



**REGULAR MEETING OF THE
PLANNING AND ZONING COMMISSION**

TUESDAY, JUNE 21, 2022

**ADDISON TREEHOUSE
14681 MIDWAY ROAD, SUITE 200, ADDISON, TX 75001**

6:00 PM REGULAR MEETING

The Planning and Zoning Commission meeting and public hearing will be held at the Addison TreeHouse, 14681 Midway Road, Suite 200, Addison, Texas 75001 on Tuesday, June 21, 2022 at 6 pm. Seating for the public will be available using CDC recommended social distancing measures. Telephonic or videoconferencing capabilities will be utilized to allow individuals to address the Commission. For more information on the meeting location and ways to view and/or present comments, please contact Lesley Nyp prior to 3:00 pm on the day of the meeting at 972-450-2823 or by emailing lnyp@addisontx.gov. Members of the public are entitled to participate remotely via Dial-in Number: 346.248.7799; Meeting ID: 319 628 1637; Participant ID: #. For more detailed instructions on how to participate in this meeting, visit our Agenda Page. The meeting will be live streamed on Addison's website at www.addisontexas.net.

Call Meeting to Order

Pledge of Allegiance

Consent Agenda: *All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.*

1. Consider Action on the **Minutes from the April 19, 2022 Planning and Zoning Commission Meeting.**

Regular Agenda:

2. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Adopting a Development Plan for Block D of the Addison Grove Addition, including a Site Plan, Landscape Plan, Building Elevations and Floor Plans for 54 townhomes and one open space lot in an existing Planned Development District (PD), through Ordinance O16-003, located on approximately 2.08 acres at the Southwest Corner of Magnolia Street and Runyon Road, approximately 400 feet south of Belt Line Road.**
Case 1833-Z/Addison Grove, Block D.

3. Present and Discuss the **Draft Report for the Sam's Club Special Area Study.**

Adjourn Meeting

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

THE TOWN OF ADDISON IS ACCESSIBLE TO PERSONS WITH DISABILITIES. PLEASE CALL (972) 450-7017 AT LEAST 48 HOURS IN ADVANCE IF YOU NEED ASSISTANCE.

POSTED BY: _____
Irma G. Parker, City Secretary

DATE POSTED: _____

TIME POSTED: _____

DATE REMOVED FROM BULLETIN BOARD: _____

REMOVED BY: _____

Planning & Zoning Commission

2.

Meeting Date: 06/21/2022

Agenda Caption:

Consider Action on the Minutes from the April 19, 2022 Planning and Zoning Commission Meeting.

Staff Report:

The minutes from the April 19, 2022 Planning and Zoning Commission Meeting have been prepared for consideration.

Recommendation:

Administration recommends approval.

Attachments

Minutes of the April 19, 2022 Planning & Zoning Commission Meeting

DRAFT

OFFICIAL ACTIONS OF THE ADDISON PLANNING AND ZONING COMMISSION

April 19, 2022

6:00 P.M. - Addison Treehouse

14681 Midway Road, Suite 200, Addison, TX 75001

Present: Chair Tom Souers; Vice Chair Chris DeFrancisco; Commissioner Juli Branson; Commissioner Robert Catalani; Commissioner Nancy Craig; Commissioner Denise Fansler; Commissioner John Meleky

Call Meeting to Order

Chair Souers called the meeting to order.

Pledge of Allegiance

Chair Souers led the Pledge of Allegiance.

Consent Agenda: *All items listed under the Consent Agenda are considered routine by the Planning and Zoning Commission and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be pulled from the Consent Agenda and discussed separately.*

1. Consider Action on the **Minutes from the March 15, 2022 Planning and Zoning Commission Meeting.**
2. Consider Action on a **Replat of Lot C-R, Block 1, of the Oaks North-West No. 2 Addition, comprising 1.24 Acres situated in the Allen Bledsoe Survey, Abstract No. 157, and located west of Montfort Drive and approximately 275 feet south of Belt Line Road.** Case R2022-01/Oaks North-West No. 2 Addition (14999 Montfort Drive).

Motion: Recommend approval of the Consent Agenda as presented.

Moved by Commissioner Nancy Craig, Seconded by Commissioner John Meleky

AYE: Chair Tom Souers, Vice Chair Chris DeFrancisco,
Commissioner Juli Branson, Commissioner Robert Catalani,
Commissioner Nancy Craig, Commissioner Denise Fansler,
Commissioner John Meleky

Passed

Regular Agenda:

3. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 5280 Belt Line Road that is currently zoned Local Retail (LR), to allow a portion of the building to be used as a Restaurant.** Case 1847-SUP/5280 Belt Line Road (Sweetgreen).

(Note: Agenda Items 3 and 4 were presented together.)

Ken Schmidt, Director of Development Services, presented the staff report for Items 3 and 4.

Discussion:

Commissioner Fansler asked if the UDC would change parking requirements for this site. Mr. Schmidt replied that this site was originally zoned and constructed at a ratio of 1 parking space per 100 square feet of building floor area. This site will not meet the minimum parking requirements because an existing parking space was lost in order to bring the site into compliance with handicapped parking requirements.

Chair Souers inquired about landscape area requirements for surrounding cities like Dallas or Plano. Mr. Schmidt responded that most cities require a range of 10-20% of the gross area of a site to be comprised of landscape, but as areas continue to mature and reuse and redevelopment occurs, it is becoming more challenging to maintain that amount of landscape area. Through our development review process, staff works to find a balance between positive development and maximizing landscape area compliance.

Chair Souers stated that there were previous discussions about Meso Maya using alcohol terms in their signs. He asked if repealing the original Meso Maya SUP would create issues. Mr. Schmidt said the

repeal does not take effect until a Certificate of Occupancy is issued for one of the proposed businesses. If Meso Maya were to remain, the original SUP would not be repealed. When the new businesses occupy the site, the Town will no longer need the previous ordinances approved specifically for Meso Maya.

Commissioner Catalani noted that Sweetgreen will likely have most of their business be take out. Commissioner Catalani asked if there are other similar establishments within the vicinity of Sweetgreen and how parking is accommodated. Mr. Schmidt responded that a similar business would be CAVA, within Village on the Parkway, and there there are other quick service restaurants that elect to reserve a handful of parking spaces exclusively for take out service convenience. As these businesses get established, they take these things into consideration and work with the property owner to accommodate these parking needs.

Vice Chair DeFrancisco commented that he is excited about the project. He noted that the property is constrained, but they are doing the best they can with the landscaping and exterior improvements.

Chair Souers opened the meeting as a public hearing for Item 3.

Public Hearing:

The applicant, Bryan Ruesch of JSD, Inc., 1400 E. Touhy Avenue, Suite 215, Des Plaines, IL 60018, spoke on behalf of his client, Sweetgreen, and stated that they are very excited about the location, and they hope the commission will support the project.

Commissioner Catalani asked when Sweetgreen would be open for business. Mr. Ruesch responded that it will depend on when the current tenant vacates the premises. They are anticipating opening in the first quarter of 2023.

Chair Souers closed the public hearing for Item 3.

Motion: Recommended approval of the SUP with the following conditions:

- The applicant shall not use any terms or graphic depictions that relate to alcoholic beverages in any exterior signage.
- Meso Maya SUP Ordinances 016-042 and 018-007 are repealed upon issuance of a CO for either Sweetgreen or Postino.

Moved by Commissioner John Meleky, Seconded by Commissioner Nancy Craig

AYE: Chair Tom Souers, Vice Chair Chris DeFrancisco,
Commissioner Juli Branson, Commissioner Robert Catalani,
Commissioner Nancy Craig, Commissioner Denise Fansler,
Commissioner John Meleky

Passed

4. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Approving a Special Use Permit (SUP) for Property Located at 5280 Belt Line Road that is currently zoned Local Retail (LR), to allow a portion of the building to be used as a Restaurant with the Sale of Alcoholic Beverages for On-Premises and Off-Premises Consumption.** Case 1848-SUP/5280 Belt Line Road (Postino).

Chair Souers opened the meeting as a public hearing for Item 4.

The applicant's representative, Chris Johnson of Upward Projects, 3443 N. Central Avenue, Phoenix, AZ 85012, stated that Postino is very excited for the opportunity to have a location in Addison.

Commissioner Branson asked what percentage of sales do the on- and off-premises alcohol sales make up. The applicant replied that the off-premises sales comprise about 1% of their sales. The off-premises wine sales are a part of the brand and sets a tone for the guest experience. It is also a part of the education program and allows patrons to explore new wines. The alcohol sales will occur in accordance with the liquor license.

Commissioner Meleky asked where the wine is sourced. Mr. Johnson responded that wine would come from a combination of sources and regions, which includes Postino wines that are exclusively sold at their locations.

Chair Souers asked if there was a limited on the amount of wine sales allowed. Mr. Johnson responded that he did not believe there was.

Commissioner Catalani asked when Postino anticipates they will be open for business. The applicant stated they are aiming for the first quarter of 2023.

Chair Souers closed the public hearing for Item 4.

Motion: Recommended approval of the SUP with the following conditions:

- The applicant shall not use any terms or graphic depictions that relate to alcoholic beverages in any exterior signage.
- Meso Maya SUP Ordinances 016-042 and 018-007 are repealed upon issuance of a CO for either Sweetgreen or Postino.

Moved by Commissioner Nancy Craig, Seconded by Commissioner Denise Fansler

AYE: Chair Tom Souers, Vice Chair Chris DeFrancisco,
Commissioner Juli Branson, Commissioner Robert Catalani,
Commissioner Nancy Craig, Commissioner Denise Fansler,
Commissioner John Meleky

Passed

5. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Adopting a Development Plan for Block D of the Addison Grove Addition, including a Site Plan, Landscape Plan, Building Elevations and Floor Plans for 54 townhomes in an existing Planned Development District (PD), through Ordinance O16-003, located on approximately 2.08 acres at the Southwest Corner of Magnolia Street and Runyon Road, approximately 400 feet south of Belt Line Road.** Case 1833-Z/Addison Grove, Block D.

Ken Schmidt, Director of Development Services, stated that the applicant requested that consideration and action on item 1833-Z/Addison Grove, Block D be tabled again. This item was originally tabled at the March 15th Planning and Zoning Commission Meeting.

Chair Souers opened the meeting as a public hearing for Item 5.

Public Hearing: There were no speakers on this item.

Chair Souers closed the public hearing for Item 5.

Motion: Recommend approval of the request to table Agenda Item 5.

Moved by Vice Chair Chris DeFrancisco, Seconded by Commissioner John Meleky

AYE: Chair Tom Souers, Vice Chair Chris DeFrancisco,
Commissioner Juli Branson, Commissioner Robert Catalani,
Commissioner Nancy Craig, Commissioner Denise Fansler,
Commissioner John Meleky

Passed

Adjourn Meeting

There being no further business before the Commission, the meeting was adjourned.

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

Meeting Date: 06/21/2022

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Adopting a Development Plan for Block D of the Addison Grove Addition, including a Site Plan, Landscape Plan, Building Elevations and Floor Plans for 54 townhomes and one open space lot in an existing Planned Development District (PD), through Ordinance O16-003, located on approximately 2.08 acres at the Southwest Corner of Magnolia Street and Runyon Road, approximately 400 feet south of Belt Line Road.** Case 1833-Z/Addison Grove, Block D.

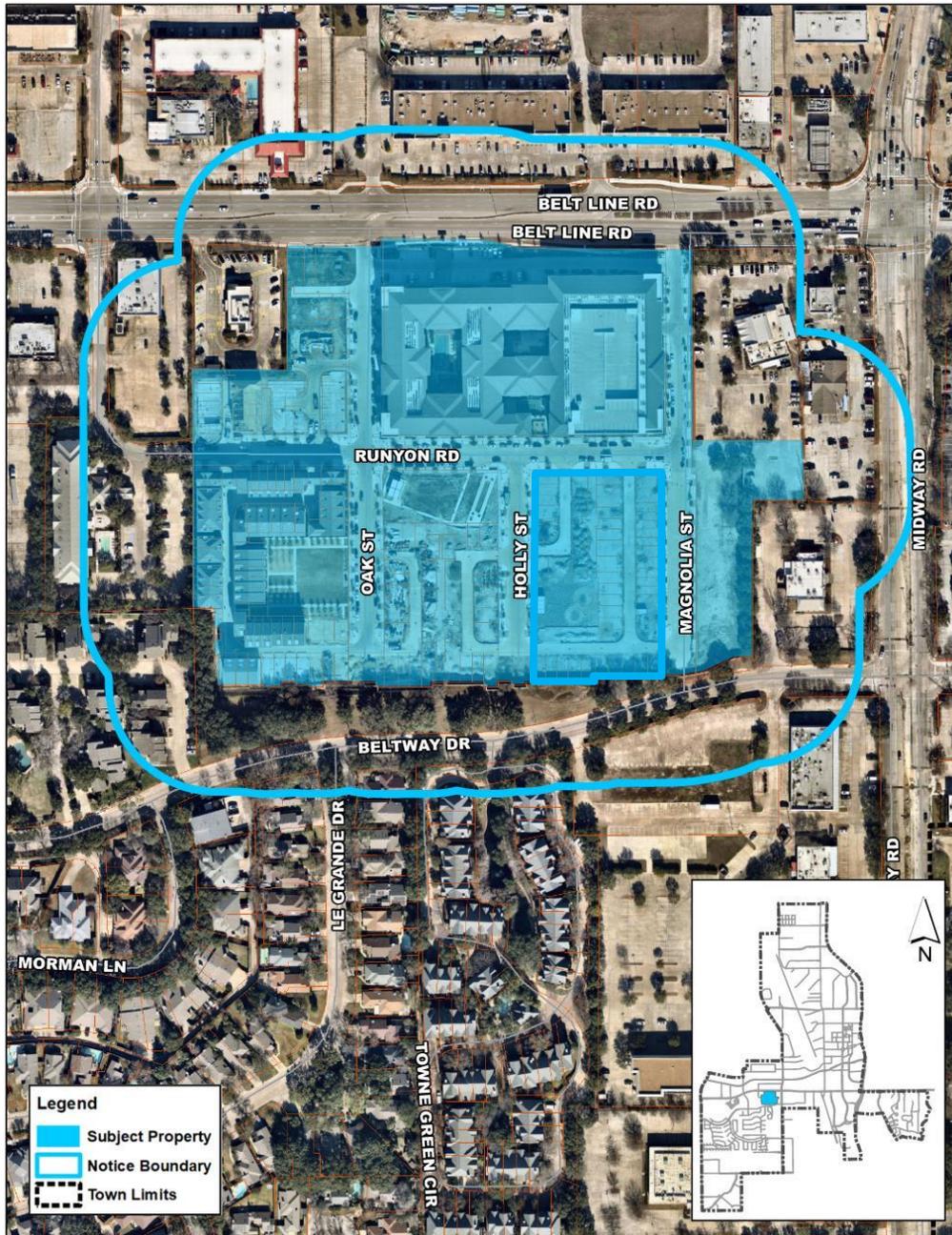
Attachments

- 1833-Z Staff Report
 - 1833-Z Plans (Site and Landscape)
 - 1833-Z Plans (Buildings 1 - 7)
 - 1833-Z Plans (Buildings 8 - 13)
-

1833-Z

PUBLIC HEARING Case 1833-Z/Addison Grove, Block D. Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance Adopting a Development Plan for Block D of the Addison Grove Addition, including a Site Plan, Landscape Plan, Building Elevations and Floor Plans for 54 townhomes in an existing Planned Development District (PD), through Ordinance O16-003, located on approximately 2.08 acres at the Southwest Corner of Magnolia Street and Runyon Road, approximately 400 feet south of Belt Line Road.

Location Map





June 21, 2022

STAFF REPORT

RE: 1833-Z/Addison Grove, Block D

LOCATION: 4150-4168 Runyon Road
14938-14974 Holly Street
14941-14971 Magnolia Street

REQUEST: Development Plan Approval in accordance with development standards for Planned Development O16-003, including site plan, landscape plan, building elevations, and floor plans for the construction of 54 townhomes units and one open space lot situated within Block D of the Addison Grove Addition.

APPLICANT: Stephen Klimas, Texas Intown Homes LLC

DISCUSSION:

Background: Block D is part of the Addison Grove Addition, an approximately 17.4 acre site situated on the south side of Belt Line Road and 350 feet west of Midway Road. In 1991, this property was zoned Planned Development, through Ordinance O91-066, to accommodate the development of a Sam's Wholesale Club, which was constructed the following year. In anticipation of redevelopment, a special area study was initiated by the Town in 2014. This visioning process culminated in the adoption of a new Planned Development district, PD O16-003, in early 2016, establishing standards for a mixed-use redevelopment plan with townhomes, live/work units, and a multifamily component with ground floor retail uses.

In May 2016, InTown Homes received Development Plan approval for the townhome and live/work units in Addison Grove and has continued to advance through the permitting and construction process for the 57 townhome units that comprise Block B. In December 2017, Greystar received Development Plan approval for the development of the multifamily and retail component, Elan Addison Grove, which has now been constructed and occupied. In April 2021, the Development Plan for Block A was approved, which included 16 townhomes and 17 live/work units. Permit review and lot construction is ongoing in Block A.

At this time, InTown Homes is ready to proceed with Block D, and in order to receive the necessary building permits, they must first obtain Development Plan Approval from the Town.

Proposed Plan: The development plans include the site plan and landscape plan for the entirety of Block D, as well as representative building elevations and floor plans for the 54 townhome units that comprise this block. The plan accommodates four, four-story buildings, with all other buildings being three stories in height. The architectural character continues the traditional appearance of the Addison Grove neighborhood, with primarily brick façades. Units range in size from two to five-bedroom units that accommodate 1,350 square feet to 4,115 square feet of floor area.

Staff Review: Development Plan approval differs from a typical zoning case. While zoning is a legislative decision that is discretionary in nature, Development Plan approval is a ministerial function that is more like plat approval. The purpose of the Development Plan approval process is to review the proposal in the context of the existing zoning requirements for the site. If the proposal meets the requirements, then it must be approved.

Uses: The applicant is proposing 54 townhome units and one open space lot in Block D. **The proposed uses meet the standards in the ordinance.**

Development Standards: PD O16-003 established development standards defining required setbacks, building heights, lot sizes, and minimum and maximum floor area of certain uses. The development plan is in compliance with all development standards, as detailed below:

Street Build-to Line: The development standards require that at least 70% of the building be at the build-to line along Type A streets. This has been met.

Other Setbacks: There are no minimum side yard or rear yard requirements. There is a perimeter setback of 10 feet, which has been met.

Building Height: The development standards require a minimum building height of two stories (23 feet) and a maximum height of 60 feet for the townhome units. The townhomes range from three to four stories, with the tallest unit measuring 60 feet in height. All buildings meet this requirement.

Minimum Area per Dwelling Unit: The development standards require that townhomes be at least 1,350 square feet. All proposed units in Block D meet or exceed these requirements.

Maximum Lot Coverage: The development standards require a maximum lot coverage of 95%. This has been met.

Landmark Buildings: The development standards require that buildings at the corners or end of streets be designated as landmark buildings and should include unique architectural features. The representative elevations provided reflect landmark corners where Runyon Road intersects Holly Street and Magnolia Street. Buildings 8 and 11 comply with the landmark building requirement through the provision of unique articulation and design elements.

The proposed plans comply with the development standards in the ordinance.

Open Space: PD O16-003 requires open space to be provided to support residential uses and is calculated to require two acres for every 1,000 residents up to 2,250, and then 1.5 acres per 1,000 residents above 2,250. The PD ordinance assumes 1.5 persons per dwelling unit. When applied to the entire project, 1.52 acres of open space is required. This requirement was met through dedication of 1.5606 acres of public open space for the full 17.4-acre development site, as prescribed by Ordinance O16-020 and depicted in the Addison Grove plat. **The proposed plans comply with the open space standards in the ordinance.**

Parking: PD O16-003 requires that two off-street parking spaces be provided for each townhome, which may be provided through tandem parking. Each unit has a minimum of two garage parking spaces. **The proposed plans comply with the parking standards in the ordinance.**

Exterior Appearance: PD O16-003 requires at least 80 percent of the exterior walls to be of masonry construction. The representative building elevations show masonry counts exceeding 80% for all effected facades. The alley façade for building 7 has the lowest masonry percentage at 88.9%. The elevations show a mixture of brick, stone, and minimal amounts of siding. **The proposed plans comply with the exterior appearance standards in the ordinance. Further compliance will be assessed during the building permit review process.**

Landscape: PD O16-003 prescribes landscape standards for the street edge as well as private landscaping. The full landscape plan for the development was previously approved through the Block B Development Plan Approval and further refined as part of the full civil construction review. The landscape plan provided in this submittal addresses the open space lot that is situated between buildings 9, 10, and 13. This landscape plan has been reviewed by the Parks Department and no issues were identified. **The proposed plans comply with the landscape standards in the ordinance.**

Screening of Mechanical Equipment: PD O16-003 requires that mechanical equipment as well as loading, service, and trash storage areas be screened from view of all public roadways. All mechanical equipment, as represented on the provided plans, is shown to be screened accordingly. **The proposed plans comply with the screening standards in the ordinance.**

General Requirements: When the zoning was approved, several conditions were added and became part of the regulations for the development. These conditions include:

Public Safety Access: The proposed street shown on the east side of the development shall be constructed with retractable bollards at Beltway to provide for public safety access only. These improvements are reflected in these plans and will need to be installed when the adjacent townhome units in this phase are constructed.

Courtyard Design Standards: Courtyards shown on the Concept Plan will be designed and constructed with enhanced architectural and landscaping features, including such elements as

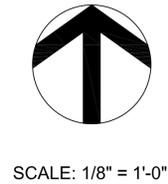
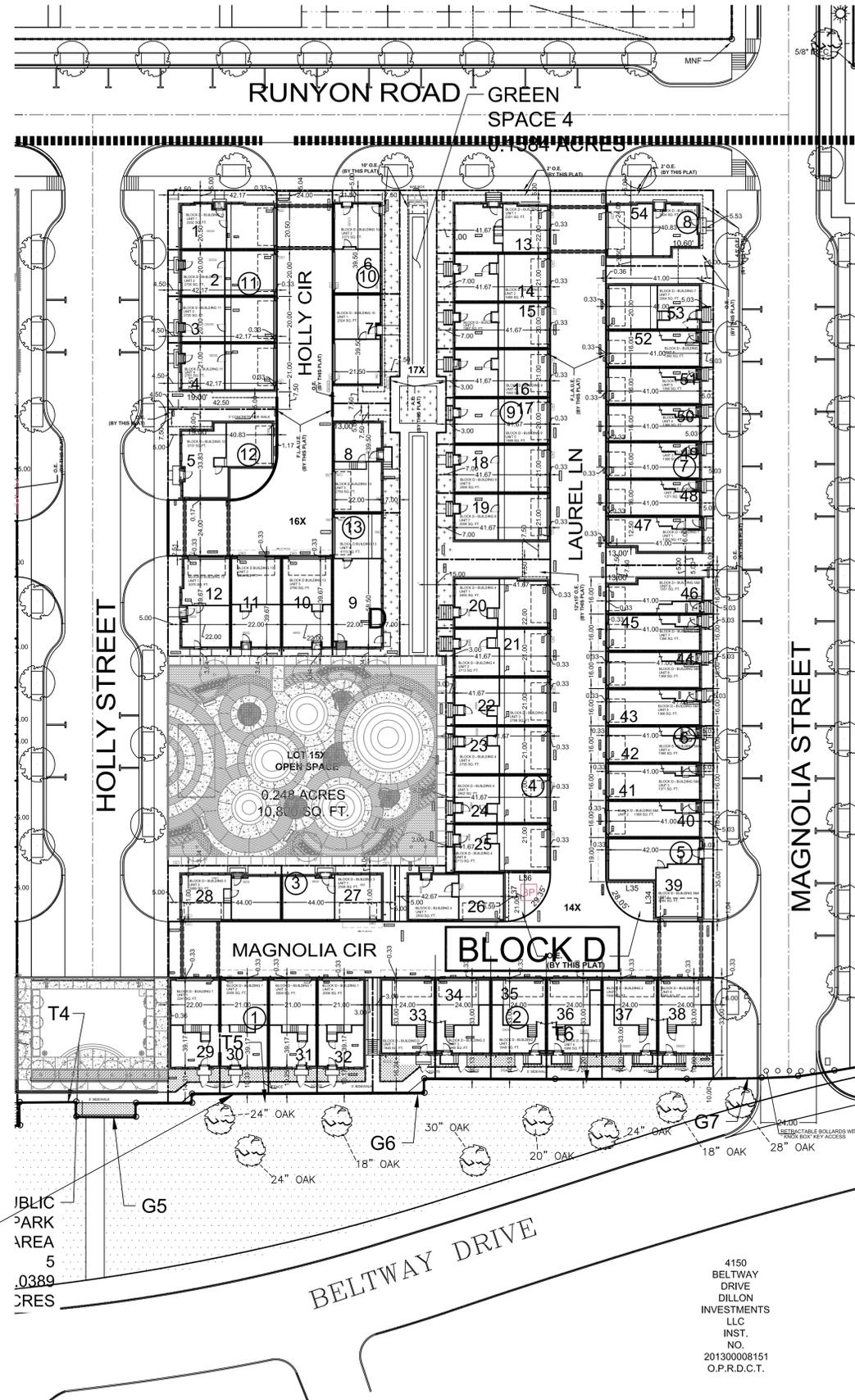
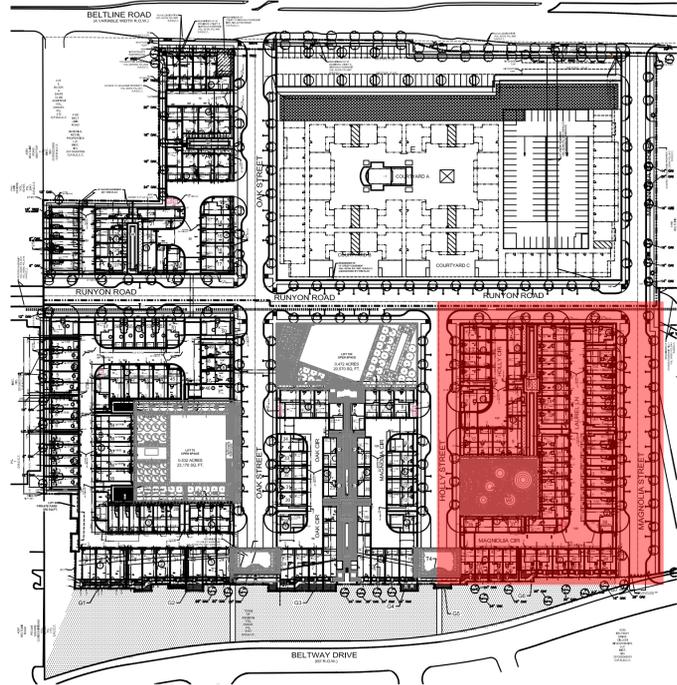
water features, landscaping, and art features. The proposed plans confirm that the private courtyards in Block D will include enhanced landscaping.

The proposed plans comply with all general requirements in the ordinance. Staff will continue to monitor the project through the construction phase to ensure that required interior materials and appliances are provided.

RECOMMENDATION: APPROVAL

Staff has reviewed the development plans and found them to comply with all requirements of the approved zoning ordinance, PD O16-003. In order to account for needed construction phasing conditions and to correct several ongoing issues with this project, Staff recommends approval subject to the following conditions:

- A replat and associated air rights easements are approved and filed prior to release of any Block D building permits in order to account for required street and alley name modifications and off-lot building aerial encroachments at alley entryways.
- An 8-inch waterline connection is made between existing waterlines within the Magnolia Street and Beltway Drive rights-of-way prior to release of any Block D building permits. The required public safety connection and associated bollards that are co-located at this location may be installed concurrently or at the time of construction of the closest adjacent lots.
- The public park situated within Block A is completed and accepted by the Town prior to the release of any Block D building permits.
- No portion of the existing screening wall fronting towards Beltway Drive may be removed without providing at least two weeks of prior notice to the Town.



Addison Block D					
Lot No.	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual open Space (S.F.)	Living area (S.F.)	No. of bedroom
1	1198	60	340	2932	4
2	940	47	105	2720	4
3	940	47	105	2720	4
4	1340	67	340	2761	4
5	1747	88	419	3737	4
6	1290	65	432	2173	3
7	1317	66	384	2024	3
8	1313	66	385	2759	4
9	1784	90	500	4115	5
10	946	48	66	2790	4
11	946	48	66	2894	4
12	1161	59	300	3070	4
13	1323	67	399	2351	3
14	1029	52	147	1989	3
15	980	49	147	1987	3
16	993	50	107	1993	3
17	920	46	91	1999	3
18	1029	52	147	2006	3
19	1396	70	392	2006	3
20	1445	73	399	2805	4
21	993	50	126	2713	4
22	945	48	63	2798	4
23	945	48	63	2705	4
24	945	48	66	2802	4
25	945	48	132	2713	4
26	1390	70	278	2830	4
27	1178	59	252	2936	4
28	1178	59	252	3069	4
29	1156	58	405	2241	3
30	1046	53	113	2009	3
31	1044	53	112	2009	3
32	1191	60	360	2008	3
33	1309	66	405	1948	3
34	1042	53	113	1948	3
35	1044	53	114	1948	3
36	1045	53	115	1986	3
37	1045	53	115	1948	3
38	1044	53	355	2060	3
39	1585	80	549	3184	3
40	742	38	312	1368	2
41	742	38	80	1371	2
42	742	38	80	1368	2
43	742	38	80	1368	2
44	742	38	80	1368	2
45	742	38	80	1368	2
46	974	49	312	1351	2
47	974	49	312	1350	2
48	742	38	80	1371	2
49	742	38	80	1368	2
50	742	38	80	1368	2
51	742	38	80	1368	2
52	742	38	80	1368	2
53	1275	64	337	2004	3
54	1506	76	569	2324	3

BUILDINGS 8 & 11 ARE LANDMARK BUILDINGS AND WILL REQUIRE LANDMARK FEATURES

- LEGEND:**
- TOWNHOMES
 - OPEN SPACE
 - PARKING
 - RAMP

ARCHITECT OF RECORD
 Studemont Architects, LLC
 2410 Polk St
 Houston, Texas 77003
 (713) 961-3877
 Firm# BR 3540
 Stephen Klimas
 stephenk@lovetcommercial.com



06/06/2022

ADDISON GROVE BLOCK D

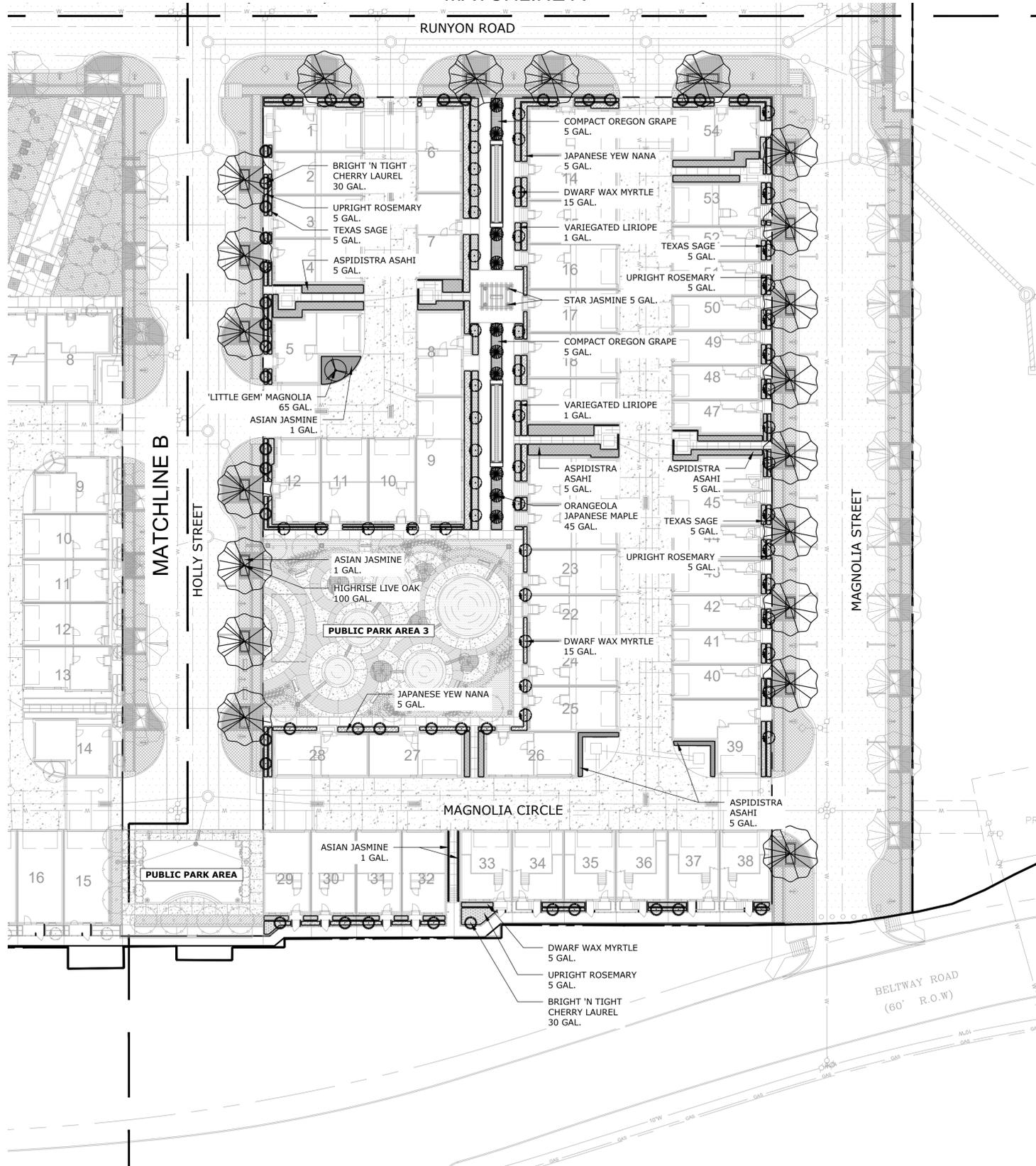
REVISIONS: 1.	URBAN TOWN HOMES 2410 Polk St, Ste 200 Houston, Tx 77003 (713) 961-3877
<h1 style="margin: 0;">ADDISON</h1>	<h1 style="margin: 0;">SITE PLAN</h1>
DATE June 02, 2022 SCALE 1" = 30'-0" DRAWN BY CHECKED BY	PROJECT NUMBER T-1

NOTE: NO PORTION OF THE EXISTING SCREENING WALL SHALL BE REMOVED PRIOR TO PROVIDING TWO WEEKS NOTICE TO THE TOWN.

