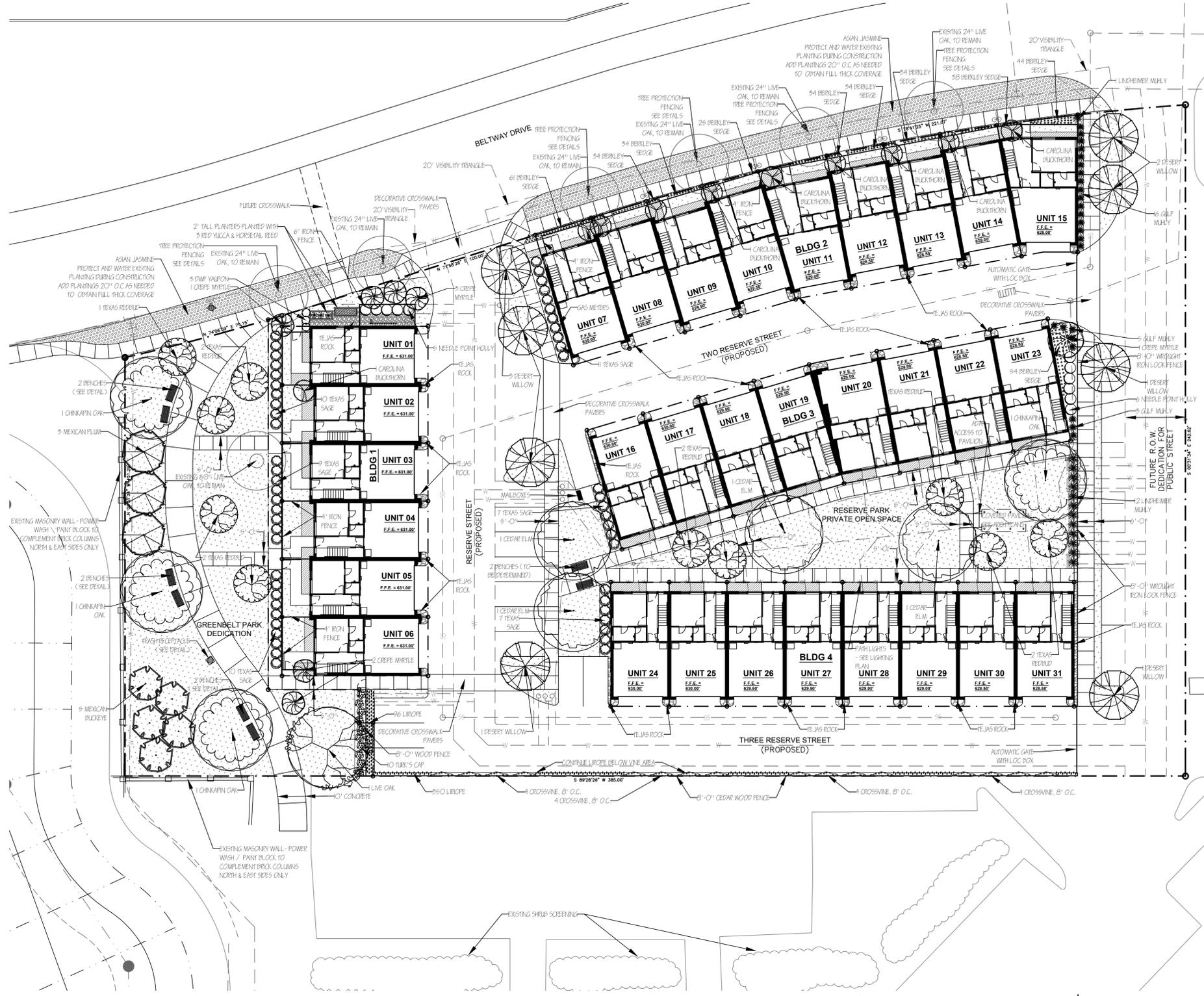
ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
A1.00

Common Name	Botanical Name	Texas Native	Size	Qty	Remarks	Cumulative mitigation cal. inches	
Berkley Sedge	Carex tumulicola		Groundcover	4" pots	388	full pots	
Carolina Buckhorn	Rhamnus caroliniana		Small tree	Yes	15 gal	10	min. 8-10' in height
Cedar Elm	Ulmus crassifolia		Tree	Yes	6" cal	4	min 6" cal, 14-16' in height
Chinkapin Oak	Quercus muhlenbergii		Tree	Yes	4" cal	4	min 6" cal, 14-16' in height
Crope Myrtle 'Country Red'	Lagerstroemia indica 'Country Red'		Small tree	No	15 gal	7	min 6-8' in height
Crossvine	Bignonia capreolata		Vine	Yes	3 gal	16	full pots
Desert Willow	Chiosia linearis		Tree	Yes	25 gal	8	min. 8-10' in height, min 2.5" cal
Dwarf Yaupon Holly	Ilex vomitoria 'Nana'		Shrub	Yes	5 gal	3	full pots
Gulf Muhly	Muhlenbergia capillaris		Grass	Yes	5 gal	24	full pots
Lindheimer Muhly/Big Muhly	Muhlenbergia lindheimeri		Grass	Yes	5 gal	13	full pots
Liriope, Big Blue	Liriope muscari 'Big Blue'		Groundcover	No	4" pots	250	mini 4" o.c.
Live Oak	Quercus virginiana		Tree	Yes	4" cal	1	min 4" cal, 14-16' in height
Neodiplopia Holly	Ilex cornuta 'Neodiplopia'		Shrub	No	5 gal	11	full pots
Mexican Buckeye	Angonidium speciosa		Small tree	Yes	15 gal	5	min. 8-10' in height
Mexican Plum	Prunus mexicana		Small tree	Yes	35 gal	3	min. 8-10' in height, min 2.5" cal
Red Yucca	Hesperaloe parviflora		Shrub-like	Yes	5 gal	3	full pots
Texas Redbud	Cercis canadensis var. texensis 'Oklahoma'		Small tree	Yes	35 gal	10	min. 8-10' in height, min 2.5" cal
Texas Sage, Compact	Leucophyllum frutescens 'Compactum'		Shrub	Yes	5 gal	54	full pots
Turk's Cap	Muhlenbergia arborescens var. drumii	Perennial	Yes	1 gal	10	full pots	
Tejas Rock	Black, 0.5"-1" size, 4" depth		sq ft			582	
Bermuda grass sod	Tiff 419		sf			14,000	
Asian Jasmine groundcover	Tracheloperman asiaticum		sf			2,695	Existing asian jasmine can be preserved. Must be protected and watered during construction. Fill in with new plants as needed.
Metal Edging	14 ga. black metal 4" size edging with stakes		lin ft			735	
Path Lights	Refer to lighting plan		approx. ea			58	
						Tree mitigation cal. inches provided	99

PLANT & MATERIALS LIST



DRAWING KEY

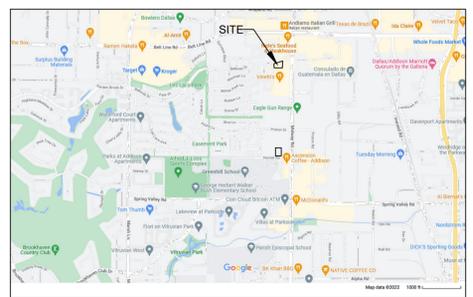


PLANTING PLAN

Scale: 1" = 20'

- NOTES:
1. PRESERVED EXISTING OAKS TO BE PROFESSIONALLY AND STRUCTURALLY PRUNED TO AVOID CONFLICTS WITH PROPOSED STRUCTURES.
 2. NO LOCKING MECHANISMS ON PEDESTRIAN GATES.
 3. EXISTING ASIAN JASMINE AND S TREES IN THE ROW TO REMAIN. PROTECTION FENCING ON OR NEAR THE ROW LINE WILL BE INSTALLED TO PROTECT THE EXISTING ASIAN JASMINE AND EXISTING TREES. THIS FENCING IS INTENDED TO PREVENT PEDESTRIAN AND MECHANICAL TRAFFIC FROM TRAVERSING OVER GROUND COVER BETWEEN THE STREET AND PROJECT WORK. WATERING OF TREES AND ASIAN JASMINE IS REQUIRED DURING CONSTRUCTION - TEMPORARY WATERING SYSTEMS CAN BE UTILIZED TO ACCOMPLISH THIS. FILL IN ASIAN JASMINE AS NEEDED FOR A THICK FULL GROWTH.
 4. GREENBELT PARK OPEN SPACE BENCHES - 6 FROM PARK STANDARD FORMS, SCARBOROUGH BENCH, 72", LONG BACK AND MID-BENCH SUPPORT. COLOR BLACK.
 5. GREENBELT PARK OPEN SPACE TRASH RECEPTACLE - 1 FROM LANDSCAPE FORMS, CHASE PARK LITTER, SIDE OPEN, 36 GAL. COLOR BLACK.
 6. EXISTING MASONRY WALL ON WEST BOUNDARY TO BE POWERWASHED/PAINTED. COLOR TO COMPLEMENT BRICK COLUMNS.

Site Location



FELDMAN DESIGN STUDIOS
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 Mobile: 972.525-4944
 card@feldmandesign.com

These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

NO.	ITEM DESCRIPTION	DATE:
1.	SITE PLAN SUBMITTAL	7.28.22
2.	REVISED PER CITY COMMENTS	8.31.22
3.	REVISED PER CITY COMMENTS	9.10.22
4.		
5.		
6.		
7.		

LANDSCAPE PLANTING PLAN

SHEET NO.
L1.01

Jurisdiction of Project

REGULATORY AUTHORITIES:
 CITY OF ADDISON DEVELOPMENT SERVICES
 ADDISON SERVICE CENTER
 16801 WESTGROVE DRIVE
 ADDISON, TEXAS 75001
 972 450-2880

TEXAS DEPARTMENT OF LICENSING AND REGULATION
 ELIMINATION OF ARCHITECTURAL BARRIERS
 E.O. THOMPSON STATE OFFICE BUILDING
 920 COLORADO
 AUSTIN, TEXAS 78701
 (512) 463-3211
 (512) 475-2886 (FAX)

Landscaping Requirements

ADDISON TX CODE OF ORDINANCES
 CHAPTER 34- ENVIRONMENT
 ARTICLE VI- LANDSCAPING REGULATIONS
 PD ORDINANCE No. 022-08, CASE#1856-Z

- A. OPEN SPACE PROVIDED: 9,330 SF GREENBELT PARK DEDICATION (PUBLIC SPACE) PROVIDED: 5,537 SF RESERVE PARK (PRIVATE OPEN SPACE)
- B. 20% OF GROSS SITE AREA IN LANDSCAPE (SITE: 1,8039 AC OR 78,564 SF) REQUIRED: 15,712 SF PROVIDED: 19,270 SF LANDSCAPE (INCLUDES SIDEWALKS & PAVILION) 24.5% IN LANDSCAPE PROVIDED: 18,000 SF PLANTING GRAVEL (EXCLUDES SIDEWALKS & PAVILION) 23% OF SITE IS PERMEABLE SURFACES
- C. 1 CANOPY TREE OR ORNAMENTAL TREES PER DWELLING UNIT AND 5 CANOPY TREE OR ORNAMENTAL TREE PER SURFACE PARKING. 31 UNITS / 18 SURFACE SPACES REQUIRED: 40 TREES OF WHICH 9 ARE REQUIRED CANOPY TREES PROVIDED: 58 TREES OF WHICH 9 ARE PROPOSED CANOPY TREES & 6 ARE EXISTING CANOPY TREES
- D. RESIDENTIAL GROUND FLOOR FRONTAGES TO BE LANDSCAPED AND IRRIGATED.
- E. LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

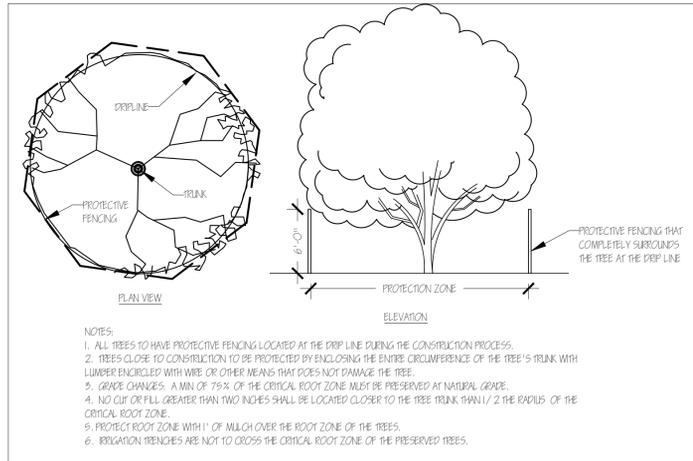
Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED. SYSTEM DESIGNED AND INSTALLED ACCORDING TO TCEQ LAWS AND REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURF. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR.

Professionals Information

OWNER/DEVELOPER: COO DALLAS HOMES, III, LLC
 ARCHITECT: FAR + DANG
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 4414 BIEMA VOSTA STREET, #18, DALLAS, TX 75246
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 ATTN: BANG DANG, 972-342-9345
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 ENGINEER: MACATEE CIVIL ENGINEERING
 LANDSCAPE ARCHITECT: FELDMAN DESIGN STUDIOS
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 ATTN: PHILLIP FISHER, PE, 214-373-1180
 ATTN: CAROL FELDMAN, 972-523-4944
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 CAROL@FELDMANDESIGN.COM

ADDISON RESERVE
4150 BELTWAY DRIVE
ADDISON TEXAS
LOTS 1-37/BLOCK A



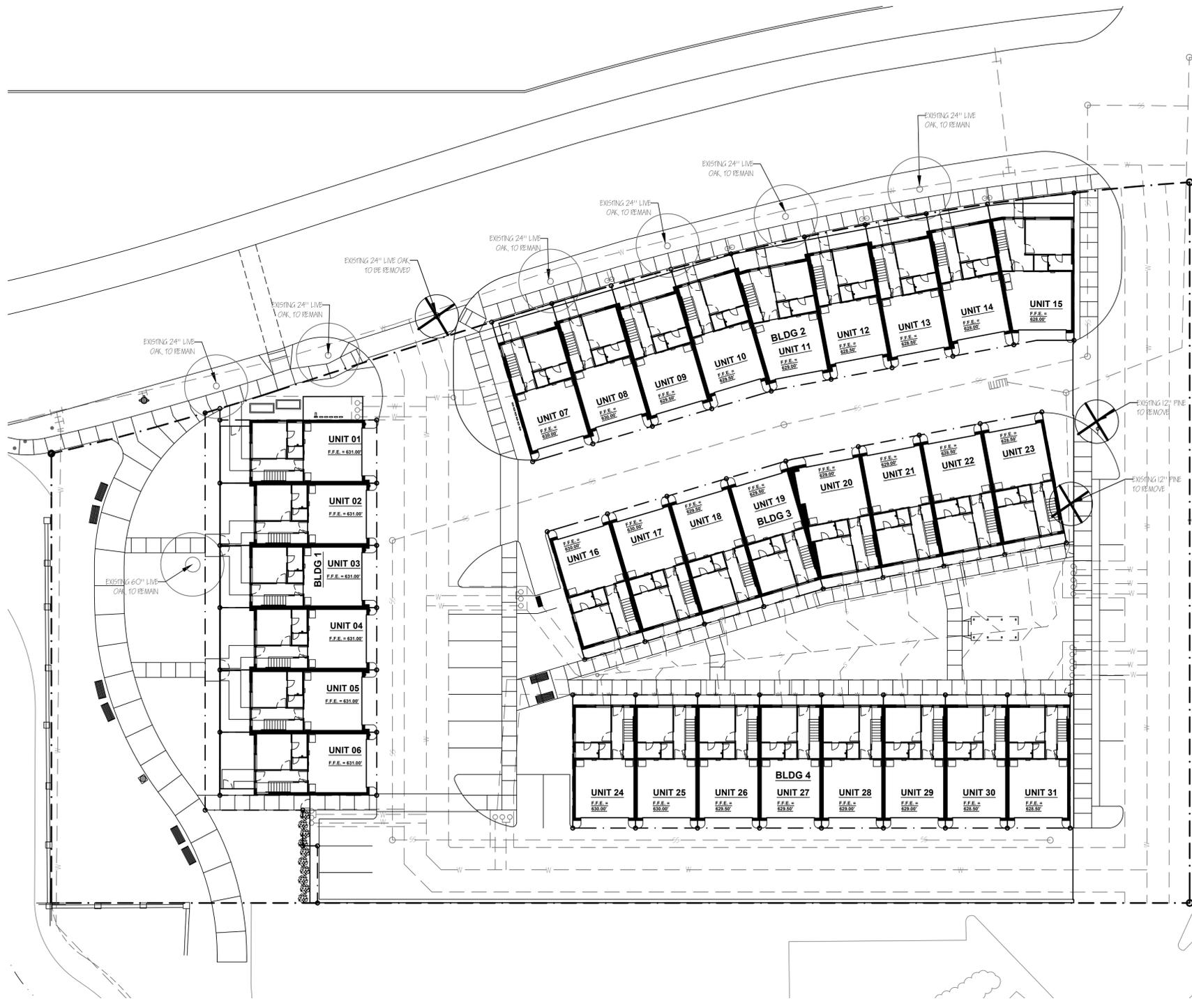
- NOTES:
1. ALL TREES TO HAVE PROTECTIVE FENCING LOCATED AT THE DRIP LINE DURING THE CONSTRUCTION PROCESS.
 2. TREES CLOSE TO CONSTRUCTION TO BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE.
 3. GRADE CHANGES: A MIN. OF 75% OF THE CRITICAL ROOT ZONE MUST BE PRESERVED AT NATURAL GRADE.
 4. NO CUT OR FILL GREATER THAN TWO INCHES SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE RADIUS OF THE CRITICAL ROOT ZONE.
 5. PROTECT ROOT ZONE WITH 1" OF MULCH OVER THE ROOT ZONE OF THE TREES.
 6. IRRIGATION TRANCHES ARE NOT TO CROSS THE CRITICAL ROOT ZONE OF THE PRESERVED TREES.

TREE PROTECTON - FENCING AND ROOT PROTECTION

No Scale

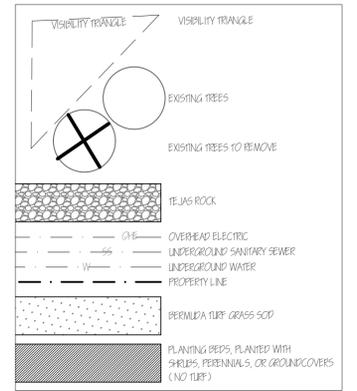
Common Name	Size	Remain/Remove	Remarks	Mitigation inches req'd
Live Oak	60"	Remain		
Live Oak	24"	Remain		
Live Oak	24"	Remain	Will assess again for viability in the field	
Live Oak	24"	Remove	future access drive	24
Live Oak	24"	Remain		
Live Oak	24"	Remain		
Live Oak	24"	Remain		
Live Oak	24"	Remain		
Pine	12"	Remove	future access drive	
Pine	12"	Remove	within bldg footprint	
			Replacement caliper inches required	24
			Provided caliper inches for mitigation (See L1.01)	99

EXISTING TREE LIST



PLANTING PLAN

Scale: 1" = 20'



DRAWING KEY

Jurisdiction of Project

REGULATORY AUTHORITIES:
 CITY OF ADDISON DEVELOPMENT SERVICES
 ADDISON SERVICE CENTER
 16801 WESTGROVE DRIVE
 ADDISON, TEXAS 75001
 972 450-2880

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 PROVIDED: 5,537 SF RESERVE PARK (PRIVATE OPEN SPACE)
 - B. 20% OF GROSS SITE AREA IN LANDSCAPE (SITE: 1.8039 AC OR 78,564 SF)
 REQUIRED: 15,712.8 SF
 PROVIDED: 19,270 SF LANDSCAPE (INCLUDES SIDEWALKS & PAVILION)
 24.5% IN LANDSCAPE
 PROVIDED: 18,000 SF PLANTING/GRAVEL (EXCLUDES SIDEWALKS & PAVILION) 23% OF SITE IS PERMEABLE SURFACES
 - C. 1 CANOPY TREE OR ORNAMENTAL TREES PER DWELLING UNIT AND .5 CANOPY TREE OR ORNAMENTAL TREE PER SURFACE PARKING, 31 UNITS / 8 SURFACE SPACES
 REQUIRED: 40 TREES OF WHICH 9 ARE REQUIRED CANOPY TREES
 PROVIDED: 55 TREES OF WHICH 9 ARE PROPOSED CANOPY TREES & 6 ARE EXISTING CANOPY TREES
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 - E. LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

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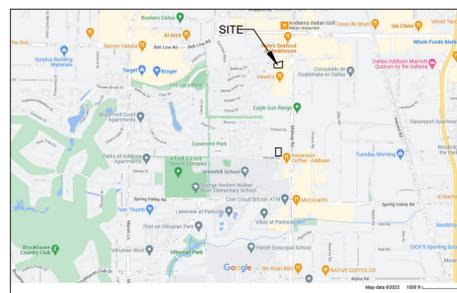
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 CAROL@FELDMANDESIGN.COM

Site Location



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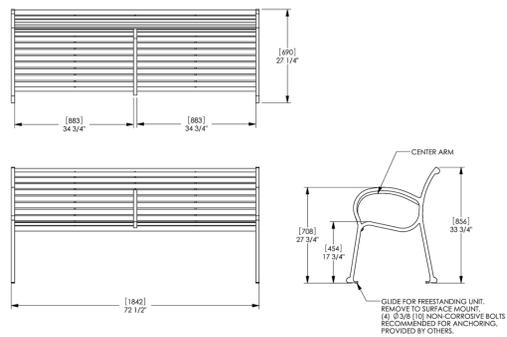
Carol Feldman

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LANDSCAPE EXISTING TREE PLAN

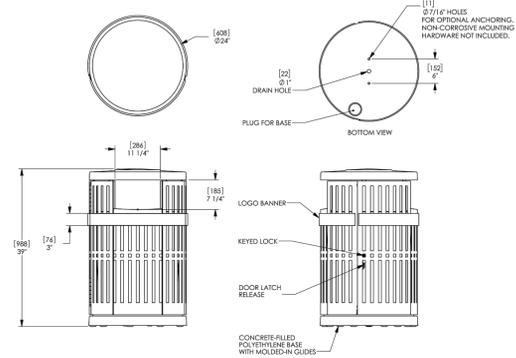
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 ADDISON TEXAS
 LOTS 1-37/BLOCK A

SHEET NO.
L1.02



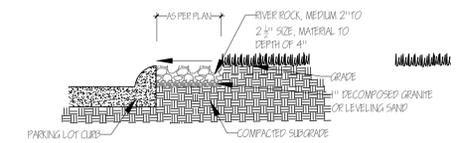
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BENCH DETAIL
 No Scale
 GREENBELT PARK OPEN SPACE BENCHES - 6 FROM PARK STANDARD FORMS, SCARBOROUGH BENCH, 72", LONG BACK AND MID-BENCH SUPPORT. COLOR BLACK.

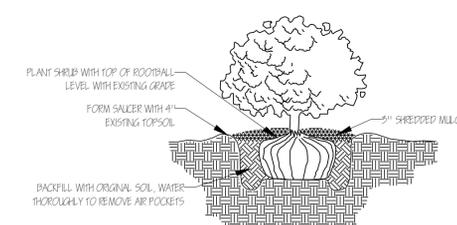


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 Dimensions are in inches (mm)
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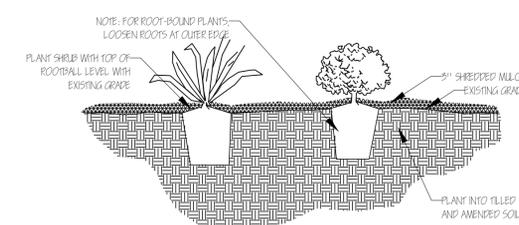
TRASH RECEPTACLE DETAIL
 No Scale
 GREENBELT PARK OPEN SPACE TRASH RECEPTACLE - 1 FROM LANDSCAPE FORMS, CHASE PARK LITTER, SIDE OPEN, 36 GAL. COLOR BLACK.



TEJAS ROCK DETAIL
 Scale: 1/2" = 1'



SHRUB & ORNAMENTAL GRASS PLANTING DETAIL
 Scale: Not to scale



PERENNIAL PLANTING DETAIL
 Scale: Not to scale

SECTION 02910 - SOIL PREPARATION
 PART 1 - GENERAL

- A. DESCRIPTION
1. PROVIDE COMPLETE GRADING AND SOIL PREPARATION, INCLUDING AMENDMENTS, AS SPECIFIED HEREIN.
- B. EXAMINATION
1. EXAMINE SITE TO VERIFY REQUIRED ROUGH GRADING HAS BEEN COMPLETED CORRECTLY PRIOR TO BED PREPARATION WORK.
2. EXAMINE SITE TO VERIFY THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED PRIOR TO BED PREPARATION WORK.
- C. APPROVALS
1. ALL 'APPROVED EQUAL' MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT.