PUBLIC PARK AREA
 5
 0389
 RES

4150 BELTWAY DRIVE
 DILLON INVESTMENTS LLC
 INST. NO. 201300008151
 O.P.R.D.C.T.

MATCHLINE A



PLANT LEGEND

- HIGHRISE LIVE OAK
100 GAL.
- 'LITTLE GEM' MAGNOLIA
65 GAL.
- ORANGEOLA JAPANESE MAPLE
45 GAL.
- BRIGHT 'N TIGHT CHERRY LAUREL
30 GAL.
- DWARF WAX MYRTLE
15 GAL.
- DWARF WAX MYRTLE
5 GAL.
- JAPANESE YEW NANA
5 GAL.
- TEXAS SAGE
5 GAL.
- UPRIGHT ROSEMARY
5 GAL.
- COMPACT OREGON GRAPE
5 GAL.
- VARIEGATED LIRIOPE
1 GAL.
- ASIAN JASMINE
1 GAL.
- ASPIDISTRA ASAHI
5 GAL.
- STAR JASMINE
5 GAL.

CONTRACTOR IS RESPONSIBLE FOR ENSURING COORDINATION WITH APPROVED CONSTRUCTION DRAWINGS.

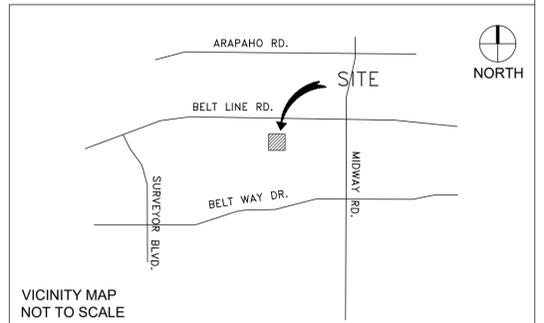
1 LANDSCAPE PLAN SCALE: 1" = 30'-0"



06.03.2022
Issued for PD Submittal
NOT FOR CONSTRUCTION

ASAKURA ROBINSON
2500 Summer Street, Suite 3228
Houston Texas 77007
P: 713.337.5330

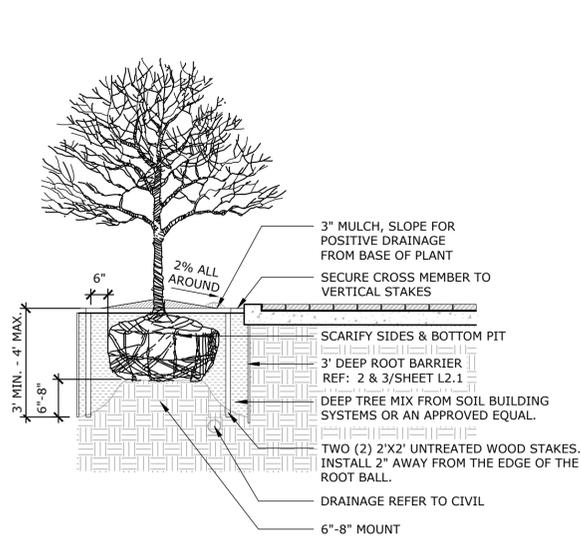
PREPARED BY:
ASAKURA ROBINSON COMPANY
2500 SUMMER STREET, SUITE 3228
HOUSTON, TEXAS 77007
CONTACT: KEIJI ASAKURA
PHONE: 713-337-5830
EMAIL: KEIJI@ASAKURAROBINSON.COM



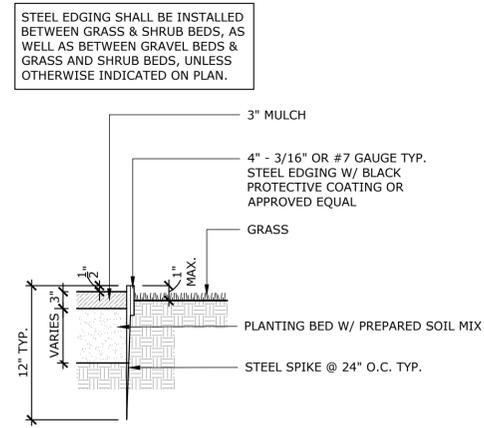
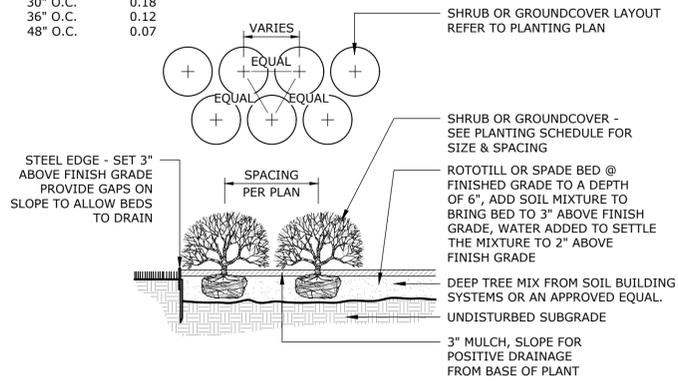
VICINITY MAP
NOT TO SCALE

L4.3 R.O.W. - LANDSCAPE PLAN

ADDISON GROVE
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1833-Z
DATE PREPARED: JUNE 03, 2022



SPACING	PLANTS/SF
6" O.C.	4.61
8" O.C.	2.60
9" O.C.	1.78
10" O.C.	1.66
12" O.C.	1.15
18" O.C.	0.50
24" O.C.	0.28
30" O.C.	0.18
36" O.C.	0.12
48" O.C.	0.07



1 TYP. TREE PLANTING DETAIL IN TREE WELL

N.T.S.

2 TYP. SHRUB / GROUND COVER PLANTING DETAIL & SPACING CHART

N.T.S.

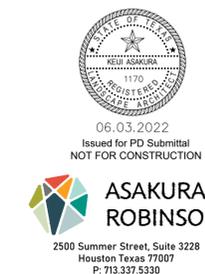
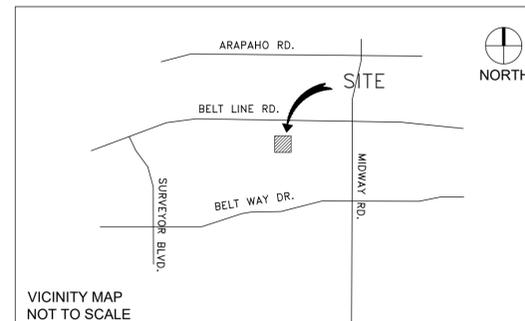
3 TYP. STEEL EDGING DETAIL

N.T.S.

QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE CALIPER	HEIGHT	SPREAD	COMMENTS
CANOPY TREES/ ORNAMENTAL TREES					
20	Highrise Live Oak Quercus virginiana 'Highrise'	4"-5" 100 Gal.	14'-16'	8'-10'	CONTAINER GROWN, FULL & WELL BRANCHED, SINGLE DOMINANT LEADER
1	'Little Gem' Magnolia Magnolia grandiflora 'Little Gem'	4"-5" 100 Gal.	14'-16'	8'-10'	CONTAINER GROWN, FULL & WELL BRANCHED, SINGLE DOMINANT LEADER
10	Orangeola Japanese Maple Acer palmatum 'Orangeola'	2" 45 Gal.	6'-8'	3'-4'	CONTAINER GROWN, FULL & WELL BRANCHED
41	Bright 'N Tight Cherry Laurel Prunus caroliniana 'Monus'	1.5" 30 Gal.	5'-7'	2'-3'	CONTAINER GROWN, FULL & WELL BRANCHED
47	Dwarf Wax Myrtle Myrica pusilla	1" 15 Gal.	34"-38"	24"-30"	CONTAINER GROWN, FULL & WELL BRANCHED
SHRUBS/ GROUND COVER					
250 SF	Dwarf Wax Myrtle Myrica pusilla	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1250 SF	Japanese Yew Nana Taxus cuspidata 'Nana'	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
850 SF	Texas Sage Leucophyllum frutescens	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1150 SF	Upright Rosemary Rosmarinus officinalis	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
500 SF	Compact Oregon Grape Mahonia aquifolium 'Compacta'	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1000 SF	Variegated Liriope Liriope muscari 'Variegata'	1 Gal.	10"-12"	10"-12"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 18" O.C. TRIANGULAR SPACING
1200 SF	Asian Jasmine Trachelospermum asiaticum	1 Gal.	10"-12"	12"-14"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 12" O.C. TRIANGULAR SPACING
1500 SF	Aspidistra Asahi Aspidistra elatior 'Asahi'	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 24" O.C. TRIANGULAR SPACING
ORNAMENTAL VINES					
12	Star Jasmine Trachelospermum jasminoides	1 Gal.	10'-12"	8"-10"	CONTAINER GROWN, FULL & WELL ROOTED 3 PLANTS PER CONTAINER / 30" O.C. ALONG WALL

PLANTING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
- CONTRACTOR SHOULD NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT UP TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADE TO +0.10. CONTRACTOR SHALL OBTAIN LETTER OF GRADE CERTIFICATION FROM OWNER PRIOR TO PROJECT EXECUTION.
- CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 72 HOURS (WEEKENDS NOT INCLUDED) PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULE.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS ON PLANS OR LAYOUT OF PLANS, CONTRACTOR SHOULD CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIAL.
- PROTECT ALL EXISTING TREES TO REMAIN. CONTRACTOR SHALL REPLACE ANY TREES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE FENCING, IF NECESSARY, AT THE TREE DRIP LINE TO PROTECT TRUNK AND ROOTS AND TO PREVENT COMPACTION FROM VEHICLE TRAFFIC OR MATERIAL STORAGE ON THE SOIL BELOW TREES. CONTRACTOR SHALL PROVIDE FOR THE FEEDING, WATERING AND GENERAL MAINTENANCE OF TREES TO KEEP THEM IN A HEALTHY CONDITION DURING CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT PHOTOS OF REPRESENTATIVE TREES AND SHRUBS WITH SPECIFICATIONS ON THE BACK OF PHOTO INCLUDING HEIGHT, WIDTH AND CALIPER. IF A NURSERY VISIT IS REQUIRED THE CONTRACTOR WILL ARRANGE TO HAVE THE PARTICULAR NURSERIES PREPARED TO SHOW TREES. SHOULD CONTRACTOR INSTALL PLANT MATERIAL INFERIOR TO INDUSTRY STANDARD, IT IS AT HIS OWN RISK. ALL PHOTO SUBMITTALS ARE TO BE APPROVED PRIOR TO PLANTING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIALS FREE OF PESTS AND DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO GUARANTEE ALL PLANT MATERIALS PER THE SPECIFICATIONS.
- CONTRACTOR SHALL STAKE ALL FINAL TREE LOCATIONS AND PLANTING BED LIMITS IN THE FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- STEEL EDGING SHALL BE PLACED BETWEEN ALL SHRUB BEDS AND TURF AREAS, AS WELL AS BETWEEN GRAVEL BED AND PLANTING BEDS.
- UPON INSTALLATION ALL TREE MATERIALS SHALL BE STAKED ACCORDING TO SPECIFICATIONS AND PLANTING DETAILS.
- IF REQUESTED BY OWNER CONTRACTOR SHALL INSTALL DEEP/ROOT BARRIERS AT ALL TREES WITHIN 5'-0" OF CONCRETE WALKWAYS, STRUCTURES, WALLS, CURBS, ETC.
- ALL PLANTS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED.
- ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" OF APPROVED SHREDDED MULCH.
- CONTRACTOR SHALL FINE GRADE ALL DISTURBED AREAS TO PROVIDE FOR PROPER DRAINAGE.
- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)/AMERICAN ASSOCIATION OF NURSERYMEN (AAN): ANSI Z60.1 1-069 "NURSERY STOCK".
- "GRADES AND STANDARDS", LATEST EDITION OF TEXAS ASSOCIATION OF NURSERYMEN SPECIFICATIONS, AUSTIN, TEXAS 78704.
- PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK AND PROVIDE FOR ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE, AND LOCAL AUTHORITIES IN FURNISHING, TRANSPORTING, AND INSTALLING MATERIALS.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1. PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT.
- PLANTING SOIL QUALITY ASSURANCE:
 - IF REQUESTED BY OWNER, ALL SOIL COMPONENTS SHALL BE TESTED BY LOCAL OR STATE TESTING LABORATORY FOR CONFORMITY TO THE SPECIFICATIONS:
 - CONTRACTOR SHALL SUBMIT PROPOSED LABORATORY NAME, ADDRESS, AND TELEPHONE NUMBERS FOR APPROVAL.



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L4.4 R.O.W. - LANDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1833-Z

DATE PREPARED: JUNE 03, 2022

Surround Style Planting with Deeproot Universal Barriers

When selecting the Surround style planting application you will have the greatest success by following these simple steps as illustrated below:

A. Prepare the initial planting hole as illustrated below. This is based upon the combination of desired barrier diameter and depth. Consider if drainage devices or amendments are needed to correct any adverse soil or planting conditions in the backfill area.

B. Assemble the appropriate number of Deeproot Universal Barrier panels. The vertical root deflecting ribs on the panel must face inward, toward the root ball. (This is very important, otherwise the roots will become girdled by traveling around the smooth walled surface)

C. Next place the barrier in the center of the planting hole, keeping in mind that the double top edge of the barrier should be positioned approximately 1/2" (13mm) above grade. This helps retard potential root overgrowth. Failing to position the top edge above grade can allow root overgrowth which can lead to uprooted hardscapes.

D. Backfill and compact with soil inside the barrier to the level where the bottom of the root ball will be when positioned correctly with the crown of the root ball approximately 1" (26mm) above grade.

E. Remove the tree from its container, or cut away the top portion of burlap and position in the center of the barrier. Complete the backfill of the soil. Distribute evenly to maintain the shape of the barrier and compact the backfill every 4"-6" (10cm-15cm). Roots will die quickly if left exposed to the elements so keep exposure of the roots to a minimum.

F. If staking or guying is required we recommend using the soft, safe and economical alternative to traditional wire and hose, ArborTie (see www.deeproot.com for details)

G. If the tree(s) will be subject to maintenance work such as lawn mowing or weed trimming we strongly recommend the installation of ArborGuard+ Tree Trunk Protectors which are placed around the base of young trees to protect them from damage by weed trimmers, lawn mowers and small rodents. (See www.deeproot.com)

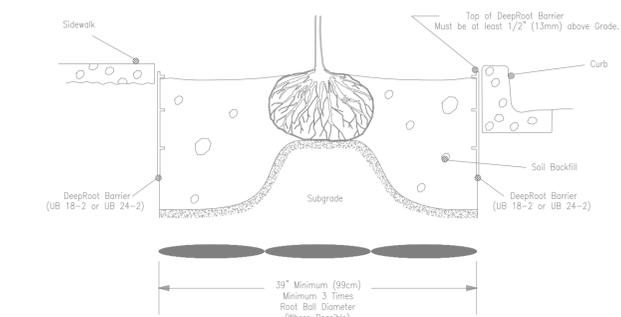
H. Water and follow proper tree maintenance practices.

Trees do require care and nurturing after planting. Consult with your local supplier for proper care procedures for the species you are planting. The planting instructions given here are by no means a comprehensive guide. Rather they are general guidelines to planting with DeepRoot Barriers and a survey of current planting methods. Conditions will vary however and it is recommended that an Arborist be consulted before planting.

For additional information please visit our website at www.deeproot.com

For information regarding distributors please call: 1 800 ILV ROOT (458,7668). For help with drainage or other difficult installation questions please call DeepRoot Technical Support at: 1 800 ROOT TEK (766.8635).

A Typical Surround Planting Installation Using DeepRoot Universal Barrier



1 TYP. ROOT BARRIER DETAIL @ SIDEWALK

N.T.S.

UB 24-2 Specifications 24" DeepRoot® Tree Root Barrier

Specified tree root barrier is a mechanical barrier and root deflector used to prevent tree roots from damaging hardscapes and landscapes. Assembled in 24" (609 mm) long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

A. Materials

1. The contractor shall furnish and install tree root barrier as specified. The tree root barrier shall be either product #UB 24-2 as manufactured by DeepRoot® Green Infrastructure, LLC, 530 Washington Street, San Francisco, CA, www.deeproot.com (800.458.7668).

2. Root barrier shall be recyclable, black, injection molded panels with 0.080" (2.03 mm) wall thickness in modules 24" (609 mm) long and 24" (609 mm) deep.

3. Root barrier shall be manufactured with 75% reprocessed polypropylene with added ultraviolet inhibitors.

4. Root barrier shall be comprised of 24" (60.96 cm) panels. Each panel shall have no less than four (4) Molded Integral Vertical Root Directing Ribs of a minimum 0.075" (1.90 mm) thickness, protruding 1/2" (12.7 mm) at 90° from interior of the barrier panel, spaced 6" (152.4 mm) apart. (See Details A & D)

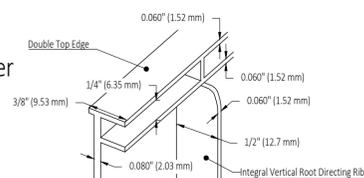
5. Root barrier shall have a Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel at 0.060" (1.52 mm) thickness, 3/8" (9.53 mm) wide and 1/4" (6.35 mm) apart with the lower rib attached to the vertical Root Directing Ribs (See Detail A).

6. Root barrier shall have a minimum of twelve (12) Anti-Lift Ground Lock Tabs consisting of integral horizontal ridges of minimum 0.075" (1.90 mm) thickness in the shape of a segment of an oblong, 2" (50.8 mm) chord of the segment joining the panel wall and the segment, protruding 3/8" (9.53 mm) from the panel. The twelve ground locks on each panel shall be about equally spaced between each of the vertical root directing ribs (Four (4) between each set of ribs, see Details B & D).

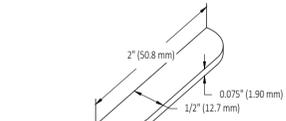
7. Root barrier shall have an integrated Zipper Joining System for assembly by sliding one panel into another (See Detail C).

U.S. Patents: 5,305,549; and 5,528,857. Other Patents Pending.

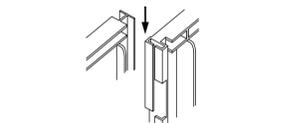
Properties	Typical Value	ASTM Test Method
Tensile strength @ yield - Wall	2,354 PSI	D638
Tensile strength @ yield - Hinge	2,846 PSI	D638
Yield Elongation - Wall	7.44%	D638
Yield Elongation - Hinge	7.01%	D638
Flexural Modulus	119,625 PSI	D790B
Notched Izod Impact - Wall	3.84 (ft-lbs)	D256A
Rockwell Hardness r. scale - Wall	84.4	D785A



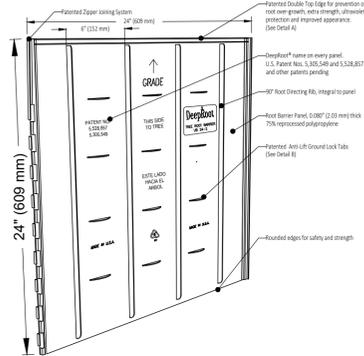
DETAIL A - DOUBLE TOP EDGE AND VERTICAL ROOT DIRECTING RIB



DETAIL B - ANTI-LIFT GROUND LOCK TAB



DETAIL C - ZIPPER JOINING SYSTEM



DETAIL D - TREE ROOT BARRIER PANEL

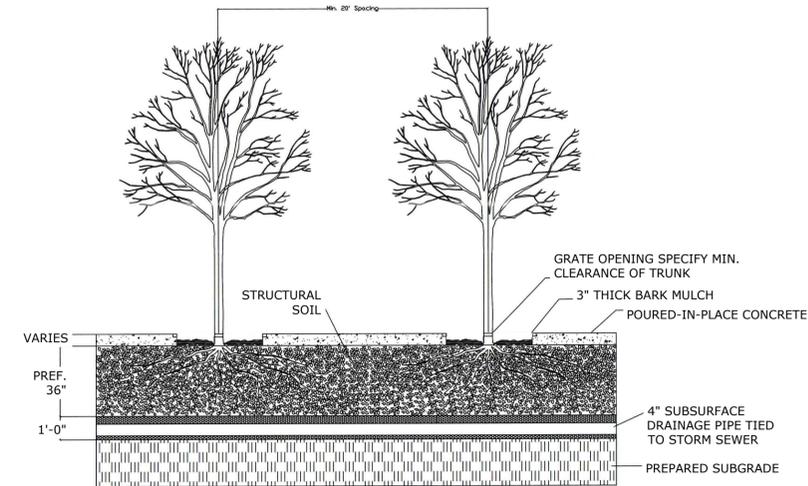
NOTE: CONTRACTOR TO INSTALL DEEPROOT TREE ROOT BARRIER AT ALL SIDES OF EXISTING TREE ROOT. VERIFY WITH DEEPROOT REP FOR EXACT REQUIREMENTS AND SPECIFICATIONS PRIOR TO INSTALLATION.

2 TYP. ROOT BARRIER DETAIL @ SIDEWALK

N.T.S.

3 TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

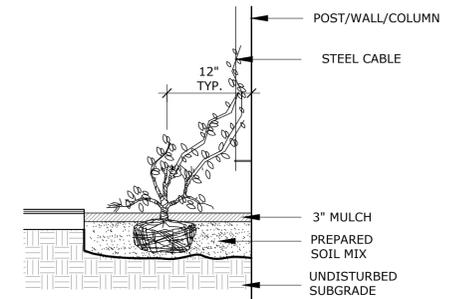
N.T.S.



TYPICAL STREET TREE PLANTING - VIEW 2

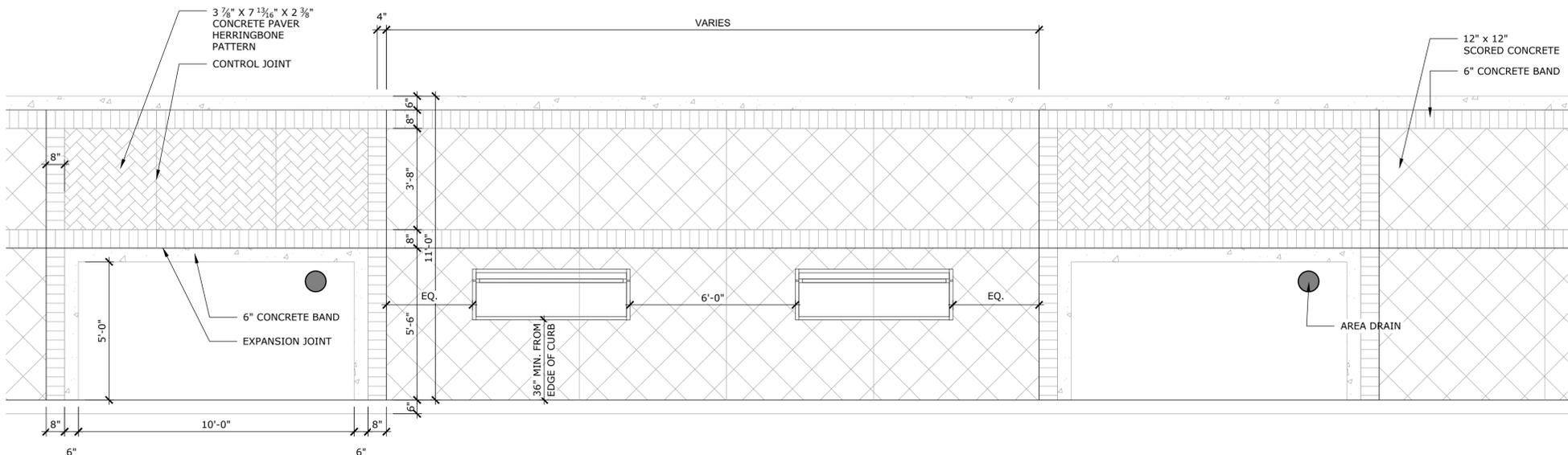
NOTES:

- STRUCTURAL SOIL SHALL BE INSTALLED BETWEEN ALL TREE WELLS TO CREATE A CONTINUOUS 5' WIDE SOIL TRENCH.
- CONTRACTOR TO USE CU-SOIL STRUCTURAL SOIL OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- SOIL MIXTURE SHALL BE COORDINATED WITH THE MANUFACTURER AND APPROVED BY THE CITY.



4 TYP. VINE PLANTING DETAIL

NTS



5 TYPICAL PAVING DETAIL

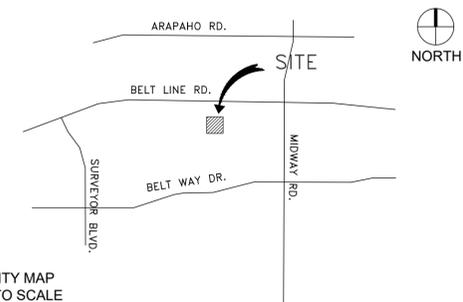
N.T.S.



06.03.2022
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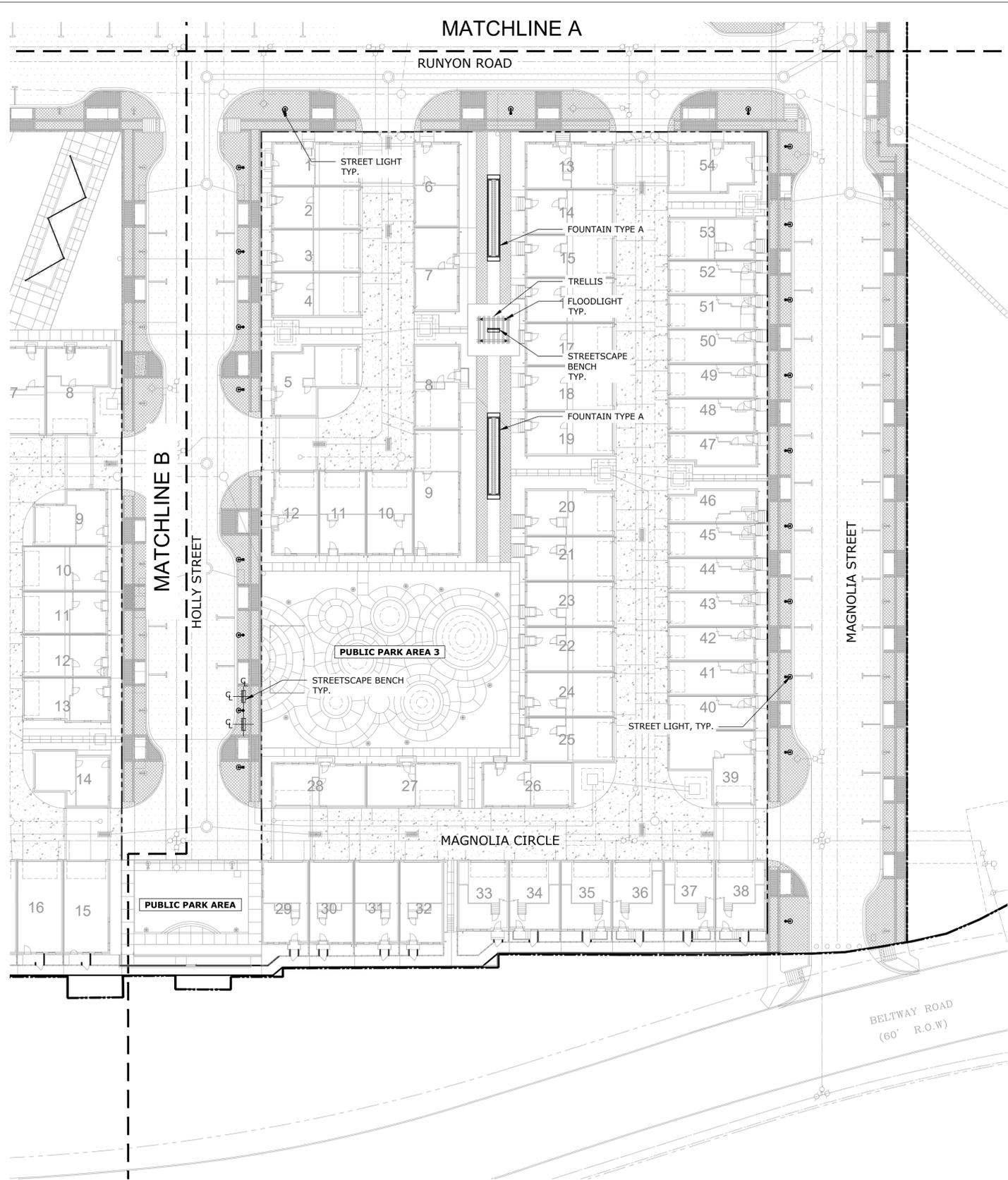
VICINITY MAP
NOT TO SCALE

L4.5 - LANDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK
C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1833-Z

DATE PREPARED: JUNE 03, 2022



LEGEND

-  STREET LIGHTS
-  STREETScape BENCH
-  FLOODLIGHT

SITE FURNISHING SCHEDULE - BLOCK D QUANTITIES ONLY

SYM.	QTY.	ITEM	MANUFACTURER	MATERIAL	COLOR	MODEL	NOTES
	21	STREET LIGHTS	ANTIQUE STREET LIGHTS		PER ONCOR REQUIREMENTS	PER ONCOR REQUIREMENTS	
	3	STREETScape BENCH	LANDSCAPE FORMS	STEEL, ALUMINUM BACK	METALLIC SILVER	STAY SA477-13	BACKED, PAVER MOUNT
	4	FLOODLIGHT	BEGA		SELECTED BY OWNER	7604LED.538	

- NOTES:
- ALL SITE FURNISHINGS AND LIGHTS LOCATIONS ARE TO BE FIELD LOCATED PER PLAN FOR APPROVAL OF OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL SITE FURNISHINGS AND LIGHTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR TO SUBMIT MANUFACTURER'S LITERATURE, DETAILS AND ANY SUPPORT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.

1 SITE FURNISHING AND LIGHTING PLAN

SCALE: 1" = 30'-0"

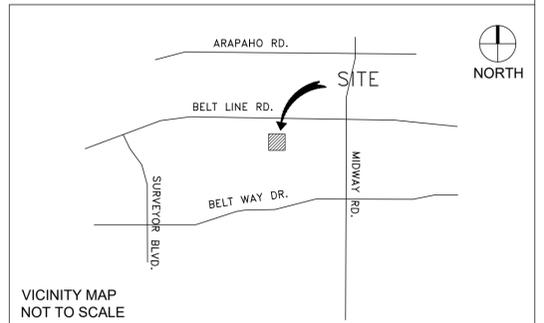


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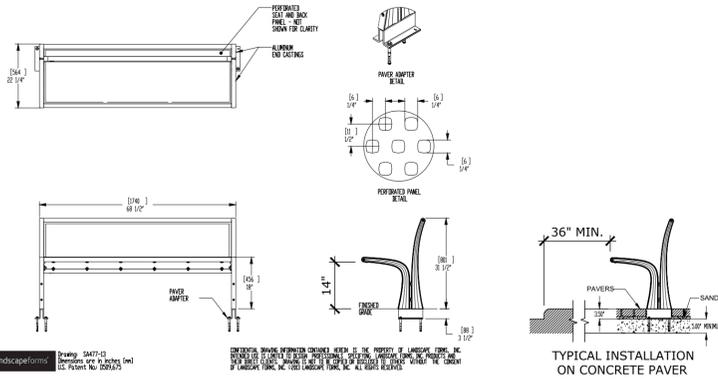
VICINITY MAP
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L5.3 R.O.W. - SITE FURNISHING AND LIGHTING PLAN

ADDISON GROVE

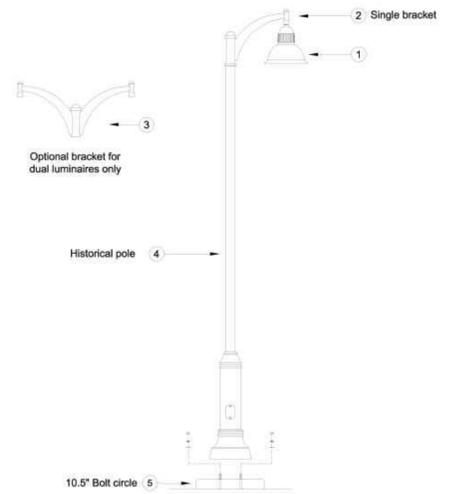
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
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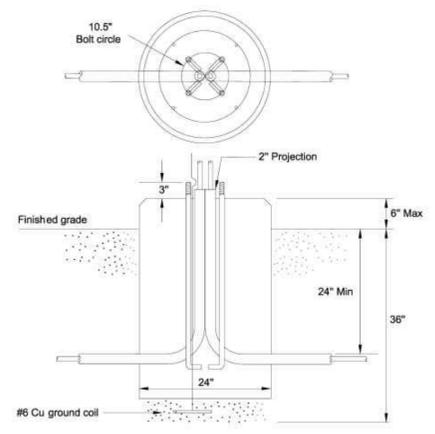
1 TYP. STREETSCAPE BENCH DETAIL
 NTS

Historical Pendant Luminaire 213 - 135
 02 - 18



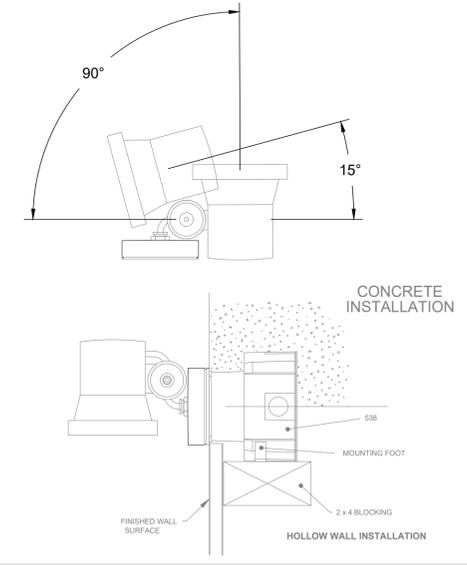
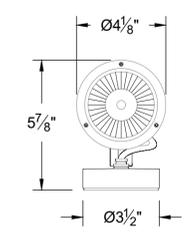
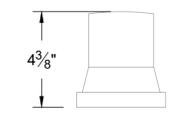
Item	Qty	Description	TSN/Ref	CU
1		LED, Luminaire, Historical, Pendant, 0-55 W, Type III, 120-277 V	902689	LEDHP55
1		LED, Luminaire, Historical, Pendant, 56-100 W, Type III, 120-277 V	902693	LEDHP100
1		High Pressure Sodium, Luminaire, Historical, Pendant, 100 W, Type III, 120 V	479607	LHOV100H31
2		Single Luminaire Bracket	462582	SLBP
3		Double Luminaire Bracket	476309	SLBP2
4		Pole, Decorative, 16 ft., Black, Anchor Base with Mounting Hardware	462580	SLPP16
5		Precast Foundation, 10 in. Bolt Circle, 3/4 in. Anchor Bolts	476487	SLFP12
6		Grounding		
7		Fusing		

Historical Pendant Luminaire Foundation 213 - 135
 02 - 18



Item	Qty	Description	TSN/Ref	CU
1		Precast Foundation, 10 1/2 in. bolt circle, 3/4 in. anchor bolts	476487	SLFP12
2		Grounding		

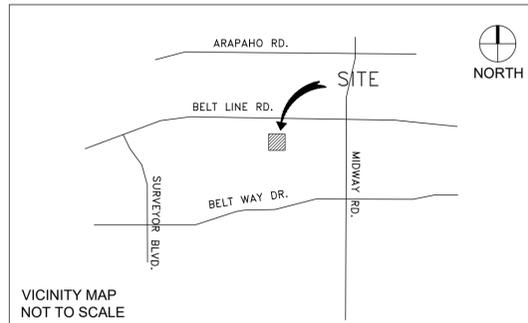
NOTES:
 1. LUMINAIRE # 7604LED.538 - SEE SPECIFICATIONS



BECA
 1000 Brook Way
 Cambridge, CA 95913
 (925) 334-2323
 Catalog No.: 7604LED.538
 Title: SMALL SCALE FLOODLIGHT - LED
 Drawn by: KJT Date: 8/4/14 File Name: 7604LED.538
 Scale: NONE - DO NOT SCALE DRAWING

3 TYP. FLOOD LIGHT DETAIL
 NTS

2 TYP. STREET LIGHT FIXTURE DETAIL
 NTS



VICINITY MAP NOT TO SCALE

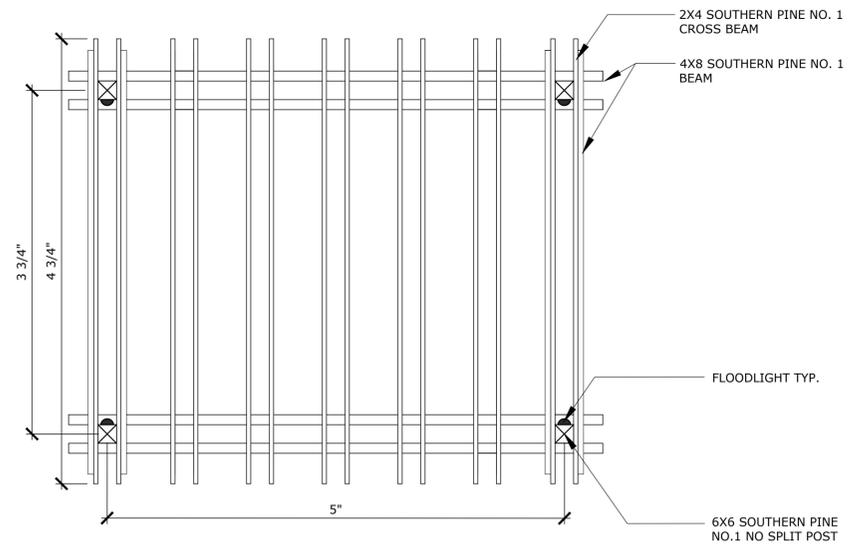
L5.4 R.O.W. - SITE FURNISHING AND LIGHTING DETAILS

ADDISON GROVE
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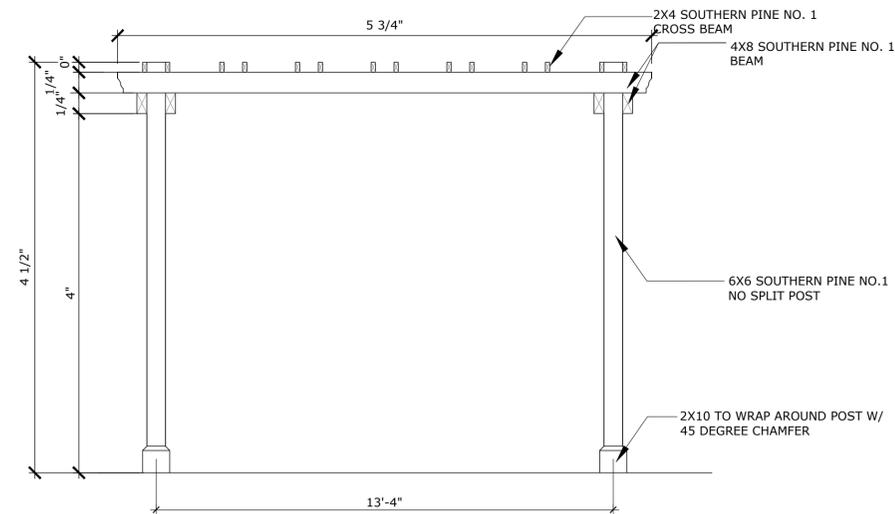
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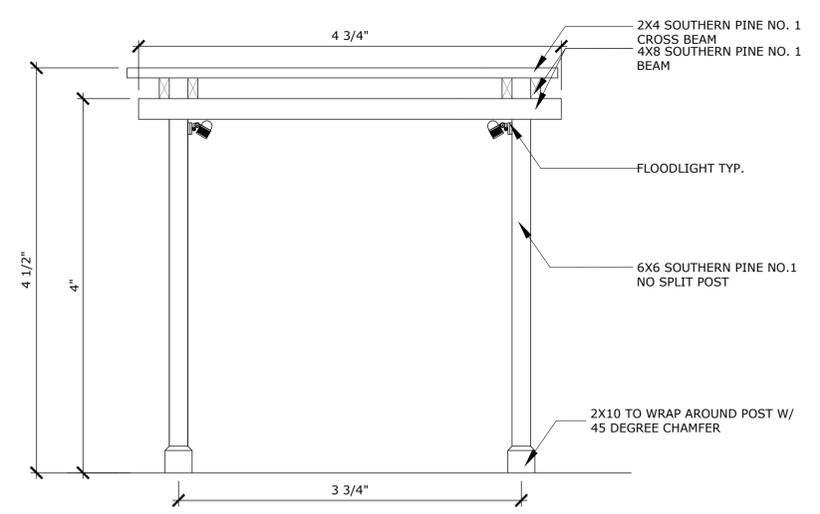
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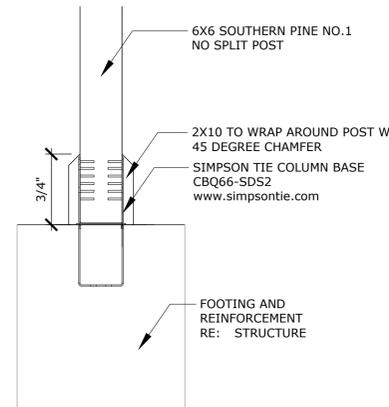
1 TRELLIS LAYOUT PLAN
Scale: 3/8"=1'-0"



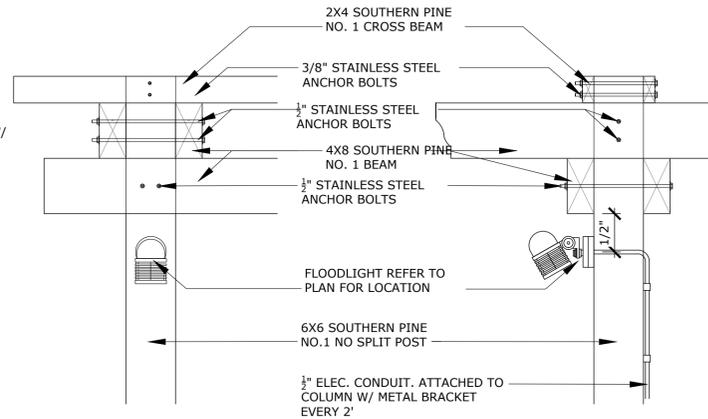
2 TRELLIS FRONT ELEVATION
Scale: 3/8"=1'-0"



3 TRELLIS SIDE ELEVATION
Scale: 3/8"=1'-0"



4 TRELLIS BASE SECTION
Scale: 1"=1'-0"



5 TRELLIS UNION DETAILS
Scale: 1"=1'-0"

TRELLIS GENERAL NOTES:

1. ALL METAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY.
2. METAL FASTENERS TO BE HOT-DIP GALVANIZED THAT COMPLY WITH ASTM-A153 EXCEPT WHERE NOTED. DECK NAILS AND SCREWS TO BE 316 STAINLESS STEEL AND COMPLY WITH ASTM F5936. ALL EXPOSED SCREWS ARE TO BE COUNTER-SUNK, FILLED WITH WOOD DOUGH AND SANDED BEFORE PRIMER AND PAINTING OPERATIONS.
3. PILOT HOLES TO BE DRILLED FOR ALL FASTENERS.
4. INSTALLATION OF ALL NAILS AND SCREWS TO BE STRAIGHT, IN-LINE AND PLUMB WITH ALL SURROUNDING FASTENERS.
5. CONDUIT TO BE FASTENED TO COLUMNS WITH BRACKETS EVERY 2', PRIME AND PAINT TO MATCH TRELLIS. ELECTRICIAN CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT FOR CONDUIT LOCATION.
6. TRELLIS WOOD FINISH TBD

WOOD MEMBERS

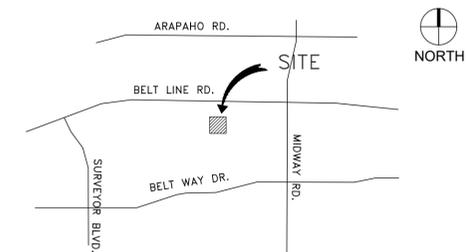
1. ALL WOOD MEMBERS TO BE PRESSURE TREATED, REFER TO DETAILS FOR TYPE OF WOOD.
2. ALL WOOD MEMBERS TO BE STRAIGHT AND TRUE W/TIGHT KNOTS. ALL OTHER WOOD MATERIAL WILL BE REJECTED.
3. ALL LUMBER SHALL BE TREATED WITH ALKALINE COPPER QUATERNARY (ACQ) IN ACCORDANCE WITH AWPA C-18 TO 0.8 POUND PER CUBIC FOOT MIN.
4. ALL LUMBER FOR DECKING, JOIST BEAMS, POST/RAILING AND BALUSTERS SHALL BE IDENTIFIED AS 'ABOVE GROUND'.
5. ALL TIMBER PILES TO BE PRE-DRILLED TO ENSURE THE PRESCRIBED SPACING.
6. TIMBER PILE CONTRACTOR TO PROVIDE PROTECTION AROUND THE BUILDING AREA WHERE HEAVY EQUIPMENT IS TO BE USED TO PREVENT DAMAGE TO FINISH GRADE.
7. CONTRACTOR TO PROTECT/COVER (OFF THE GROUND IN AN AREA THAT WILL NOT FLOOD OR RECEIVE WATER INUNDATION) ALL LUMBER, AT ALL TIMES DURING CONSTRUCTION.
8. NO WOOD MEMBER LEFT OUT OF PROTECTION WILL BE USED ON THE PROJECT.



06.03.2022
Issued for PD Submittal
NOT FOR CONSTRUCTION



PREPARED BY:
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2500 SUMMER STREET, SUITE 3228
HOUSTON, TEXAS 77007
CONTACT: KEIJI ASAKURA
PHONE: 713-337-5830
EMAIL: KEIJI@ASAKURAROBINSON.COM



VICINITY MAP
NOT TO SCALE

L5.5 BLOCK D - HARDSCAPE DETAILS

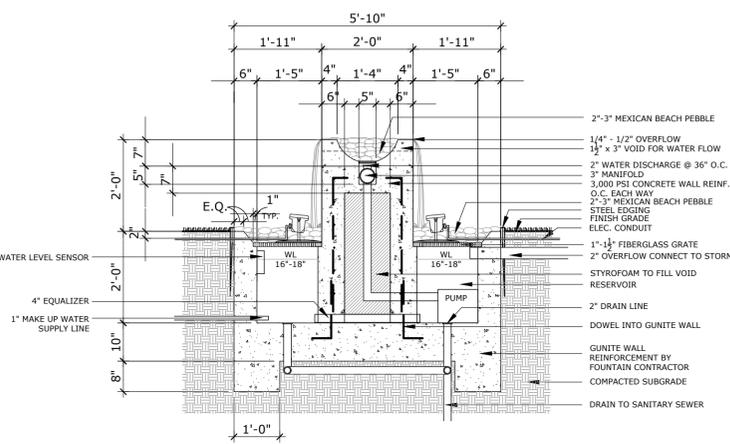
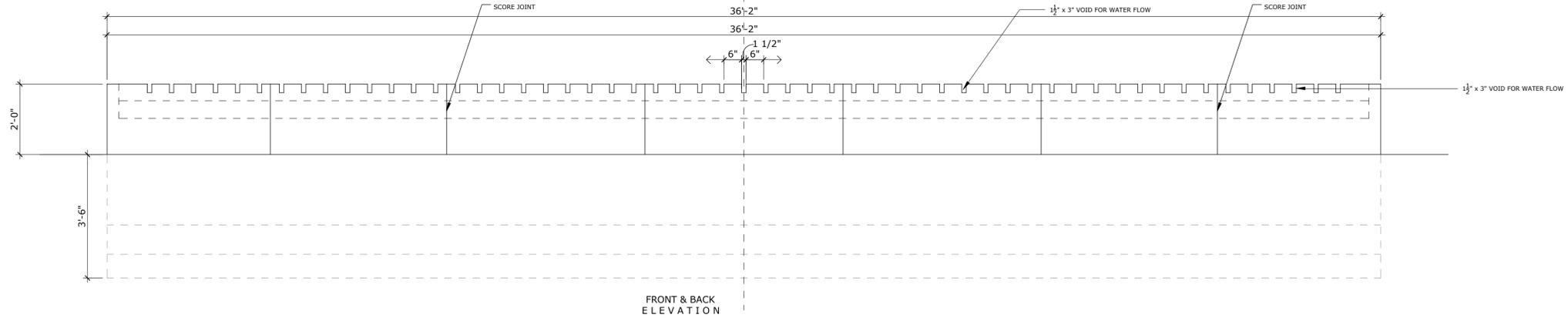
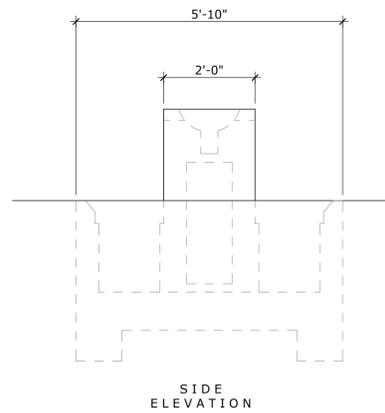
ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1833-Z

DATE PREPARED: JUNE 03, 2022

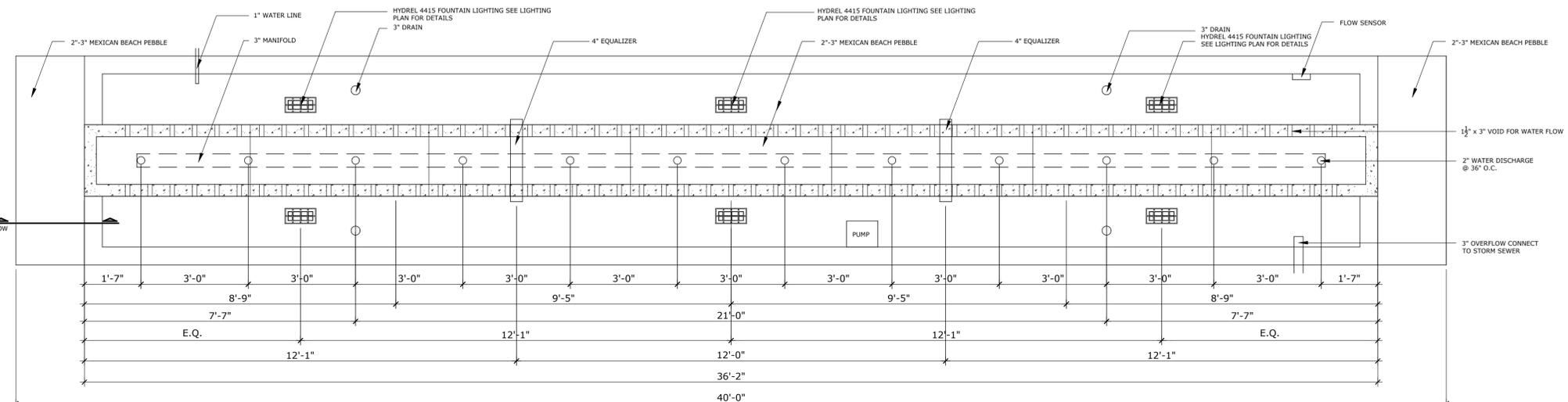
FOUNTAIN A CONSTRUCTION NOTES:

1. THE FOUNTAIN MECHANIC IN THESE DRAWINGS ARE ONLY A CONCEPTUAL GRAPHIC REPRESENTATION. FOUNTAIN CONTRACTOR IS REQUIRED TO PROVIDE TURNKEY DESIGN-BUILT FOUNTAIN SYSTEM. CONTRACTOR ALSO REQUIRED TO SUBMIT DRAWINGS WHICH INCLUDE BUT NOT LIMITED TO ELECTRICAL CONNECTION, DRAINAGE FLOW, SUCTION & DISCHARGE PIPING DIAGRAMS, PUMP MECHANIC & SIZES, FLOW SENSOR LOCATION, OVERFLOW PIPES, WATER & ELECTRICAL REQUIREMENT, AND ALL OTHER SUPPORTING CONSTRUCTION DOCUMENTS & DETAILS FOR APPROVAL PRIOR TO CONSTRUCTION.
2. FOUNTAIN CONTRACTOR IS ALSO RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE FOUNTAIN WALL, RESERVOIR, WALL FOOTING / GRADE BEAM AS WELL AS THE FOUNTAIN MECHANICAL VAULT.
3. LIGHT FIXTURE DETAILS ARE ONLY A GRAPHIC REPRESENTATION. ALL FIXTURES ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO SUBMIT MANUFACTURER'S LITERATURE, DETAILS AND ANY SUPPORT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
4. FOUNTAIN CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS IF REQUIRED BY CODE.

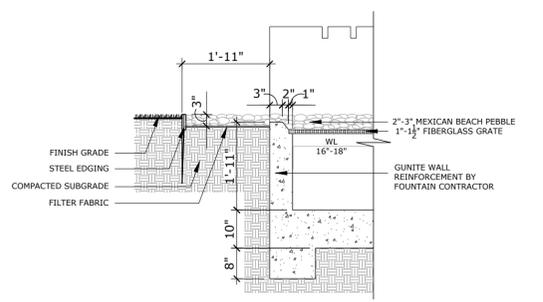


POURED CONCRETE WALL FINISH:
 1. STAINED BLACK
 2. POLISHED AND GROUND
 3. CLEAR SEAL
 CONTRACTOR TO PROVIDE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION.

1 FOUNTAIN A TYPICAL SECTION DETAIL
 SCALE: 1/2" = 1'-0"

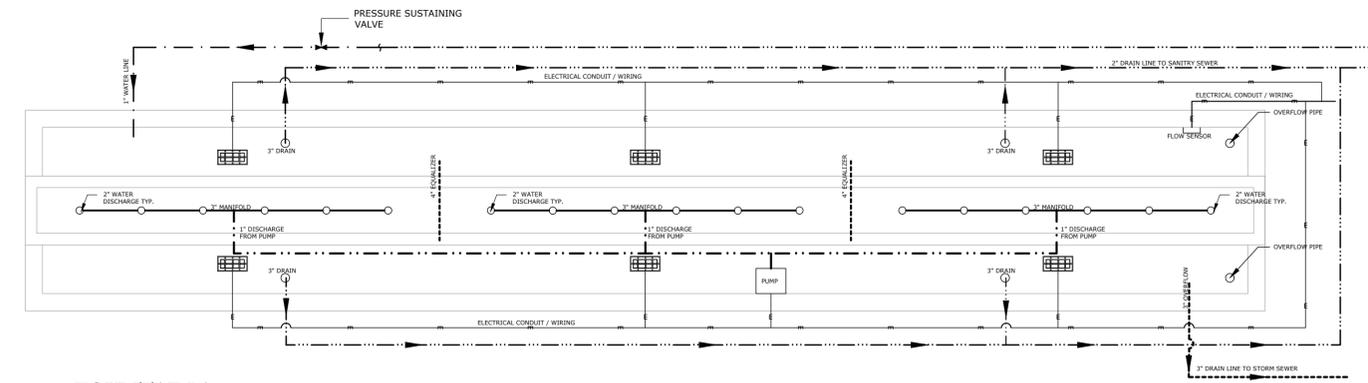


2 FOUNTAIN A PLAN AND ELEVATION
 SCALE: 1/2" = 1'-0"



3 FOUNTAIN A SECTION A
 SCALE: 1/2" = 1'-0"

- FOUNTAIN A DESIGN AND OPERATION CRITERIA:**
1. PUMP SYSTEM IN THIS PLAN IS ONLY A GRAPHIC AND CONCEPTUAL REPRESENTATION. THE BASIC DESIGN CRITERIA OF THE PUMP SYSTEM IS TO PROVIDE 1/4"-1/2" OF WATER OVER THE FOUNTAIN TOP.
 2. PROVIDE AND INSTALL ALL PUMPS, VALVES, LIGHTING FIXTURES ELECTRICAL/WIRING, PIPING, CONTROLLER PANEL AND SPECIALTIES AS HEREIN DESCRIBED ON FOUNTAIN PLANS. WORK ALSO INCLUDES DRAIN LINE, WATER LINE, SUPPORT OF PIPING AND EQUIPMENT, INITIAL PUMP/FILTER AND LIGHT FIXTURE ADJUSTMENT TESTING AND STARTUP.
 3. REFERENCE STANDARDS:
 1981 BOCA STANDARD BUILDING CODE
 NEC NATIONAL ELECTRICAL CODE
 APPLICABLE CITY OF ADDISON BUILDING/ELECTRICAL CODES
 4. SUBMITTALS: SUBMIT CATALOG SHEETS OF ALL EQUIPMENT AS SPECIFIED: PUMP, FILTER, VALVES, LIGHTING, ETC. SUBMIT SHOP DRAWINGS OF ALL MECHANICAL PIPING OF PUMP VAULT, DIMENSIONING PIPE PENETRATIONS THROUGH WALLS. IDENTIFY OPERATING, MAINTENANCE CLEARANCES AND SUFFICIENT ENGINEERING DATA COMPLIANCE TO FOUNTAIN DESIGN. IDENTIFY ALL EQUIPMENT CLEARANCES IN PUMP VAULT FROM WALL TO WALL. SUBMIT SHOP DRAWING OF ALL ELECTRICAL EQUIPMENT LAYOUT AND AMP LOADS FOR SPECIFIED CONTROL PANEL.
 5. OPERATING INSTRUCTIONS: AT THE TIME OF COMPLETION, ALLOW NOT LESS THAN EIGHT HOURS OF INSTRUCTING OPERATION AND MAINTENANCE PERSONNEL IN THE OPERATION AND MAINTENANCE OF ALL SYSTEMS. ALL PERSONNEL WILL BE INSTRUCTED AT ONE TIME.
 6. THIRTY DAY OPERATIONS: PRIOR TO ACCEPTANCE OF THE INSTALLATION BY OWNER, DEMONSTRATE A THIRTY (30) DAY, FULLY AUTOMATED, UNINTERRUPTED DAILY OPERATION OF NOT LESS THAN TWELVE (12) HOURS NOR MORE THAN TWENTY (20) HOURS OF ALL SYSTEMS. ELECTRICITY AND WATER WILL BE PROVIDED BY OWNER.
 7. PRODUCTS: PROVIDE ALL NECESSARY AND SPECIAL TOOLS FOR PROPER OPERATIONS AND MAINTENANCE OF PROVIDED EQUIPMENT. FURNISH HARDBACK THREE (3) RING BINDER CONTAINING ALL BULLETINS, OPERATING AND MAINTENANCE INSTRUCTIONS, PARTS LISTS AND OTHER PERTINENT INFORMATION FOR EACH AND EVERY PIECE OF EQUIPMENT FURNISHED ON THIS PROJECT. INDEX BINDER INTO SECTIONS, WITH TABS: PUMP, FILTER, ALL VALVES, CONTROL PANEL, ETC.
 8. EXECUTION: INSTALL AND CONNECT ALL EQUIPMENT, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, AS THEY RELATE TO THE COMPLIANCE TO PLANS AND SCHEMATIC LAYOUTS. PROVIDE ALL PIPING, PUMP/VAULT, VALVES, FILTERS, DRAINS, LIGHT FIXTURES AND CONNECTIONS RECOMMENDED BY THE MANUFACTURER FOR PROPER OPERATION.