- PART 2 - PRODUCTS
- A. MATERIALS
1. COMPOST
- 1.1. COTTON BUR COMPOST
- 1.2. SHALL BE SUPPLIED BY: GREENSENSE COMPOST, GARLAND, TX, OR CLEAR FORK MATERIALS, ALEDO, TX, OR APPROVED EQUAL.
2. FERTILIZERS AND SUPPLEMENTS
- 2.1. A 6-2-4 GRANULAR FERTILIZER WITH A WATER SOLUBLE SLOW RELEASE ORGANIC BASE SUCH AS GREENSENSE, OR SUSTANE, OR APPROVED EQUAL.
3. MULCH
- 3.1. SHALL BE SHREDDED HARDWOOD MULCH, SHREDDED CEDAR MULCH, SHREDDED NATIVE MULCH, OR APPROVED EQUAL.

PART 3 - EXECUTION

- A. BED PREPARATION AND PREPARATION FOR SOD INSTALLATION
1. GENERAL
- 1.1. INSPECT ALL EXISTING CONDITIONS AND OTHER ITEMS OF WORK PREVIOUSLY COMPLETED. DO NOT PROCEED UNTIL DEFECTS ARE CORRECTED.
- 1.2. INSPECT THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED COMPLETELY.
- 1.3. ALL AREAS TO BE PREPARED WITH ORGANIC TECHNIQUES ONLY.
2. SHRUB BEDS:
- 2.1. BREAK UP AND TILL EXISTING SOIL TO A DEPTH OF 6 INCHES.
- 2.2. ADD A 3 INCH LAYER OF COMPOST TO THE BEDS.
- 2.3. TILL EXISTING SOIL AND COMPOST TOGETHER TO A TOTAL OVERALL DEPTH OF 8 INCHES.
- 2.4. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
- 2.5. TOP-DRESS BED WITH A 3 INCH LAYER OF MULCH AFTER PLANTING.
3. SOD AND SEED AREAS
- 3.1. LIGHTLY CULTIVATE COMPACTED SOIL AND RAKE THE SOIL SMOOTH.
- 3.2. ADD 1/2 INCH COMPOST TO ALL AREAS.
- 3.3. FINE GRADE TO DRAIN IN APPROPRIATE DIRECTIONS.

END OF SECTION 02910

NOTES
GENERAL LANDSCAPE

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL AND ALL PLANT PLACEMENT. FIELD ADJUSTMENTS OF PLANT LOCATIONS TO BE COORDINATED WITH OWNER.
4. ALL CANOPY AND ORNAMENTAL TREES TO BE STAKED (SEE DETAIL.)
5. ALL LAWN AND LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 14 GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.

SECTION 02915 - LANDSCAPE PLANTING
 PART 1 - GENERAL

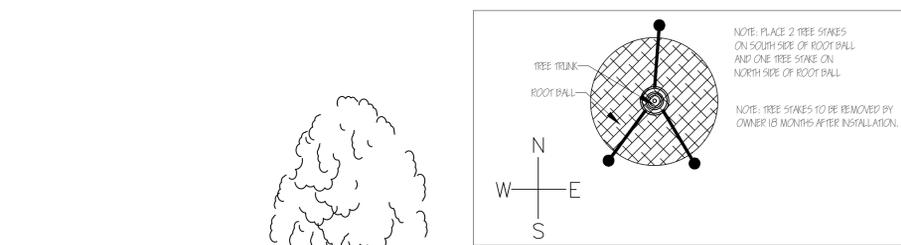
- A. SPECIAL CONDITIONS
1. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
2. EMPLOY ONLY EXPERIENCE PERSONNEL FAMILIAR WITH REQUIRED WORK. PROVIDE ADEQUATE SUPERVISION BY A QUALIFIED FOREMAN WITH A MINIMUM OF TEN(10) YEARS EXPERIENCE WITH PROJECTS OF SIMILAR COMPLEXITY.
3. DO NOT MAKE SUBSTITUTIONS OF TREE, SHRUB AND GRASS MATERIALS. IF REQUIRED MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER'S REPRESENTATIVE.
4. PROVIDE QUANTITY, SIZE, GENUS, SPECIES AND VARIETY OF TREES AND SHRUBS INDICATED AND SCHEDULED FOR LANDSCAPE WORK WHICH COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 'AMERICAN STANDARD FOR NURSERY STOCK', AND ANY APPLICABLE STATE AND FEDERAL LAWS CONCERNING DISEASE AND INSECT INFESTATION.
- B. REFERENCE STANDARDS
1. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, 2014 BY AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
2. SHINNERS & MAHLER'S, ILLUSTRATED FLORA OF NORTH CENTRAL TEXAS, BOTANICAL RESEARCH INSTITUTE OF TEXAS (BRIT), FORT WORTH, TEXAS, 1999.
3. HORTUS THIRD, CORNELL UNIVERSITY, 1967.
- C. PREPARATION
4. COORDINATION WITH BUILDING AND ENGINEERING PROJECT ACTIVITIES.
5. COORDINATE THE WORK OF THIS SECTION WITH THAT OF REGULAR AND EMERGENCY WATER UTILITY ACTIVITIES ON THE SITE.
6. COORDINATION WITH IRRIGATION SYSTEM:
- 6.1. THE UNDERGROUND IRRIGATION SYSTEM MUST BE INSTALLED PRIOR TO COMMENCEMENT OF THE PLANTING OPERATIONS.
- 6.2. THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AT THE TIME THAT PLANTING OPERATIONS COMMENCE.
- 6.3. COORDINATE WORK WITH THE IRRIGATION CONTRACTOR TO PREVENT DAMAGE TO THE IRRIGATION SYSTEM.
- D. ALL PLANT MATERIALS FOR THIS PROJECT SHALL BE NURSERY-GROWN, INCLUDING TREES:
1. CONTAINER GROWN PLANTS SHALL HAVE BEEN 'STEPPED-UP' AS NECESSARY TO PREVENT ROOT GIRDLING.
2. CONTAINER GROWN PLANTS SHALL HAVE BEEN IN THE CONTAINER FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO THE SITE TO ENSURE ADEQUATE ROOT DEVELOPMENT.
3. THE 'ROOT FLARE' OF ALL TREES AND SHRUBS SHALL NOT BE COVERED WITH SOIL.

- E. THE FOLLOWING TREE CARE PROCEDURES SHALL BE ADHERED TO:
1. DO NOT MAKE FLUSH CUTS OR LEAVE STUBS WHEN PRUNING. LEAVE THE BRANCH COLLAR INTACT.
2. DO NOT USE ANY TYPE OF PRUNING PAINT ON WOUNDS.
3. DO NOT USE ANY TYPE OF TREE WRAP, EXCEPT, TRUNKS MAY BE WRAPPED WITH BURLAP DURING PLANTING OPERATIONS ONLY.
4. STAKE AND GUY ANY TREES AS PER DETAIL. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUYS AFTER TREES HAVE BEEN IN THE GROUND 6 MONTHS, AND BEFORE THE ONE YEAR ANNIVERSARY OF PLANTING.
5. DO NOT HANDLE ANY TREE BY ITS TRUNK. ANY TREE HANDLED IN SUCH A MANNER SHOULD BE REJECTED.
- F. WARRANTY
1. UNCONDITIONALLY WARRANT ALL PLANTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF INSTALLATION INITIAL ACCEPTANCE. REPLACE MATERIALS NOT IN VIGOROUS, THRIVING CONDITION AS SOON AS WEATHER PERMITS AFTER NOTIFICATION BY OWNERS THAT THE PLANTS HAVE DIED OR ARE OTHERWISE NOT ACCEPTABLE. GUARANTEE REPLACEMENT PLANTS FOR ONE YEAR, STARTING FROM THE DATE REPLACEMENT IS MADE.
2. WARRANTY EXCLUDES REPLACEMENT OF PLANTS BECAUSE OF INJURY BY STORM, NATURAL DROUGHT, DROWNING, HAIL OR FREEZING, IF REASONABLE CARE WAS TAKEN TO ADEQUATELY PROTECT THE MATERIAL, AND IN THE OPINION OF THE OWNER'S REPRESENTATIVE THAT THE PROBLEM OCCURRED AFTER THE DATE OF INITIAL ACCEPTANCE.

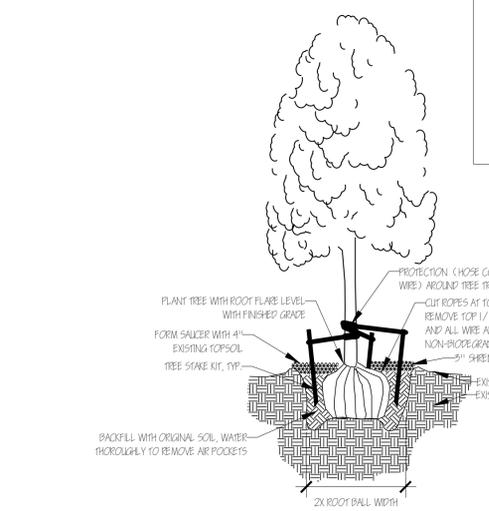
PART 3 - EXECUTION

- A. PREPARATION FOR PLANT MATERIAL INSTALLATION
1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED, VERIFY GRADE ELEVATIONS AND VERIFY THAT BEDS HAVE BEEN LEFT LOW BY OTHER TRADES. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CONFIRM THAT UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED PRIOR TO PROCEEDING.
- B. TIME OF PLANTING
1. CARE IS TO BE TAKEN SO THAT NO PLANTS SIT IN POTS IN THE SUMMER HEAT FOR MORE THAN 1 HOUR. IF PLANTING DURING HOT SEASONS (NOT PREFERRED) PLANTING IS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
- C. TREE PLANTING
1. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
2. DIG PITS WITH ROUGH SIDES AND WHICH HAVE TAPERED WALLS, A MINIMUM OF TWICE THE WIDTH OF THE TREE BALL. A PEDESTAL SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
3. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL, PLUM AND VERTICAL, AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALL WILL BE LEVEL WITH THE SURROUNDING GRADE.
4. ALL PLANTS SHALL BE SET TO MEET THE SAME RELATIONSHIP TO THE FINISHED GRADE OF THE SURROUNDING SOIL THAT THEY BORE TO PREVIOUS EXISTING GRADE OF SOIL.
5. BACKFILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
6. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE WATERING. REMOVE PRIOR TO MULCHING.
7. COVER ALL TREE BALLS WITH A MINIMUM OF 3" OF SPECIFIED MULCH. EXTEND MULCH OUT TO THE EDGE OF THE TREE PIT, BUT KEEP AWAY FROM TRUNKS.
8. ALL EXCAVATED MATERIAL UNACCEPTABLE FOR REUSE SHALL BE DISPOSED OF OFF SITE, OR AS DIRECTED BY THE OWNER.
- D. SHRUBS, TALL GRASSES AND PERENNIAL PLANTING
1. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
2. GENTLY CUT OUTER ROOTS OF ANY ROOTBALLS THAT HAVE "POT-BOUND" PRIOR TO INSTALLATION.
3. COVER PLANTING BEDS WITH A MINIMUM 3" LAYER OF SPECIFIED MULCH.
- E. SOD PLANTING
1. LAY SOD IN AN ORDERLY MANNER TO COVER ALL BARE SOIL AREAS.
2. WATER ALL AREAS OF THE SOD UNTIL THOROUGHLY WET.
3. ROLL SOD WITH A SOD ROLLER AFTER 24 HOURS AFTER LAYING AND WATERING SOD TO OBTAIN A UNIFORM, SMOOTH FINISH.
4. FILL JOINTS WITH COMPOST IF NECESSARY TO FORM A UNIFORM GRASS LAYER.
5. KEEP SOD ADEQUATELY WATERED UNTIL SOD MAKES A FIRM CONNECTION TO THE SOIL.
- F. SEED PLANTING
1. AREAS SHALL BE RAKED TO A DEPTH OF 1/2", SMOOTH AND FREE OF STONES AND DEBRIS.
2. APPLY SEED EVENLY AT THE RATE RECOMMENDED.
3. RAKE AND WATER TO ESTABLISH A FIRM CONNECTION OF THE SEED TO THE SOIL.
4. KEEP SEED AREA MOIST (NOT WET) UNTIL SEED GERMINATES AND GRASS IS APPROX. 1/2" IN HEIGHT.
5. KEEP AREA ADEQUATELY WATERED UNTIL A STAND OF THE GRASS IS ESTABLISHED.
6. RE-SEED TO ESTABLISH A THICK STAND OF GRASS IF NECESSARY.

- END OF SECTION 02915



TREE STAKE DETAIL
 Scale: 1/2" = 1'



TREE PLANTING
 Scale: Not to scale

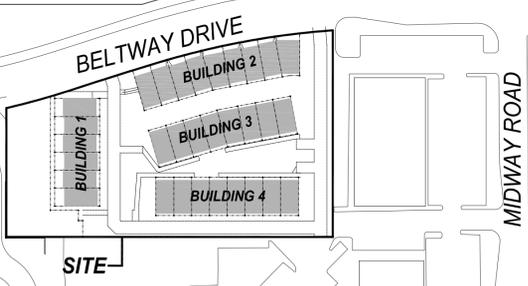
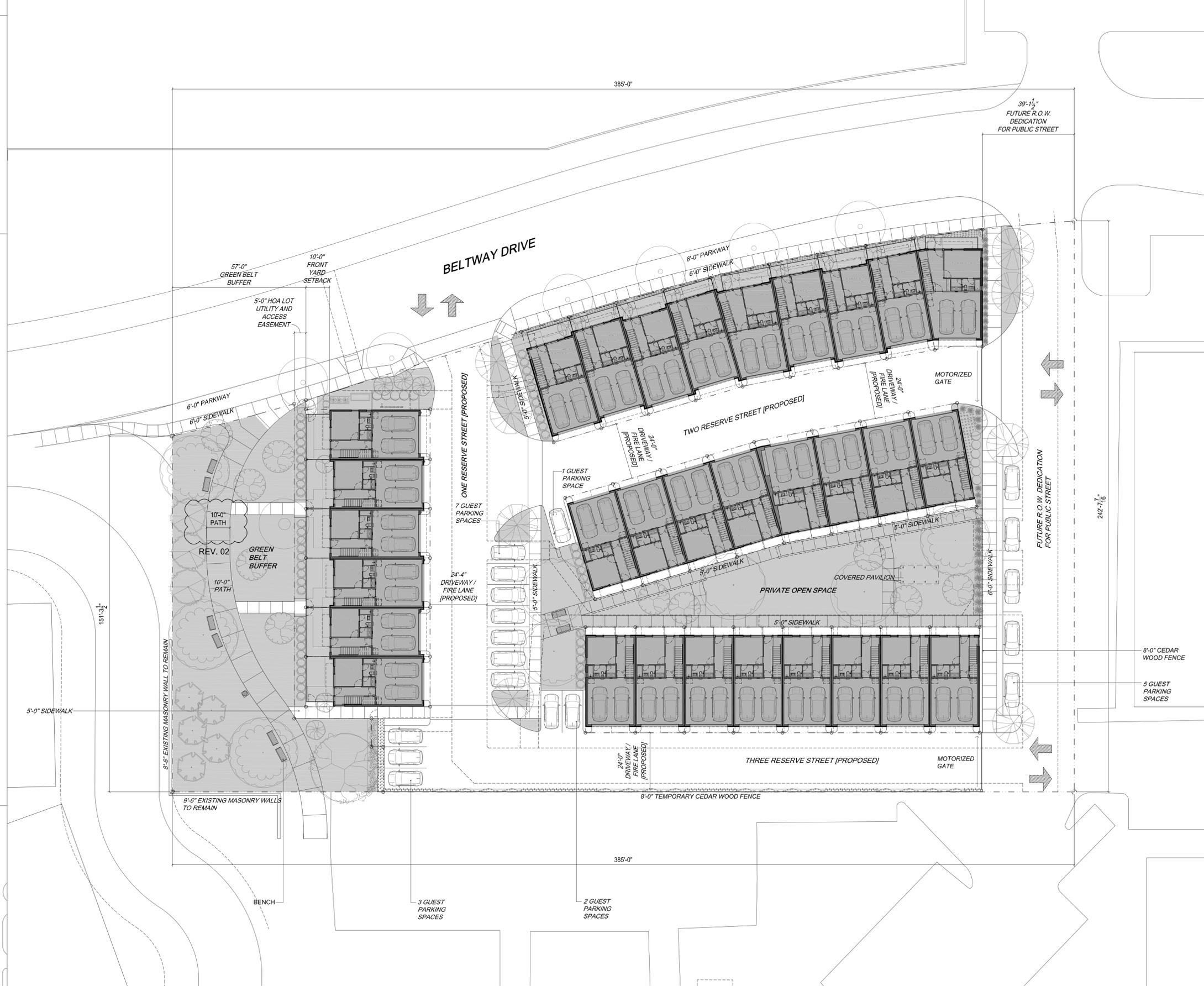
 P.O. Box 832346, Richardson, Texas 75083 Mobile: 972.525-4944 card@feldmandesign.com	NO.	ITEM DESCRIPTION	DATE:	LANDSCAPE DETAILS
	1.	SITE PLAN SUBMITTAL	7.28.22	
	2.	REVISED PER CITY COMMENTS	8.31.22	
	3.			
	4.			
	5.			
	6.			
7.				
These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245 Carol Feldman	ADDISON RESERVE 4150 BELTWAY DRIVE ADDISON TEXAS LOTS 1-37/BLOCK A			SHEET NO. L1.03

OPEN SPACE INFORMATION	
SITE AREA:	1,8039 ACRES [78,564 SF]
LANDSCAPE AREA:	18,000 SF
	18,000 SF / 78,564 SF = 23% > 20% REQUIRED
OPEN SPACE AREA:	
GREENBELT PARK DEDICATION	9,330 SF
GREENBELT PARK HOA EASEMENT	897 SF
RESERVE PARK, PRIVATE OPEN SPACE	5,537 SF (INCLUDING SIDEWALKS & PAVILION)
OTHER LANDSCAPE AREAS	3,506 SF
TOTAL	19,270 SF
	19,270 SF / 78,564 SF = 24.5% OPEN SPACE
WATER RESOURCE ZONE:	NOT REQUIRED

REV. 02

**REFERENCE *SITE PLAN* FOR MORE INFORMATION REGARDING SITE PLAN ELEMENTS.

OPEN SPACE



SCALE: 1" = 100'-0"

VICINITY MAP 02

SCALE: 1" = 20'-0"

OPEN SPACE PLAN 01

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 E: jnichols@coastogroup.com

Date: 06.20.2022
 Issue: 08.01.2022
 08.31.2022
SITE PLAN REVIEW PACKAGE
REVISION 01
REVISION 02
THOMAS L CHENOWETH SURVEY,
ABSTRACT NO. 273
TOWN PROJECT NO. 1846-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
 L1.04

LEGEND

PHASE 1 - DEMOLITION AND SITE INFRASTRUCTURE

1A: SITE INFRASTRUCTURE
[EASEMENTS, UTILITY + SERVICE LINES]

1B: PAVING

PHASE 2 - CONSTRUCTION OF BUILDINGS

2A: BUILDING 1

2B: BUILDING 4

2C: BUILDING 3

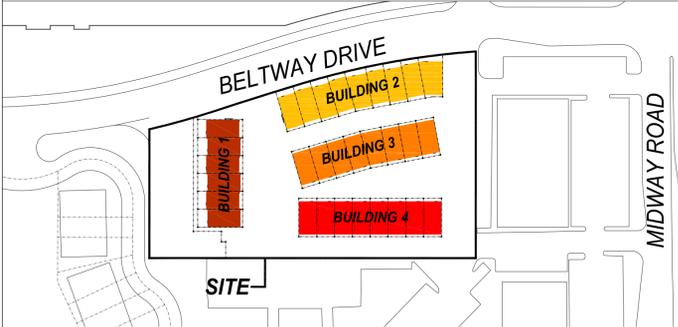
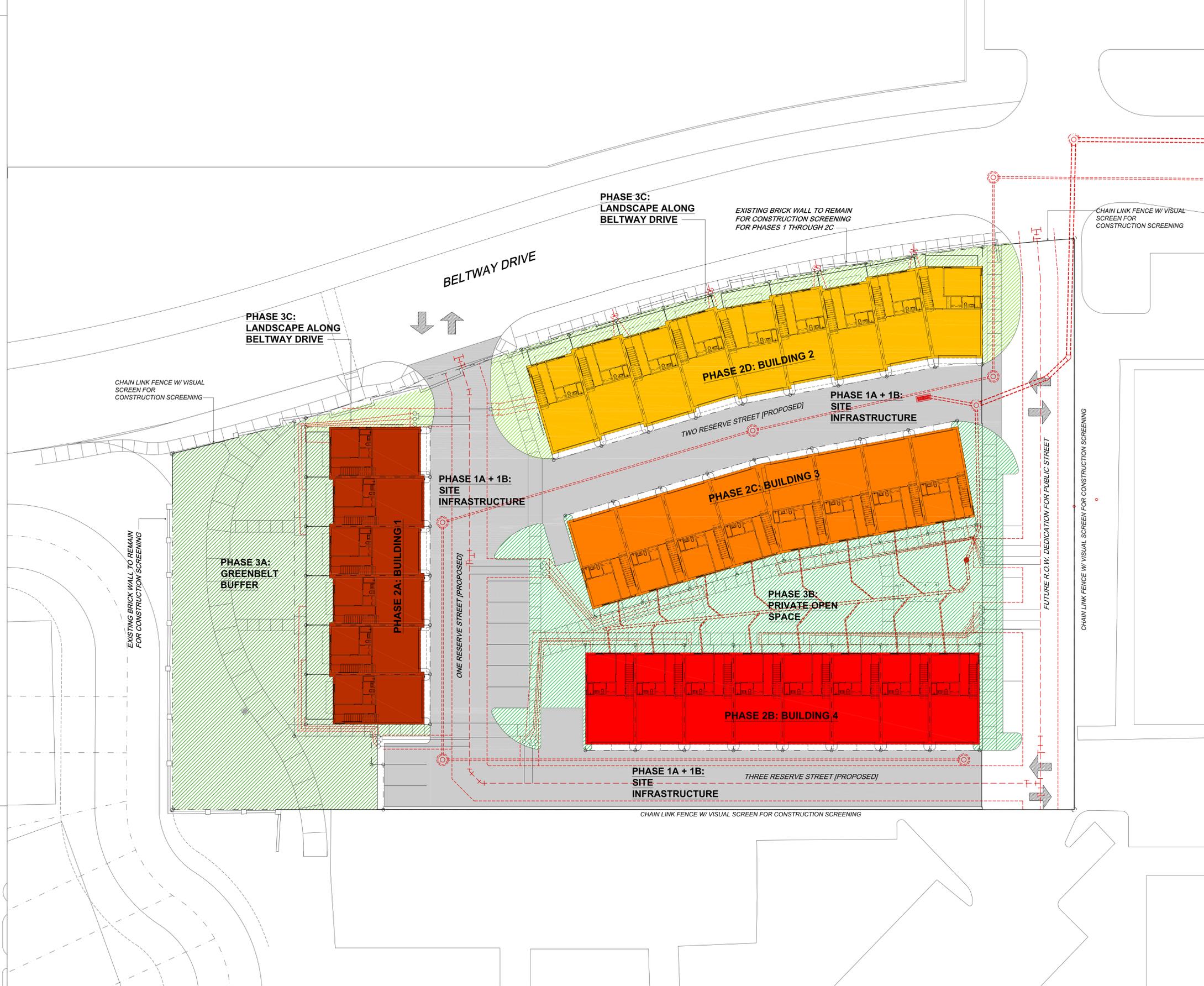
2D: BUILDING 2

PHASE 3 - LANDSCAPING, PARK WORK, + ADJACENT FLATWORK
[TO BE COMPLETED NEAR COMPLETION OF ADJACENT UNITS]

3A: GREENBELT BUFFER

3B: PRIVATE OPEN SPACE

3C: LANDSCAPE ALONG BELTWAY DRIVE



SCALE: 1" = 100'-0"

VICINITY MAP 02

SCALE: 1" = 20'-0"

CASE NO. 1856-Z

CONSTRUCTION PHASING EXHIBIT 01

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09.14.2022	REVISION 03

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TOWN PROJECT NO. 1856-Z



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4150 BELTWAY DRIVE ADDISON, TEXAS 75001
LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
CONSTRUCTION PHASE - EXHIBIT

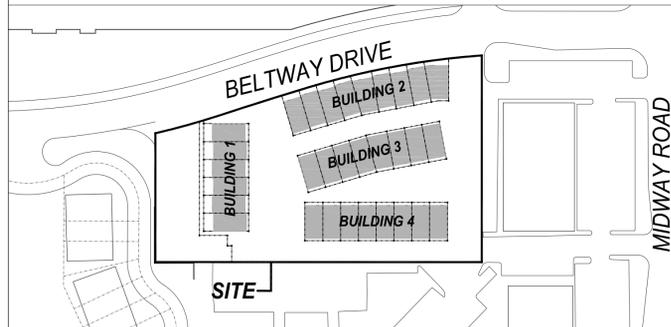
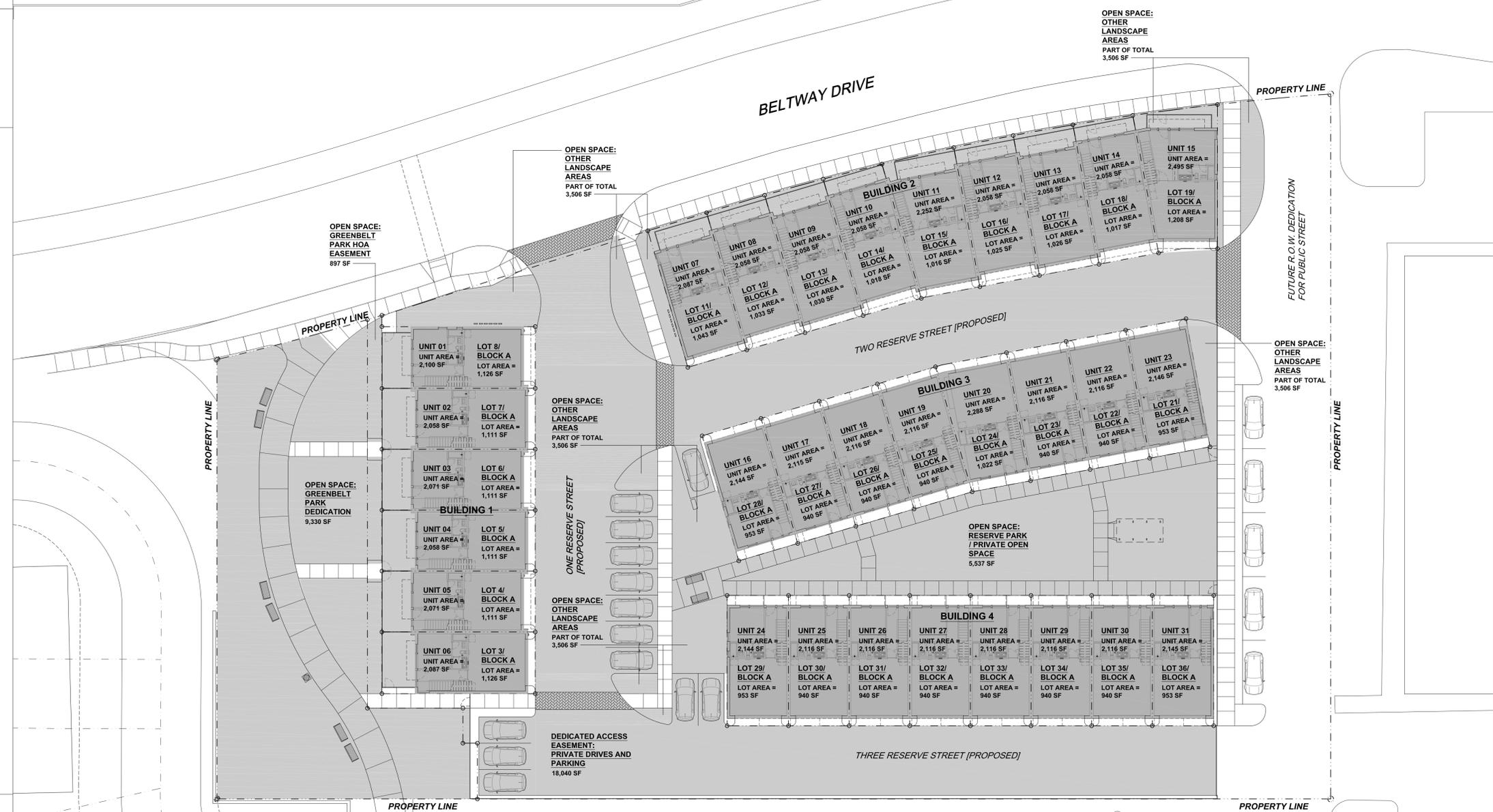
BUILDING LOT AREAS:

	BUILDING 1						BUILDING 2						BUILDING 3						BUILDING 4						**REFERENCE CONCEPT PLAN [SHEET A0.00] FOR SQUARE FOOTAGE AND ACREAGE OF LOTS 1X, 2X, 9X, 10X, 20X, AND 37X							
	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8	UNIT 9	UNIT 10	UNIT 11	UNIT 12	UNIT 13	UNIT 14	UNIT 15	UNIT 16	UNIT 17	UNIT 18	UNIT 19	UNIT 20	UNIT 21	UNIT 22	UNIT 23	UNIT 24		UNIT 25	UNIT 26	UNIT 27	UNIT 28	UNIT 29	UNIT 30	UNIT 31
	LOT 8, BLK A	LOT 7, BLK A	LOT 6, BLK A	LOT 5, BLK A	LOT 4, BLK A	LOT 3, BLK A	LOT 11, BLK A	LOT 12, BLK A	LOT 13, BLK A	LOT 14, BLK A	LOT 15, BLK A	LOT 16, BLK A	LOT 17, BLK A	LOT 18, BLK A	LOT 19, BLK A	LOT 28, BLK A	LOT 27, BLK A	LOT 26, BLK A	LOT 25, BLK A	LOT 24, BLK A	LOT 23, BLK A	LOT 22, BLK A	LOT 21, BLK A	LOT 29, BLK A		LOT 30, BLK A	LOT 31, BLK A	LOT 32, BLK A	LOT 33, BLK A	LOT 34, BLK A	LOT 35, BLK A	LOT 36, BLK A
LOT AREA (SF)	1,126 SF	1,111 SF	1,111 SF	1,111 SF	1,111 SF	1,126 SF	1,043 SF	1,033 SF	1,030 SF	1,018 SF	1,116 SF	1,025 SF	1,026 SF	1,017 SF	1,208 SF	953 SF	940 SF	940 SF	940 SF	1,022 SF	940 SF	940 SF	953 SF	953 SF	940 SF	940 SF	940 SF	940 SF	940 SF	940 SF	953 SF	
LOT AREA (ACRE)	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.03 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE	.02 ACRE															
UNIT AREA (SF)	2,100 SF	2,058 SF	2,071 SF	2,058 SF	2,071 SF	2,087 SF	2,087 SF	2,058 SF	2,058 SF	2,058 SF	2,252 SF	2,058 SF	2,058 SF	2,058 SF	2,495 SF	2,144 SF	2,115 SF	2,116 SF	2,116 SF	2,288 SF	2,116 SF	2,146 SF	2,144 SF	2,116 SF	2,116 SF	2,116 SF	2,116 SF	2,116 SF	2,116 SF	2,145 SF		

SITE PLAN INFORMATION

**REFERENCE SITE PLAN FOR MORE INFORMATION REGARDING SITE PLAN ELEMENTS.

	OPEN SPACE
OPEN SPACE AREA:	
GREENBELT PARK DEDICATION	9,330 SF
GREENBELT PARK HOA EASEMENT	897 SF
RESERVE PARK, PRIVATE OPEN SPACE LANDSCAPE [EXCLUDING SIDEWALKS AND PAVILION]	5,537 SF (INCLUDING SIDEWALKS & PAVILION)
LANDSCAPE [INCLUDING SIDEWALKS AND PAVILION]	18,000 SF
LANDSCAPE [INCLUDING SIDEWALKS AND PAVILION]	19,270 SF
TOTAL	19,270 SF
	19,270 SF / 78,564 SF
	= 24.5% OF SITE IS LANDSCAPE
	18,000 SF
	18,000 SF / 78,564 SF
	= 23% OF SITE IS PERMEABLE



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1" = 20'-0"



CASE NO. 1856-Z

LOT PLAN 01

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31-UNIT MULTIFAMILY DEVELOPMENT
4150 BELTWAY DRIVE ADDISON, TEXAS 75001
LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A0.02

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	153 SF	3.2%
GLAZING:	1,995 SF	42.5%
MASONRY:	1,473 SF	31.4%
BOARD AND BATTEN HARDIE:	1,075 SF	22.9%
TOTAL FACADE:	4,696 SF	100.0%
% OF FACADE FRONT DOOR, GLAZING AND MASONRY:	3,621 SF	77.1%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

RAIN GUTTER
 METAL, RAIN GUTTER,
 SQUARE

GUARDRAIL
 STEEL BAR GUARDRAIL

SLIDING GLASS DOOR
 VINYL FRAME SLIDING
 GLASS DOOR
 WITH 3/4" INSULATED,
 LOW-E, GLASS

WINDOW
 VINYL FRAME WINDOW,
 WITH 3/4" INSULATED,
 LOW-E, GLASS

T.O. PLATE - LEVEL 3
 = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
 = 122'-4 1/8"

T.O. PLATE - LEVEL 2
 = 120'-8 1/4"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 2
 = 110'-7 7/8"

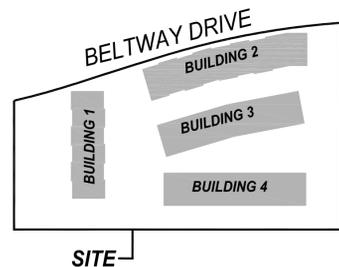
T.O. PLATE - LEVEL 1
 = 109'-0"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
 = 100'-0"



MATCHLINE



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

WEST ELEVATION - BUILDING 1

01

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Date: 06.20.2022
 Issue: **SITE PLAN REVIEW PACKAGE**

THOMAS L CHENOWETH SURVEY,
ABSTRACT NO. 273
TOWN PROJECT NO. 1846-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.01

*** REF. A5.01 FOR MATERIAL PERCENTAGES



ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

DOWNSPOUT
 METAL DOWNSPOUT,
 SQUARE

T.O. PLATE - LEVEL 3
 = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
 = 122'-4 1/8"

T.O. PLATE - LEVEL 2
 = 120'-8 1/4"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

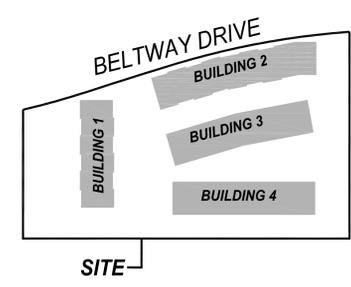
STEEL FENCE BEYOND

F.F. EL. - LEVEL 2
 = 110'-7 7/8"

T.O. PLATE - LEVEL 1
 = 109'-0"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
 = 100'-0"



SCALE: 1" = 100'-0" VICINITY MAP 02

SCALE: 1/4" = 1'-0"

WEST ELEVATION - BUILDING 1 01

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31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
A5.02

APPROXIMATE MATERIAL PERCENTAGES:			
WOOD FRONT DOOR:	0 SF	0%	
GLAZING:	293 SF	17.8%	
MASONRY:	680 SF	41.3%	
BOARD AND BATTEN HARDIE:	675 SF	40.9%	
TOTAL FACADE:	1,648 SF	100.0%	
% OF FACADE			
GLAZING AND MASONRY:	973 SF	59%	

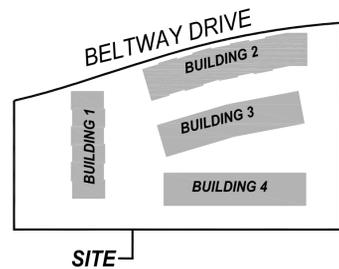
ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

WINDOW
 VINYL FRAME WINDOW,
 WITH 3/4" INSULATED,
 LOW-E, GLASS

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

NORTH ELEVATION - BUILDING 1

01

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 ABSTRACT NO. 273
 TOWN PROJECT NO. 1846-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.03

APPROXIMATE MATERIAL PERCENTAGES:			
STEEL GARAGE DOOR:	776	SF	17.6%
GLAZING:	546	SF	12.4%
MASONRY:	424	SF	9.6%
BOARD AND BATTEN HARDIE:	2,656	SF	60.3%
TOTAL FACADE:	4,402	SF	100.0%
% OF FACADE			
GLAZING AND MASONRY:	970	SF	22%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

RAIN GUTTER
 METAL, RAIN GUTTER,
 SQUARE

DOWNSPOUT
 METAL DOWNSPOUT,
 SQUARE

T.O. PLATE - LEVEL 3
 = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 'ZIP SYSTEM' WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
 = 122'-4 1/8"

T.O. PLATE - LEVEL 2
 = 120'-8 1/4"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 'ZIP SYSTEM' WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

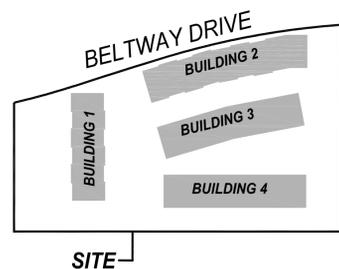
F.F. EL. - LEVEL 2
 = 110'-7 7/8"

T.O. PLATE - LEVEL 1
 = 109'-0"

GARAGE DOOR
 THERMALLY INSULATED STEEL
 GARAGE DOOR, FLUSH PANEL

F.F. ELEVATION - LEVEL 1
 = 100'-0"

WINDOW
 VINYL FRAME WINDOW,
 WITH 3/4" INSULATED,
 LOW-E, GLASS



SCALE: 1" = 100'-0"



VICINITY MAP

02

EAST ELEVATION - BUILDING 1

01

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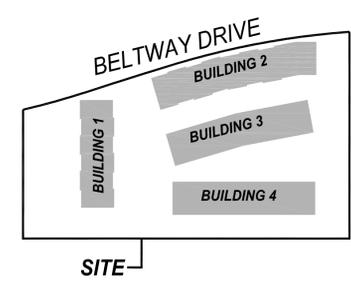
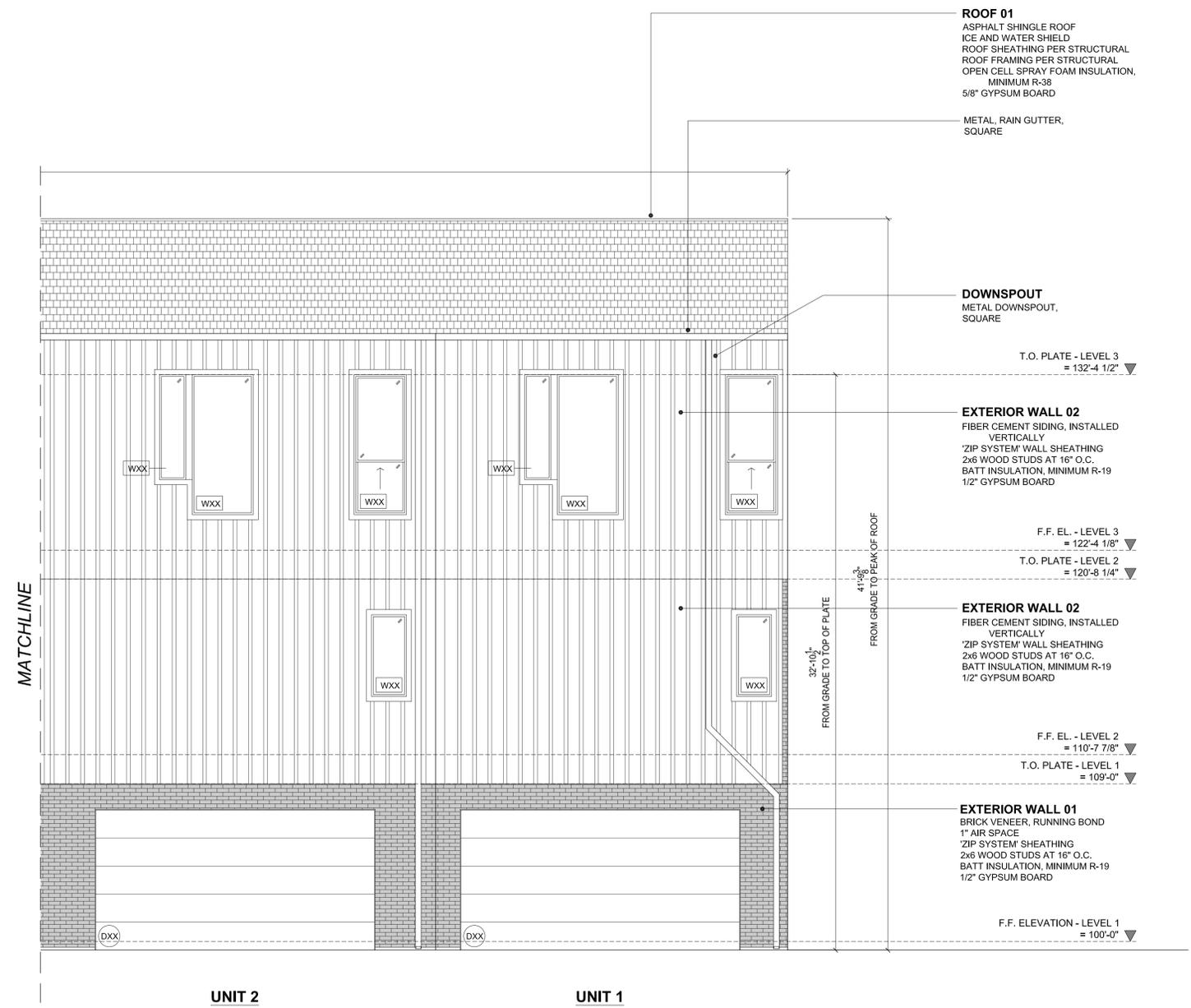
THOMAS L CHENOWETH SURVEY,
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 TOWN PROJECT NO. 1846-Z



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31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.04

*** REF. A5.04 FOR MATERIAL PERCENTAGES



SCALE: 1" = 100'-0"  VICINITY MAP 02

EAST ELEVATION - BUILDING 1 01

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ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
A5.05

APPROXIMATE MATERIAL PERCENTAGES:			
WOOD FRONT DOOR:	0 SF	0%	
GLAZING:	164 SF	9.9%	
MASONRY:	792 SF	48.1%	
BOARD AND BATTEN HARDIE:	692 SF	41.9%	
TOTAL FACADE:	1,648 SF	100.0%	
% OF FACADE			
GLAZING AND MASONRY:	956 SF	58%	

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

WINDOW
 VINYL FRAME WINDOW,
 WITH 3/4" INSULATED,
 LOW-E, GLASS

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

GUARDRAIL
 STEEL BAR GUARDRAIL

FENCE
 IRON FENCE AND GATE,
 INSTALLED WITH PICKETS
 VERTICALLY

T.O. PLATE - LEVEL 3
 = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
 = 122'-4 1/8"

T.O. PLATE - LEVEL 2
 = 120'-8 1/4"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 2
 = 110'-7 7/8"

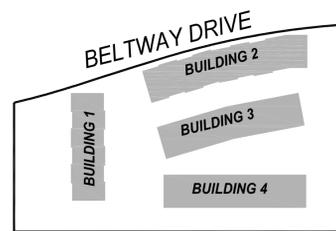
T.O. PLATE - LEVEL 1
 = 109'-0"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
 = 100'-0"

39'-0 3/8"

UNIT 6



SITE

SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION - BUILDING 1 01

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 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.06

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	96 SF	2.8%
GLAZING:	1,083 SF	32.7%
MASONRY:	1,155 SF	34.9%
BOARD AND BATTEN HARDIE:	981 SF	29.6%
TOTAL FACADE:	3,314 SF	100.0%
% OF FACADE FRONT DOOR, GLAZING AND MASONRY:		
	2,210 SF	70.4%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD



SCALE: 1" = 100'-0" VICINITY MAP 02

SCALE: 1/4" = 1'-0"

NORTH ELEVATION - BUILDING 2 01

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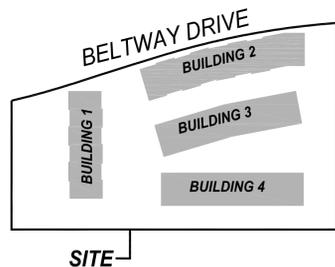
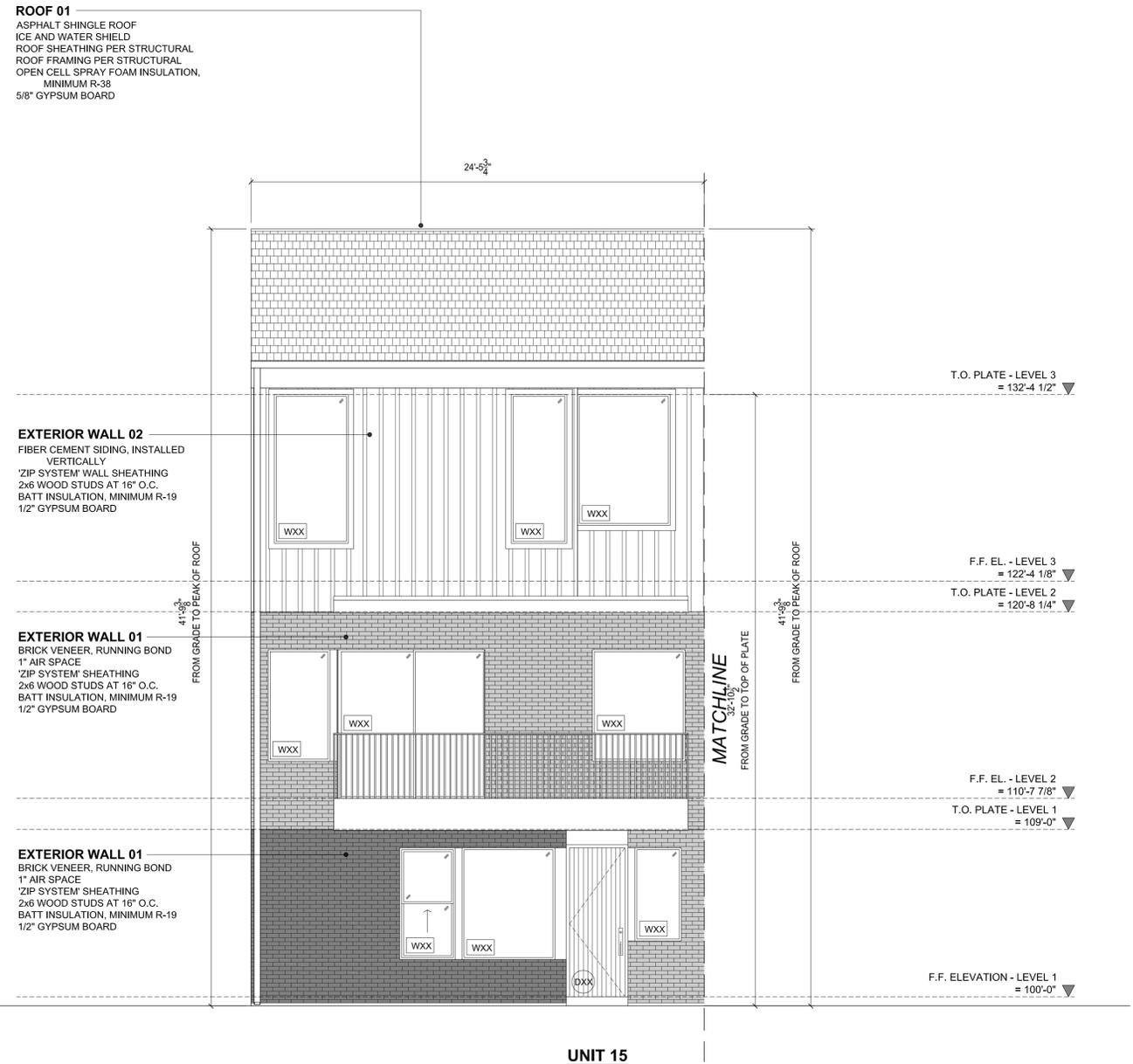
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A5.08

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	24 SF	2.8%
GLAZING:	292 SF	34.8%
MASONRY:	314 SF	37.4%
BOARD AND BATTEN HARDIE:	210 SF	25%
TOTAL FACADE:	839 SF	100.0%
% OF FACADE FRONT DOOR, GLAZING AND MASONRY:	630 SF	75%



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

NORTH ELEVATION - BUILDING 2

01

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 Issue: **SITE PLAN REVIEW PACKAGE**