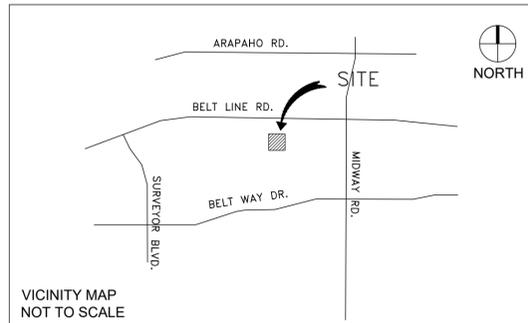
4 FOUNTAIN A CONCEPTUAL PIPING DIAGRAM
 SCALE: 1/2" = 1'-0"

06.03.2022
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 NOT FOR CONSTRUCTION

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 EMAIL: KEIJI@ASAKURAROBINSON.COM

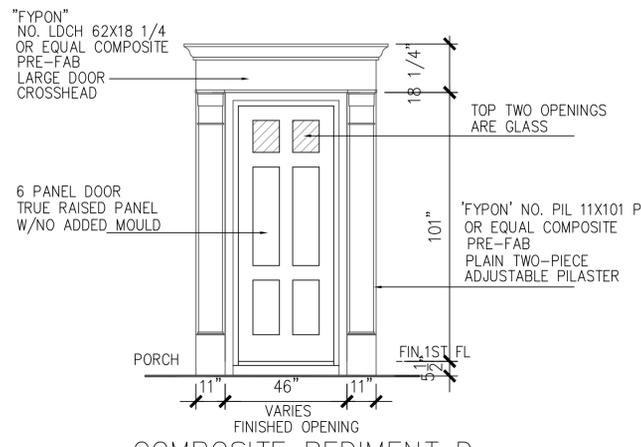
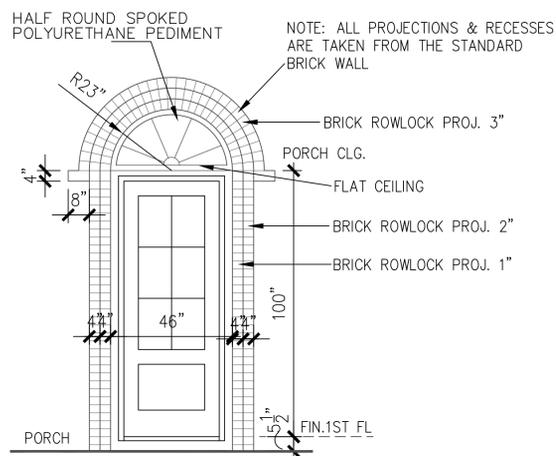
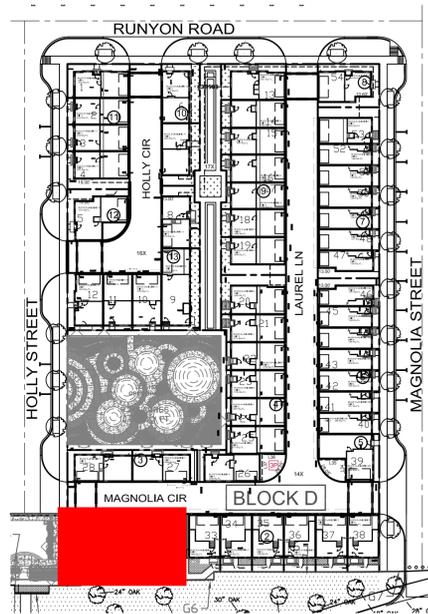


L5.6 BLOCK D - HARDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
 US SURVEYOR 5213
 TOWN PROJECT NUMBER: 1833-Z

DATE PREPARED: JUNE 03, 2022



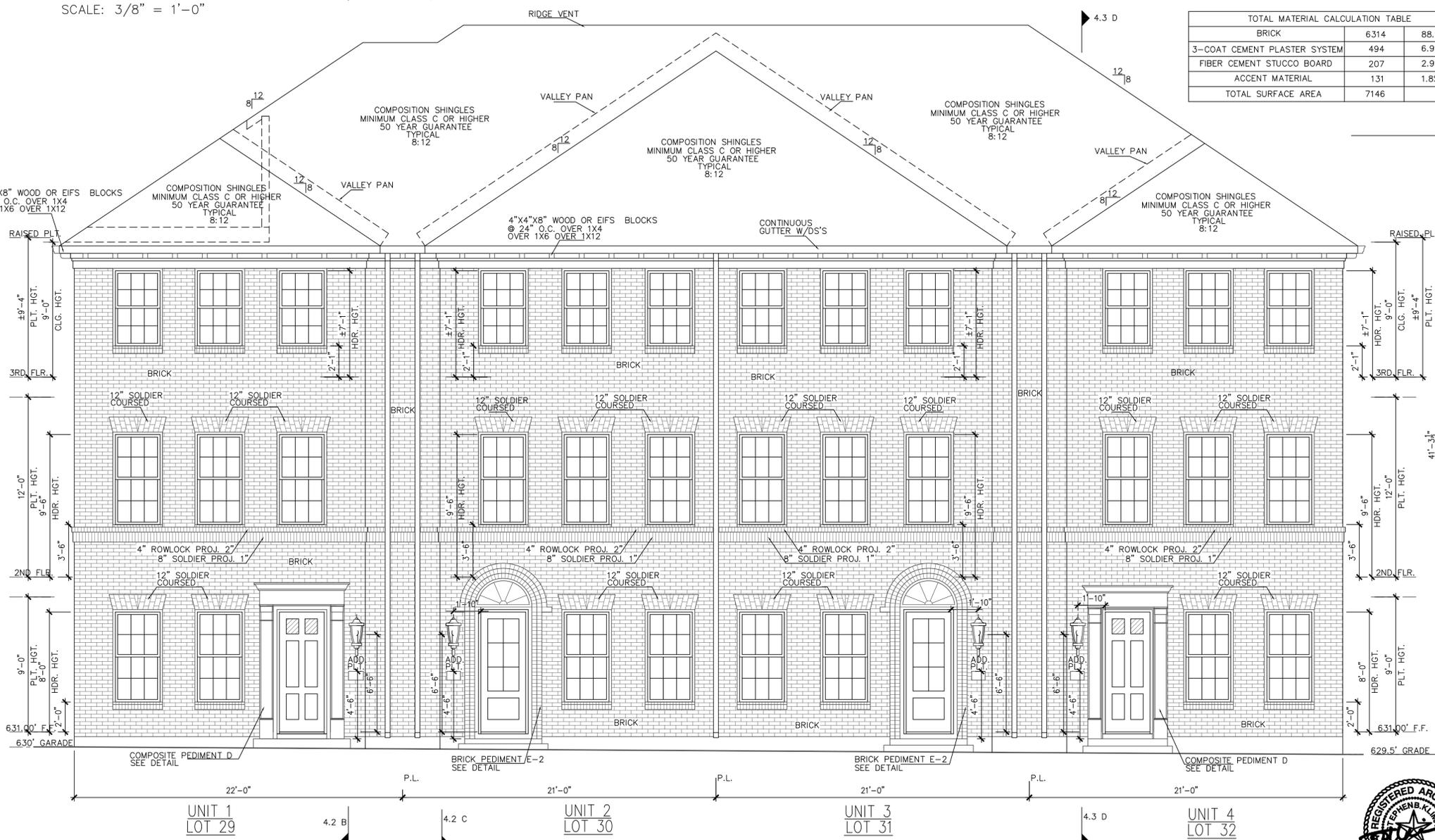
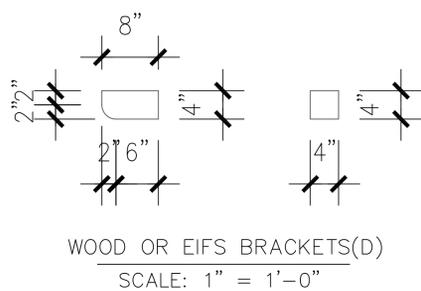
- LEGEND**
- BRICK
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - COMPOSITE PEDIMENT (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

SOUTH/FRONT MATERIAL CALCULATION TABLE		
BRICK	1858	97.2%
ACCENT MATERIAL	53	2.8%
TOTAL SURFACE AREA	1911	

FACADE PLAN NOTES

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- THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT

TOTAL MATERIAL CALCULATION TABLE		
BRICK	6314	88.4%
3-COAT CEMENT PLASTER SYSTEM	494	6.9%
FIBER CEMENT STUCCO BOARD	207	2.9%
ACCENT MATERIAL	131	1.8%
TOTAL SURFACE AREA	7146	



south/front (BELTWAY DR)elevation
SCALE: 1/4" = 1'-0"

URBAN INTOWN HOMES
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PHONE: 713-961-3877

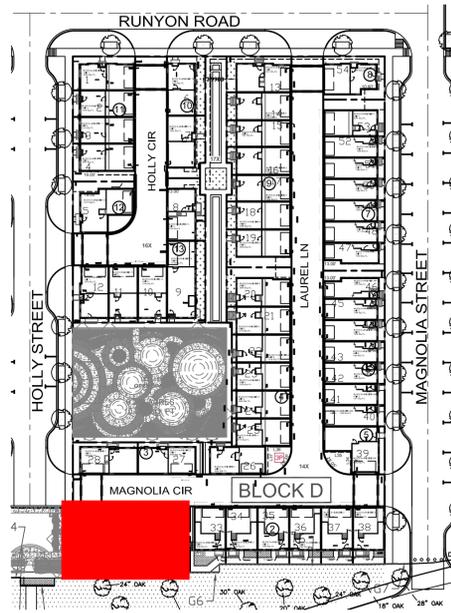
URBANINTOWNHOMES, Ltd.

ADDISON GROVE-BLOCK D-BUILDING 1

SOUTH/FRONT ELEVATION

PLAN NO.	DATE
UNIT 1	2241
UNIT 2	2009
UNIT 3	2009
UNIT 4	2008

SHEET NO. **A-01**

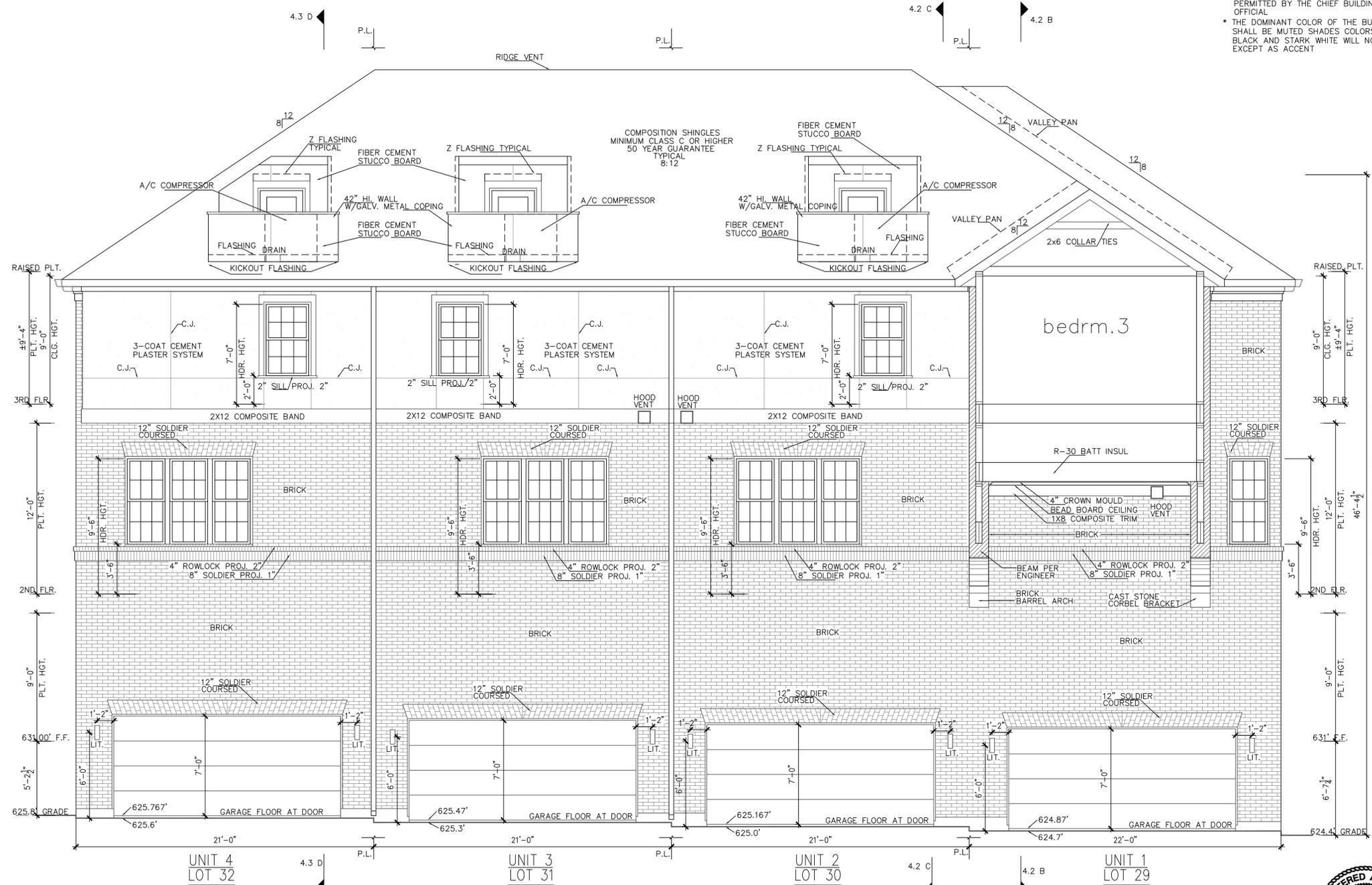


Material	Quantity	Percentage
BRICK	1679	71.1%
3-COAT CEMENT PLASTER SYSTEM	465	19.7%
FIBER CEMENT STUCCO BOARD	151	6.4%
ACCENT MATERIAL	67	2.8%
TOTAL SURFACE AREA	2362	

- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)

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north/rear(MAGNOLIA CIR) elevation
SCALE: 1/4" = 1'-0"



ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE-BLOCK D-BUILDING 1

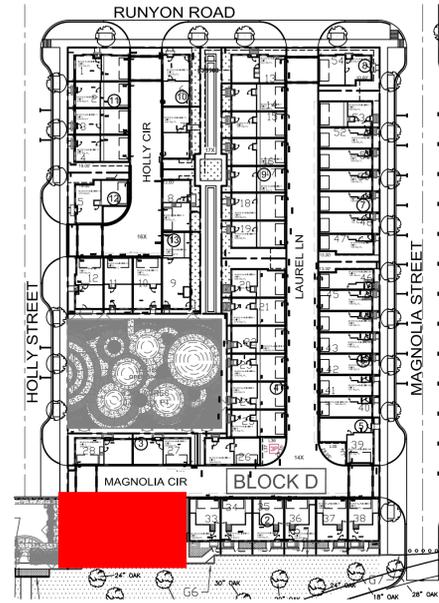
PLAN NO.	UNIT	NO.
	UNIT 1	2241
	UNIT 2	2009
	UNIT 3	2009
	UNIT 4	2008

SHEET NO. **A-02**

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/02/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



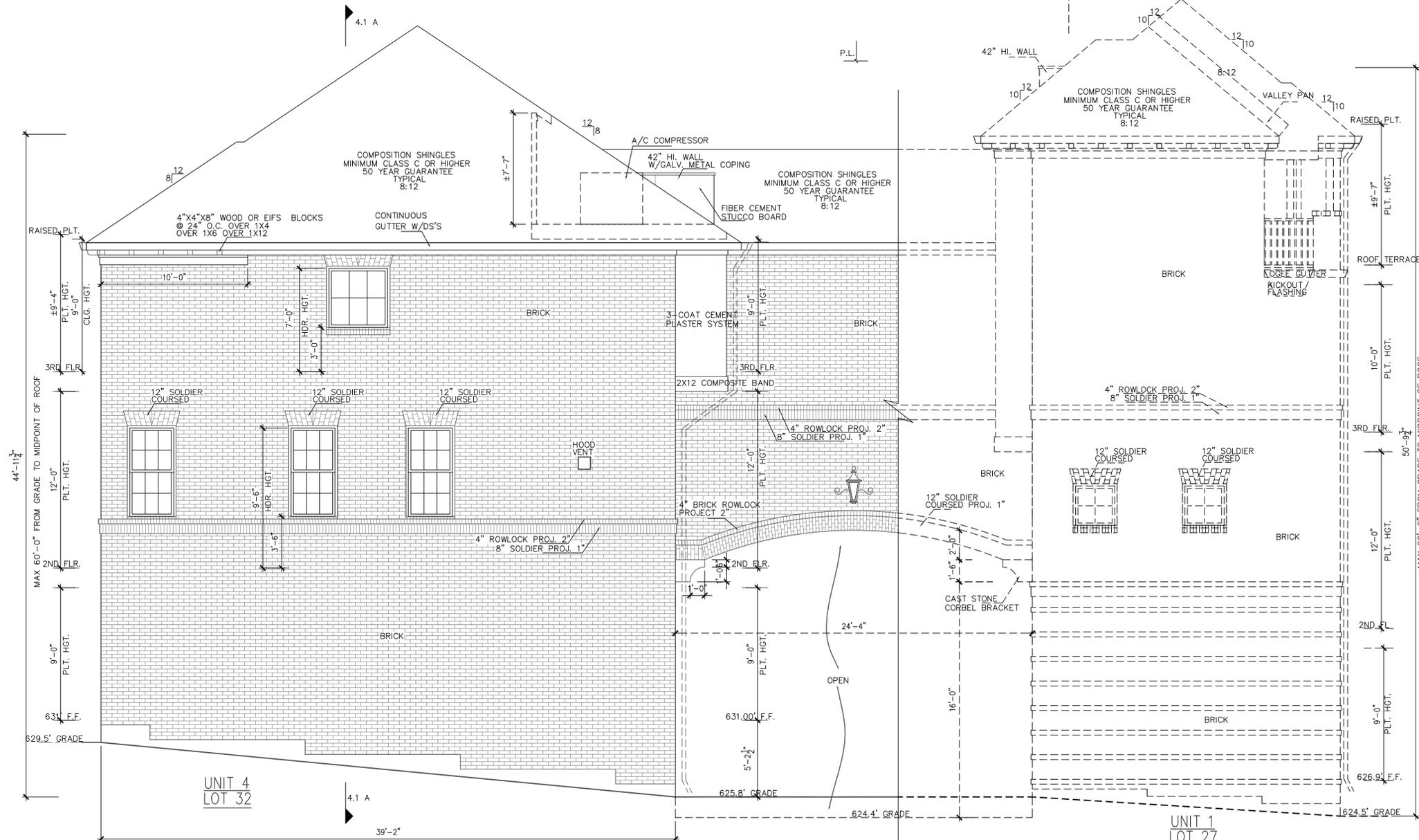
- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

EAST/RIGHT MATERIAL CALCULATION TABLE

Material	Area	Percentage
BRICK	1450	97.1%
3-COAT CEMENT PLASTER SYSTEM	29	1.9%
FIBER CEMENT STUCCO BOARD	9	0.6%
ACCENT MATERIAL	6	0.4%
TOTAL SURFACE AREA	1494	

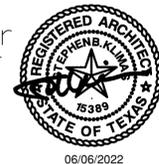
FACADE PLAN NOTES

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east/right(neighbor) elevation
SCALE: 1/4" = 1'-0"

east/left/neighbor elevation
SCALE: 1/4" = 1'-0"



ADDISON GROVE

URBANINTOWN HOMES, Ltd.

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ADDISON GROVE-BLOCK D-BUILDING 1

EAST/RIGHT ELEVATIONS

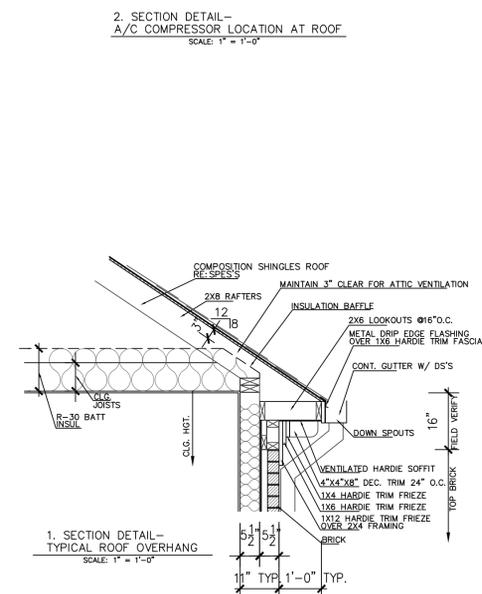
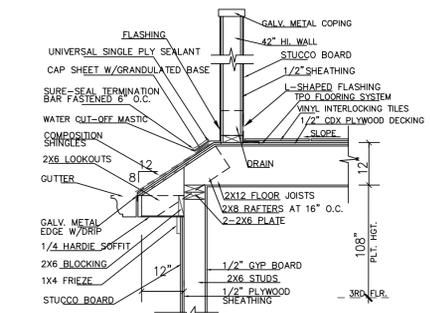
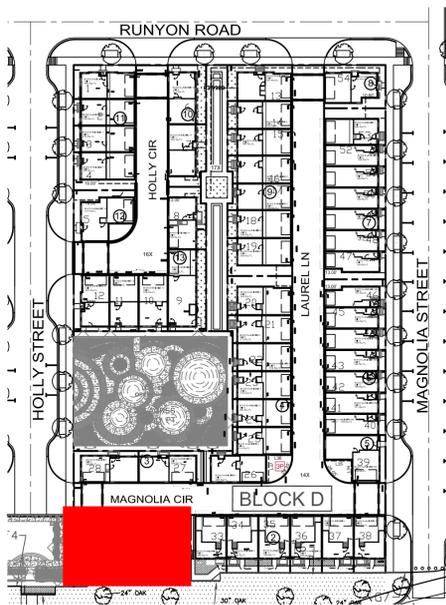
PLAN NO.

UNIT 1	2241
UNIT 2	2009
UNIT 3	2009
UNIT 4	2008

SHEET NO.
A-03

Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/02/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

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PHONE: 713-961-3877



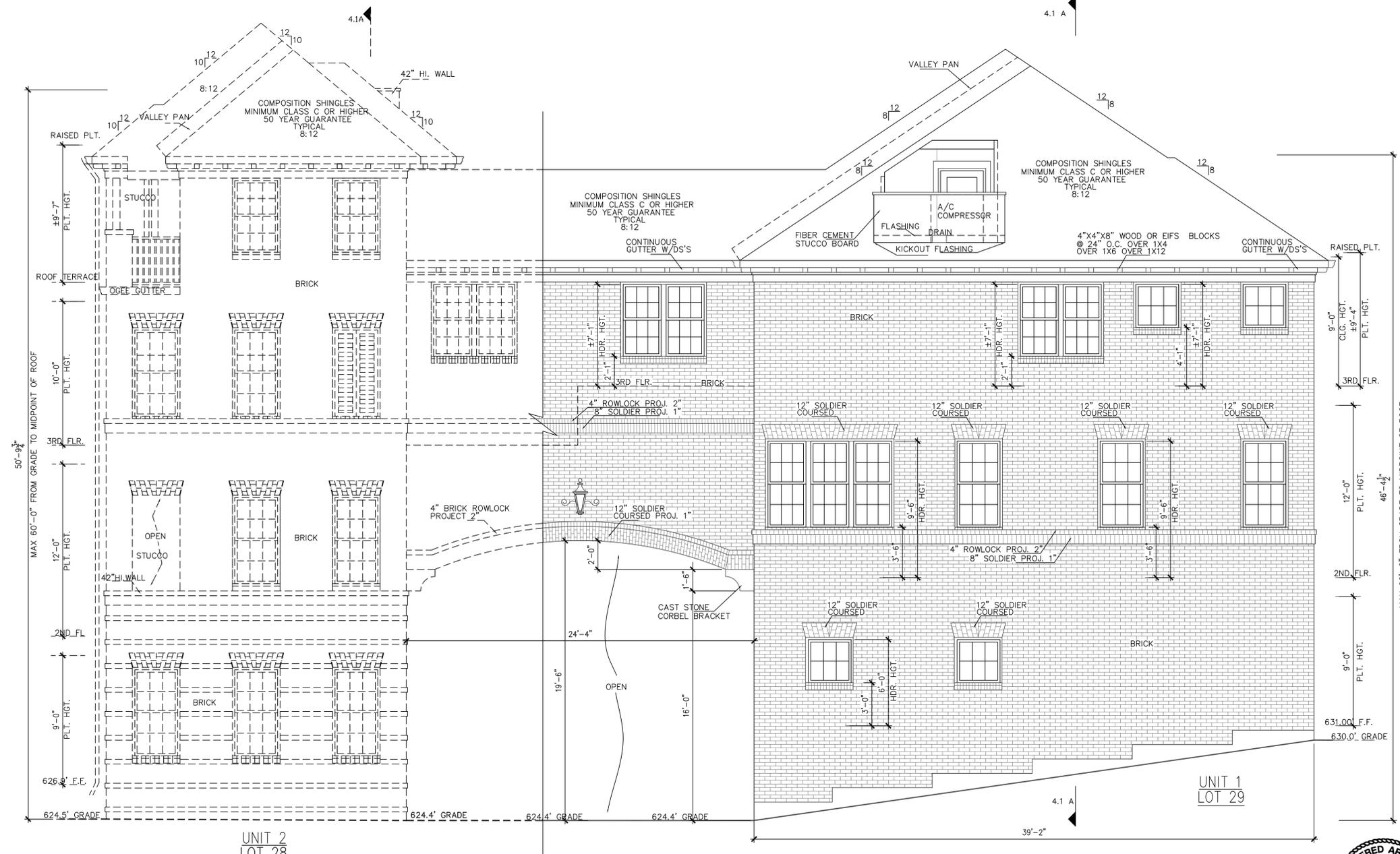
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

WEST/LEFT MATERIAL CALCULATION TABLE		
BRICK	1327	96.2%
FIBER CEMENT STUCCO BOARD	47	3.4%
ACCENT MATERIAL	5	0.4%
TOTAL SURFACE AREA	1379	

FACADE PLAN NOTES

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west/right(HOLLY STREET) elevation
SCALE: 1/4" = 1'-0"

west/left(HOLLY ST) elevation
SCALE: 1/4" = 1'-0"

Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/02/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

URBANINTOWN HOMES, Ltd.
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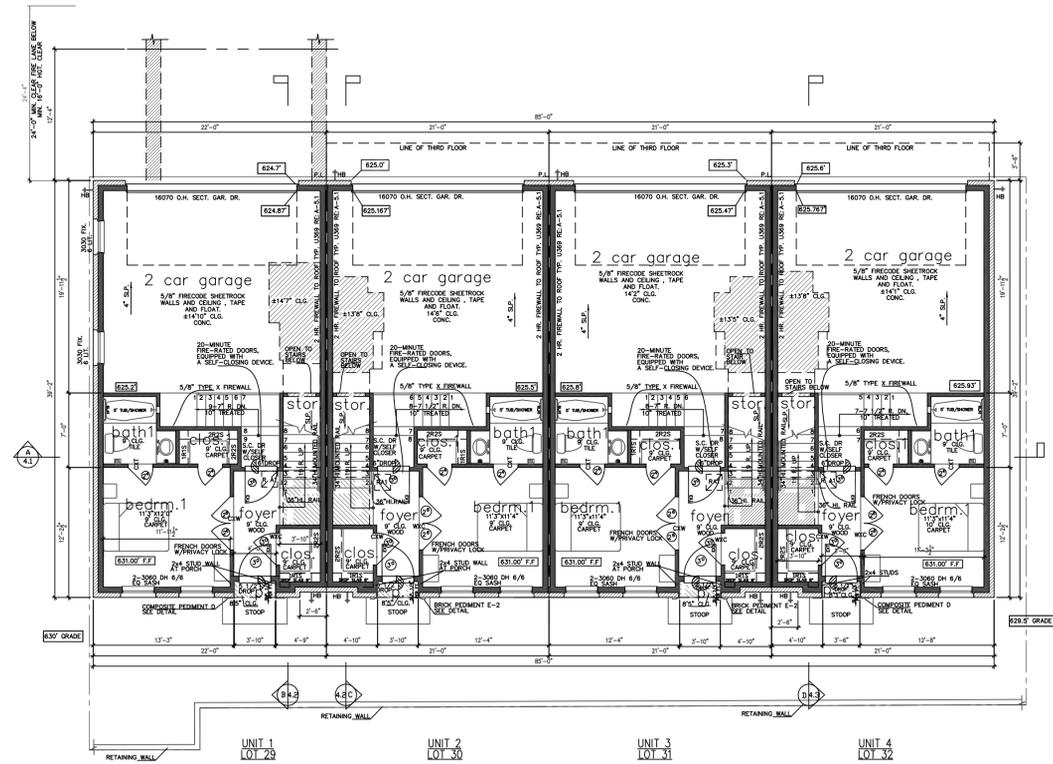
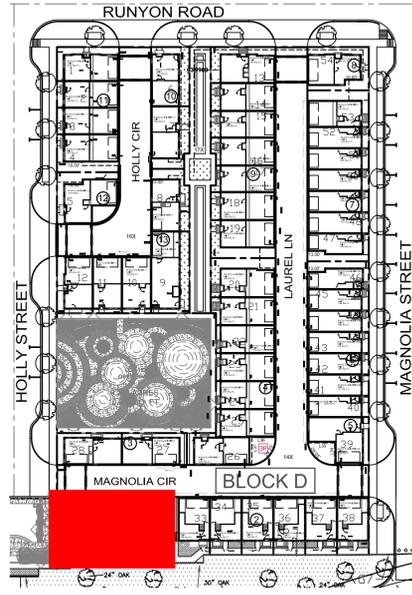
ADDISON GROVE-BLOCK D-BUILDING 1
WEST/LEFT ELEVATIONS



PLAN NO.	
UNIT 1	2241
UNIT 2	2009
UNIT 3	2009
UNIT 4	2008

SHEET NO. **A-04**

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



Unit 1 square Footage

FIRST FLOOR	364
SECOND FLOOR	868
THIRD FLOOR	302
TOTAL LIVING AREA	2844
POOR	4
GARAGE	498
AC DECK	75
TOTAL SLAB AREA	860

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE PROVIDED DIMENSIONS. NO SQUARE FOOTAGE HAS BEEN CALCULATED FOR THE COMMON AREAS. ACTUAL SQUARE FOOTAGE MAY VARY.

Unit 2&3 square Footage

FIRST FLOOR	344
SECOND FLOOR	803
THIRD FLOOR	844
TOTAL LIVING AREA	2899
POOR	4
GARAGE	468
AC DECK	75
TOTAL SLAB AREA	851

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE PROVIDED DIMENSIONS. NO SQUARE FOOTAGE HAS BEEN CALCULATED FOR THE COMMON AREAS. ACTUAL SQUARE FOOTAGE MAY VARY.

Unit 4 square Footage

FIRST FLOOR	344
SECOND FLOOR	811
THIRD FLOOR	808
TOTAL LIVING AREA	2963
POOR	4
GARAGE	467
AC DECK	75
TOTAL SLAB AREA	851

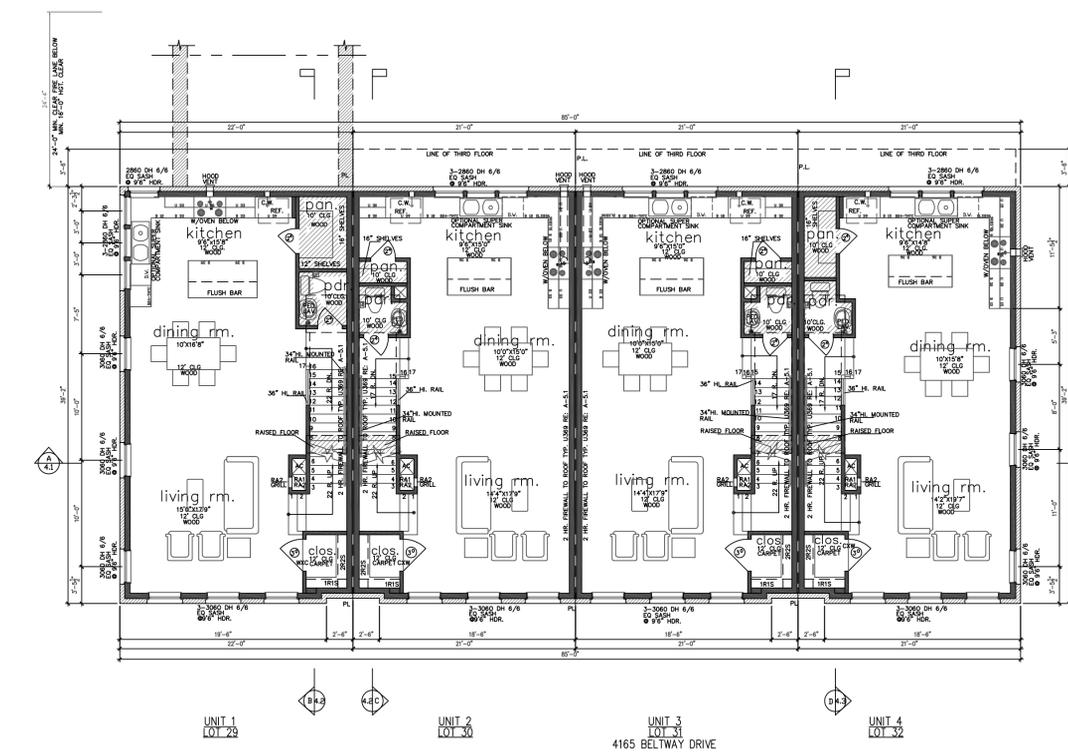
THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE PROVIDED DIMENSIONS. NO SQUARE FOOTAGE HAS BEEN CALCULATED FOR THE COMMON AREAS. ACTUAL SQUARE FOOTAGE MAY VARY.

First Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

NOTE: ALL EXTERIOR WALLS TO BE 20# FRAMED RE: STRUCTURAL PLANS

NOTE: ATTACHED GARAGE DOOR OPENERS AND LIGHTS SHALL BE LISTED AND IN ACCORDANCE WITH 14.335 AS REQUIRED IN THE IRC SECTION R302.4

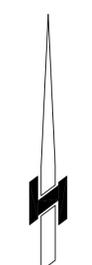
NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.



Second Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

NOTE: ALL EXTERIOR WALLS TO BE 20# FRAMED RE: STRUCTURAL PLANS

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2241	3
UNIT 2	2009	3
UNIT 3	2009	3
UNIT 4	2008	3



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ADDISON GROVE

URBANINTOWNHOMES, Ltd.

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ADDISON GROVE-BLOCK D-BUILDING 1

FLOOR PLAN

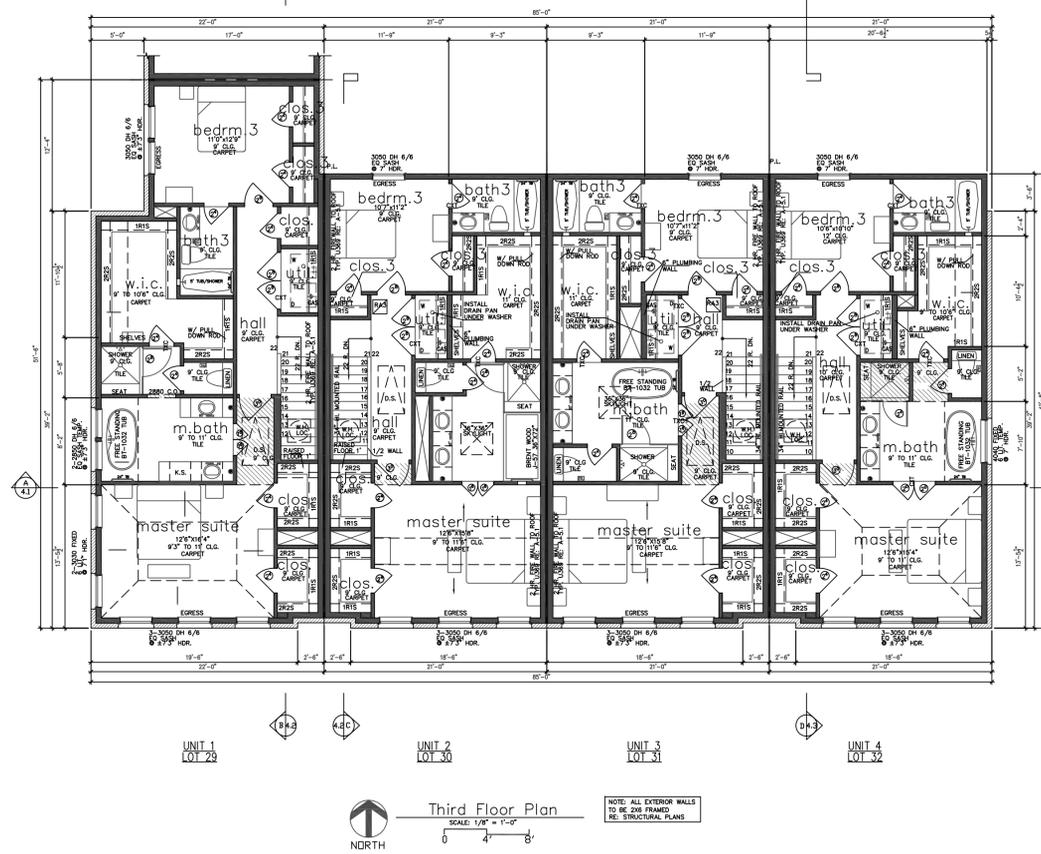
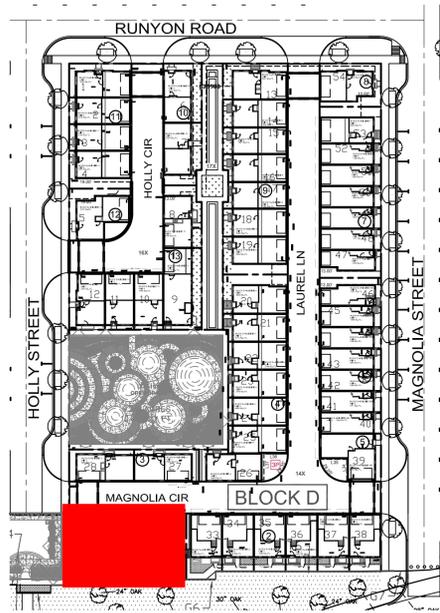
PLAN NO.

UNIT 1	2241
UNIT 2	2009
UNIT 3	2009
UNIT 4	2008

SHEET NO.
A-05

Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/02/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

Town Project #:1833-Z



Drawn By/Checked By:
E.C./F.M.

Original Date Issued:
06/02/2021

Scale:
1/8" = 1'-0"

Last Updated:
06/03/2022

URBANINTOWNHOMES, Ltd.

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE-BLOCK D-BUILDING 1

FLOOR PLAN

ADDISON GROVE

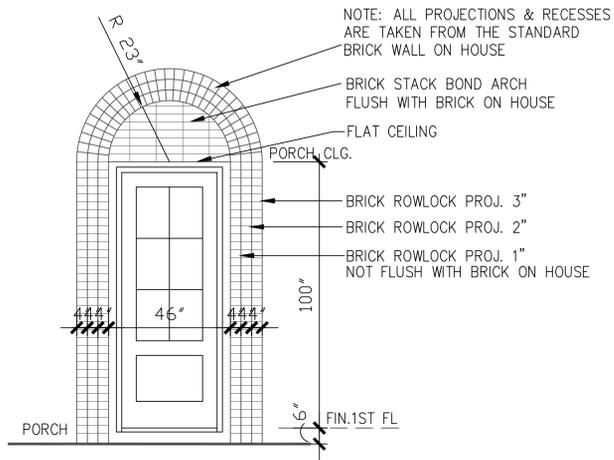
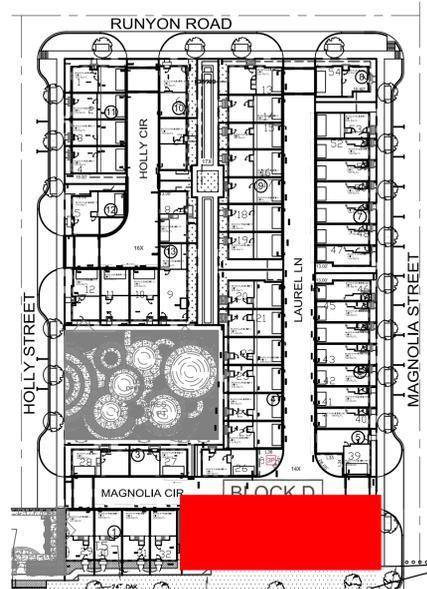


06/06/2022

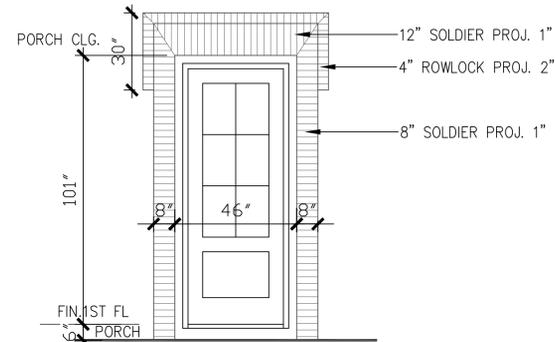
URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

PLAN NO.	UNIT
2241	UNIT 1
2009	UNIT 2
2009	UNIT 3
2008	UNIT 4

SHEET NO.
A-06



BRICK PEDIMENT K-1
SCALE: 3/8" = 1'-0"



BRICK PEDIMENT G-1
SCALE: 3/8" = 1'-0"

FAÇADE PLAN NOTES

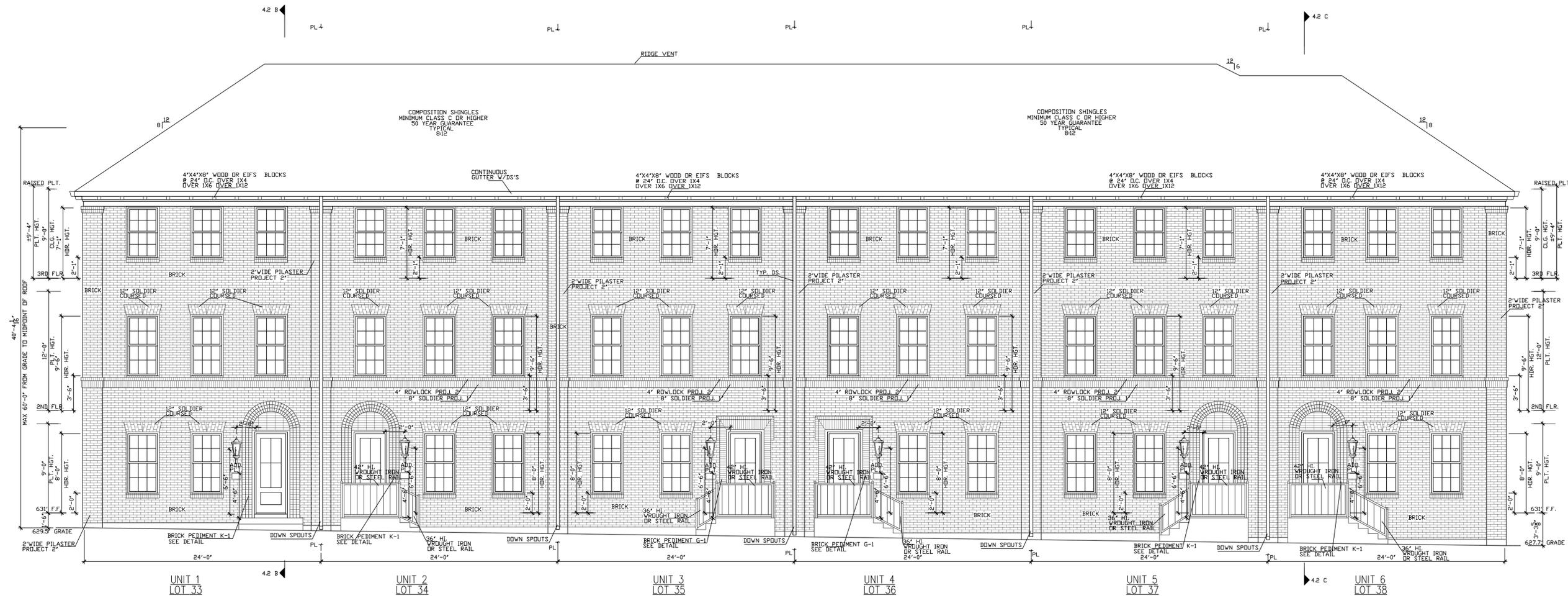
- THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
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LEGEND

- BRICK
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)

SOUTH/FRONT MATERIAL CALCULATION TABLE	
BRICK	3469 96.5%
ACCENT MATERIAL	125 3.5%
TOTAL SURFACE AREA	3594

TOTAL MATERIAL CALCULATION TABLE	
BRICK	8603 85.5%
3-COAT CEMENT PLASTER SYSTEM	931 9.2%
FIBER CEMENT STUCCO BOARD	258 2.6%
ACCENT MATERIAL	270 2.7%
TOTAL SURFACE AREA	10062



south/front (beltway drive) elevation
SCALE: 3/16" = 1'-0"



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URBANINTOWNHOMES, L td.

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(713)961-3877 TEL (713)961-4270 FAX

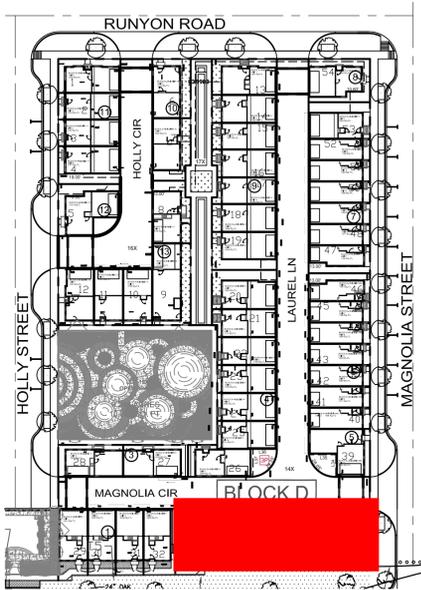
ADDISON GROVE - BLOCK D - BUILDING 2

SOUTH/FRONT ELEVATION

PLAN NO.
UNIT 1 1948
UNIT 2 1948
UNIT 3 1948
UNIT 4 1986
UNIT 5 1948
UNIT 6 2060

SHEET NO.

A-07



LEGEND

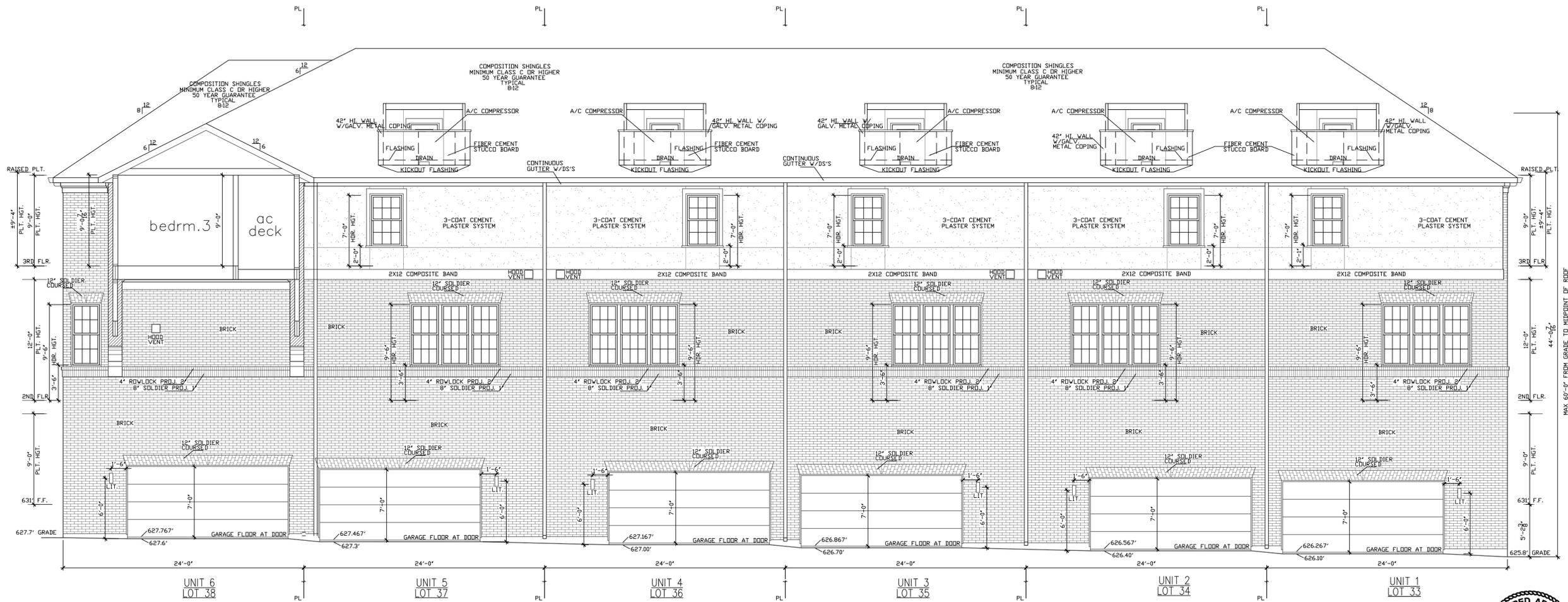
- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)

NORTH/REAR MATERIAL CALCULATION TABLE

Material	Quantity	Percentage
BRICK	2797	69.1%
3-COAT CEMENT PLASTER SYSTEM	902	22.3%
FIBER CEMENT STUCCO BOARD	230	5.7%
ACCENT MATERIAL	120	2.9%
TOTAL SURFACE AREA	4049	

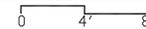
FACADE PLAN NOTES

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north/rear (magnolia cir) elevation

SCALE: 3/16" = 1'-0"



06/06/2022

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

PLAN NO.

UNIT 1	1948
UNIT 2	1948
UNIT 3	1948
UNIT 4	1986
UNIT 5	1948
UNIT 6	2060

SHEET NO.

A-08

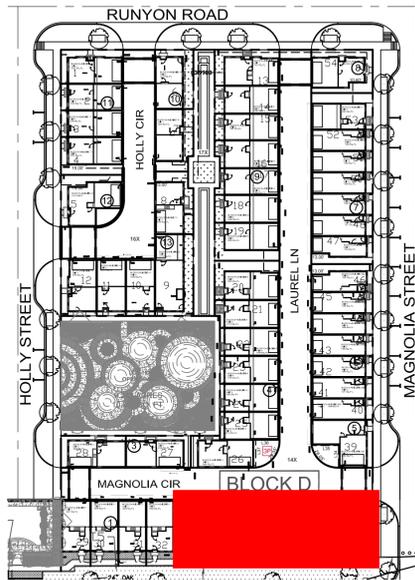
ADDISON GROVE - BLOCK D - BUILDING 2

NORTH/REAR ELEVATION

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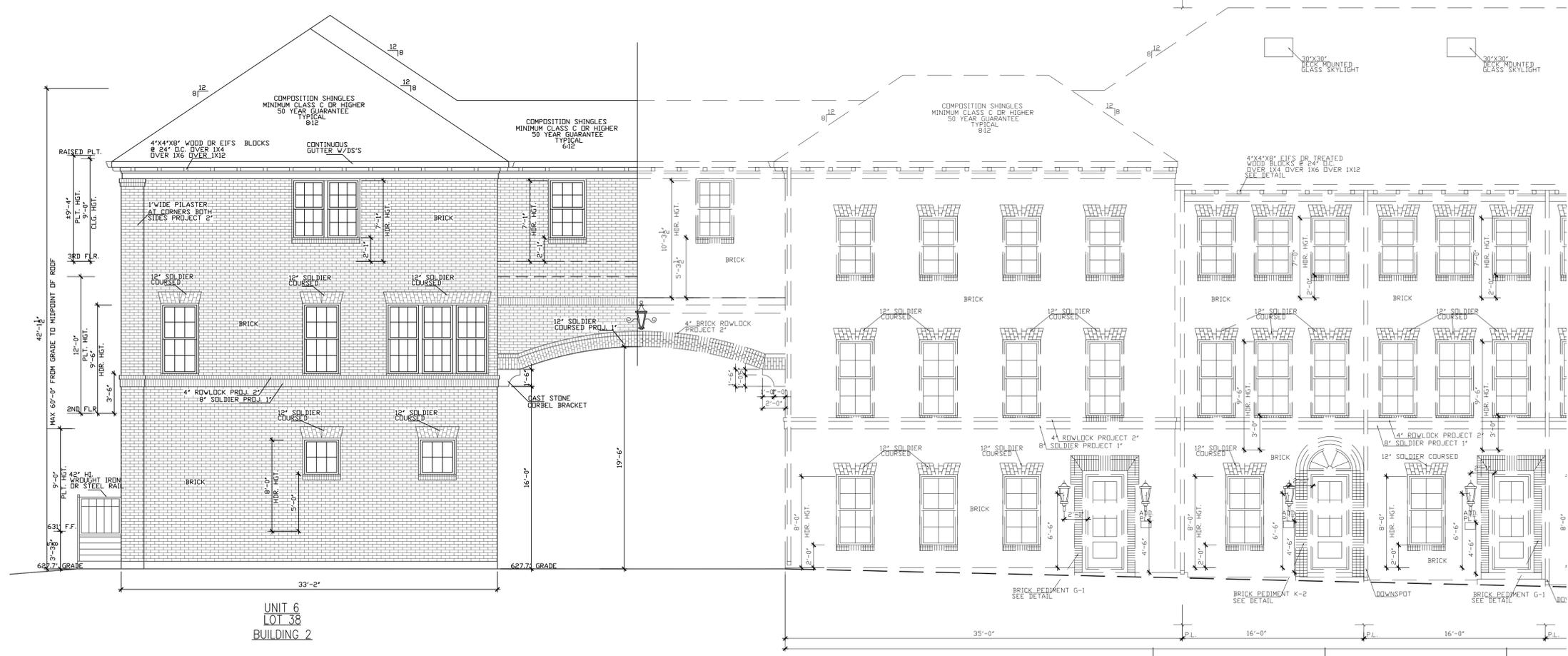
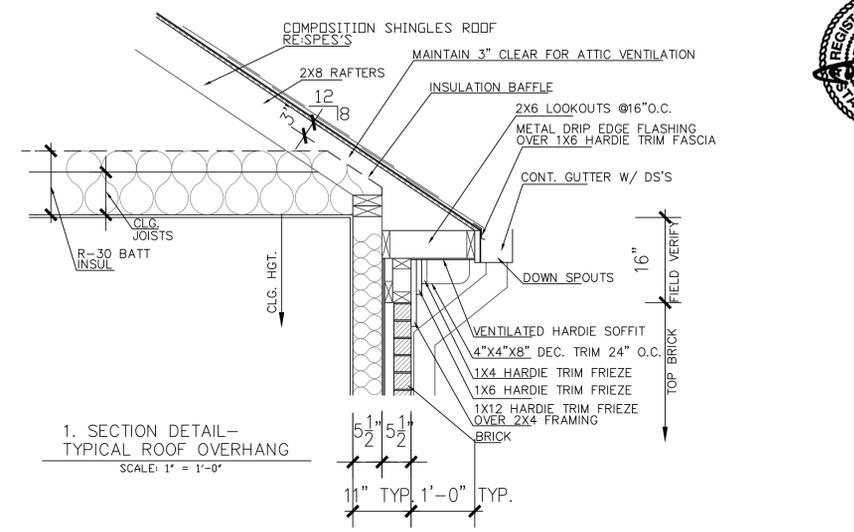
Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/19/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022



EAST/RIGHT MATERIAL CALCULATION TABLE	
BRICK	1138 99.9%
ACCENT MATERIAL	1 0.1%
TOTAL SURFACE AREA	1139

- LEGEND**
- BRICK
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

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east/right (magnolia street) elevation
SCALE: 3/16" = 1'-0"



Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/19/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

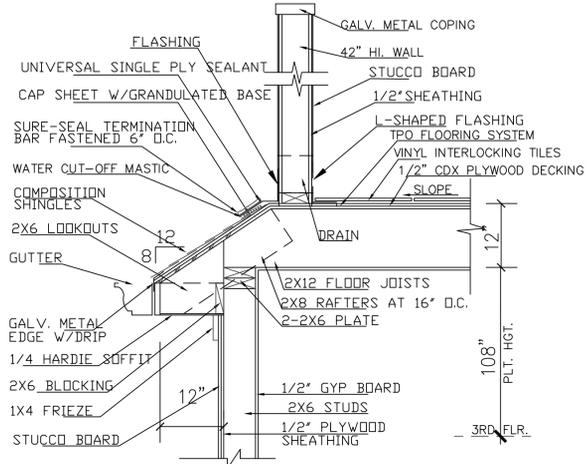
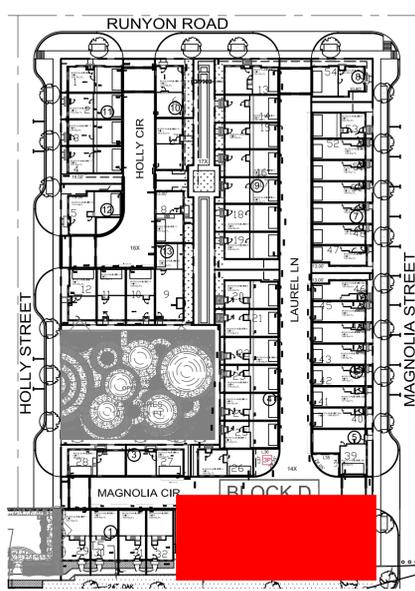
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(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 2
EAST/RIGHT ELEVATIONS

PLAN NO.	REVISION
UNIT 1	1948
UNIT 2	1948
UNIT 3	1948
UNIT 4	1986
UNIT 5	1948
UNIT 6	2060

SHEET NO. **A-09**

URBAN INTOWN HOMES
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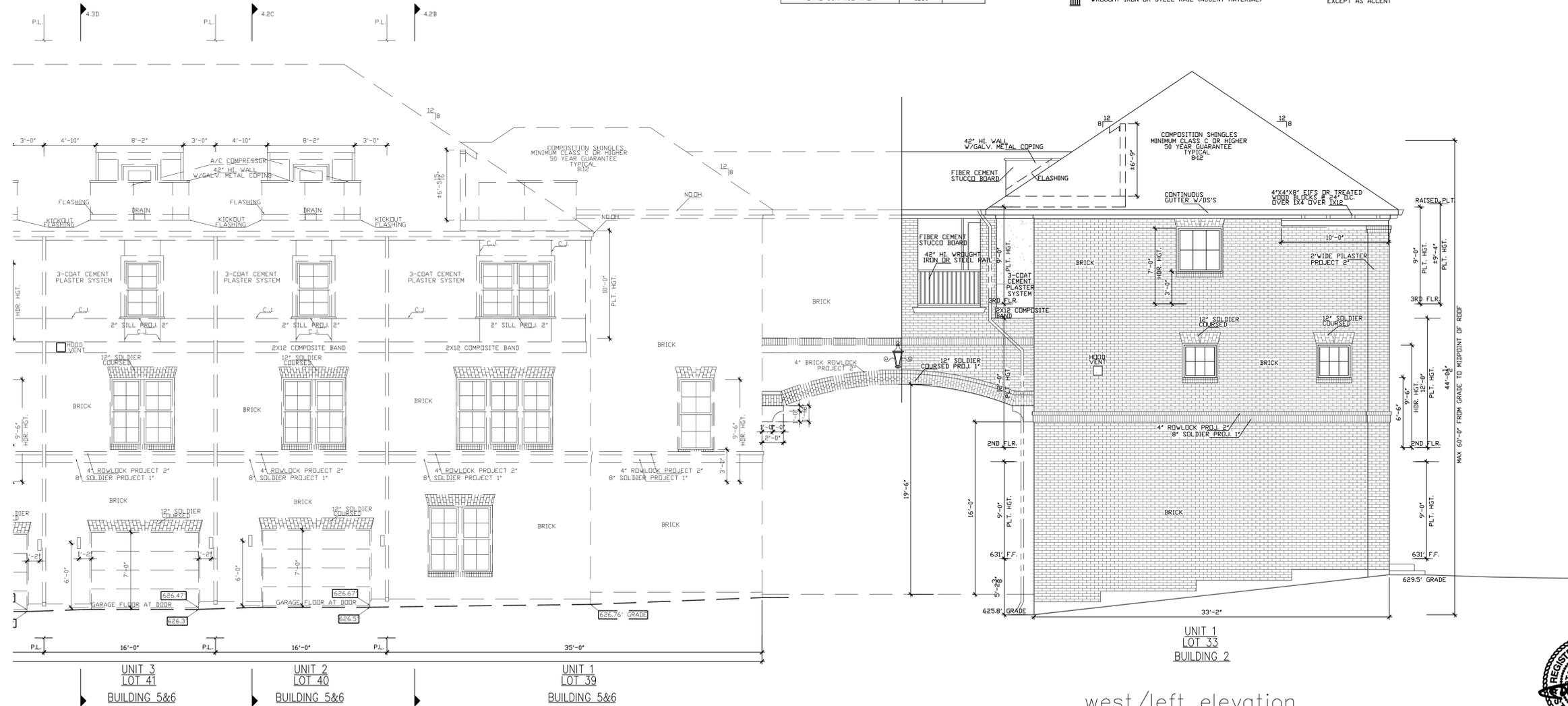


2. SECTION DETAIL -
A/C COMPRESSOR LOCATION AT ROOF
SCALE: 1" = 1'-0"

WEST/LEFT MATERIAL CALCULATION TABLE		
BRICK	1199	93.7%
3-COAT CEMENT PLASTER SYSTEM	29	2.2%
FIBER CEMENT STUCCO BOARD	28	2.2%
ACCENT MATERIAL	24	1.9%
TOTAL SURFACE AREA	1280	

- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET(ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)

- FACADE PLAN NOTES**
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west/left elevation

SCALE: 3/16" = 1'-0"



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ADDISON GROVE - BLOCK D - BUILDING 2

WEST/LEFT ELEVATIONS

PLAN NO.	DATE
UNIT 1	1948
UNIT 2	1948
UNIT 3	1948
UNIT 4	1986
UNIT 5	1948
UNIT 6	2060

SHEET NO.

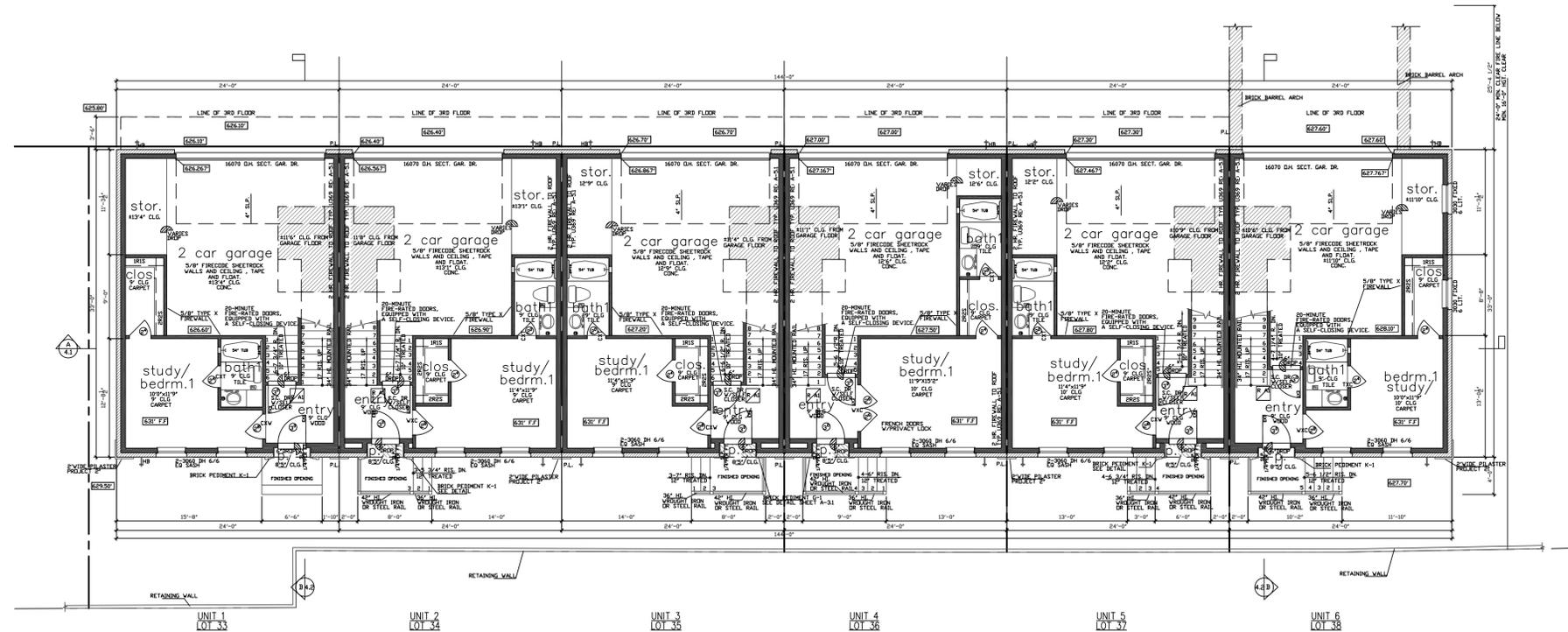
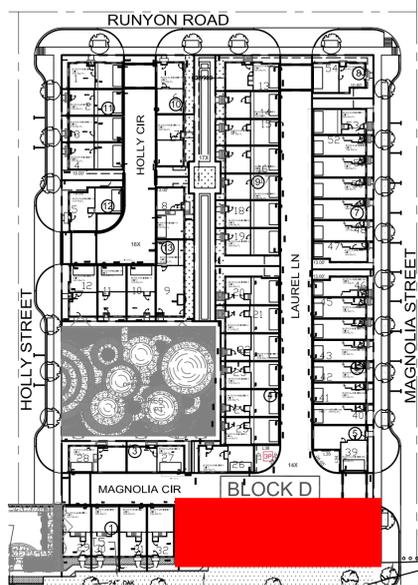
A-10

Drawn By/Checked By: E.C./F.M.