THOMAS L CHENOWETH SURVEY,
ABSTRACT NO. 273
TOWN PROJECT NO. 1846-Z

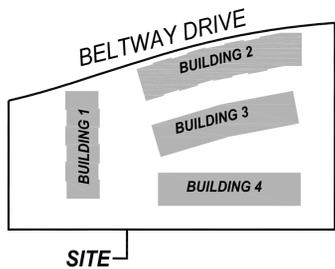
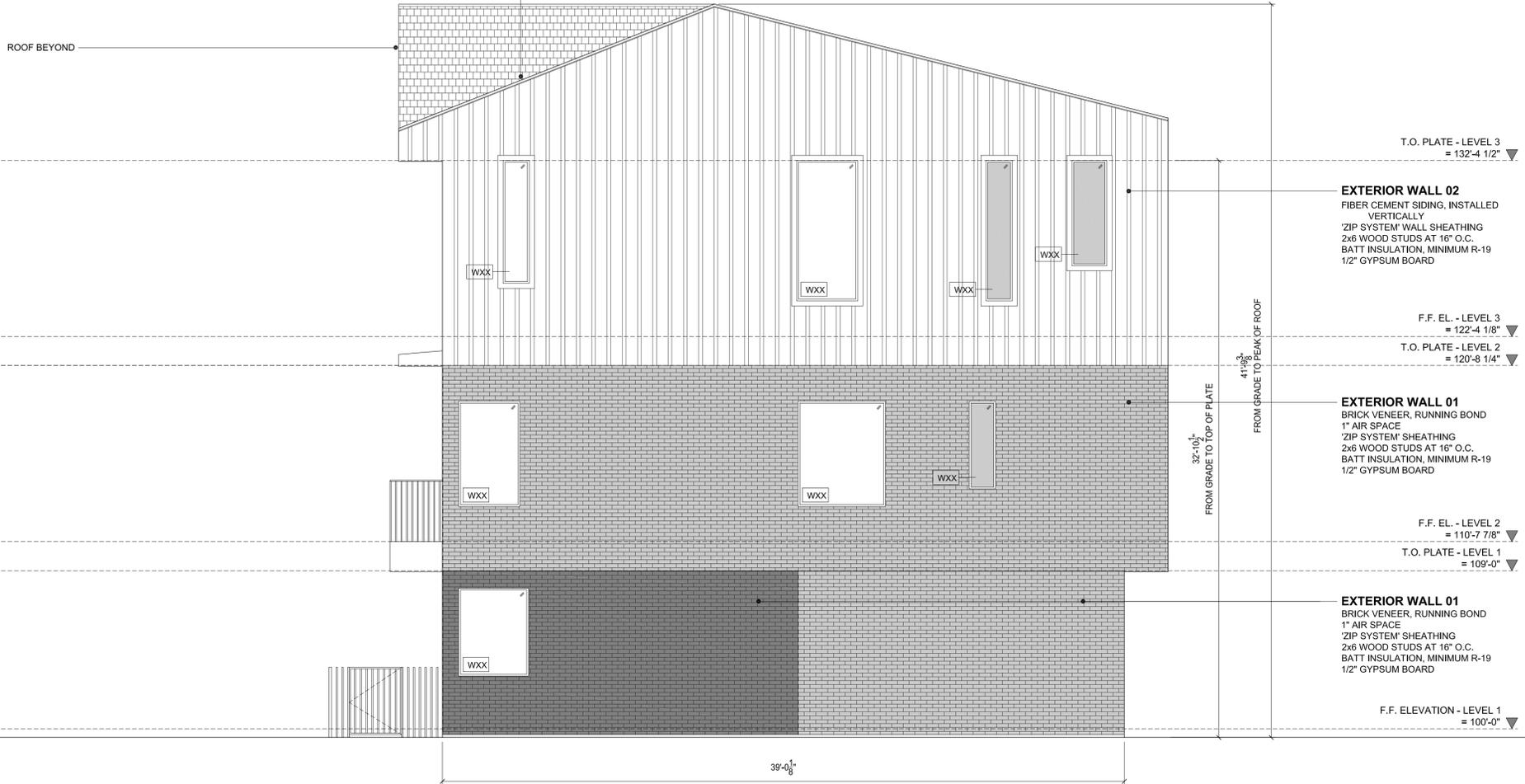


ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.09

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	0 SF	0%
GLAZING:	164 SF	10.3%
MASONRY:	777 SF	49%
BOARD AND BATTEN HARDIE:	643 SF	40.5%
TOTAL FACADE:	1,585 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	941 SF	59%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

WEST ELEVATION - BUILDING 2

01

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ABSTRACT NO. 273
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ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.10

APPROXIMATE MATERIAL PERCENTAGES:		
STEEL GARAGE DOOR:	512 SF	17.1%
GLAZING:	371 SF	12.4%
MASONRY:	303 SF	10.2%
BOARD AND BATTEN HARDIE:	1,803 SF	60.3%
TOTAL FACADE:	2,990 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	674 SF	22.5%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

T.O. PLATE - LEVEL 3
 = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
 = 122'-4 1/8"
 T.O. PLATE - LEVEL 2
 = 120'-8 1/4"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 2
 = 110'-7 7/8"
 T.O. PLATE - LEVEL 1
 = 109'-0"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
 = 100'-0"

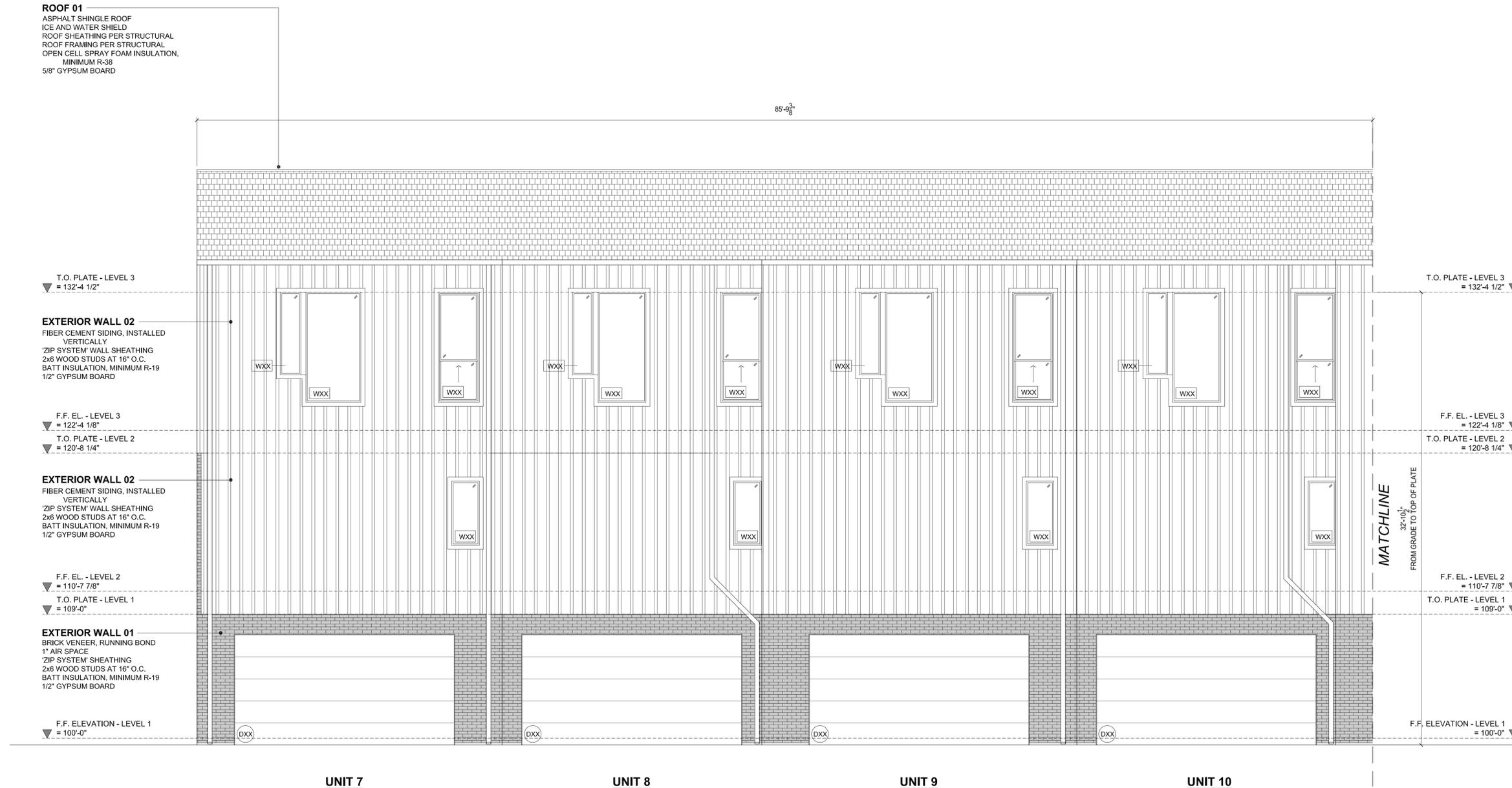
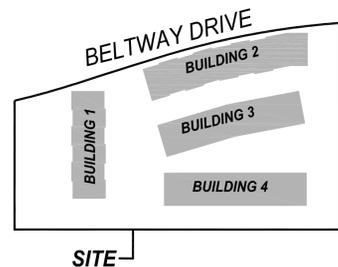
T.O. PLATE - LEVEL 3
 = 132'-4 1/2"

F.F. EL. - LEVEL 3
 = 122'-4 1/8"
 T.O. PLATE - LEVEL 2
 = 120'-8 1/4"

F.F. EL. - LEVEL 2
 = 110'-7 7/8"
 T.O. PLATE - LEVEL 1
 = 109'-0"

F.F. ELEVATION - LEVEL 1
 = 100'-0"

MATCHLINE
 32'-10 1/2"
 FROM GRADE TO TOP OF PLATE



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION - BUILDING 2

01

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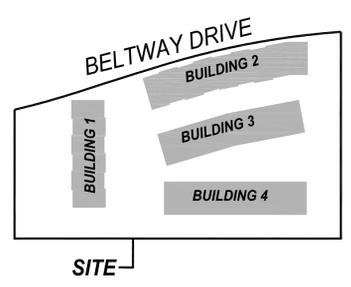
THOMAS L CHENOWETH SURVEY,
 ABSTRACT NO. 273
 TOWN PROJECT NO. 1846-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.11

APPROXIMATE MATERIAL PERCENTAGES:			
STEEL GARAGE DOOR:	512 SF	17.9%	
GLAZING:	368 SF	12.8%	
MASONRY:	267 SF	9.3%	
BOARD AND BATTEN HARDIE:	1,711 SF	59.8%	
TOTAL FACADE:	2,859 SF	100.0%	
% OF FACADE			
GLAZING AND MASONRY:	635 SF	22.2%	



SCALE: 1" = 100'-0" VICINITY MAP **02**

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION - BUILDING 2 **01**

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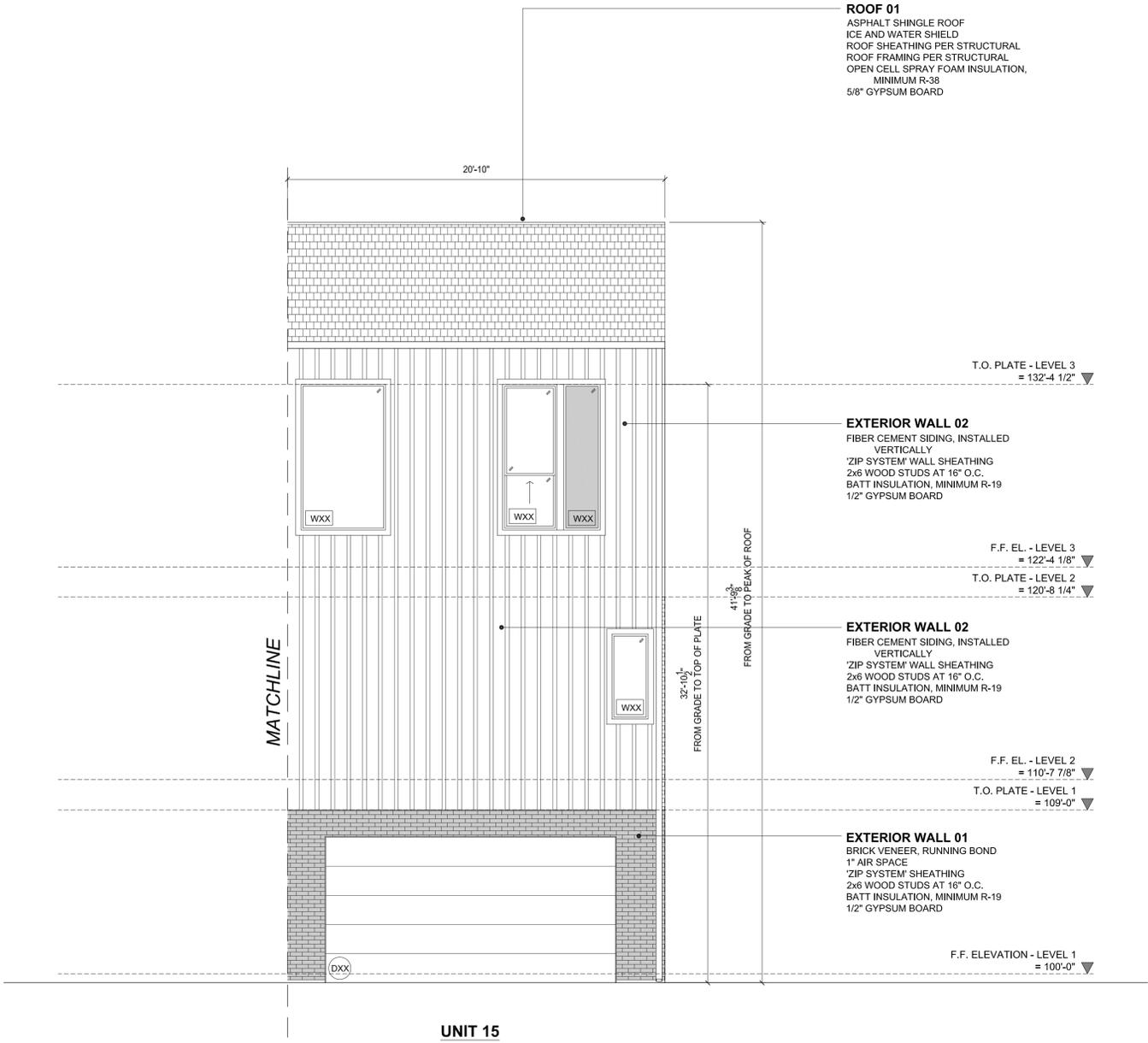
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ABSTRACT NO. 273
TOWN PROJECT NO. 1846-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
A5.12

APPROXIMATE MATERIAL PERCENTAGES:		
STEEL GARAGE DOOR:	128 SF	17.6%
GLAZING:	110 SF	15.1%
MASONRY:	70 SF	9.6%
BOARD AND BATTEN HARDIE:	418 SF	57.6%
TOTAL FACADE:	726 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	180 SF	24.7%

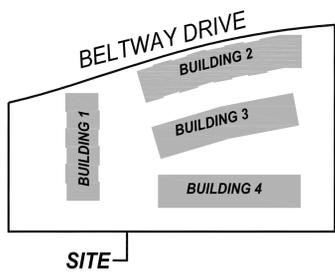


ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 'ZIP SYSTEM' WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 'ZIP SYSTEM' WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 'ZIP SYSTEM' SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION - BUILDING 2

01

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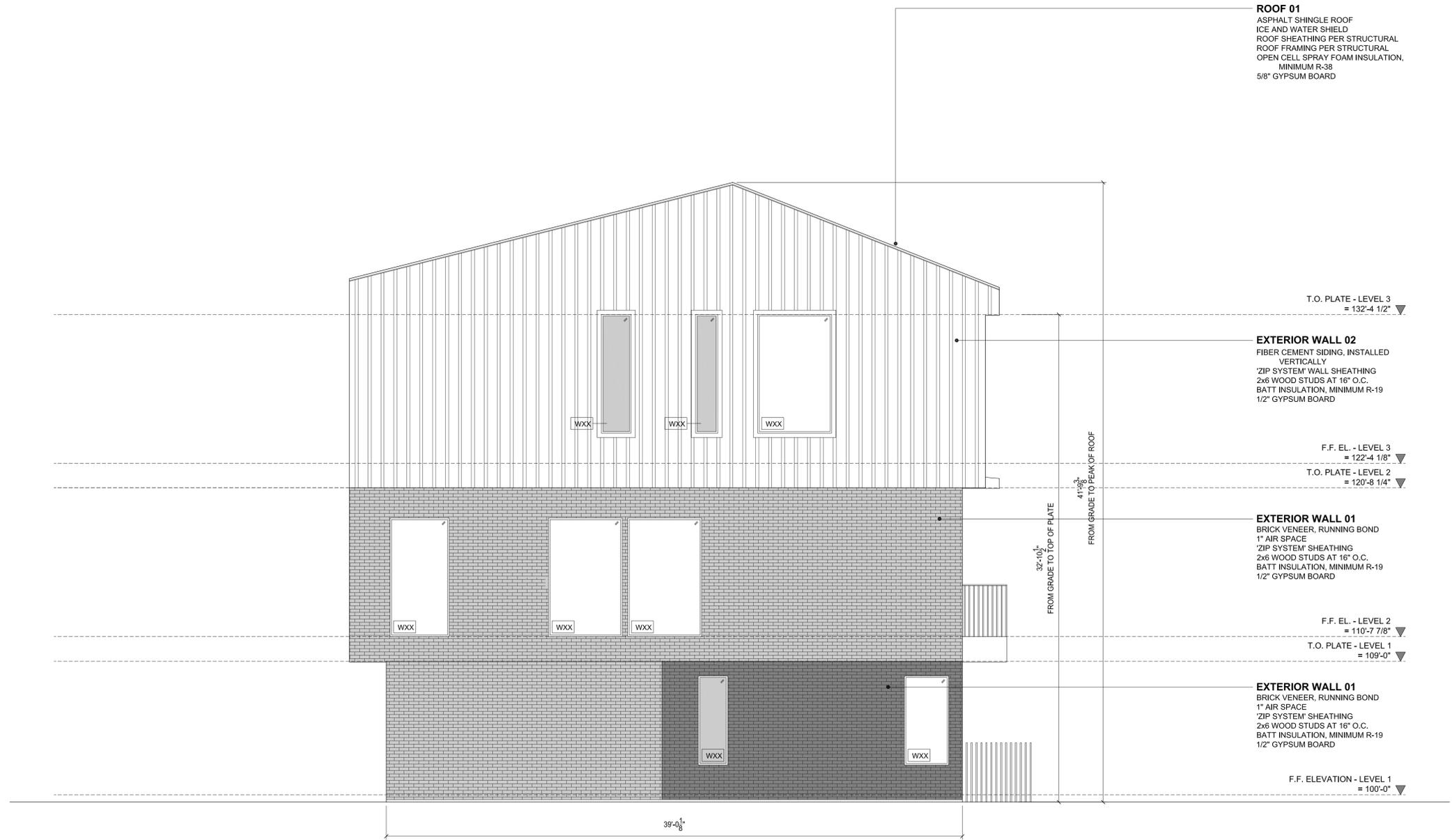
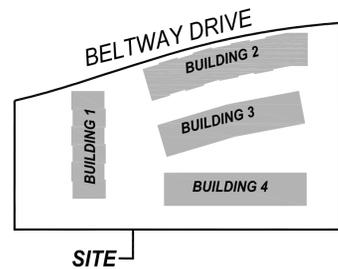
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31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.13

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	0 SF	0%
GLAZING:	230 SF	14.3%
MASONRY:	714 SF	44.5%
BOARD AND BATTEN HARDIE:	659 SF	41.1%
TOTAL FACADE:	1,603 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	944 SF	59%



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

EAST ELEVATION - BUILDING 2

01

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31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.14

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	96 SF	3.1%
GLAZING:	945 SF	30.5%
MASONRY:	735 SF	23.7%
BOARD AND BATTEN HARDIE:	1,324 SF	42.7%
TOTAL FACADE:	3,100 SF	100.0%
% OF FACADE FRONT DOOR, GLAZING AND MASONRY:		
	1,776 SF	57.3%

ROOF 01

ASPHALT SHINGLE ROOF
ICE AND WATER SHIELD
ROOF SHEATHING PER STRUCTURAL
ROOF FRAMING PER STRUCTURAL
OPEN CELL SPRAY FOAM INSULATION,
MINIMUM R-38
5/8" GYPSUM BOARD

T.O. PLATE - LEVEL 3
= 132'-4 1/2"

EXTERIOR WALL 02
FIBER CEMENT SIDING, INSTALLED VERTICALLY
ZIP SYSTEM WALL SHEATHING
2x6 WOOD STUDS AT 16" O.C.
BATT INSULATION, MINIMUM R-19
1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
= 122'-4 1/8"

T.O. PLATE - LEVEL 2
= 120'-8 1/4"

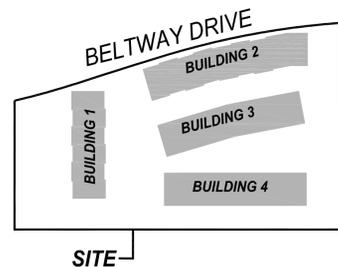
EXTERIOR WALL 01
BRICK VENEER, RUNNING BOND
1" AIR SPACE
ZIP SYSTEM SHEATHING
2x6 WOOD STUDS AT 16" O.C.
BATT INSULATION, MINIMUM R-19
1/2" GYPSUM BOARD

F.F. EL. - LEVEL 2
= 110'-7 7/8"

T.O. PLATE - LEVEL 1
= 109'-0"

EXTERIOR WALL 01
BRICK VENEER, RUNNING BOND
1" AIR SPACE
ZIP SYSTEM SHEATHING
2x6 WOOD STUDS AT 16" O.C.
BATT INSULATION, MINIMUM R-19
1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
= 100'-0"



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION - BUILDING 3

01

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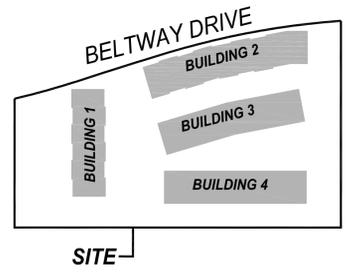


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31-UNIT MULTIFAMILY DEVELOPMENT
4150 BELTWAY DRIVE ADDISON, TEXAS 75001
LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.15

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	96 SF	3.1%
GLAZING:	945 SF	30.6%
MASONRY:	724 SF	23.5%
BOARD AND BATTEN HARDIE:	1,317 SF	42.7%
TOTAL FACADE:	3,082 SF	100.0%
% OF FACADE FRONT DOOR, GLAZING AND MASONRY:	1,765 SF	57.2%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD



SCALE: 1" = 100'-0"

VICINITY MAP 02

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION - BUILDING 3 01

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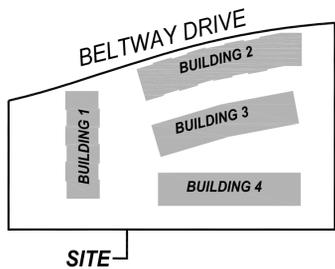


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31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
A5.16

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	0 SF	0%
GLAZING:	138 SF	8.2%
MASONRY:	837 SF	50.3%
BOARD AND BATTEN HARDIE:	689 SF	41.4%
TOTAL FACADE:	1,664 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	975 SF	59%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

ROOF BEYOND



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

EAST ELEVATION - BUILDING 3

01

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A5.17

APPROXIMATE MATERIAL PERCENTAGES:

STEEL GARAGE DOOR:	512 SF	16.9%
GLAZING:	578 SF	19.1%
MASONRY:	303 SF	10%
BOARD AND BATTEN HARDIE:	1,629 SF	63.8%
TOTAL FACADE:	3,022 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	881 SF	29.1%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

T.O. PLATE - LEVEL 3
 ▼ = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
 ▼ = 122'-4 1/8"

T.O. PLATE - LEVEL 2
 ▼ = 120'-8 1/4"

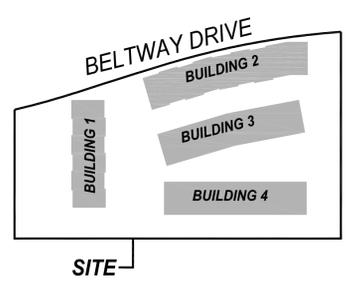
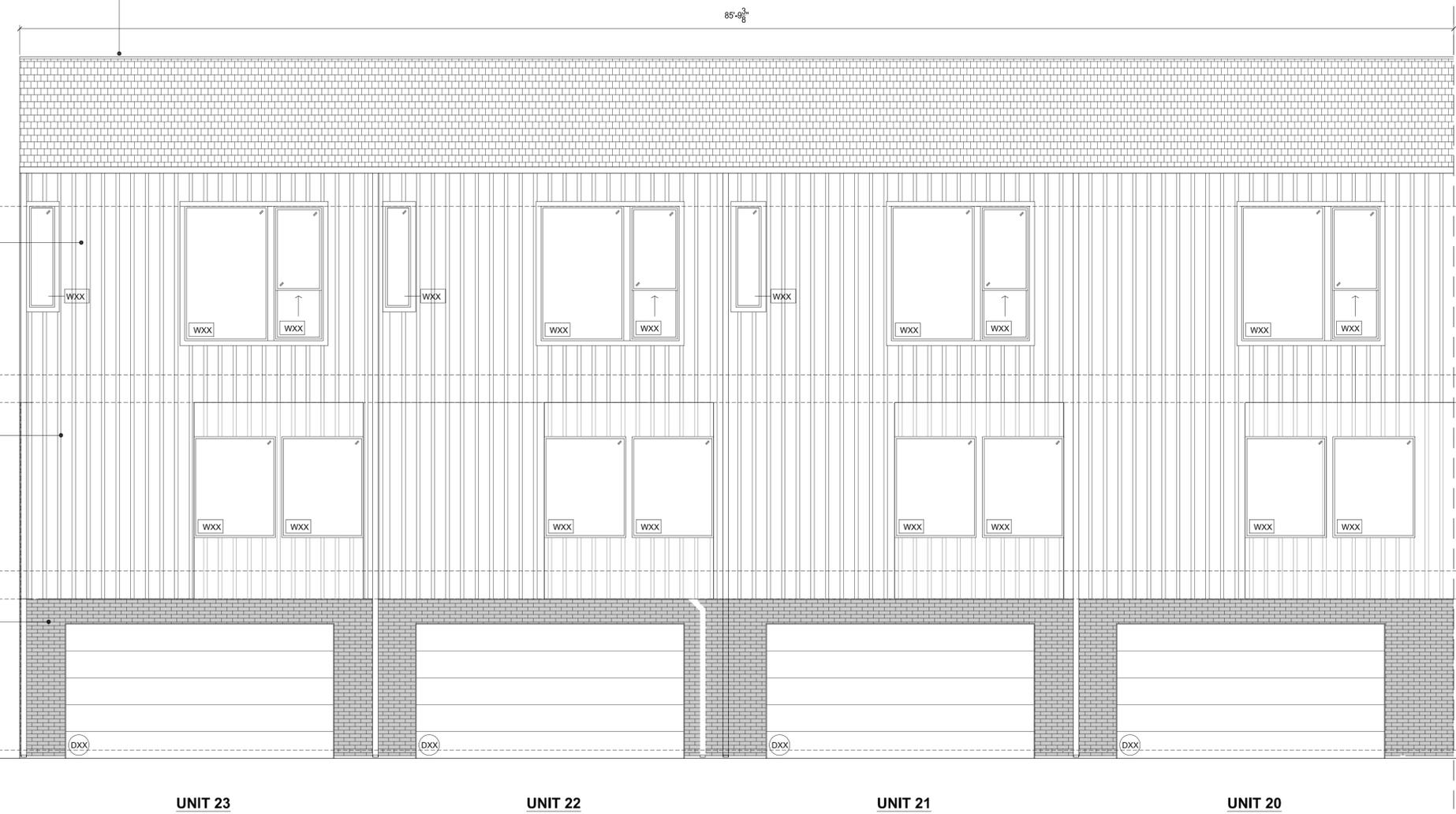
EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 2
 ▼ = 110'-7 7/8"

T.O. PLATE - LEVEL 1
 ▼ = 109'-0"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
 ▼ = 100'-0"



SCALE: 1" = 100'-0" VICINITY MAP **02**

SCALE: 1/4" = 1'-0"

NORTH ELEVATION - BUILDING 3 **01**

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OWNER / DEVELOPER: JOSH NICHOLS, PRINCIPAL
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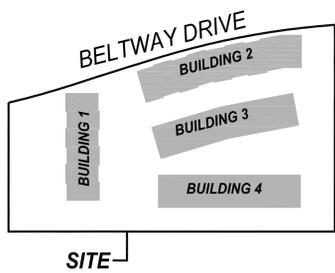
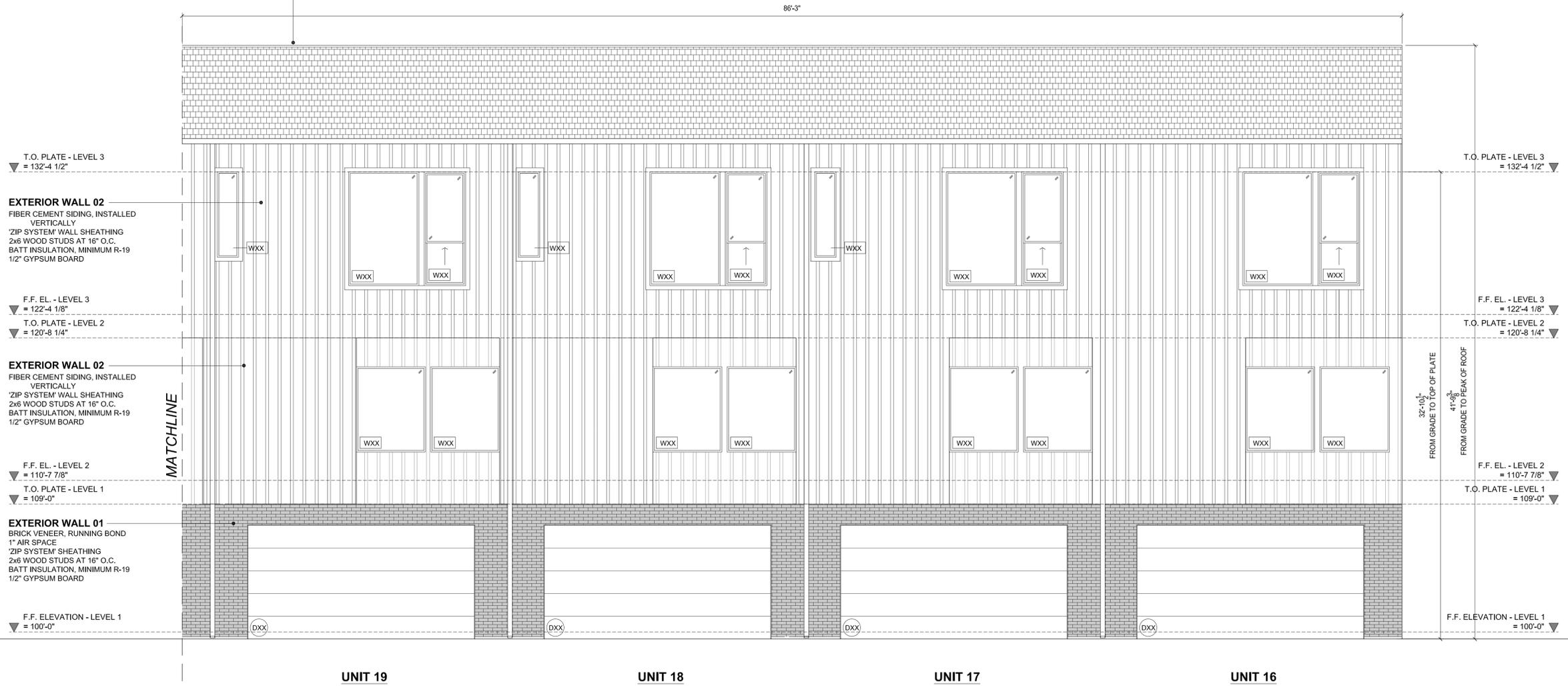
Date: 06.20.2022
 Issue: **SITE PLAN REVIEW PACKAGE**
THOMAS L CHENOWETH SURVEY,
ABSTRACT NO. 273
TOWN PROJECT NO. 1846-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
A5.18

APPROXIMATE MATERIAL PERCENTAGES:		
STEEL GARAGE DOOR:	512 SF	17%
GLAZING:	578 SF	19.2%
MASONRY:	307 SF	10.2%
BOARD AND BATTEN HARDIE:	1,609 SF	53.5%
TOTAL FACADE:	3,006 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	885 SF	29.4%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD



SCALE: 1" = 100'-0" VICINITY MAP **02**

SCALE: 1/4" = 1'-0"

NORTH ELEVATION - BUILDING 3 **01**

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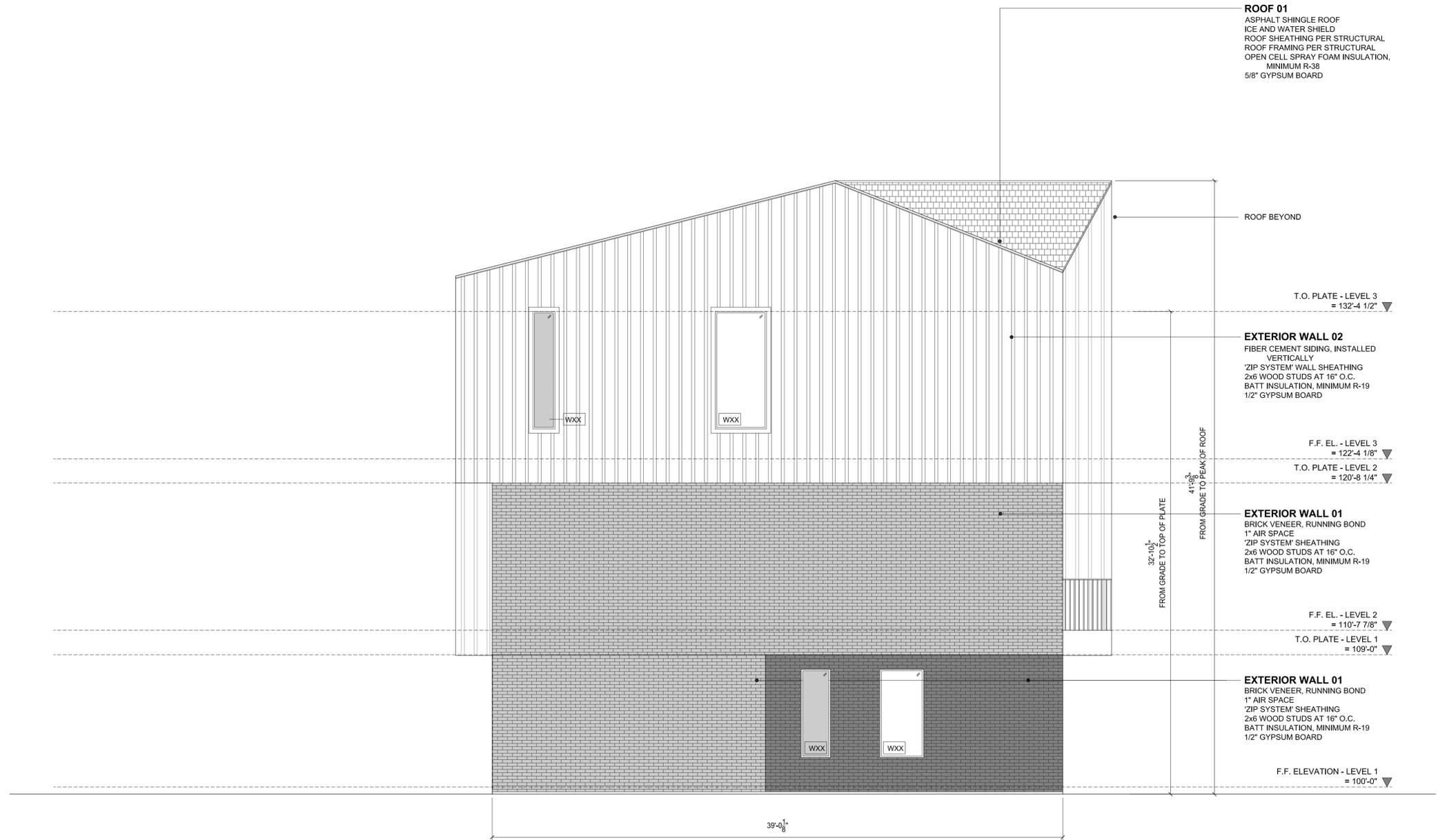
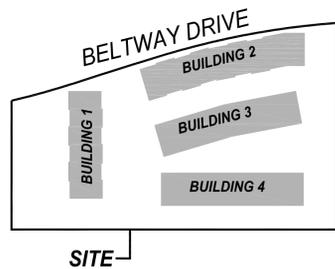
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ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.19

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	0 SF	0%
GLAZING:	83 SF	4.9%
MASONRY:	797 SF	47.5%
BOARD AND BATTEN HARDIE:	797 SF	47.5%
TOTAL FACADE:	1,677 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	880 SF	52%



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

WEST ELEVATION - BUILDING 3

01

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ABSTRACT NO. 273
TOWN PROJECT NO. 1846-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.20

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	192 SF	3.1%
GLAZING:	1,889 SF	30.6%
MASONRY:	1,461 SF	23.6%
BOARD AND BATTEN HARDIE:	2,629 SF	42.5%
TOTAL FACADE:	6,173 SF	100.0%
% OF FACADE FRONT DOOR, GLAZING AND MASONRY:	3,542 SF	57.4%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

T.O. PLATE - LEVEL 3
 = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
 = 122'-4 1/8"

T.O. PLATE - LEVEL 2
 = 120'-8 1/4"

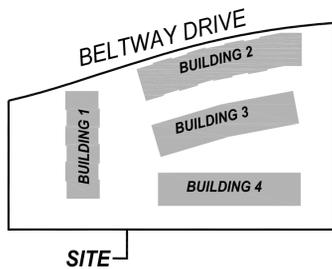
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 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 2
 = 110'-7 7/8"

T.O. PLATE - LEVEL 1
 = 109'-0"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
 = 100'-0"



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

NORTH ELEVATION - BUILDING 4

01

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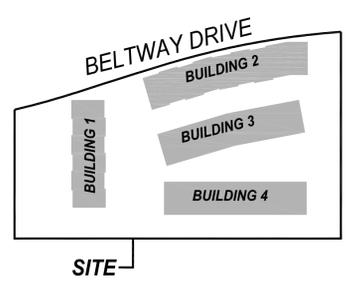
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 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.21

*** REF. A5.21 FOR MATERIAL PERCENTAGES



ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

T.O. PLATE - LEVEL 3
 = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 'ZIP SYSTEM' WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
 = 122'-4 1/8"

T.O. PLATE - LEVEL 2
 = 120'-8 1/4"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 'ZIP SYSTEM' SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 2
 = 110'-7 7/8"

T.O. PLATE - LEVEL 1
 = 109'-0"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 'ZIP SYSTEM' SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
 = 100'-0"

SCALE: 1" = 100'-0" VICINITY MAP 02

SCALE: 1/4" = 1'-0"

NORTH ELEVATION - BUILDING 4 01

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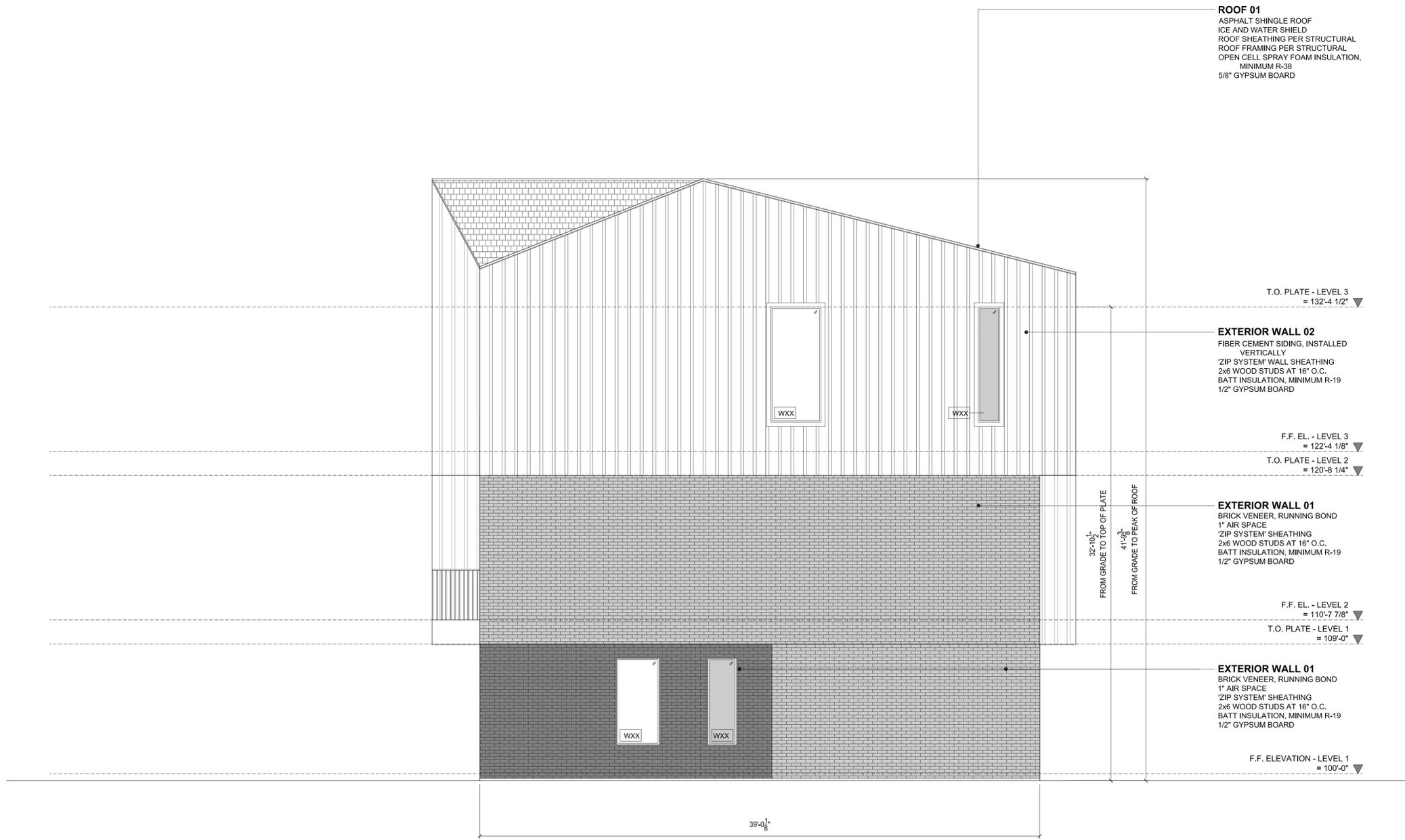
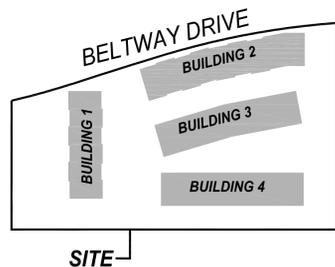
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 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
A5.22

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	0 SF	0%
GLAZING:	83 SF	4.9%
MASONRY:	797 SF	47.5%
BOARD AND BATTEN HARDIE:	797 SF	47.5%
TOTAL FACADE:	1,677 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	880 SF	52%



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

WEST ELEVATION - BUILDING 4

01

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 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.23

APPROXIMATE MATERIAL PERCENTAGES:		
STEEL GARAGE DOOR:	1,024 SF	17.5%
GLAZING:	1,173 SF	20%
MASONRY:	574 SF	9.8%
BOARD AND BATTEN HARDIE:	3,091 SF	52.7%
TOTAL FACADE:	5,861 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	1,747 SF	29.8%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

T.O. PLATE - LEVEL 3
 ▼ = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 'ZIP SYSTEM' WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 3
 ▼ = 122'-4 1/8"

T.O. PLATE - LEVEL 2
 ▼ = 120'-8 1/4"

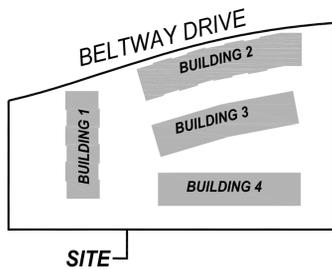
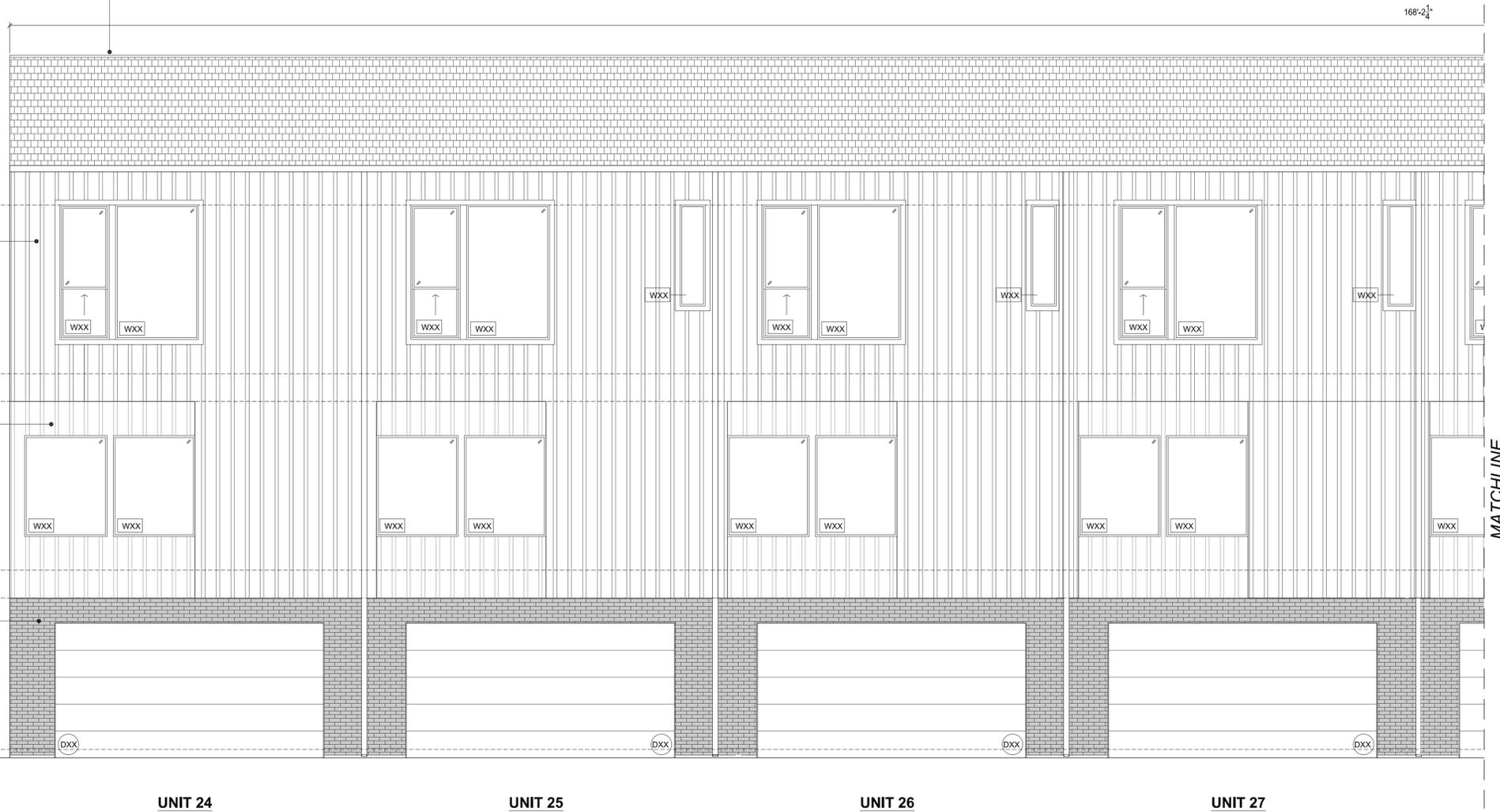
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 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 2
 ▼ = 110'-7 7/8"

T.O. PLATE - LEVEL 1
 ▼ = 109'-0"

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 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
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 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
 ▼ = 100'-0"



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION - BUILDING 4

01

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 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A5.24

*** REF. A5.24 FOR MATERIAL PERCENTAGES



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 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

T.O. PLATE - LEVEL 3
 = 132'-4 1/2"

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 'ZIP SYSTEM' WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

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 = 120'-8 1/4"

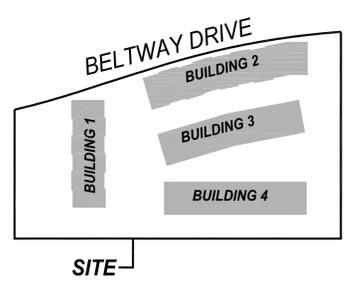
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 1/2" GYPSUM BOARD

F.F. EL. - LEVEL 2
 = 110'-7 7/8"

T.O. PLATE - LEVEL 1
 = 109'-0"

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 'ZIP SYSTEM' SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

F.F. ELEVATION - LEVEL 1
 = 100'-0"



SCALE: 1" = 100'-0" VICINITY MAP 02

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION - BUILDING 4 01

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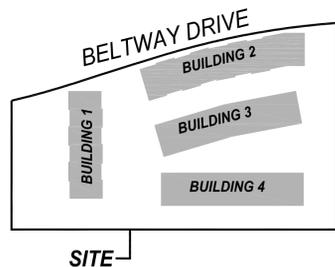
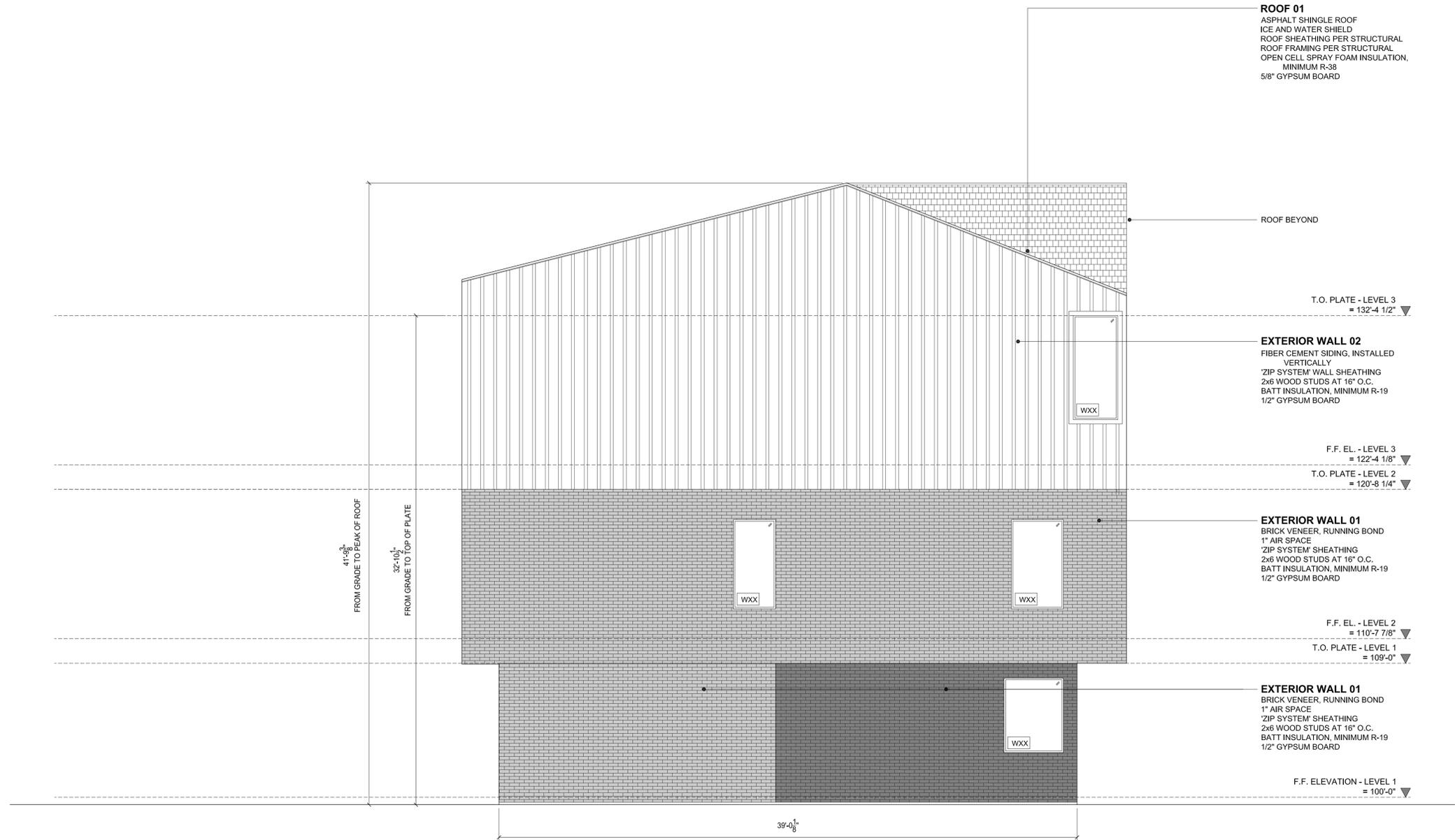
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Date: 06.20.2022 Issue: **SITE PLAN REVIEW PACKAGE**
THOMAS L CHENOWETH SURVEY,
ABSTRACT NO. 273
TOWN PROJECT NO. 1846-Z



ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]
A5.25

APPROXIMATE MATERIAL PERCENTAGES:		
WOOD FRONT DOOR:	0 SF	0%
GLAZING:	85 SF	5.1%
MASONRY:	837 SF	50.3%
BOARD AND BATTEN HARDIE:	742 SF	44.5%
TOTAL FACADE:	1,664 SF	100.0%
% OF FACADE		
GLAZING AND MASONRY:	922 SF	55.4%



SCALE: 1" = 100'-0"



VICINITY MAP

02

SCALE: 1/4" = 1'-0"

EAST ELEVATION - BUILDING 4

01

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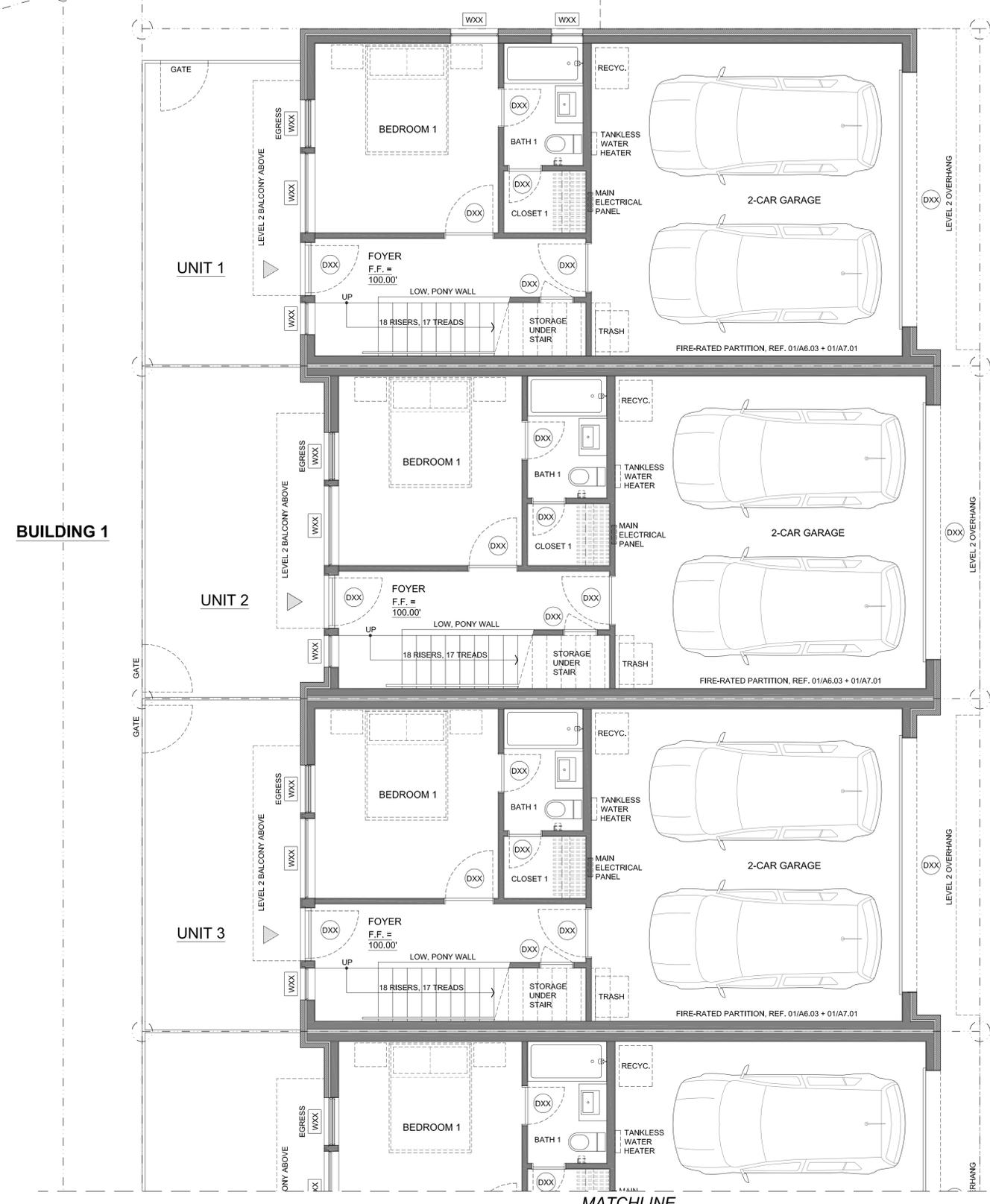
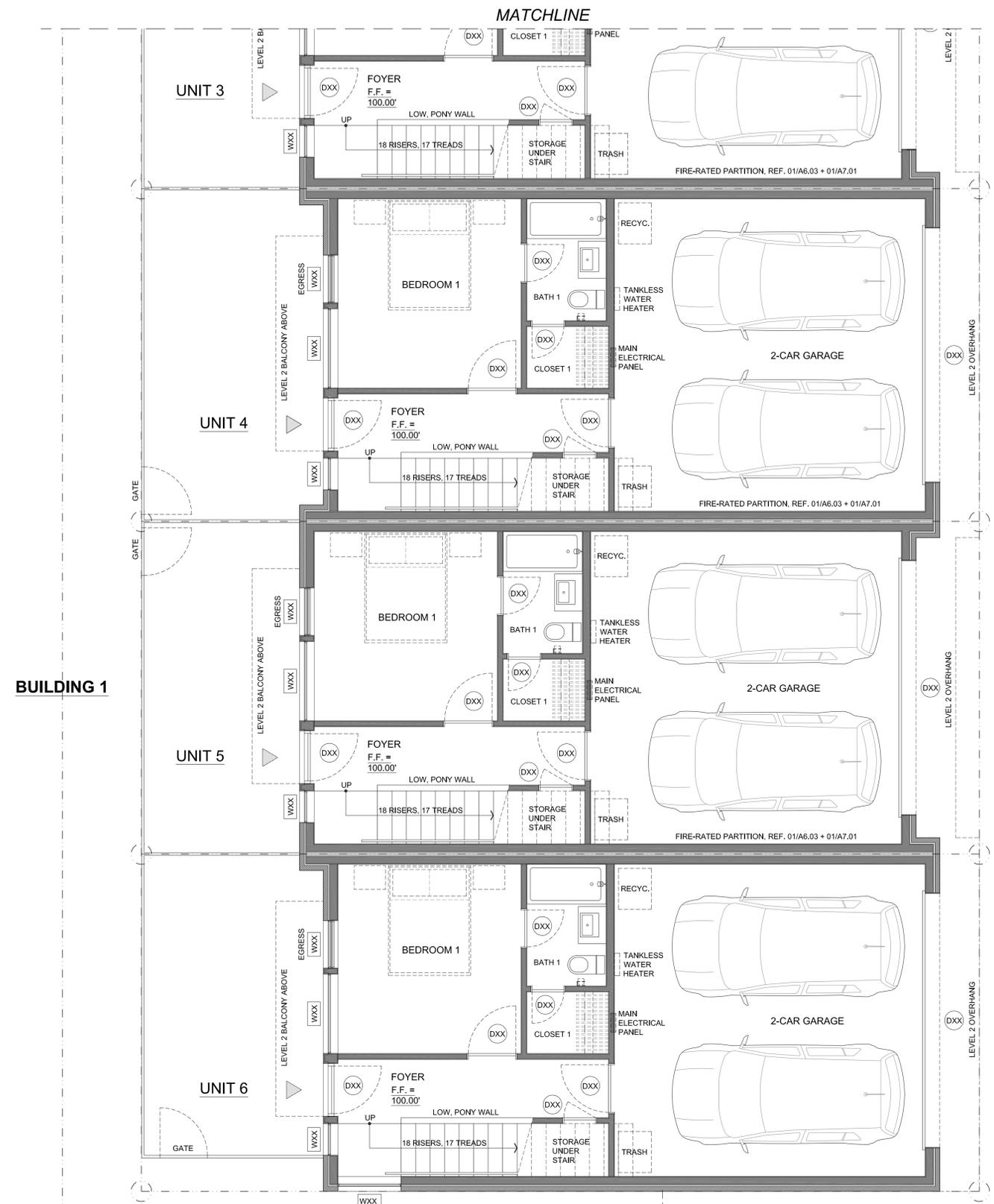
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A5.26



SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 1 - LEVEL 1 02

SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 1 - LEVEL 1 01

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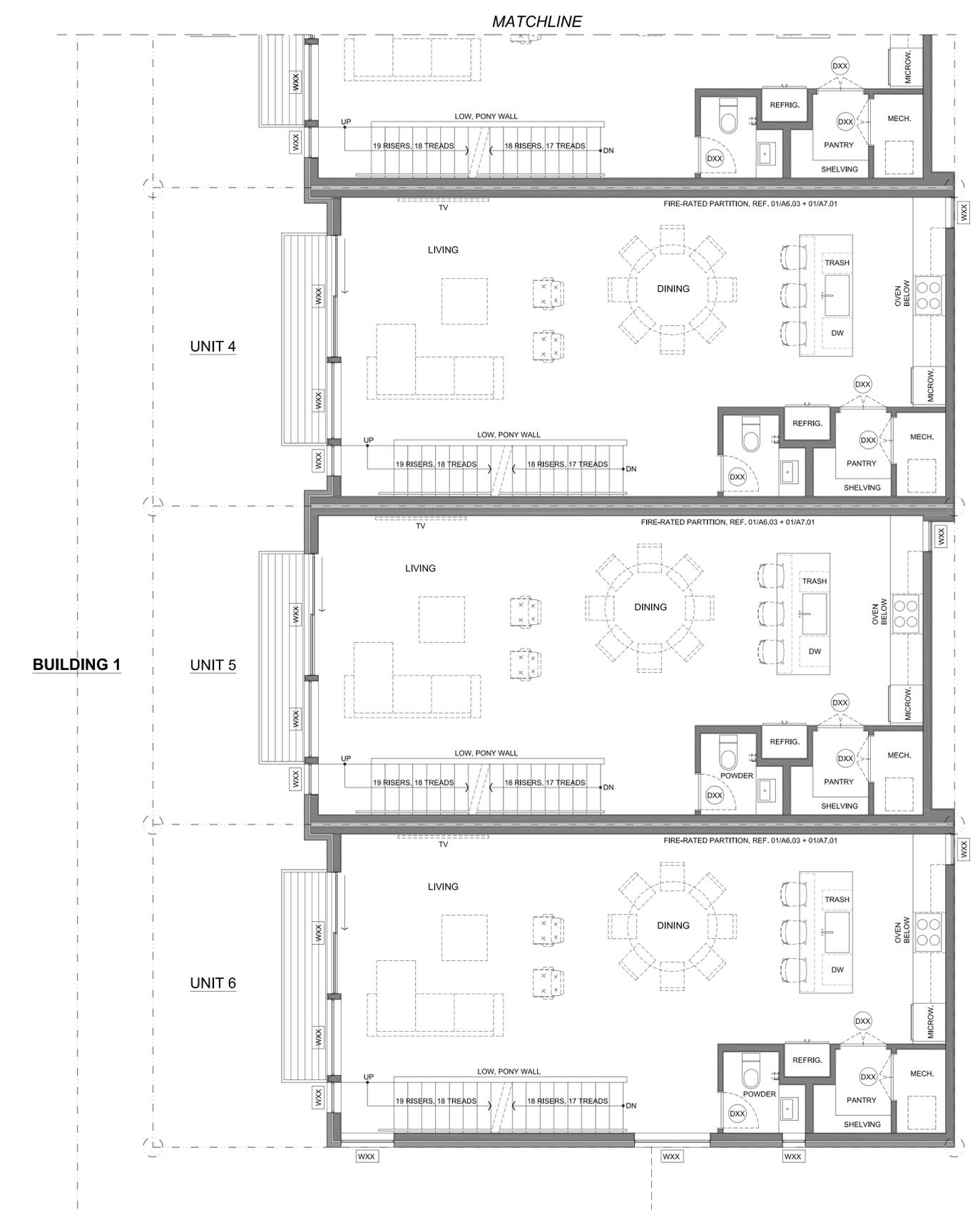
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A1.01



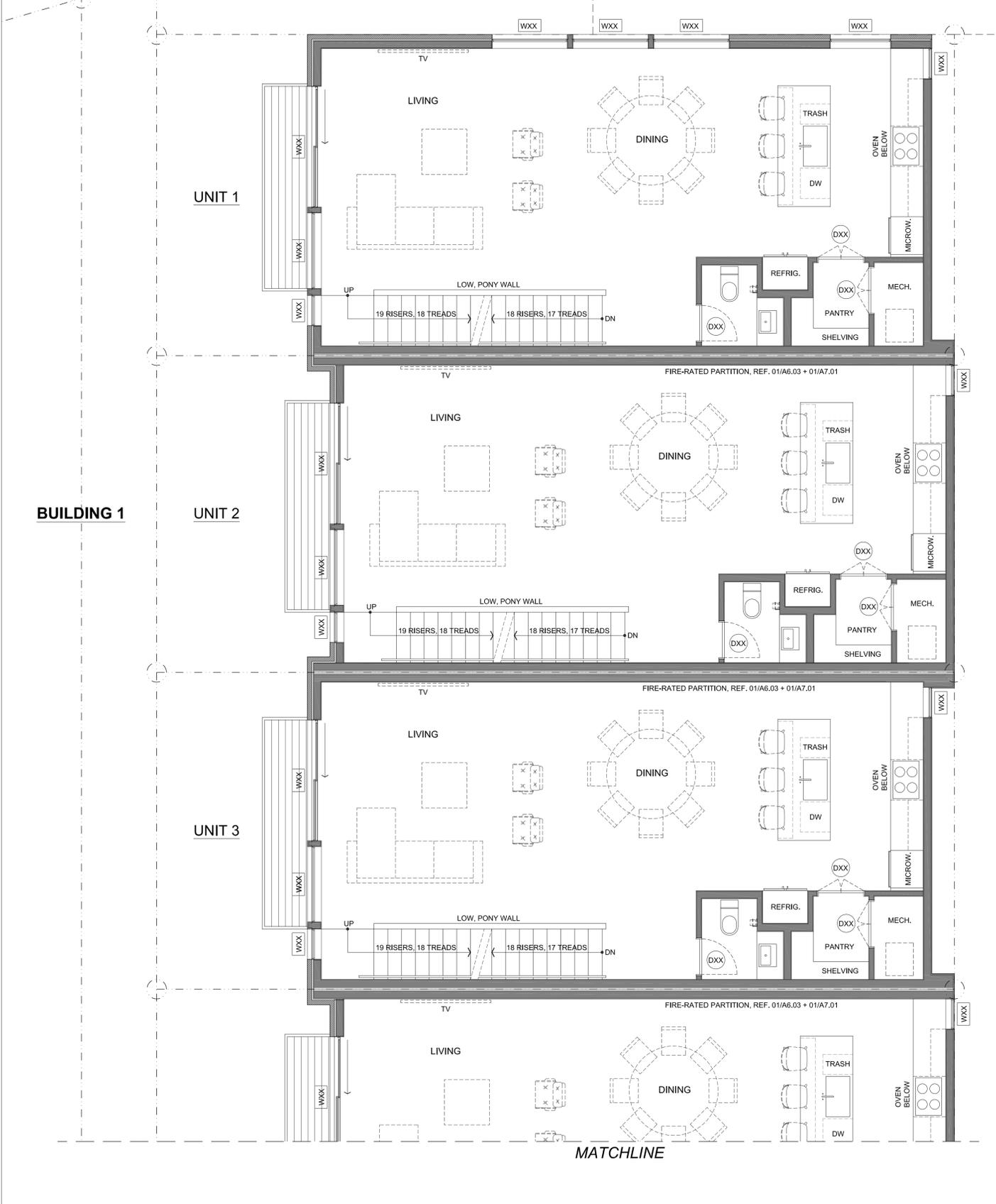
SCALE: 1/4" = 1'-0" FLOOR PLAN - BUILDING 1 - LEVEL 2 02

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SCALE: 1/4" = 1'-0" FLOOR PLAN - BUILDING 1 - LEVEL 2 01

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 A1.02



SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 1 - LEVEL 3 02

SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 1 - LEVEL 3 01

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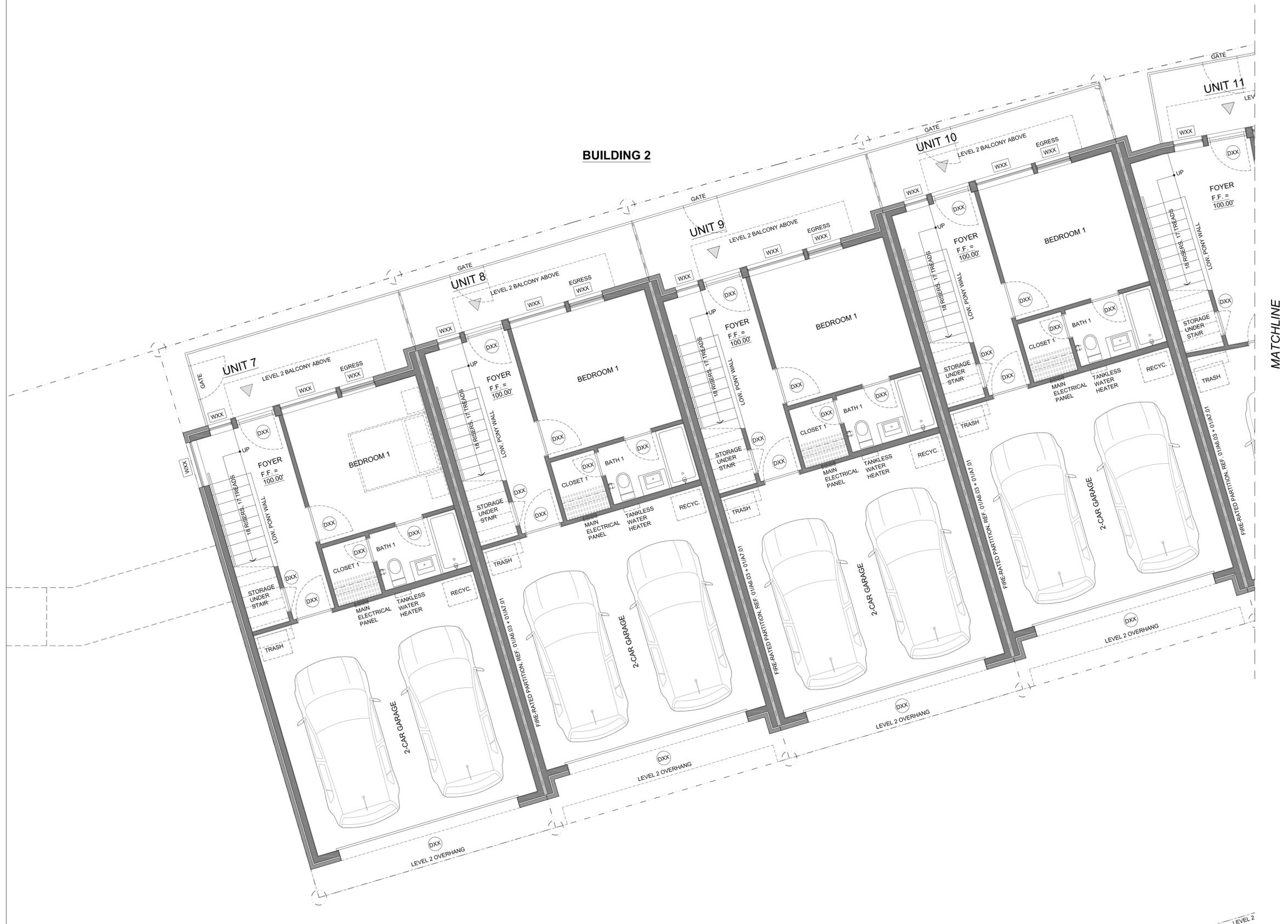
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A1.03



SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 2 - LEVEL 1 01

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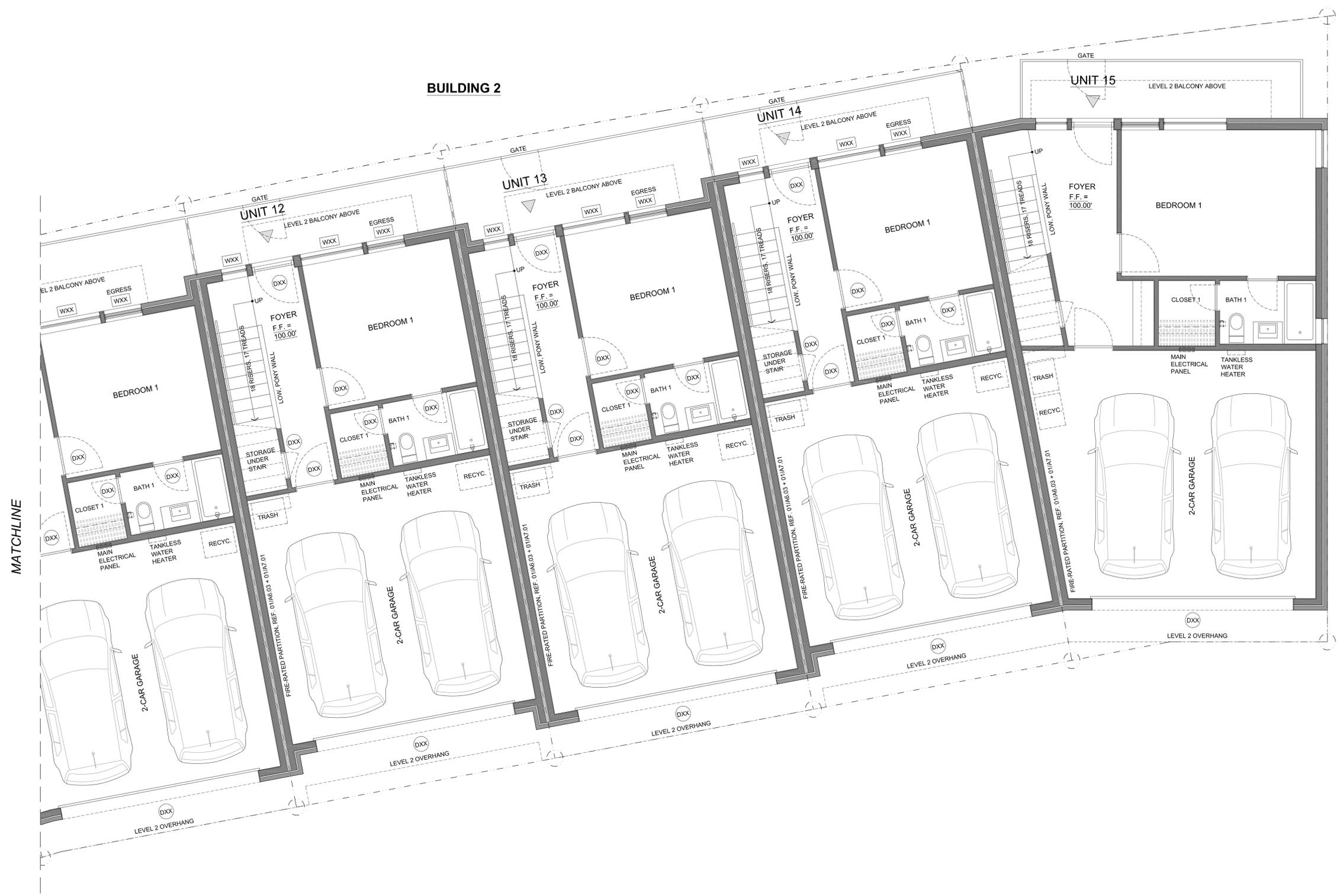
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BUILDING 2