Original Date Issued: 06/19/2021

Scale: 3/16" = 1'-0"

Last Updated: 06/03/2022



unit 1 square footage

FIRST FLOOR	338
SECOND FLOOR	798
THIRD FLOOR	808
TOTAL LIVING AREA	1948
GARAGE	432
PORCH	4
UNCOVERED AC DECK	83
TOTAL SLAB AREA	798

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit 2&3&5 square footage

FIRST FLOOR	336
SECOND FLOOR	798
THIRD FLOOR	808
TOTAL LIVING AREA	1948
GARAGE	432
PORCH	6
UNCOVERED AC DECK	83
TOTAL SLAB AREA	798

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit 4 square footage

FIRST FLOOR	374
SECOND FLOOR	798
THIRD FLOOR	808
TOTAL LIVING AREA	1980
GARAGE	445
PORCH	4
UNCOVERED AC DECK	83
TOTAL SLAB AREA	798

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit 6 square footage

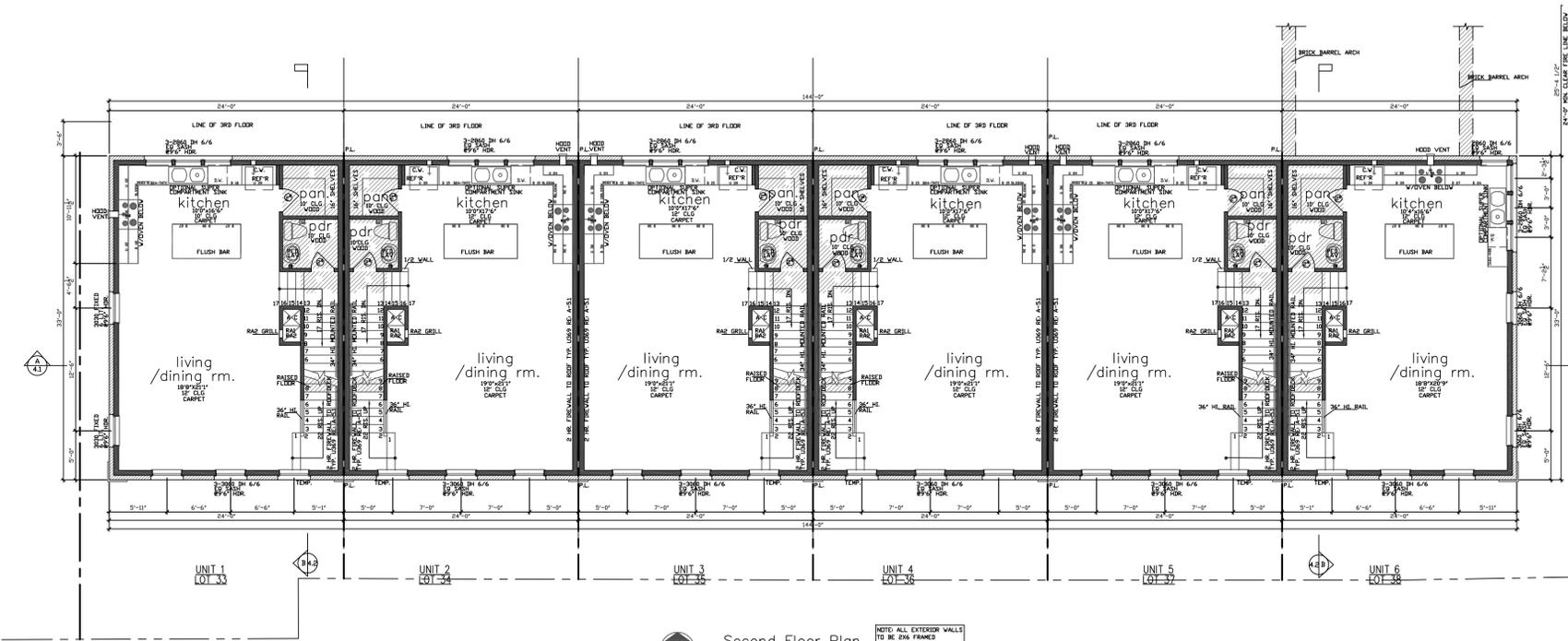
FIRST FLOOR	346
SECOND FLOOR	798
THIRD FLOOR	808
TOTAL LIVING AREA	1952
GARAGE	445
PORCH	4
UNCOVERED AC DECK	83
TOTAL SLAB AREA	798

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY



NOTE: ALL EXTERIOR WALLS TO BE 2X4 FRAMED RE: STRUCTURAL PLANS
 NOTE: AUTOMATIC GARAGE DOOR OPENER ARE USED THEY SHALL BE LISTED & LABELED IN ACCORDANCE WITH UL 203 AS REQUIRED IN THE DOC SECTION 05054
 NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

UNIT	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	1948	3
UNIT 2	1948	3
UNIT 3	1948	3
UNIT 4	1986	3
UNIT 5	1948	3
UNIT 6	1952	3



NOTE: ALL EXTERIOR WALLS TO BE 2X4 FRAMED RE: STRUCTURAL PLANS



ADDISON GROVE
 URBAN INTOWN HOMES
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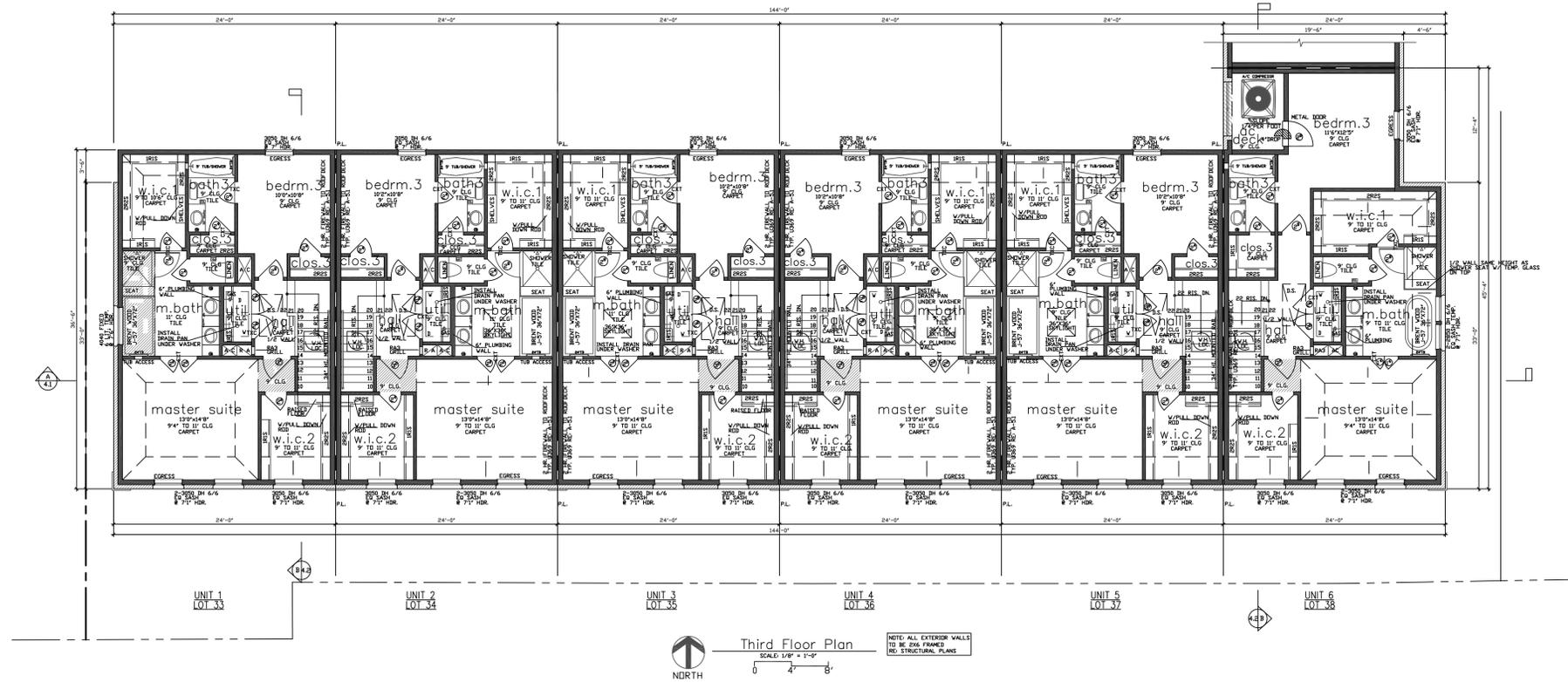
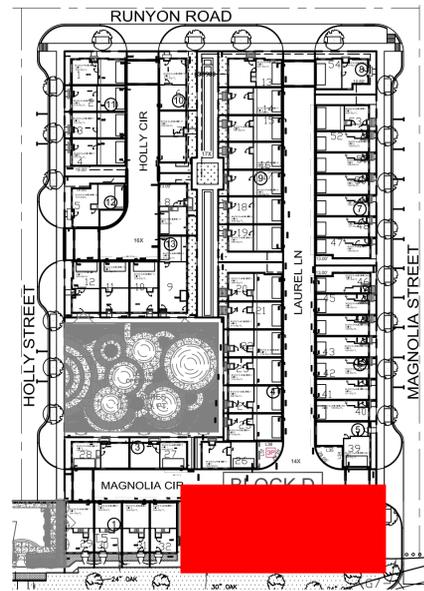
PLAN NO.	UNIT	DATE
1948	UNIT 1	1948
1948	UNIT 2	1948
1948	UNIT 3	1948
1986	UNIT 4	1986
1948	UNIT 5	1948
2060	UNIT 6	2060

SHEET NO. A-11

URBAN INTOWN HOMES, Ltd.
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Drawn By/Checked By: E.C.F.M.
 Original Date Issued: 06/19/2021
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 Last Updated: 06/03/2022

Town Project #:1833-Z



Third Floor Plan
SCALE: 1/8" = 1'-0"
NOTED: ALL EXTERIOR WALLS TO BE 2x6 FRAMER NO STRUCTURAL PLANS



ADDISON GROVE



06/06/2022

URBAN INTOWN HOMES
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PHONE: 713-961-3877

ADDISON GROVE - BLOCK D - BUILDING 2
FLOOR PLAN

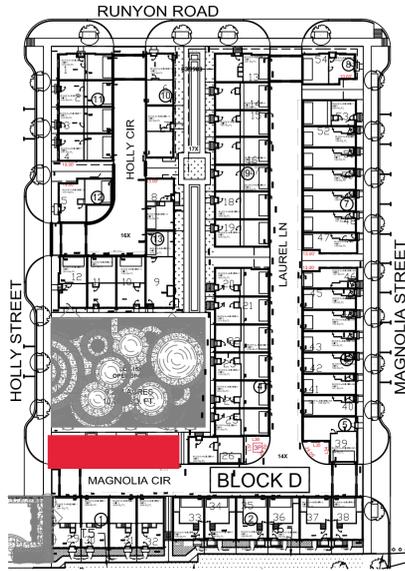
PLAN NO.	UNIT 1	1948
	UNIT 2	1948
	UNIT 3	1948
	UNIT 4	1986
	UNIT 5	1948
	UNIT 6	2060

SHEET NO.
A-12

URBAN INTOWN HOMES, Ltd.

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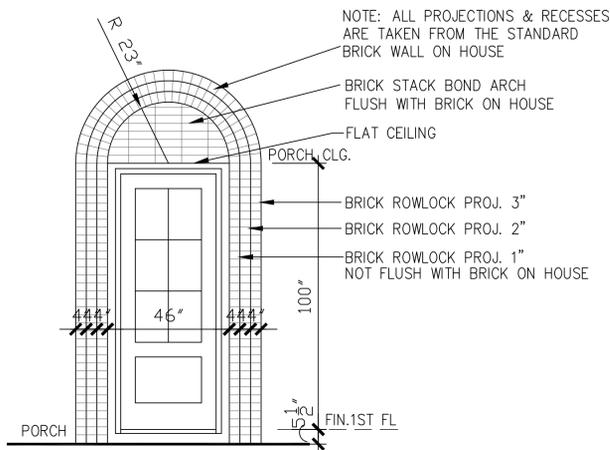
- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

NORTH/FRONT MATERIAL CALCULATION TABLE		
FIBER CEMENT STUCCO BOARD	160	5.5%
BRICK	2618	89.6%
ACCENT MATERIAL	142	4.9%
TOTAL SURFACE AREA	2920	

FACADE PLAN NOTES

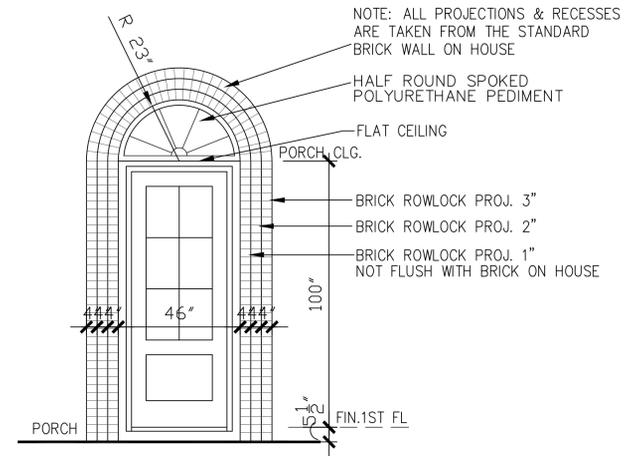
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TOTAL MATERIAL CALCULATION TABLE		
FIBER CEMENT STUCCO BOARD	306	3.8%
3-COAT CEMENT PLASTER SYSTEM	336	4.2%
BRICK	7202	89.7%
ACCENT MATERIAL	186	2.3%
TOTAL SURFACE AREA	8030	



BRICK PEDIMENT K-1

SCALE: 3/8" = 1'-0"



BRICK PEDIMENT K-2

SCALE: 3/8" = 1'-0"



north/front(park) elevation
SCALE: 1/4" = 1'-0"

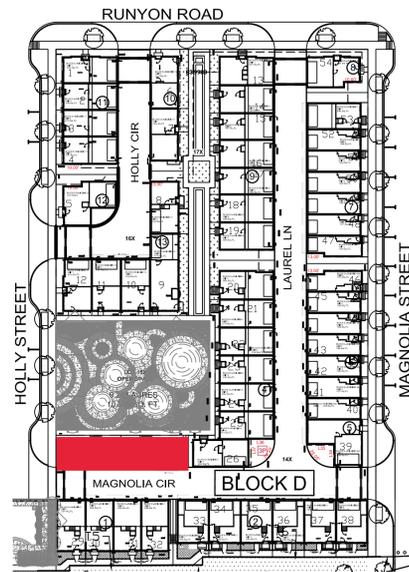


Drawn By/Checked By: S.S./F.M.
Original Date Issued: 05/17/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

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ADDISON GROVE - BLOCK D - BUILDING 3
NORTH / FRONT ELEVATION

PLAN NO. UNIT 1 2936
UNIT 2 3069
SHEET NO. **A-13**



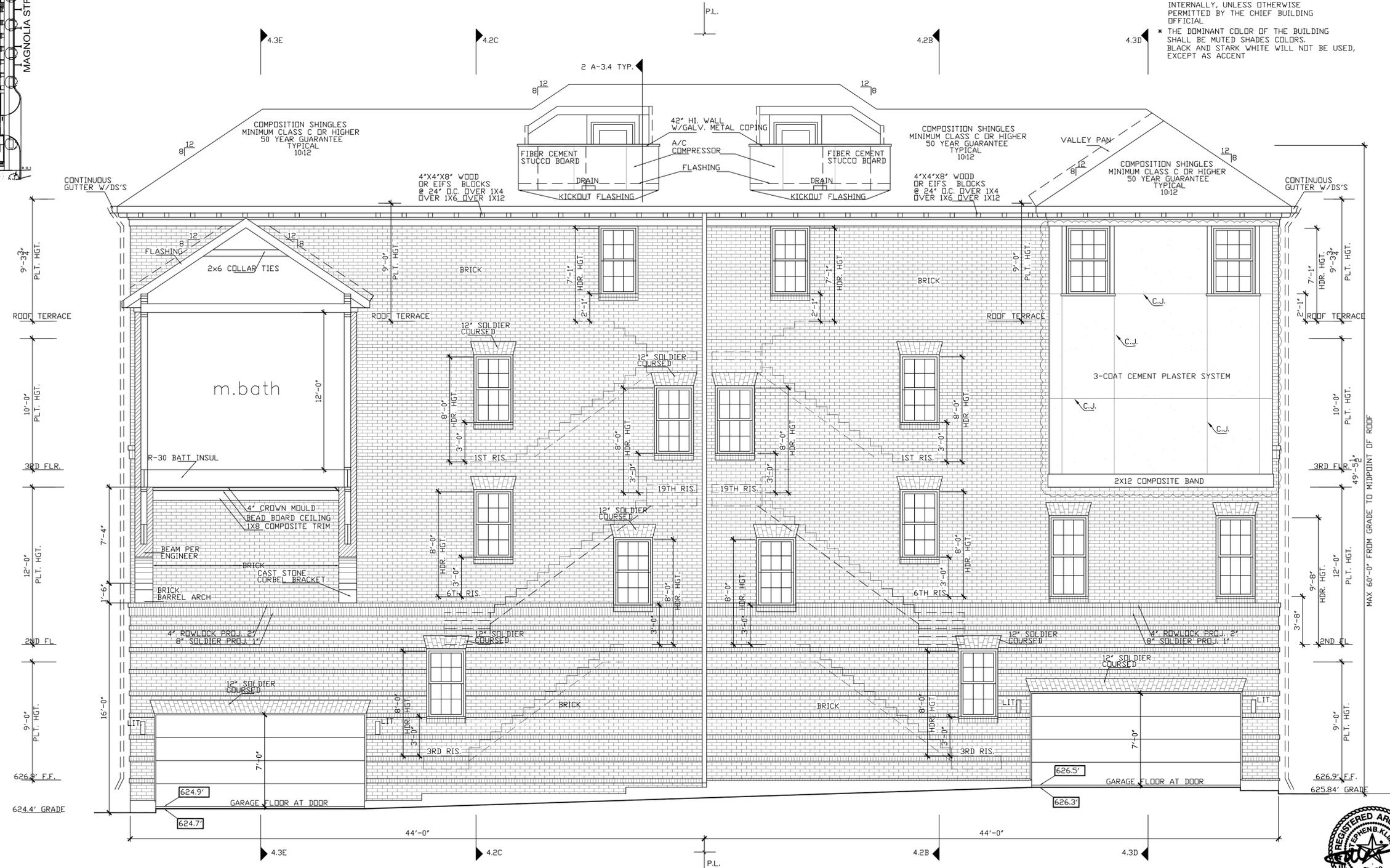
LEGEND

- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

SOUTH/REAR MATERIAL CALCULATION TABLE		
3-COAT CEMENT PLASTER SYSTEM	289	9.4%
BRICK	2667	86.7%
FIBER CEMENT STUCCO BOARD	102	3.3%
ACCENT MATERIAL	17	0.6%
TOTAL SURFACE AREA	3075	

FAÇADE PLAN NOTES

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9'-3 3/4" PLT. HGT.
 10'-0" PLT. HGT.
 3RD FLR.
 7'-4"
 12'-0" PLT. HGT.
 2ND FL.
 9'-0" PLT. HGT.
 626.8' F.F.
 624.4' GRADE

9'-3 3/4" PLT. HGT.
 7'-1" HDR. HGT.
 9'-3 3/4" PLT. HGT.
 2'-1" HDR. HGT.
 10'-0" PLT. HGT.
 3RD FLR.
 49'-5 1/2"
 9'-8" HDR. HGT.
 12'-0" PLT. HGT.
 2ND FL.
 9'-0" PLT. HGT.
 626.9' F.F.
 625.84' GRADE

UNIT 2
 LOT 28

south/rear(MAGNOLIA CIR) elevation
 SCALE: 1/4" = 1'-0"

UNIT 1
 LOT 27

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877



ADDISON GROVE - BLOCK D - BUILDING 3

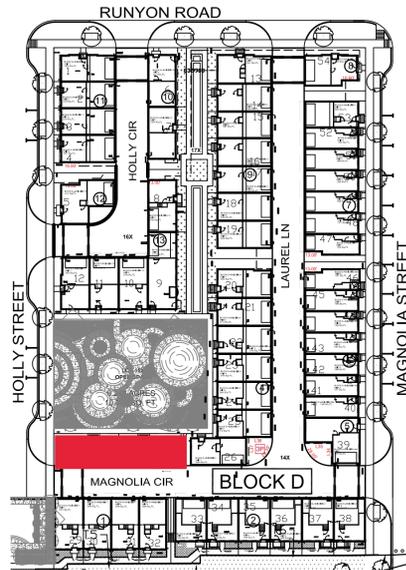
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PLAN NO.
 UNIT 1 2936
 UNIT 2 3069

SHEET NO.

A-14

Drawn By/Checked By: S.S./F.M.
 Original Date Issued: 05/17/2021
 Scale: 1/4" = 1'-0"
 Last Updated: 06/03/2022

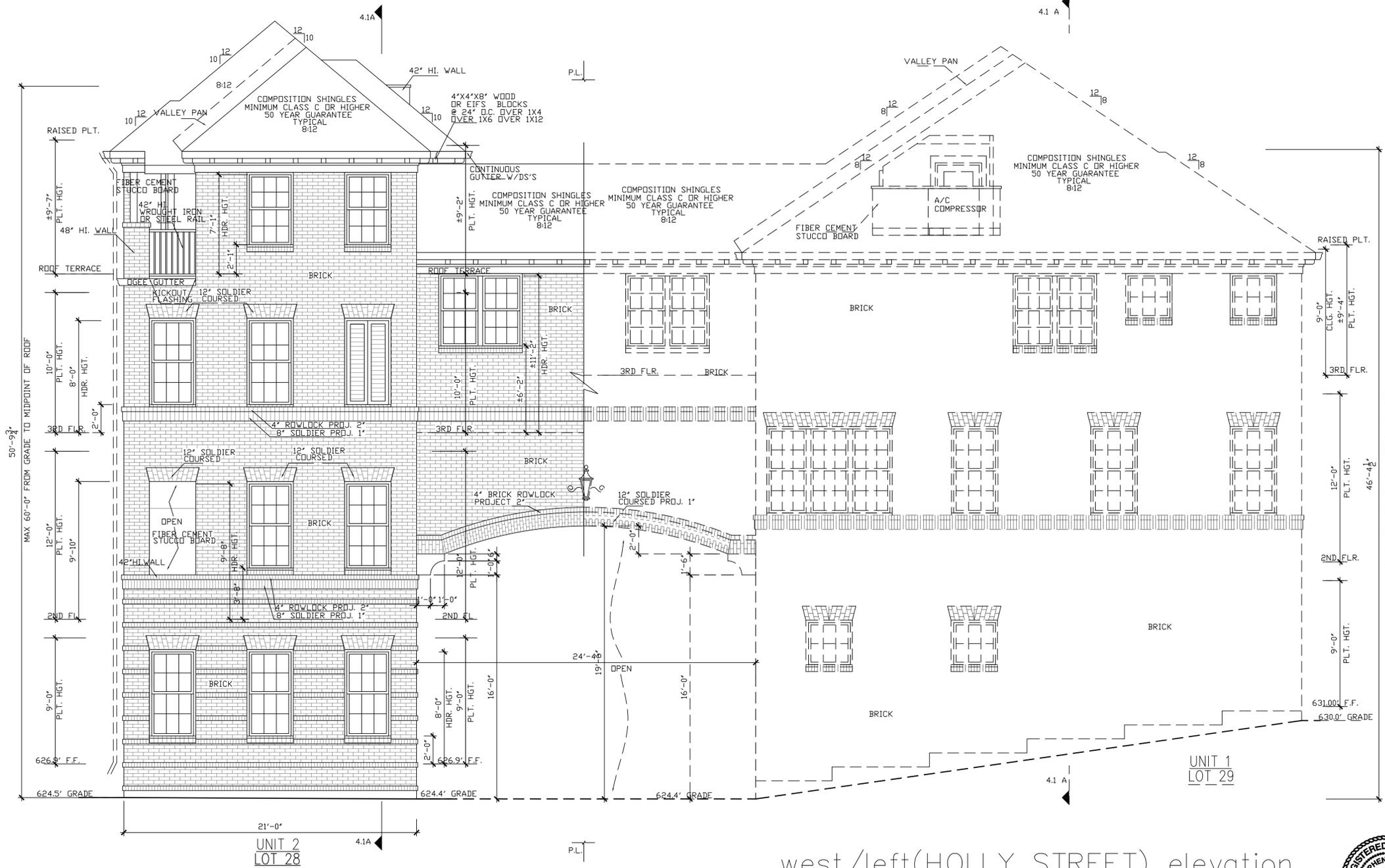


- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - FIX. SHUTTER (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

WEST/RIGHT MATERIAL CALCULATION TABLE		
FIBER CEMENT STUCCO BOARD	33	3.6%
BRICK	877	95.1%
ACCENT MATERIAL	12	1.3%
TOTAL SURFACE AREA	922	

FACADE PLAN NOTES

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- * WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
- * ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
- * ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL
- * THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT



west/right(HOLLY ST) elevation
SCALE: 1/4" = 1'-0"

west/left(HOLLY STREET) elevation
SCALE: 1/4" = 1'-0"



URBANINTOWNHOMES, Ltd.

ADDISON GROVE -BLOCK D - BUILDING 3

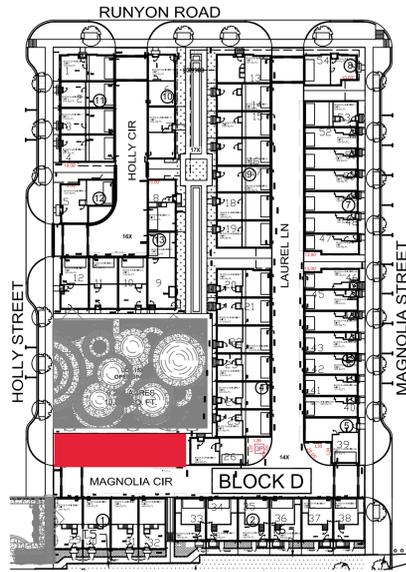
PLAN NO.
UNIT 1 2936
UNIT 2 3069

SHEET NO.
A-15

Drawn By/Checked By: S.S./F.M.
Original Date Issued: 05/17/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

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PHONE: 713-961-3877



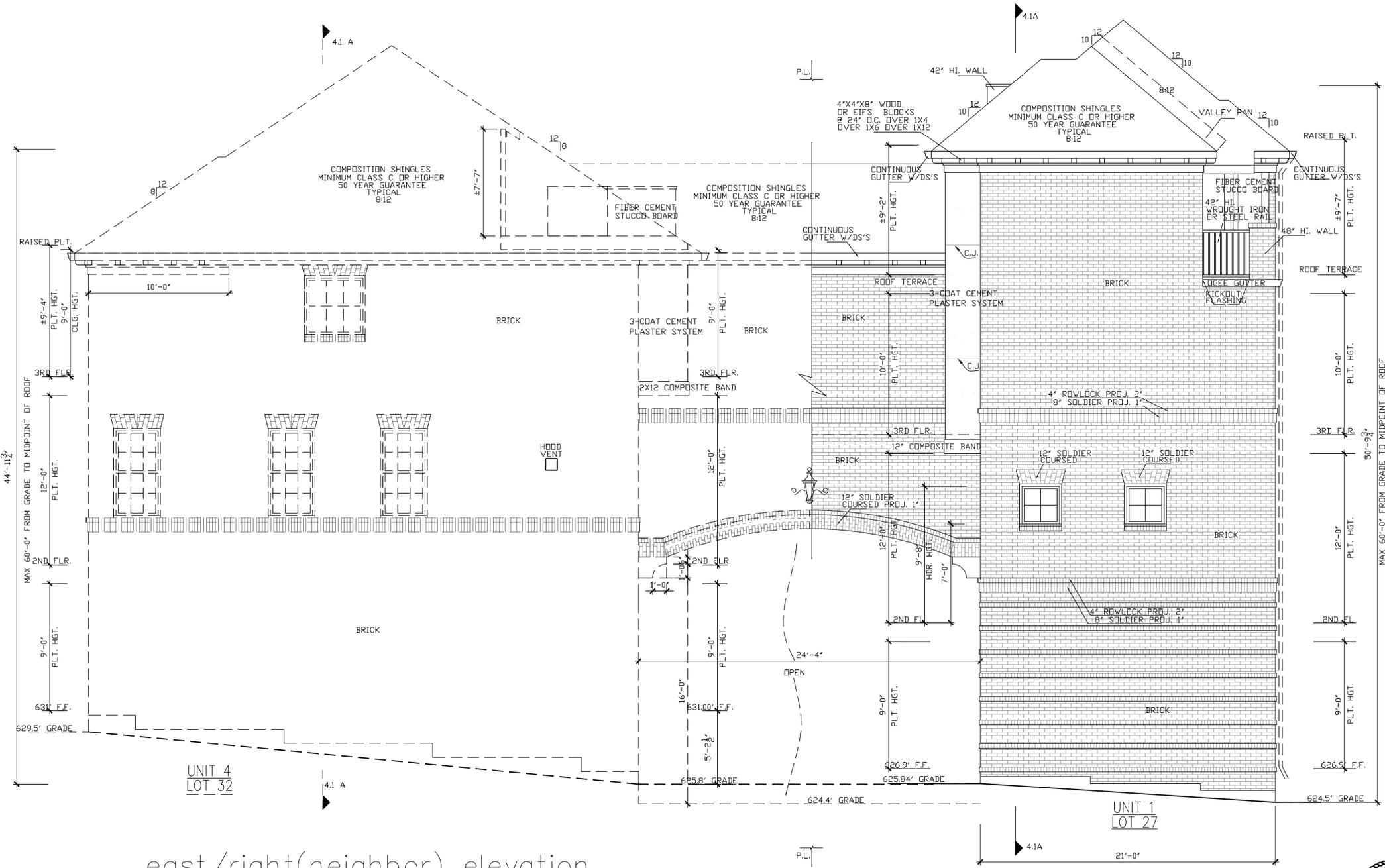
LEGEND

- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

EAST/LEFT MATERIAL CALCULATION TABLE		
FIBER CEMENT STUCCO BOARD	11	1.0%
BRICK	1040	93.5%
3-COAT CEMENT PLASTER SYSTEM	47	4.2%
ACCENT MATERIAL	15	1.3%
TOTAL SURFACE AREA	1113	

FACADE PLAN NOTES

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east/right(neighbor) elevation
SCALE: 1/4" = 1'-0"

east/left/neighbor elevation
SCALE: 1/4" = 1'-0"