MATCHLINE

SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 2 - LEVEL 1 01

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 A1.05



BUILDING 2

MATCHLINE

SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 2 - LEVEL 2 01

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A1.06



BUILDING 2

UNIT 12

UNIT 13

UNIT 14

UNIT 15

MATCHLINE

SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING 2 - LEVEL 2 01

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A1.07



SCALE: 1/4" = 1'-0"

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A1.08



SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 2 - LEVEL 3 01

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A1.09



SCALE: 1/4" = 1'-0"

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A1.10



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FLOOR PLAN - BUILDING 3 - LEVEL 1 01

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A1.11



SCALE: 1/4" = 1'-0"

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A1.12



SCALE: 1/4" = 1'-0"

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 Issue: SITE PLAN REVIEW PACKAGE

THOMAS L CHENOWETH SURVEY,
 ABSTRACT NO. 273
 TOWN PROJECT NO. 1846-Z



FLOOR PLAN - BUILDING 3 - LEVEL 2 01

ADDISON RESERVE
31-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001
 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A1.13



SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING 3 - LEVEL 3 01

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A1.14



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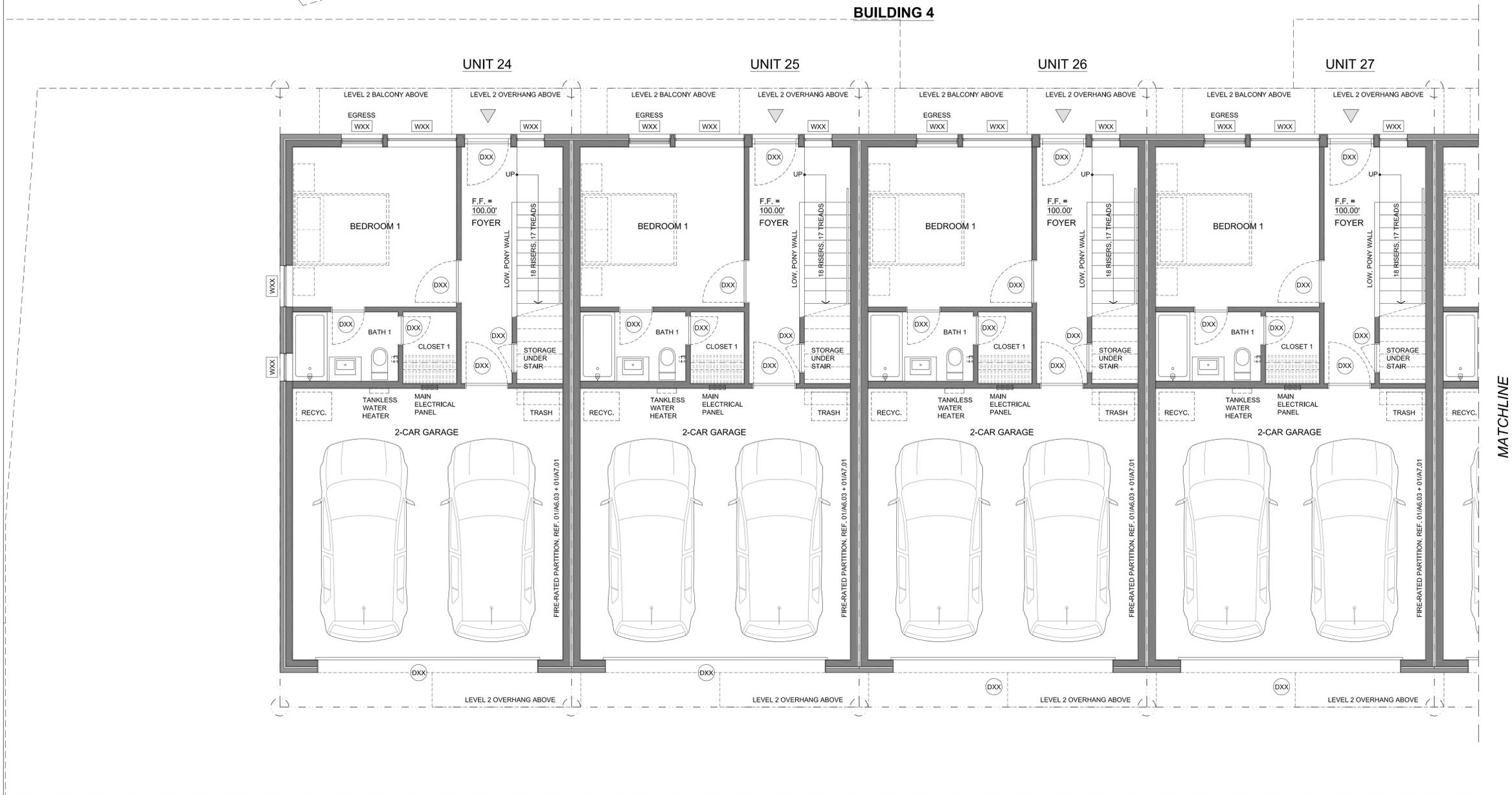
THOMAS L CHENOWETH SURVEY,
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FLOOR PLAN - BUILDING 3 - LEVEL 3 01

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A1.15



SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING 4 - LEVEL 1 01

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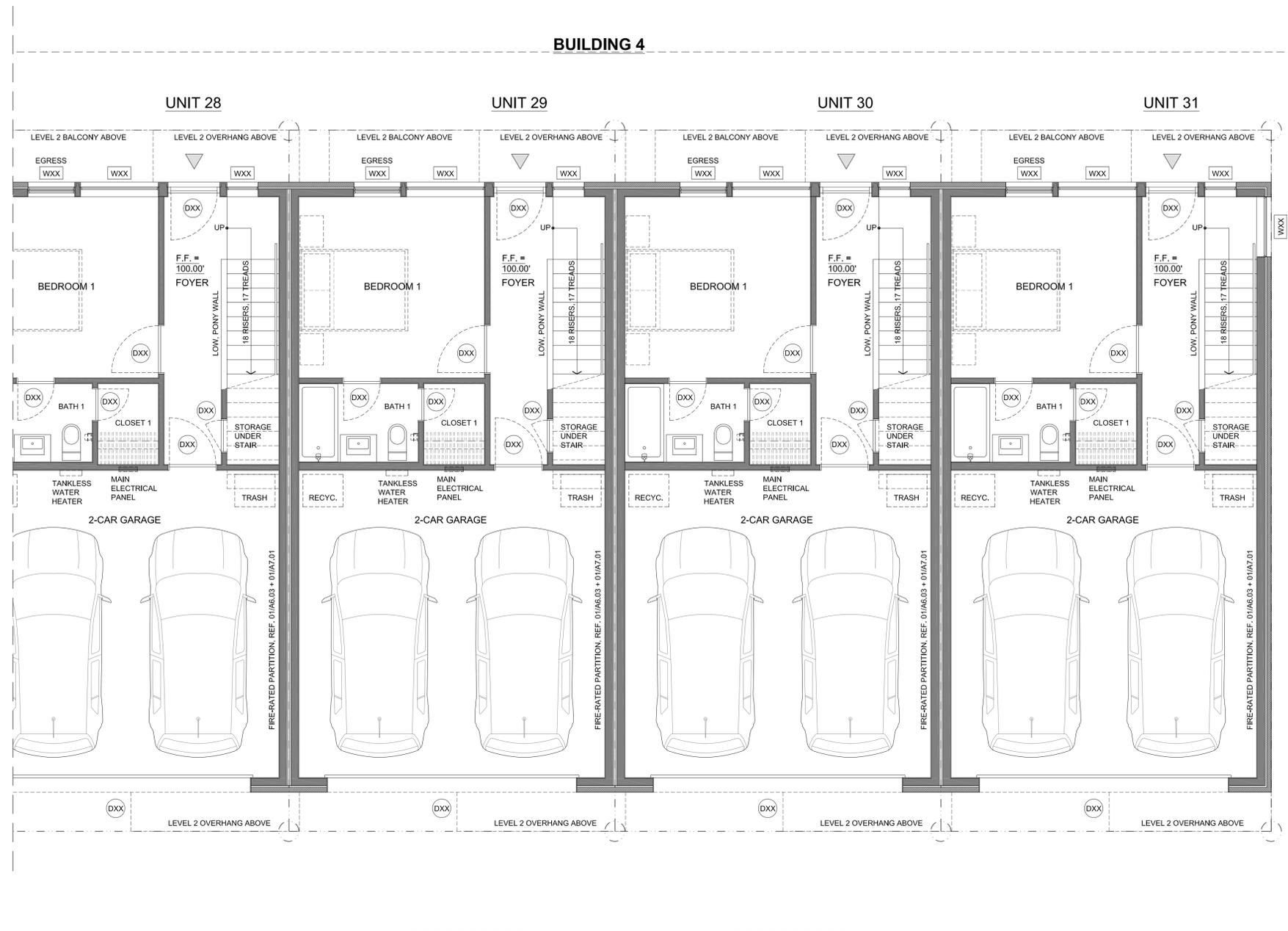
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A1.16



SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 4 - LEVEL 1 01

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A1.17



SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING 4 - LEVEL 2 01

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A1.18



SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING 4 - LEVEL 2 01

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A1.19



SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING 4 - LEVEL 3 01

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A1.20



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31-UNIT MULTIFAMILY DEVELOPMENT
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 LOTS 1-37/ BLOCK A, 1.8039 ACRES [SITE ACREAGE]

A1.21

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 14380 Marsh Lane, Suite 160 that is currently zoned Planned Development (PD), Ordinance Nos. 016-017 and 016-018, to allow a restaurant with the Sale of Alcoholic Beverages for On-Premises Consumption.** Case 1858-SUP/14380 Marsh Lane, Suite 160 (Buttermilk Biscuits Brunch House).

Recommendation:

Staff recommends approval of these requests, subject to the following condition:

- The applicant shall not use any terms or graphic depictions that relate to alcoholic beverages in any exterior signage.

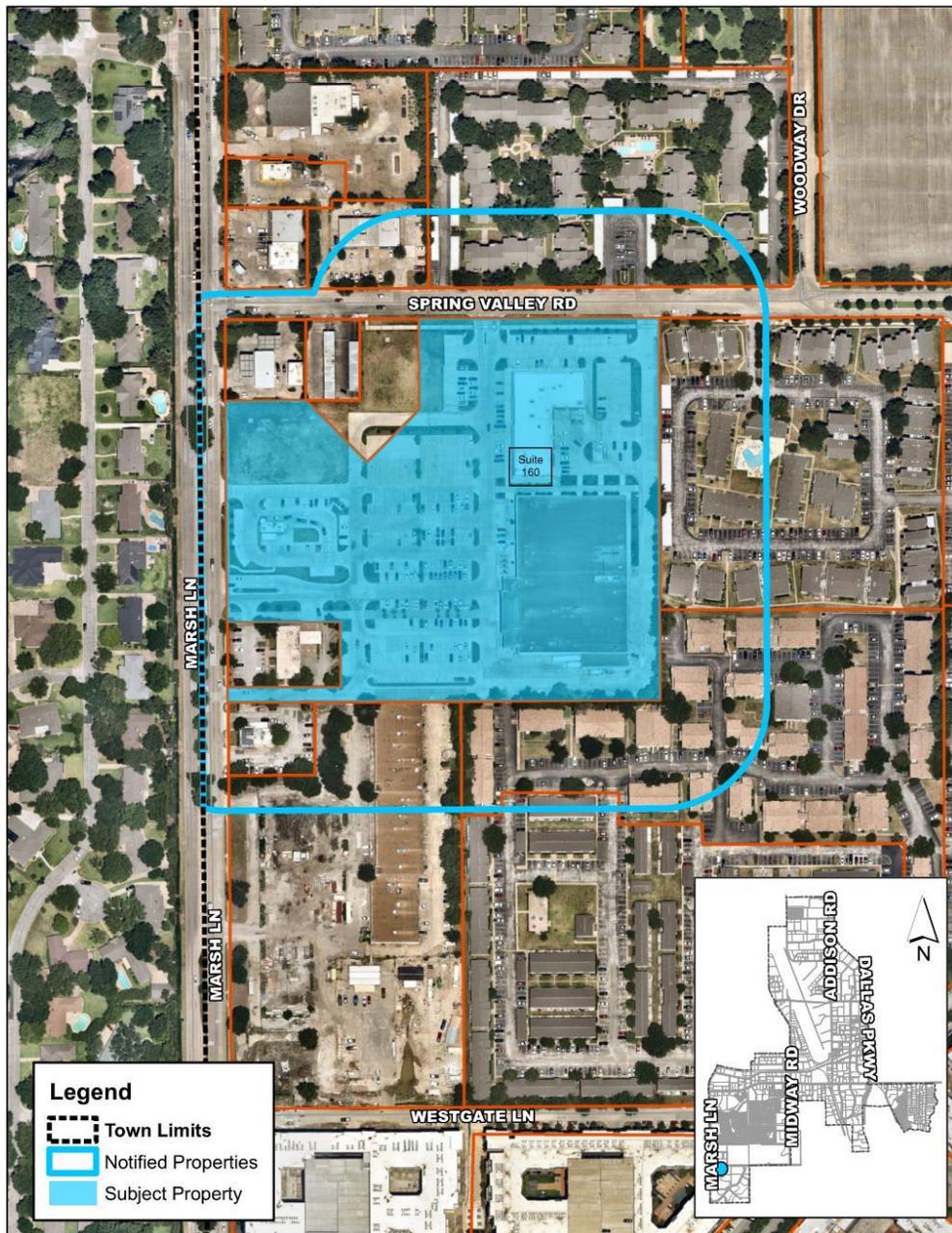
Attachments

1858-SUP Staff Report
1858-SUP Plans
1858-SUP Business Plan

1858-SUP

PUBLIC HEARING Case 1858-SUP/14380 Marsh Lane, Suite 160 (Buttermilk Biscuits Brunch House). Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 14380 Marsh Lane, Suite 160 that is currently zoned Planned Development (PD) through Ordinance Nos. O16-017 and O16-018, to Allow a Restaurant with the Sale of Alcoholic Beverages for On-Premises Consumption.

LOCATION MAP





September 20, 2022

STAFF REPORT

RE: 1858-SUP/Buttermilk Biscuits Brunch House

LOCATION: 14380 Marsh Lane, Suite 160

REQUEST: Approval of a Special Use Permit for a restaurant and the sale of alcoholic beverages for on-premises consumption.

APPLICANT: Jay Woo, JNF Associates

DISCUSSION:

Background: The subject property is located within the Brookhaven Village Shopping Center, Block 211, at 14380 Marsh Lane, Building B, Suite 160. Brookhaven Village is part of the Vitruvian Park Development and is included within Block 211 in the Vitruvian Park’s Planned Development District Concept Plan, through Ordinance No. 007-034, as previously amended by Ordinance Nos. 013-026, 016-017, 016-018, and 019-06.

Building B is a 17,500 square foot multitenant structure with seven suites. There are currently four businesses operating within Building B: Isla Veterinary Boutique Hospital, Athletico Physical Therapy, Champions Nail Spa, and Premier Martial Arts, and three vacant suites. There are currently two businesses pending approval of SUPs, including this application, to occupy two additional suites.

Buttermilk Biscuits Brunch House is a casual, sit-down restaurant serving breakfast and lunch. Indoor and outdoor seating will be available. The restaurant will also offer alcohol sales for on-premises consumption. The operator currently has two other restaurants in DFW, which operate under the name Berries & Batter Café. The first location opened in Highland Village in November 2020 and the second location opened in Frisco in May 2022. The proposed operating hours for the Addison location are 7:00 am – 2:30 pm, seven days a week.

The PD Ordinance allows restaurants and the sale of alcoholic beverages for on-premises consumption through the approval of an SUP within Block 211. The proposed use complies with the ordinance.

Proposed Plan: With this request, Buttermilk Biscuits Brunch House proposes to occupy the existing 3,373 square foot tenant space at the southernmost end of Building B. The applicant proposes an interior finish-out of the suite. The proposed restaurant will provide seating for 166 individuals (122 indoor seats and 44 patio seats). The interior floor plan is comprised of kitchen and service areas, a bar, and table, booth, and bar seating in the dining area. Significant site improvements occurred with the redevelopment of Brookhaven Village that concluded in

approximately 2019. Staff will confirm compliance with the approved site plan and landscape plans during the inspection process and through routine code enforcement efforts.

Parking: Parking ratios were established within the PD Ordinance. Retail uses require 1 space for each 250 square feet and restaurants require 1 space for each 100 square feet of gross floor area. Building B is 17,500 square feet and allows 50% of the floor area to be used as retail and 50% to be used for restaurant. The total parking requirement for Building B is 123 parking spaces and 136 spaces were provided on site. Based upon the current uses, there are two pending SUPs for restaurants that include 5,335 square feet, which is still well below the allowed 50%. The remaining uses are retail and personal services.

The existing parking meets the PD Ordinance and will provide adequate parking for the existing and proposed businesses.

Exterior Facades: The exterior facades were constructed as approved within the PD Ordinance. The applicant is not proposing any modifications to the existing building facades. A sign advertising the business is proposed on the primary façade fronting Marsh Lane. A sign permit is required.

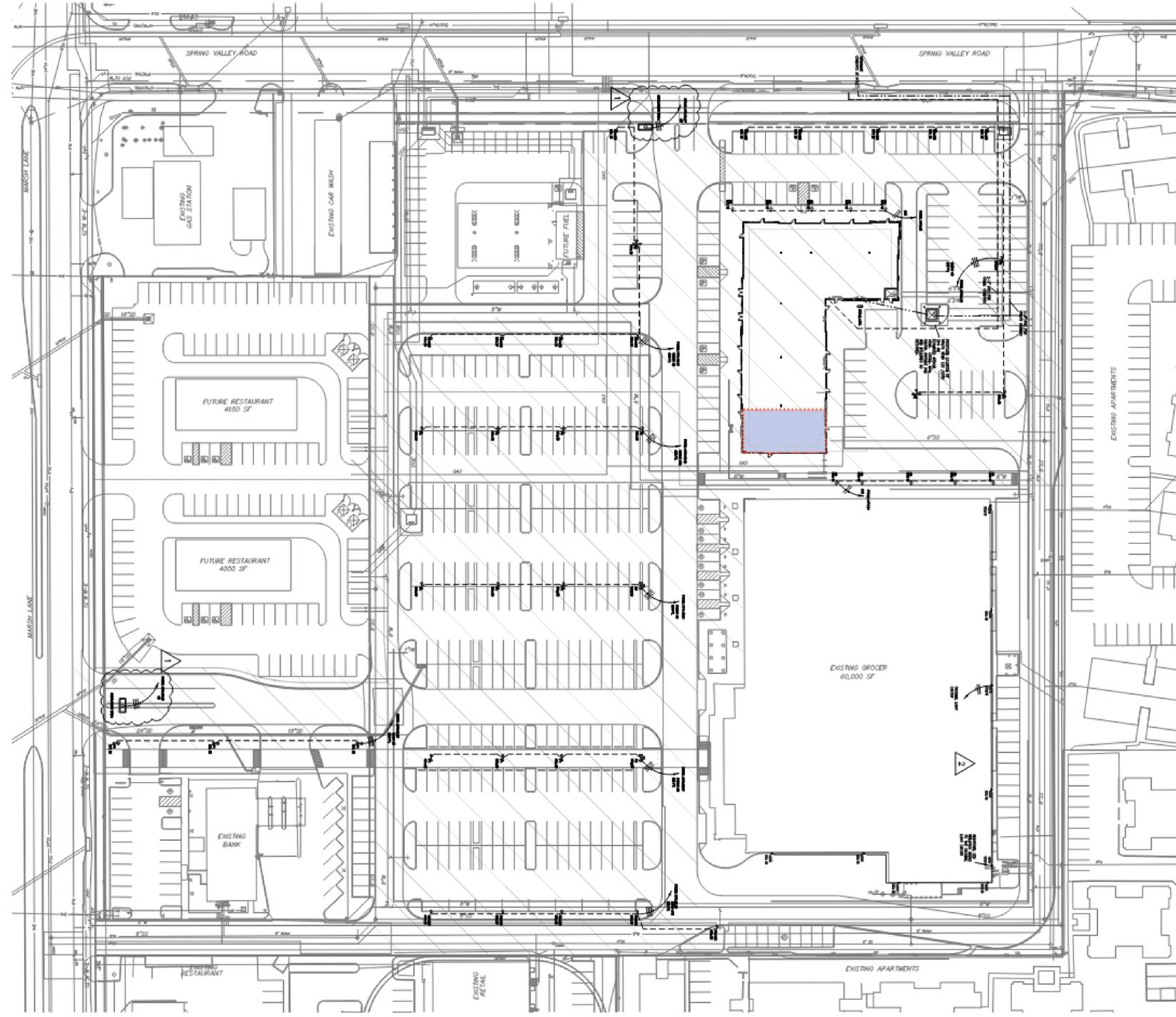
Landscaping and Open Space: All landscape requirements were satisfied during previous reinvestment activities, and this building and tenant space area remains in compliance.

RECOMMENDATION: **APPROVAL WITH CONDITIONS**

Buttermilk Biscuits Brunch House is an emerging restaurant concept, operating two successful locations within DFW. The restaurant will fill a currently vacant suite within the retail center and will provide a needed social amenity for the Vitruvian Park neighborhood.

Staff recommends approval of these requests, subject to the following condition:

- The applicant shall not use any terms or graphic depictions that relate to alcoholic beverages in any exterior signage.



NUMBER	REVISION/ISSUE	DATE

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 DALLAS, TX 75234
 214-908-1139
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PROJECT NAME / ADDRESS

INTERIOR FINISH OUT BY TENANT
BUTTERMILK BISCUITS
 14380 MARSH LN, SUITE #160
 ADDISON, TX 75001

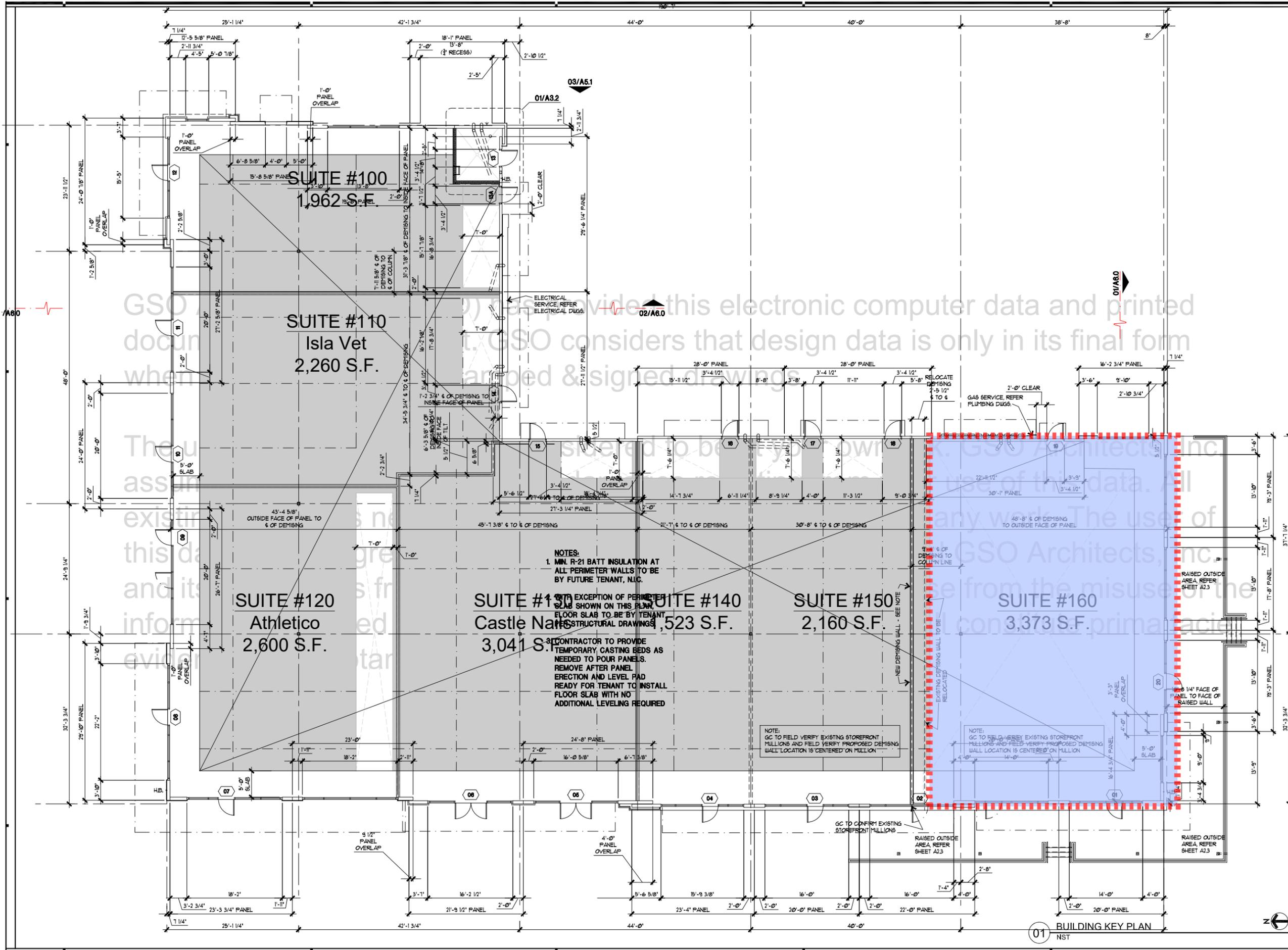
REFERENCE NUMBER
 CASE #1858-SUP
 VITRUVIAN PARK ADDITION,
 BLOCK E, LOT 1R
 14380 MARSH LN, S#160
 ADDISON, TX 75001

SHEET TITLE
 SHEET NUMBER

01 SITE PLAN
 NST



S1.00



GSO Architects, Inc. provides this electronic computer data and printed document when requested. GSO considers that design data is only in its final form when stamped & signed drawings.