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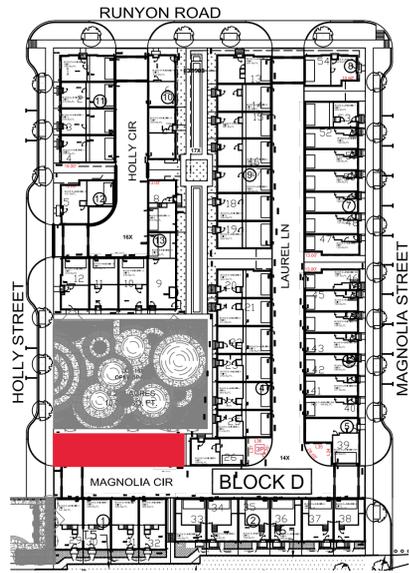
ADDISON GROVE -BLOCK D - BUILDING 3

PLAN NO.
UNIT 1 2936
UNIT 2 3069

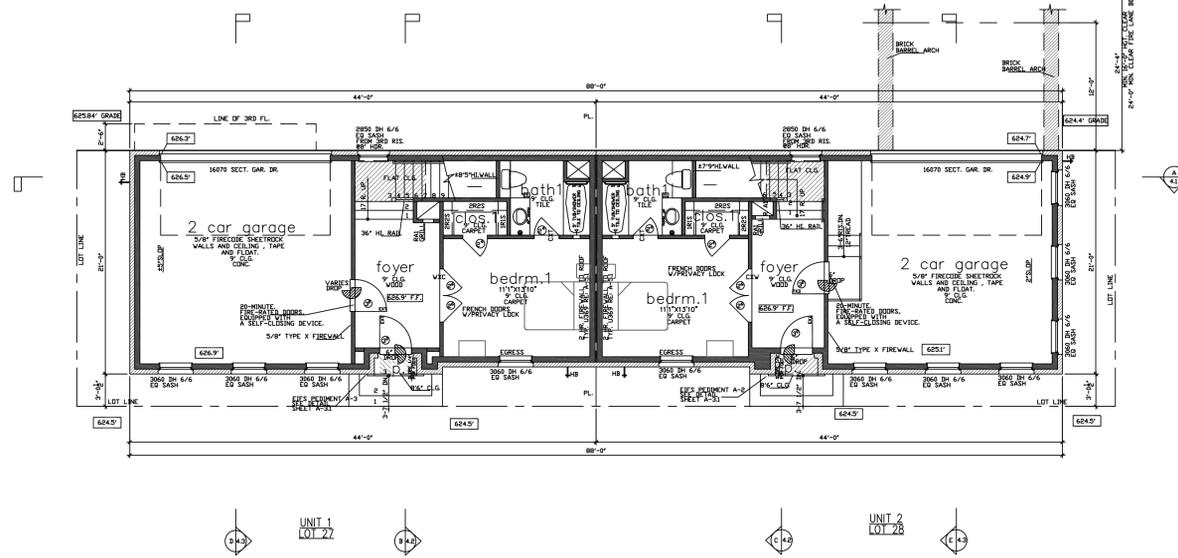
SHEET NO.
A-16

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Original Date Issued: 05/17/2021
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Last Updated: 06/03/2022



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2936	4
UNIT 2	3069	4

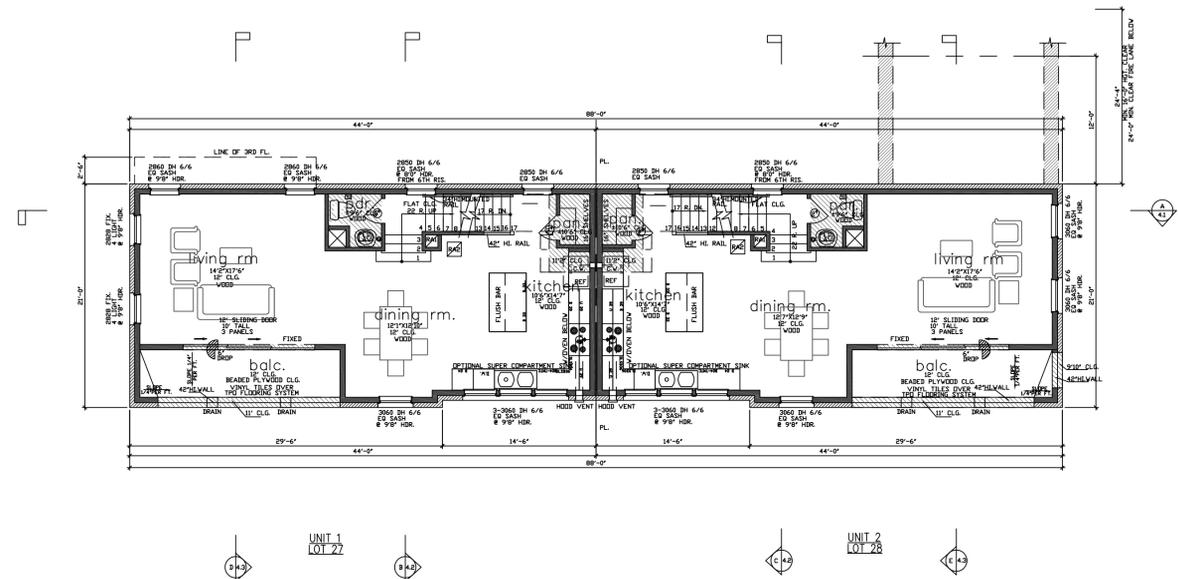


first floor plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAME. RE: STRUCTURAL PLANS

unit 1 square footage		unit 2 square footage		total all 2 units square footage	
FIRST FLOOR	440	FIRST FLOOR	440	FIRST FLOOR	880
SECOND FLOOR	887	SECOND FLOOR	887	SECOND FLOOR	1774
THIRD FLOOR	937	THIRD FLOOR	1038	THIRD FLOOR	2075
ROOF TERRACE	76	ROOF TERRACE	76	ROOF TERRACE	152
TOTAL LIVING AREA	2936	TOTAL LIVING AREA	3069	TOTAL LIVING AREA	6005
PORCH	440	PORCH	446	PORCH	886
GARAGE	880	GARAGE	892	GARAGE	1772
BALCONY	107	BALCONY	107	BALCONY	214
COVERED ROOF DECK	88	COVERED ROOF DECK	88	COVERED ROOF DECK	176
UNCOVERED ROOF DECK	88	UNCOVERED ROOF DECK	88	UNCOVERED ROOF DECK	176
UNCOVERED AC DECK	88	UNCOVERED AC DECK	88	UNCOVERED AC DECK	176
TOTAL SLAB AREA	614	TOTAL SLAB AREA	614	TOTAL SLAB AREA	1228

NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE USED THEY SHALL BE LISTED AND LABELED IN ACCORDANCE WITH ALL CODES AS REQUIRED IN THE IBC SECTION 2903.4

NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.



second floor plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAME. RE: STRUCTURAL PLANS



06/06/2022

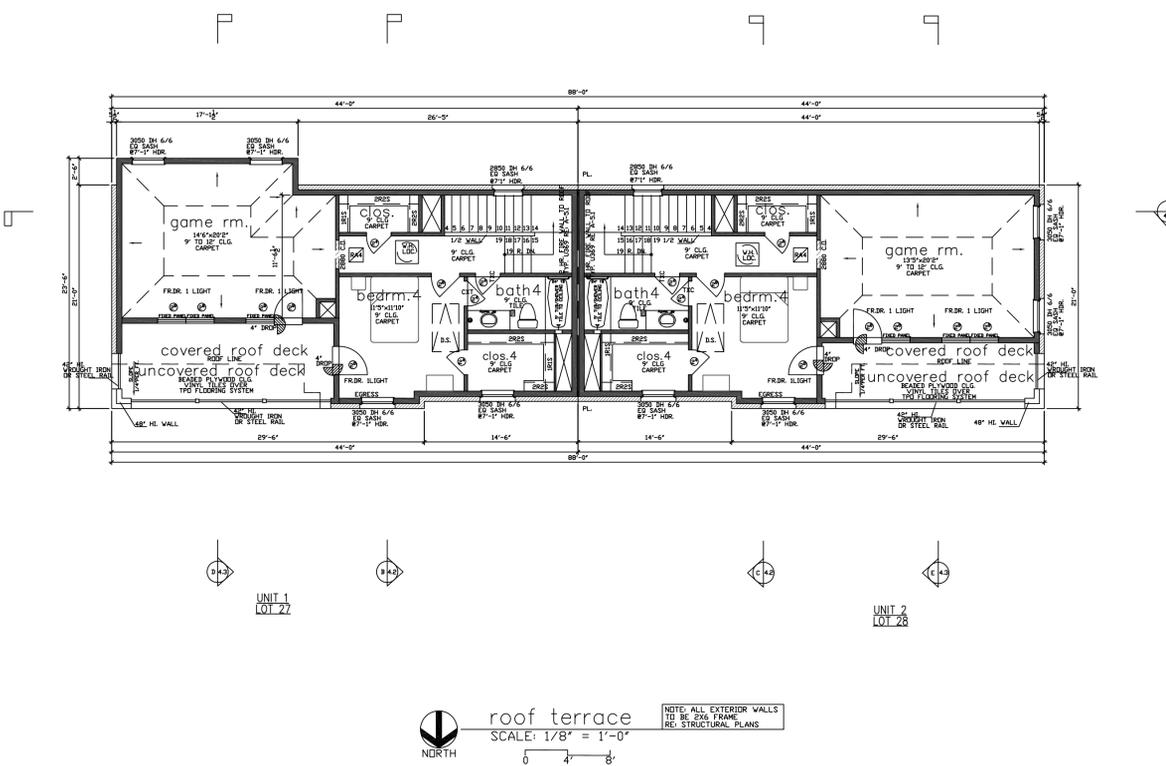
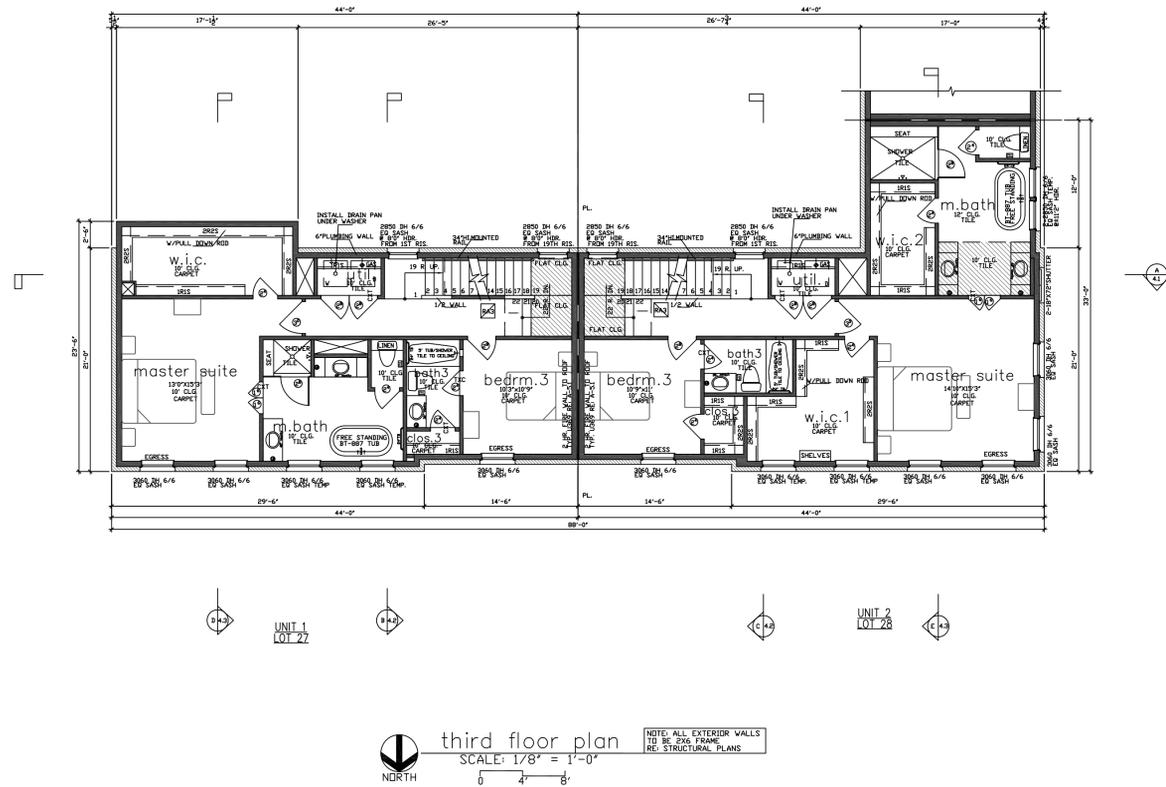
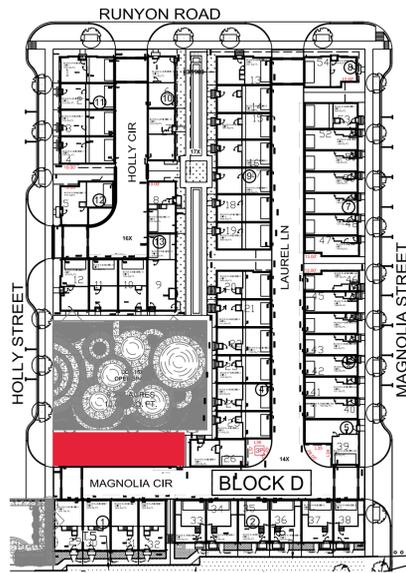
URBAN INTOWN HOMES
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PHONE: 713-961-3877

Drawn By/Checked By: S.S./F.M.
Original Date Issued: 05/17/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

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ADDISON GROVE - BLOCK D - BUILDING 3
FLOOR PLAN

PLAN NO.
UNIT 1 2936
UNIT 2 3069
SHEET NO.
A-17



ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 3

FLOOR PLAN

URBAN INTOWN HOMES, Ltd.

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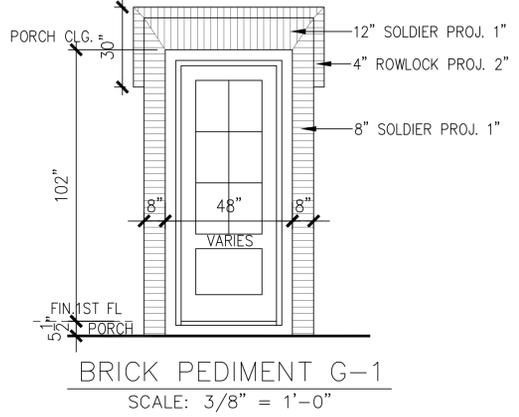
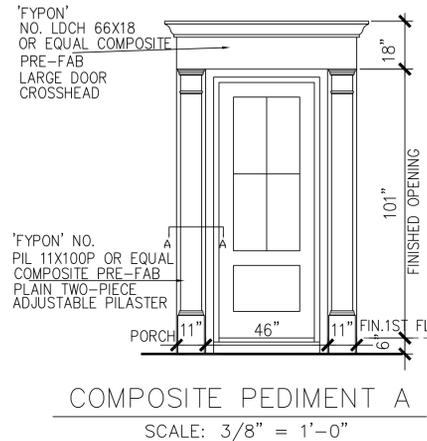
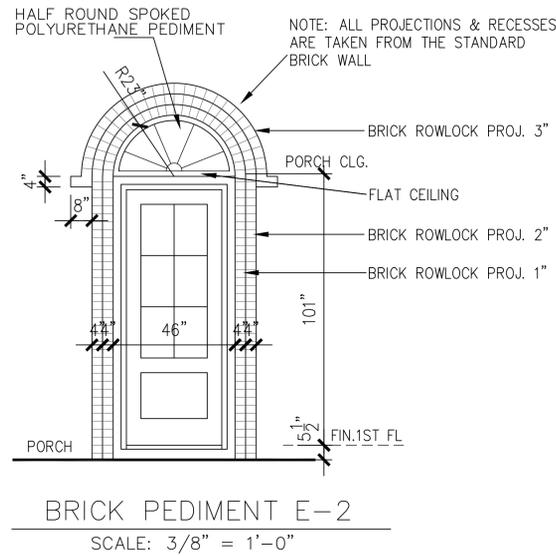
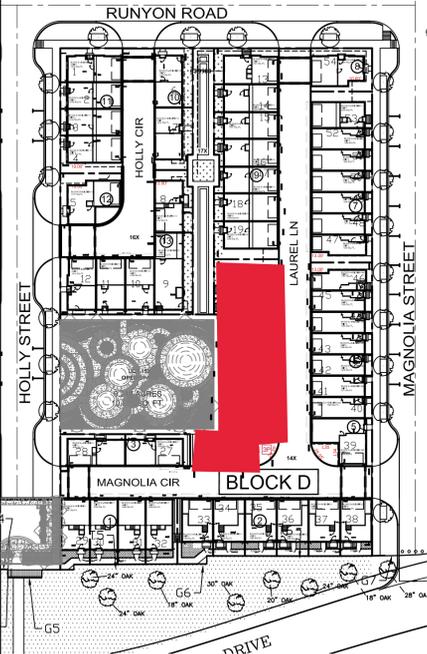


06/06/2022

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PLAN NO.
UNIT 1 2936
UNIT 2 3069

SHEET NO.
A-18



STUCCO BOARD	224	4.3%
BRICK	4327	83.9%
ACCENT MATERIAL	609	11.8%
TOTAL SURFACE AREA	5160	

STUCCO BOARD	620	4.0%
BRICK	14062	91.4%
ACCENT MATERIAL	700	4.6%
TOTAL SURFACE AREA	15382	

- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - COMPOSITE PEDIMENT (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - FIX. SHUTTER (ACCENT MATERIAL)
 - HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

- FAÇADE PLAN NOTES**
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west/front (park) elevation
SCALE: 3/16" = 1'-0"

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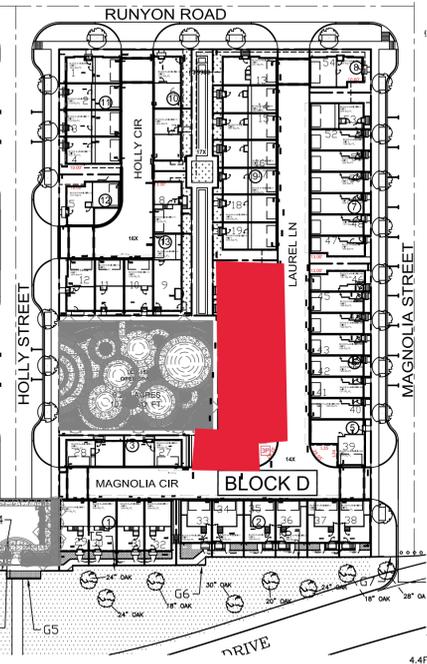
ADDISON GROVE - BLOCK D - BUILDING 4
WEST/FRONT ELEVATION

PLAN NO.	
UNIT 1	2805
UNIT 2	2713
UNIT 3	2738
UNIT 4	2705
UNIT 5	2802
UNIT 6	2213
UNIT 7	2830

SHEET NO.
A-19



Drawn By/Checked By: E.L./F.M.
 Original Date Issued: 06/10/2021
 Scale: 3/16" = 1'-0"
 Last Updated: 06/03/2022

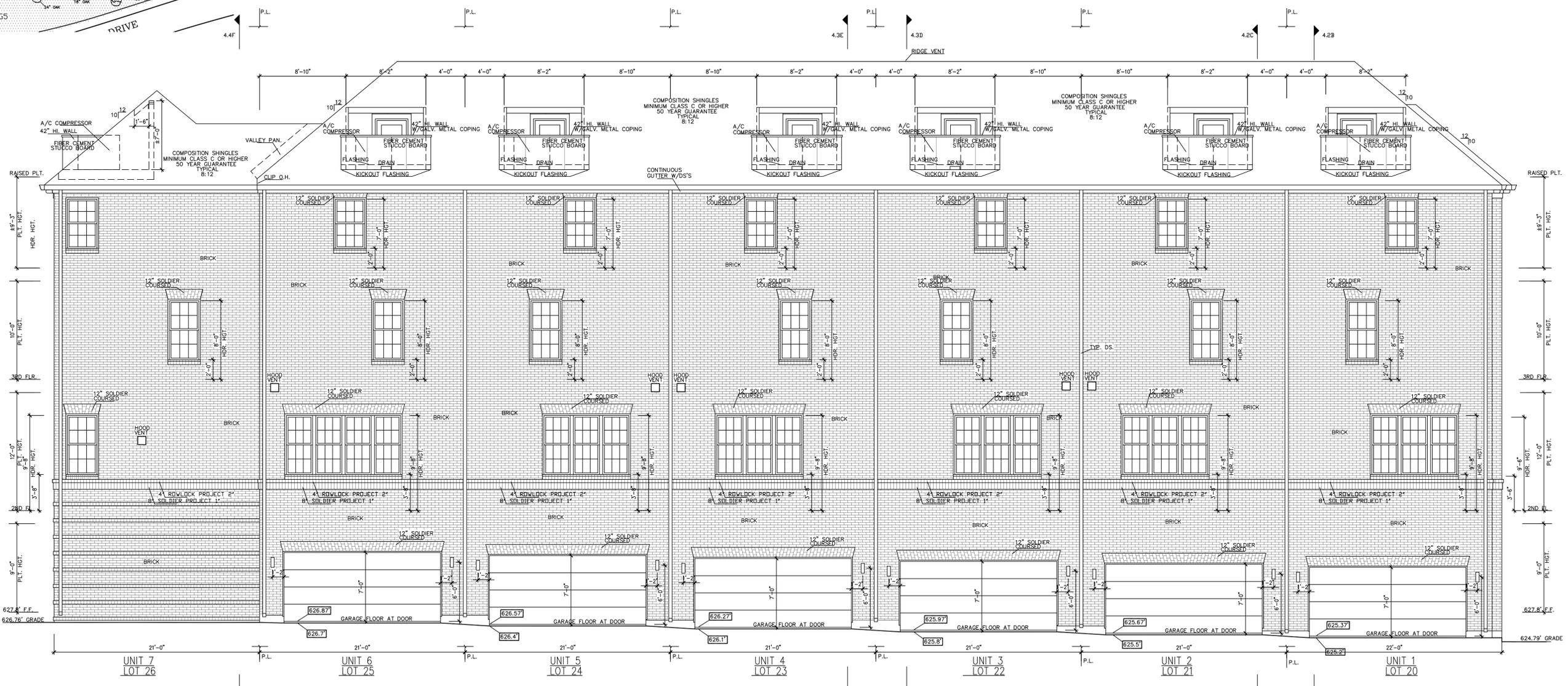


- LEGEND
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL

EAST/REAR MATERIAL CALCULATION TABLE

STUCCO BOARD	271	5.0%
BRICK	5179	95.0%
TOTAL SURFACE AREA	5450	

- FACADE PLAN NOTES
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east/rear(LAUREL LN) elevation
 SCALE: 3/16" = 1'-0"
 0 4 8'

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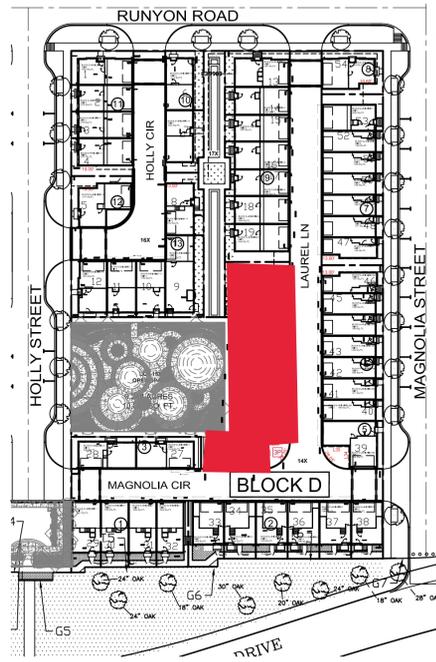
ADDISON GROVE - BLOCK D - BUILDING 4
EAST/REAR ELEVATION

PLAN NO.

UNIT 1	2805
UNIT 2	2213
UNIT 3	2708
UNIT 4	2705
UNIT 5	2802
UNIT 6	2213
UNIT 7	2830

SHEET NO.
A-20

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 PHONE: 713-961-3877



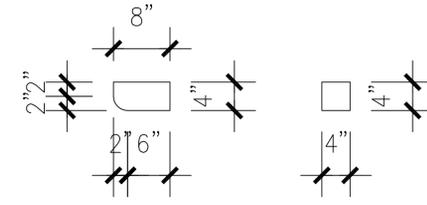
Material	Quantity	Percentage
STUCCO BOARD	58	2.6%
BRICK	2173	95.3%
ACCENT MATERIAL	48	2.1%
TOTAL SURFACE AREA	2279	

FACADE PLAN NOTES

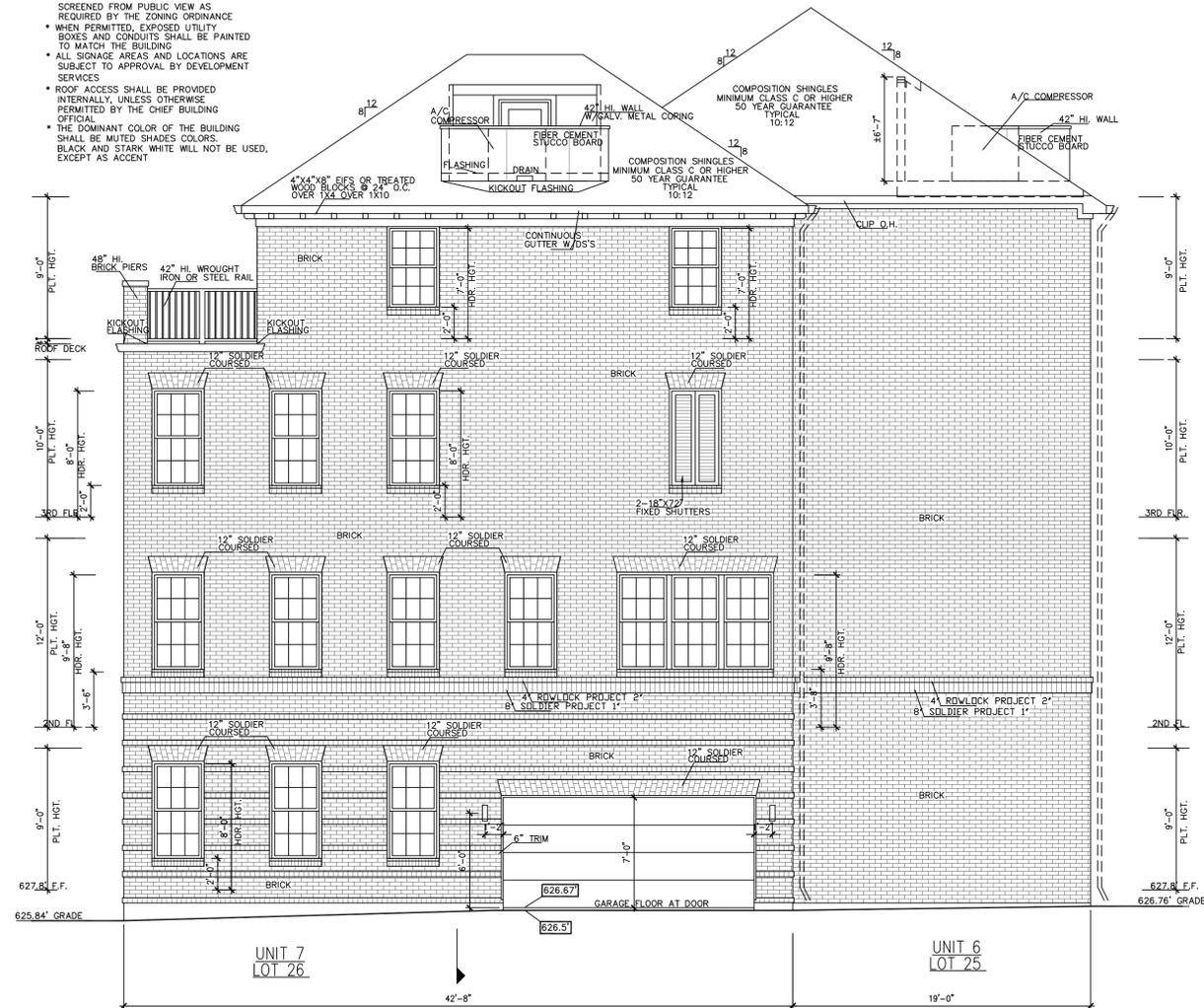
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LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- FIX. SHUTTER (ACCENT MATERIAL)



WOOD OR EIFS BRACKETS(D)
SCALE: 1" = 1'-0"



south/right(MAGNOLIA CIR) elevation
SCALE: 3/16" = 1'-0"



ADDISON GROVE

URBAN INTOWN HOMES, Ltd.

ADDISON GROVE - BLOCK D - BUILDING 4

SOUTH/RIGHT ELEVATIONS

PLAN NO.	UNIT	NO.
UNIT 1	2805	
UNIT 2	2713	
UNIT 3	2728	
UNIT 4	2705	
UNIT 5	2802	
UNIT 6	2713	
UNIT 7	2830	

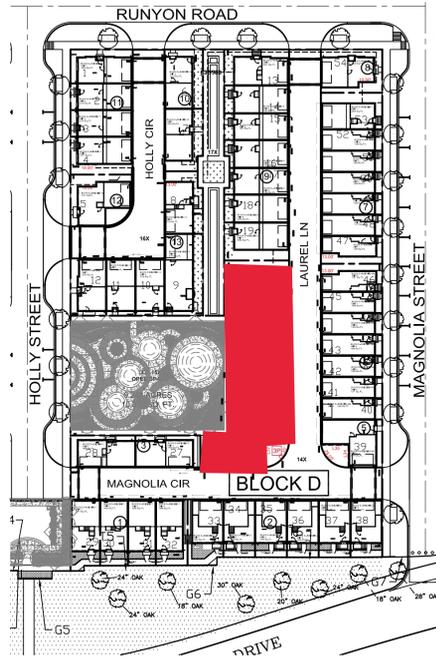
SHEET NO.