NOTES:
 1. MIN. R-21 BATT INSULATION AT ALL PERIMETER WALLS TO BE BY FUTURE TENANT, N.I.C.
 2. WITH EXCEPTION OF PERIMETER SLAB SHOWN ON THIS PLAN, FLOOR SLAB TO BE BY TENANT. SEE STRUCTURAL DRAWINGS.
 3. CONTRACTOR TO PROVIDE TEMPORARY CASTING BEDS AS NEEDED TO POUR PANELS. REMOVE AFTER PANEL ERECTION AND LEVEL PAD READY FOR TENANT TO INSTALL FLOOR SLAB WITH NO ADDITIONAL LEVELING REQUIRED.

NOTE:
 GC TO FIELD VERIFY EXISTING STOREFRONT MULLIONS AND FIELD VERIFY PROPOSED DEMISING WALL LOCATION IS CENTERED ON MULLION.

NOTE:
 GC TO FIELD VERIFY EXISTING STOREFRONT MULLIONS AND FIELD VERIFY PROPOSED DEMISING WALL LOCATION IS CENTERED ON MULLION.

01 BUILDING KEY PLAN
 NST

DATE	REVISION/ISSUE

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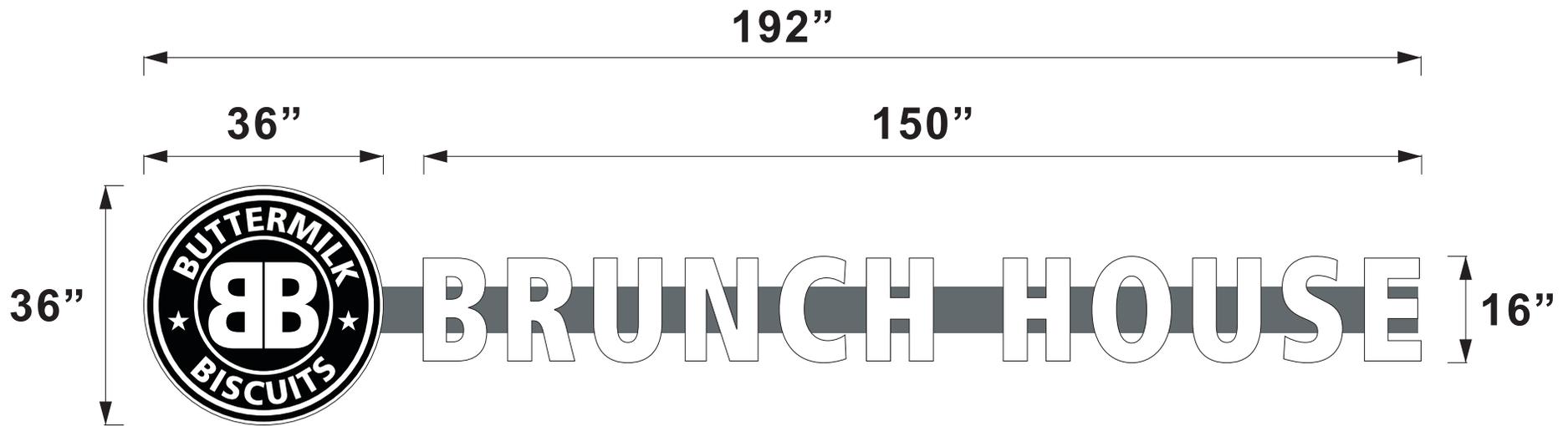
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PROJECT NAME / ADDRESS

INTERIOR FINISH OUT BY TENANT
BUTTERMILK BISCUITS
 14380 MARSH LN, SUITE #160
 ADDISON, TX 75001

REFERENCE NUMBER
 CASE #1858-SLP
 METRUM PARK ADDITION,
 BLOCK E, LOT 1R
 14380 MARSH LN, SP160
 ADDISON, TX 75001
 SHEET TITLE

SHEET NUMBER
A1.00



DESCRIPTION Channel Letter Sign		
PROJECT NAME Buttermilk Biscuits Brunch House	JOB Number	SCALE 1 / 24
ADDRESS 14380 Marsh Ln. #160	ORDER TAKEN BY	ORDER DATE 7 / 25 / 22
CITY Addison	COMMENTS	
STATE / ZIP TX / 75001		

J&K Total Service

Total Sign

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I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes made to these designs prior to or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature _____

Date _____



DESCRIPTION Channel Letter Sign		
PROJECT NAME Buttermilk Biscuits Brunch House	JOB Number	SCALE 1 / 99
ADDRESS 14380 Marsh Ln. #160	ORDER TAKEN BY	ORDER DATE 7 / 25 / 22
CITY Addison	COMMENTS	
STATE / ZIP TX / 75001		

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Signature _____ Date _____



DESCRIPTION Channel Letter Sign		
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ADDRESS 14380 Marsh Ln. #160	ORDER TAKEN BY	ORDER DATE 7 / 25 / 22
CITY Addison	COMMENTS	
STATE / ZIP TX / 75001		

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Signature _____ Date _____



BUTTERMILK BISCUITS

BRUNCH HOUSE

Business plan

INTRODUCTION

- Family owned business looking to expand in DFW area;
- Traditional American breakfast and lunch with a twist, including a full bar with alcoholic beverages;
- Two locations opened in the past two years;

LOCATIONS

HIGHLAND VILLAGE

2100 Village Pkwy, Ste 100, Highland Village TX 75077



November 2020

FRISCO

2727 Main Street, Ste. 600, Frisco TX 75036



May 2022

MISSION

- Build a brand identity;
- Create long lasting relationships in the community by earning our guests' trust;
- Create employment opportunities in the community;
- Giving back to the community;
- Creating a family atmosphere and a safe environment for gatherings;
- Expanding across Texas with plans to open nationwide;
- Providing a unique experience in a contemporary environment;

PRODUCTS

- Breakfast: omelets, skillet, benedicts, pancakes, waffles, crepes, french toast, healthy options etc.;
- Lunch: sandwiches, burgers, salads, wraps;
- Kid friendly: Mickey cake, burger, grilled cheese, silver dollar cakes etc.;
- Beverages: freshly squeezed OJ, cappuccinos & lattes, milk, tea, coffee etc.;
- Cocktails: martinis, margaritas, mimosas, bloody mary, mimosa flight, irish coffee etc.;

PROMOTION

- Social media: Instagram/Facebook/Twitter;
- Official website: berriesandbattercafe.com;
- Bloggers & influencers;
- Newspapers / editorials / supermarket coupons / direct mail postcard;

TEAM

Manager : Andreea Bujor

- Restaurant industry: 7 years experience
- Restaurant Manager experience: 3 years experience
- Cooking experience: 4 years
- Bartending experience: 3 years

Manager: Kevin Kim

- Restaurant industry: 6 years experience
- Bartender: 2 years experience
- Cooking experience: 2 years experience
- Baking skills at the busiest doughnut shop in Texas (Max's Donuts)

Owners : Myung Kim & Sun Kim

- Business owners for over 12 years
- Owned many different types of successful businesses (Dry Cleaners, Bakery/Donut Shops, Japanese restaurant, multiple breakfast restaurants)

CURRENT LOCATIONS







MARKETING

Instagram: @berriesandbattercafe

Facebook: Berries & Batter Cafe

Website: www.berriesandbattercafe.com (visit our website for more food & interior pictures)

Meeting Date: 09/20/2022

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Amending Planned Development (PD) District Ordinance No. 099-025 for a 7.76 Acre property Located at the southeast corner of Westgrove Drive and Excel Parkway in order to Modify Use Regulations by allowing Light Assembly of Jewelry as a Permitted Use.** Case 1861-Z / 16650 Westgrove Drive (Precision Set).

Recommendation:

Staff recommends approval of the request, with the following condition:

- Light assembly of jewelry shall not include smelting, soldering, or the use of hazardous chemicals.

Attachments

1861-Z Staff Report

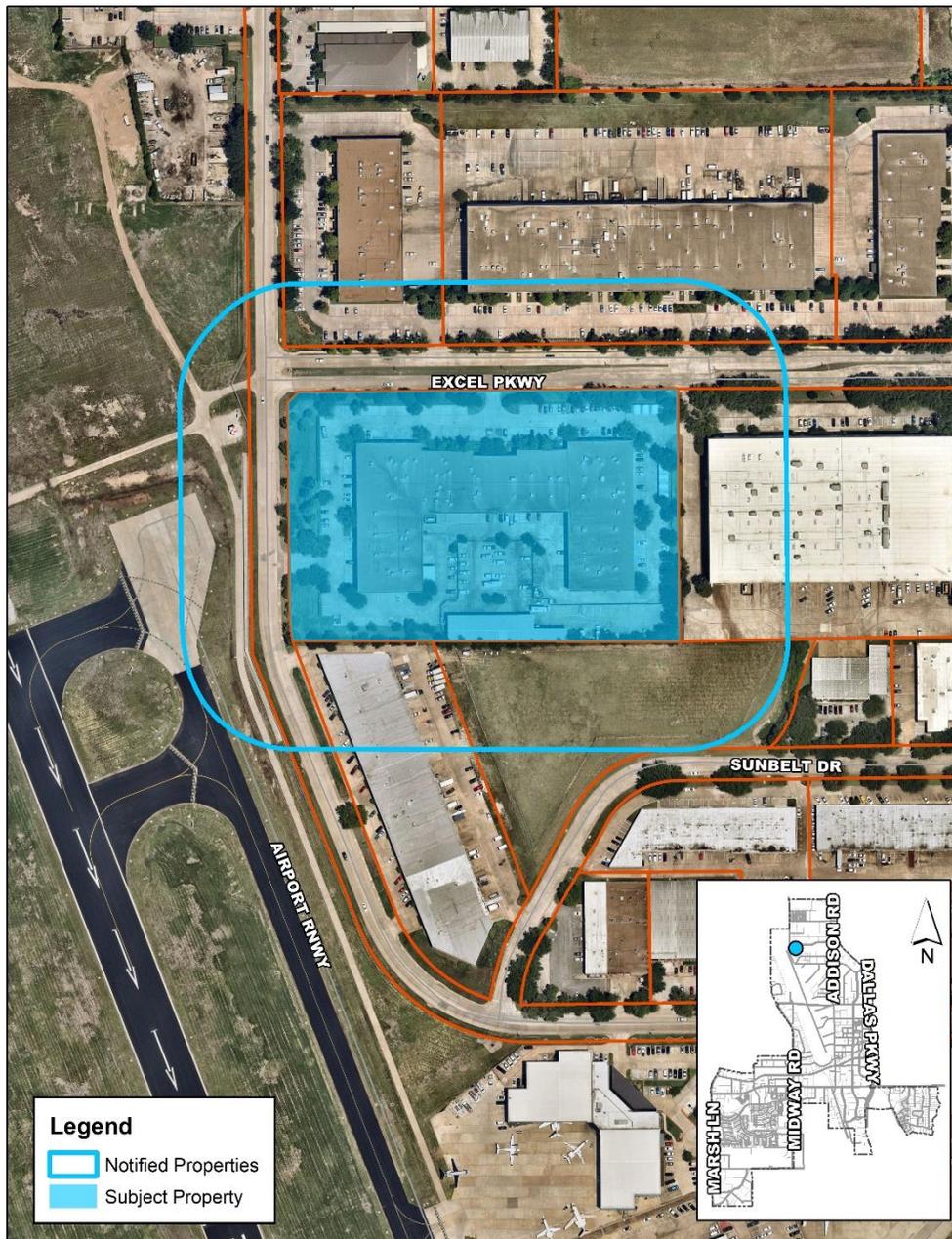
1861-Z Plans

1861-Z Letter of Intent

1861-Z

PUBLIC HEARING Case 1861-Z/16650 Westgrove Drive (Precision Set). Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance Amending Planned Development (PD) District Ordinance No. 099-025 for a 7.76 Acre property Located at the southeast corner of Westgrove Drive and Excel Parkway in order to Modify Use Regulations by allowing Light Assembly of Jewelry as a Permitted Use.

LOCATION MAP





September 20, 2022

STAFF REPORT

RE: 1861-Z/Precision Set

LOCATION: 16650 Westgrove Drive

REQUEST: Approval of a request to amend Planned Development (PD) District Ordinance 099-025 to modify use regulations by allowing light assembly of jewelry as a permitted use.

APPLICANT: Trenton Robertson, Masterplan

DISCUSSION:

Background: This request is specific to the existing office/warehouse building situated on a 7.76-acre lot located at the southeast corner of Westgrove Drive and Excel Parkway.

On August 10, 1999, the subject property was rezoned to Planned Development (PD) District, through Ordinance 099-025. This rezoning allowed for the construction of the existing office/warehouse structure and associated site improvements. The PD District is based on Commercial-1 (C-1) District standards with modifications to the permitted uses, building height requirements, and the prohibition outside sales and promotions.

The potential tenant, [Precision Set](#), has initiated this PD Amendment request to add light assembly of jewelry as a permitted use in order to occupy Suite 400. Precision Set specializes in the design and manufacturing of fine jewelry. Precision Set does not have a consumer retail component as they only provide design and production services to select fine jewelry retailers across the United States and Canada. The company has operated in DFW since it was founded in 1987. They would like to remain in the area to provide a central location for their employees. The company currently employs 32 individuals, with approximately half serving in professional service roles such as jewelry design, accounting, and sales. The remaining employees specialize in fine jewelry assembly and production. The business operates 8:30 am – 5:30 pm, Monday through Friday.

The proposed light assembly operation primarily includes the setting of diamonds and other precious gemstones. Precision Set does not use any assembly methods that require smelting, soldering, or the use of hazardous chemicals. They utilize various filtering methods to ensure any precious metal flakes and contaminants are captured.

Due to the small size of jewelry components, distribution generally includes one FedEx pickup per business day. The applicant does not anticipate any heavy load traffic to be generated by the business.

Proposed Amendment: This request is to amend the PD by including light assembly of jewelry as a permitted use. The Development Plan adopted with Ordinance 099-025 would not be modified by this request.

The intent of the C-1 District, the base zoning district for this PD, is to provide a mix of retail, office, and personal services for the Town. Additional uses, such as restaurants, are permitted through approval of a Special Use Permit (SUP). The PD also allows for distribution and warehouse uses related to the light assembly of paper goods, computer products, or similar materials. The development pattern, permitted uses and proximity to the Addison Airport, fosters businesses that have a warehouse component, that may be viewed as “light industrial”.

Light assembly of jewelry is compatible with other uses that are currently permitted in the PD and with other businesses in the area. The area has a variety of office, retail, and service uses, with many having a warehouse, assembly, or storage component.

The Town’s zoning ordinance prohibits smelting and uses that produce offensive odor, dust, smoke, gas, or noise. This PD amendment would not allow those operations or uses.

RECOMMENDATION: **APPROVAL WITH CONDITIONS**

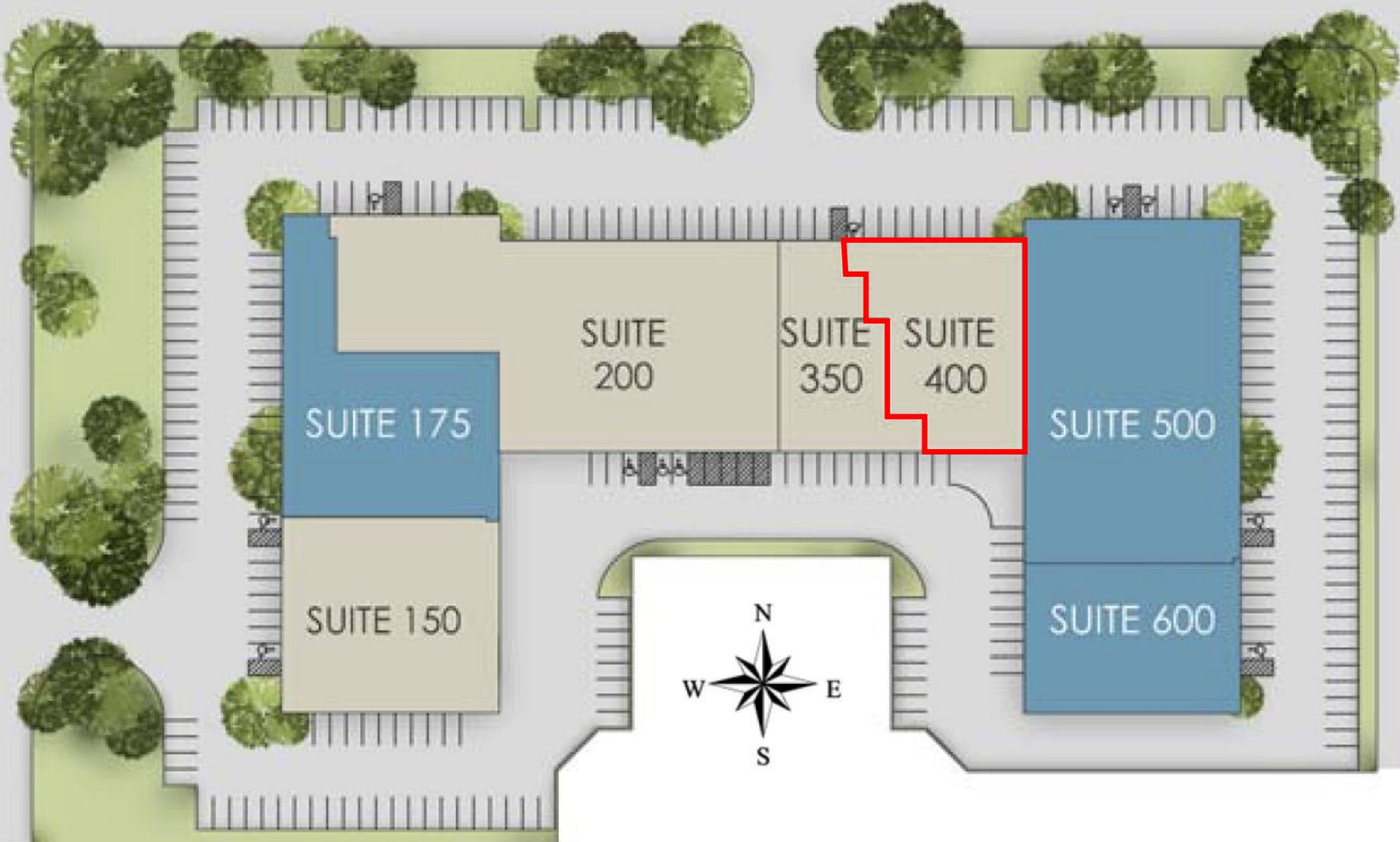
The proposed amendment would allow opportunity for a business to occupy a currently vacant suite, that is similar to other permitted uses within the PD. Additionally, the amendment would allow uses that would be in line with the development pattern of the area.

Staff recommends approval of the request, with the following condition:

- Light assembly of jewelry shall not include smelting, soldering, or the use of hazardous chemicals.

EXCEL PARKWAY

WESTGROVE DRIVE



SUITE 175

SUITE 150

SUITE 200

SUITE 350

SUITE 400

SUITE 500

SUITE 600





Precision Set Fine Jewelry Works

16650 Westgrove Drive, Suite 400
 Addison, Texas 75001



LEGEND:

- DATA (DOUBLE JACK)
- DUPLEX OUTLET
- QUAD OUTLET
- TV MONITOR
- 220V OUTLET
- UC UNDERCOUNTER MTD. DUPLEX OUTLET
- FLOOR BOX

GENERAL NOTES

1. COORDINATE WITH TENANT'S POWER / DATA / IT REQUIREMENTS
2. COORDINATE MOUNTING HEIGHT OF DEVICES FOR TENANT PROVIDED EQUIPMENT.
3. PROVIDE TREATED WOOD BLOCKING AT ALL WALL MOUNTED EQUIPMENT
4. REFER TO MEP FOR EQUIPMENT ROUGH IN

Machine	V	Ph	A
1 Hardinge HSL	208-220	3	1.9/95
2 Emco lathe	115		11.9max
3 Fly cutter	230	1	.9
4 Lincoln mill	110		11
5 Emco Mill	230	3	1.52/.35
6 Moyas Lathe	220/380	?	
7 Feeler	220	3	1.9/1.1
8 Shop Hardinge	208/230	3	1.9/1.7
9 Tanabe plt caster	200V +/- 10% 30, 50/60HZ		8KVA
	Step UP/DN transformer		
10 Memco caster	120/208-240		23
	Plug: NEMA 10-30P		
11 Paragon kiln	240	1	13
12 Vulcan kiln	220	1	20
13 Donaldson	230	3	?
	Provide wall electrical box/cutoff for the two motors in this unit		
14 Sm Branson-ultra	120		350W
Tub	120		8.5
15 Lg Branson -ultra	120		500W
Tub	200-240	1	8.5
16 Vane compressor	230	1	40a

• Jewelers hall wall - 3 ea dedicated 20 amp lines for lasers

REVISION NO: DATE:

Equipment Plan



LH2 PROJECT NO: 22-067
 ISSUED: Permit
 ISSUED DATE: 06.24.2022

LETTIE H. HARRELL
 LICENSE NO. 16897

DRAWING NUMBER:

A1.22



Letter of Intent

PD-099-025 amendment for 16650 Westgrove Road

August 25, 2022

Dear City Officials and staff:

Our request is to amend Planned Development District No. 099-025 (PD-099-025) to allow for the distribution and warehouse uses related to “light assembly of jewelry products” in an existing structure. The request will not change the façade or the site and is specific to a certain suite within the building. Precision Set is a jewelry assembly, packaging and distribution company that provides products to guild quality jewelers throughout the United States. Precision Set does not smelt on premise and uses a variety of different mitigation techniques to provide a more safe, clean, and sustainable environment. The proposed use will have little to no impact on the surrounding area and the infrastructure. Precision Set’s processes and operations are like what you would find in the back of most jewelry stores, but on a larger scale.

Who is Precision Set

Precision Set was founded in 1987 in Dallas Texas. We have had 3 locations over 35 Years. The first 5 years we were on the 9th floor at Mockingbird and central (Now Mockingbird Station). The second location was 5473 Blair Rd on the 2nd floor (building owner occupied the 3rd floor). We have been in our present location at 13711 Omega for 20 Years. Over our 35 years we have been a leader in the Jewelry business selling to prominent Guild Independent jewelers. Our quality driven product is recognized throughout the United States and Canada. We are members of the American Gem Society and the Jewelers board of Trade. Precision Set has 32 employees. The average salary for each employee is approximately \$70,000/year (with benefits-Health and 401k). The common tenure for employment has been 12 years. The proposed location in Addison would be a central location for their employees.

Why support this project?

The site is surrounded by uses that are more intense and impactful. The proposed request is consistent with the design and intent of this area being geared toward light industrial. The use would produce less impact on public infrastructure than a small office. The type of distribution that is utilized is limited to a normal office FedEx pickup. The processes used to assemble jewelry are clean and do not produce any pollutants into the water or air. All exhaust and water that may be used are filtered repeatedly and then sent off to another facility to be refined for any precious metal flakes that may have been captured. Additionally, traps have been added to all drains and sinks to capture any additional metals or contaminants. All in all, this use would be inconspicuous and unobtrusive, and will bring a prestigious company that provides high salary jobs, with a history of longevity for employee retention. By changing the PD regulations to add this use would not change or alter the purpose or design of the ordinance, rather it would provide an additional less impactful use to support the Town of Addison and bring a leader in the industry to the community.

Sincerely,

Trenton Robertson, AICP

Meeting Date: 09/20/2022

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Amending Planned Development (PD) District Ordinance No. 016-003 for a 0.552 Acre segment of a property Located East of the Intersection of Runyon Road and Magnolia Street, in order to Modify Use Regulations by Allowing Offsite Parking Lot as a Permitted Use.** Case 1862-Z /18 Runyon Road.

Staff Report:

The applicant has requested to table consideration of this application to the October 18, 2022 Planning and Zoning Commission meeting in order to allow for additional time to address plan review feedback received from Town staff.

Recommendation:

Staff recommends approval of the request to table consideration of this application to the October 18, 2022 Planning and Zoning Commission meeting.

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Amending the Development Plans for Planned Development (PD) District Ordinance No. 446 for a 0.945 Acre property Located at 14951 Midway Road, to account for Site Modifications resulting from the Acquisition of Right-of-Way for the Midway Road Reconstruction Project.** Case 1863-Z /14951 Midway Road (Nate's Seafood & Steakhouse).

Staff Report:

The applicant has requested to table consideration of this application to the October 18, 2022 Planning and Zoning Commission meeting in order to allow for additional time to address plan review feedback received from Town staff.

Recommendation:

Staff recommends approval of the request to table consideration of this application to the October 18, 2022 Planning and Zoning Commission meeting.