A-21

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LEGEND

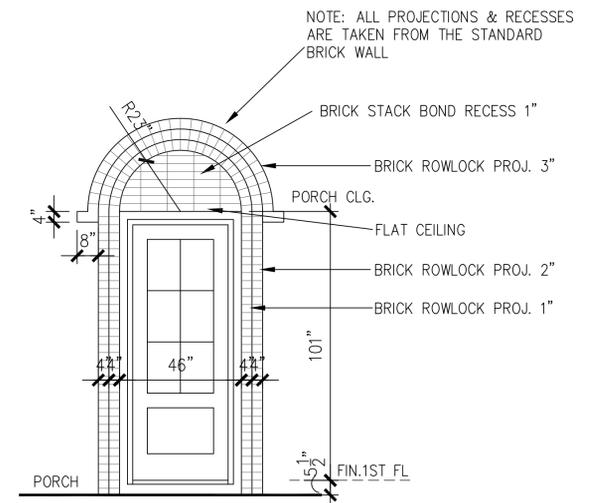
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)

NORTH/LEFT MATERIAL CALCULATION TABLE

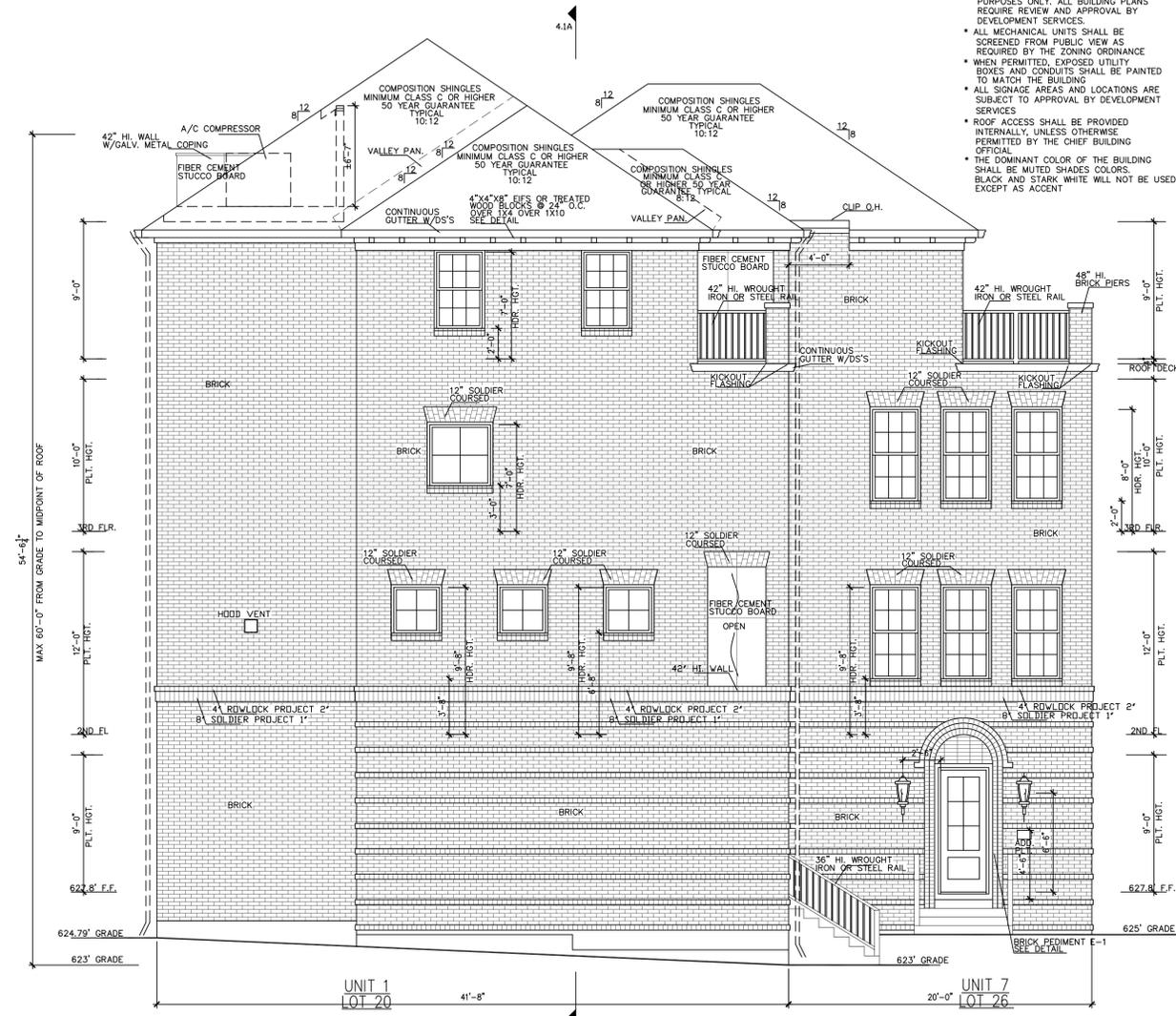
STUCCO BOARD	67	2.7%
BRICK	2383	95.6%
ACCENT MATERIAL	43	1.7%
TOTAL SURFACE AREA	2493	

FACADE PLAN NOTES

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BRICK PEDIMENT E-1
SCALE: 3/8" = 1'-0"



north/left(neighbor) elevation
SCALE: 3/16" = 1'-0"
8' 4' 0'

ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE - BLOCK D - BUILDING 4

NORTH/LEFT ELEVATIONS

PLAN NO.

UNIT 1	2805
UNIT 2	2713
UNIT 3	2728
UNIT 4	2705
UNIT 5	2802
UNIT 6	2713
UNIT 7	2830

SHEET NO.

A-22

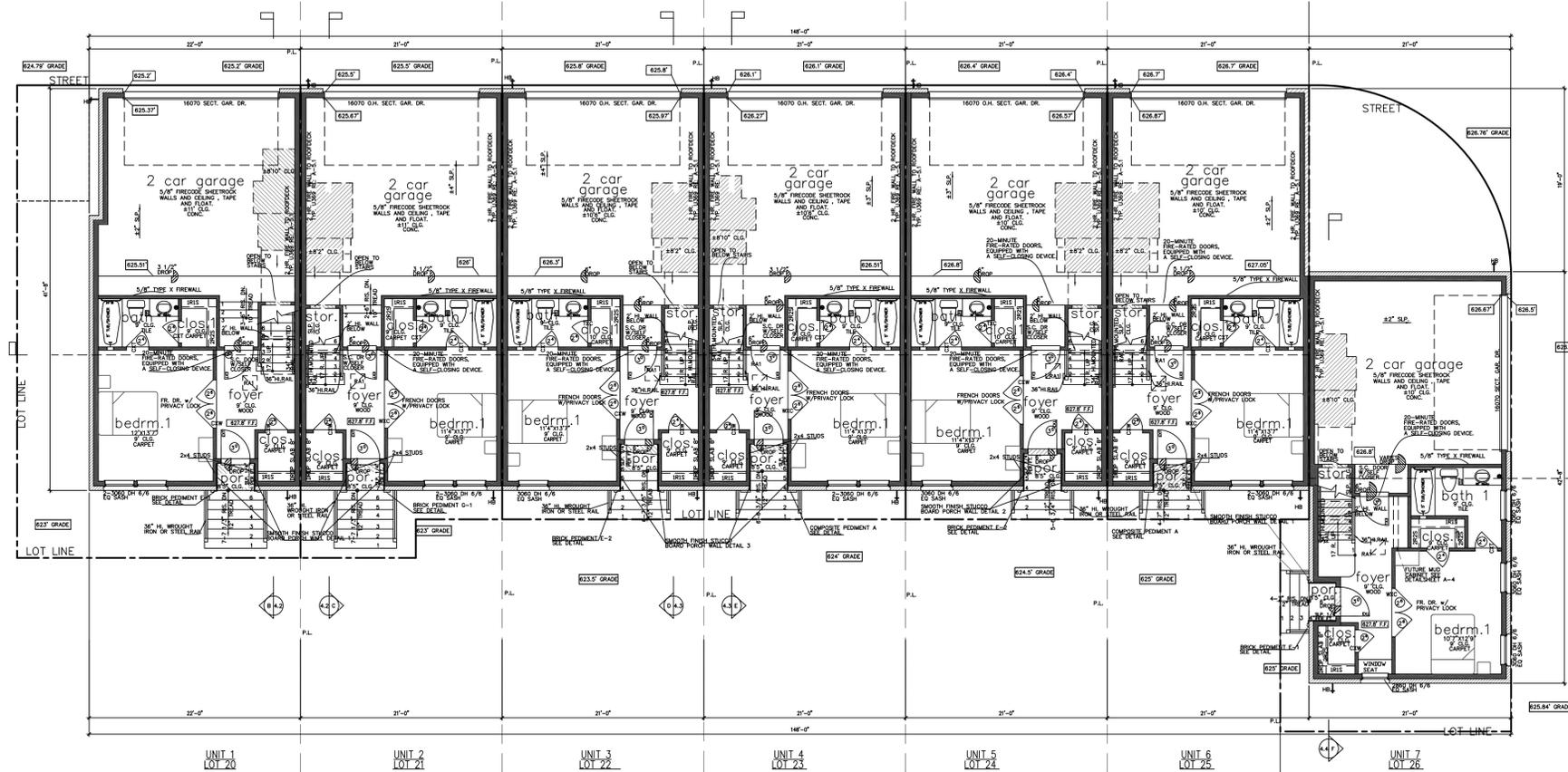
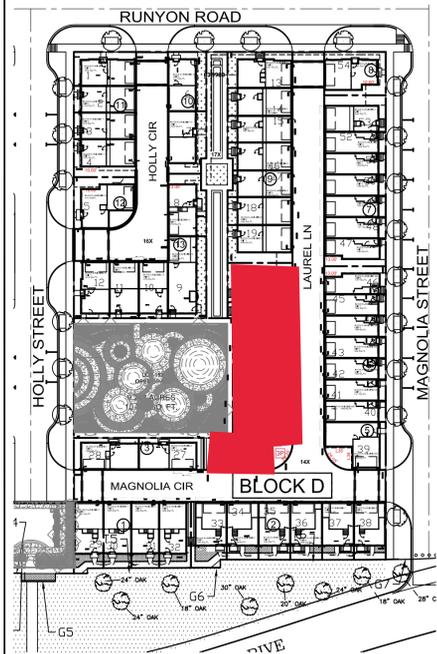
Drawn By/Checked By: E.L./F.M.
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06/06/2022

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PHONE: 713-961-3877



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2805	4
UNIT 2	2713	4
UNIT 3	2798	4
UNIT 4	2705	4
UNIT 5	2802	4
UNIT 6	2713	4
UNIT 7	2830	4

unit 1 square footage

FIRST FLOOR	440
SECOND FLOOR	604
THIRD FLOOR	604
ROOF TERRACE	487
TOTAL LIVING AREA	2805
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	904

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE EXISTING STRUCTURE. THE SQUARE FOOTAGE MAY VARY.

unit 2&6 square footage

FIRST FLOOR	386
SECOND FLOOR	798
THIRD FLOOR	604
ROOF TERRACE	608
TOTAL LIVING AREA	2798
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE EXISTING STRUCTURE. THE SQUARE FOOTAGE MAY VARY.

unit 3 square footage

FIRST FLOOR	386
SECOND FLOOR	875
THIRD FLOOR	875
ROOF TERRACE	648
TOTAL LIVING AREA	2798
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE EXISTING STRUCTURE. THE SQUARE FOOTAGE MAY VARY.

unit 4 square footage

FIRST FLOOR	386
SECOND FLOOR	875
THIRD FLOOR	875
ROOF TERRACE	648
TOTAL LIVING AREA	2705
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE EXISTING STRUCTURE. THE SQUARE FOOTAGE MAY VARY.

unit 5 square footage

FIRST FLOOR	384
SECOND FLOOR	875
THIRD FLOOR	875
ROOF TERRACE	648
TOTAL LIVING AREA	2802
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

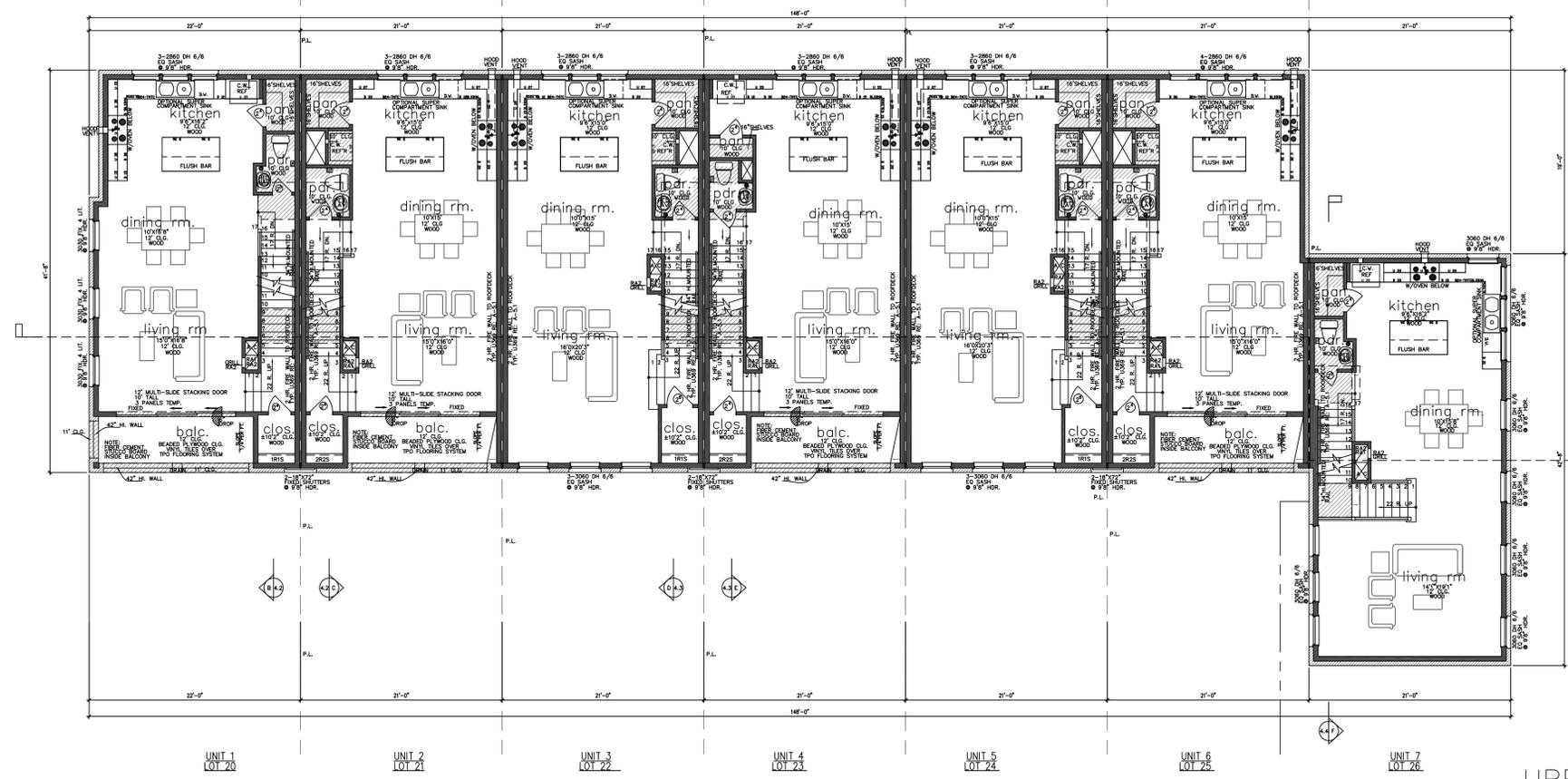
THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE EXISTING STRUCTURE. THE SQUARE FOOTAGE MAY VARY.

unit 7 square footage

FIRST FLOOR	400
SECOND FLOOR	896
THIRD FLOOR	896
ROOF TERRACE	648
TOTAL LIVING AREA	2830
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE EXISTING STRUCTURE. THE SQUARE FOOTAGE MAY VARY.

First Floor Plan
SCALE: 1/8" = 1'-0"
NORTH



Second Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

Drawn By/Checked By: E.L./F.M.
 Original Date Issued: 06/10/2021
 Scale: 1/8" = 1'-0"
 Last Updated: 06/03/2022

URBAN INTOWN HOMES, Ltd.
 2410 POLK ST., STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 4
FLOOR PLAN

ADDISON GROVE

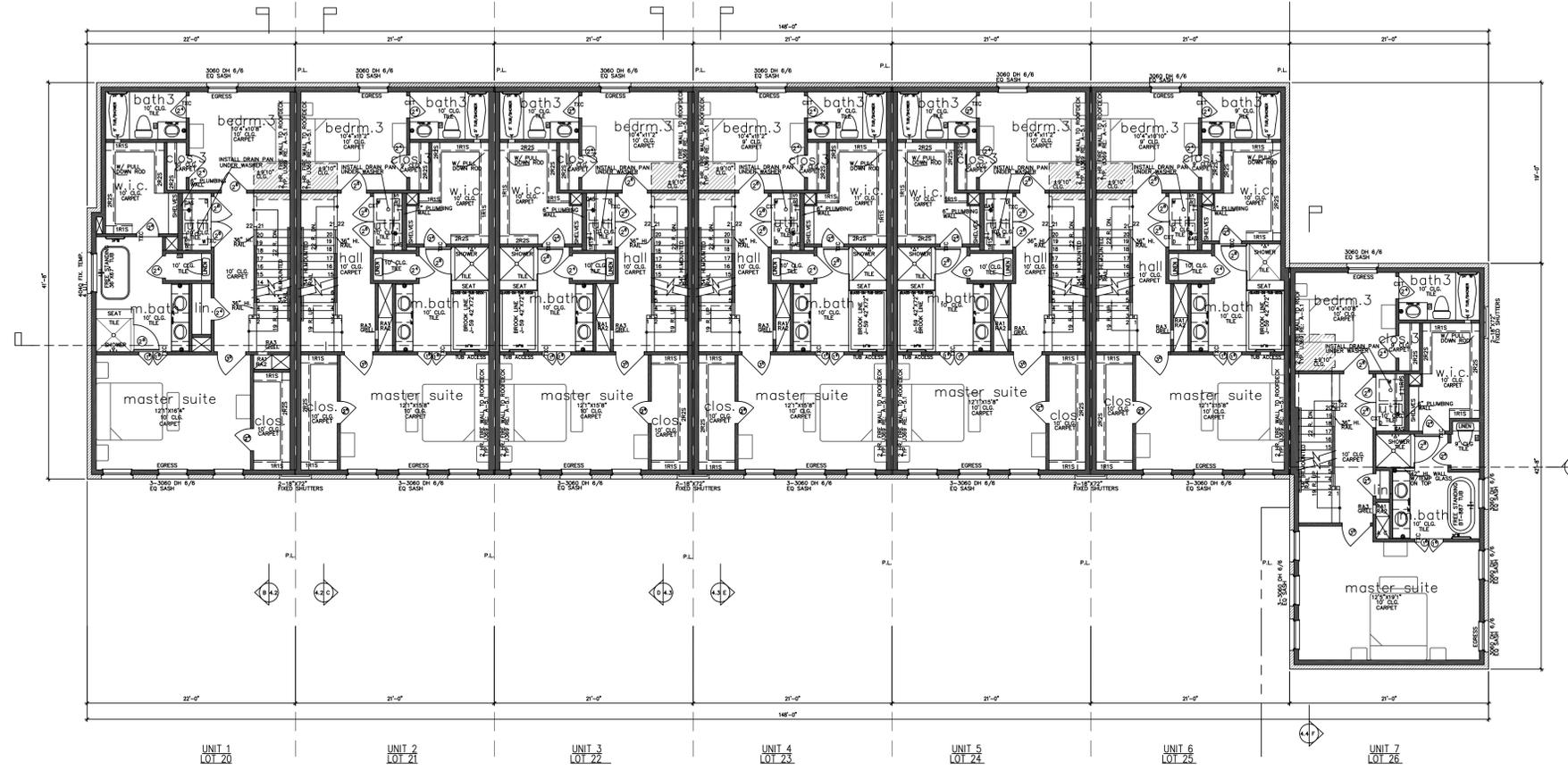
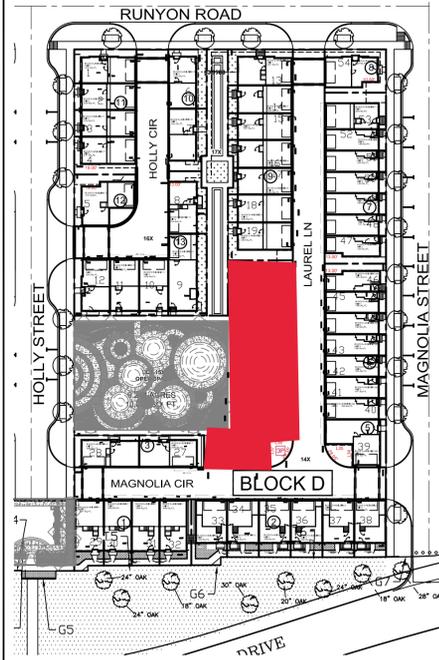
PLAN NO.
 UNIT 1 - 2805
 UNIT 2 - 2713
 UNIT 3 - 2798
 UNIT 4 - 2705
 UNIT 5 - 2802
 UNIT 6 - 2713
 UNIT 7 - 2830

SHEET NO.
A-23

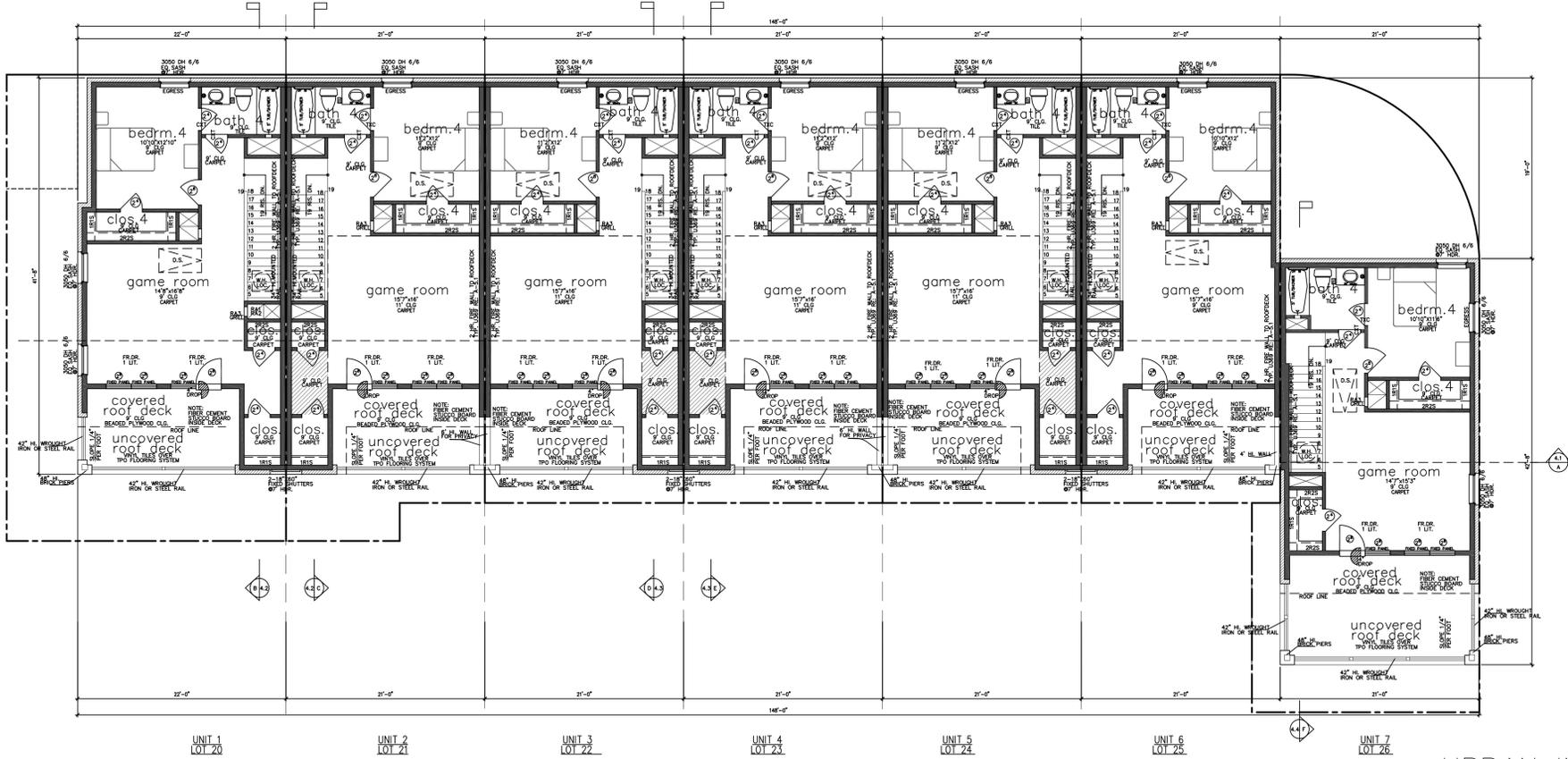


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 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877

Town Project #:1833-Z



Third Floor Plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED W/ STRUCTURAL PLANS



Second Floor Plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED W/ STRUCTURAL PLANS

URBAN INTOWN HOMES, Ltd.

ADDISON GROVE - BLOCK D - BUILDING 4

PLAN NO.
UNIT 1 - 2805
UNIT 2 - 2713
UNIT 3 - 2708
UNIT 4 - 2705
UNIT 5 - 2802
UNIT 6 - 2213
UNIT 7 - 2830

SHEET NO.

A-24

2410 POLK ST., STE 200, HOUSTON, TX 77003
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FLOOR PLAN

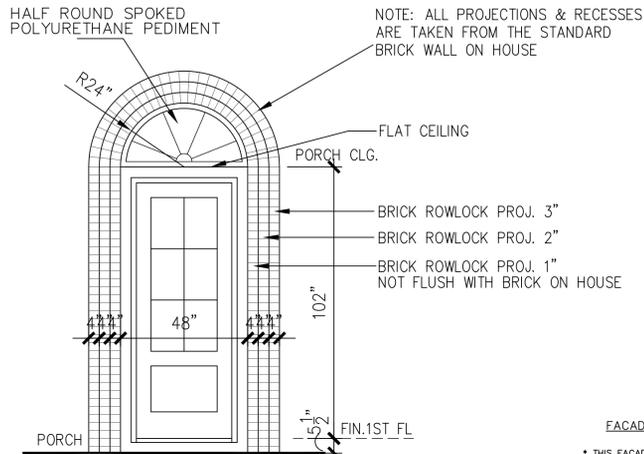
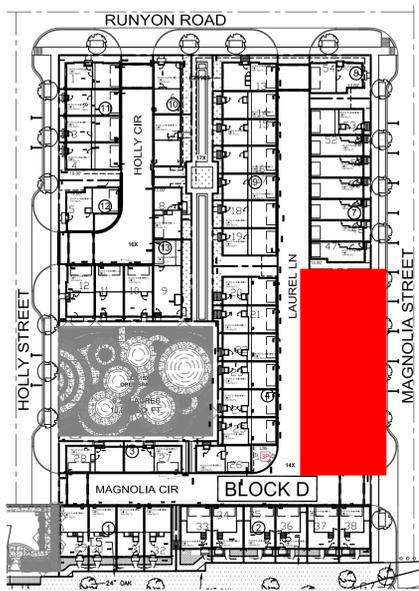
ADDISON GROVE



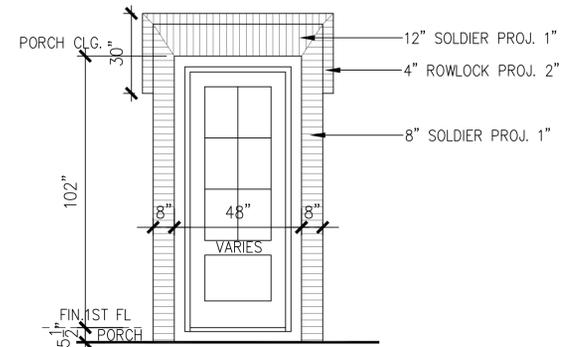
06/06/2022

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Original Date Issued: 06/10/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022



BRICK PEDIMENT K-2
SCALE: 3/8" = 1'-0"



BRICK PEDIMENT G-1
SCALE: 1/2" = 1'-0"

FACADE PLAN NOTES

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- THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS: BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT.

LEGEND

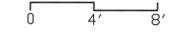
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)
- HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

TOTAL MATERIAL CALCULATION TABLE		
BRICK	9189	84.3%
3-COAT CEMENT PLASTER SYSTEM	1118	10.4%
STUCCO BOARD	401	3.7%
ACCENT MATERIAL	172	1.6%
TOTAL SURFACE AREA	10880	

EAST/FRONT MATERIAL CALCULATION TABLE		
BRICK	3736	98.8%
STUCCO BOARD	10	0.3%
ACCENT MATERIAL	34	0.9%
TOTAL SURFACE AREA	3780	



east/front(MAGNOLIA STREET) elevation
SCALE: 3/16" = 1'-0"



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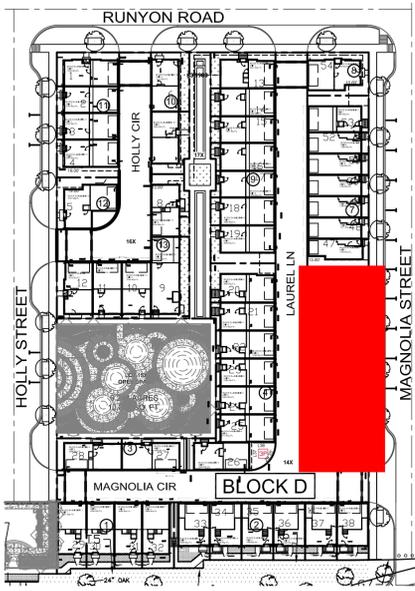
Drawn By/Checked By: E.Z./F.M.
Original Date Issued: 06/11/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

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ADDISON GROVE - BLOCK D - BUILDING 5&6
ADDISON GROVE
EAST/FRONT ELEVATION

PLAN NO.	REVISION
UNIT 1	1316A
UNIT 2	1368
UNIT 3	1371
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	1368
UNIT 8	1351

SHEET NO. A-25



LEGEND

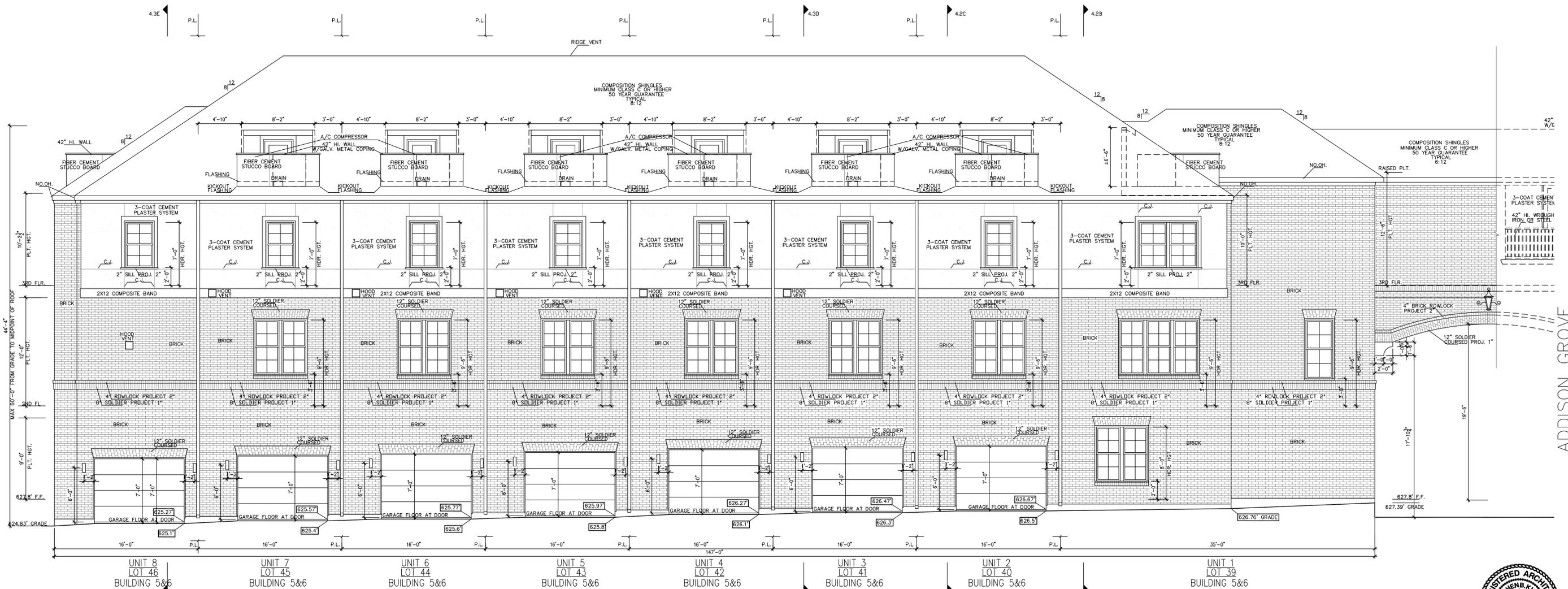
- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

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WEST/REAR MATERIAL CALCULATION TABLE

BRICK	3077	67.7%
3-COAT CEMENT PLASTER SYSTEM	1052	23.2%
STUCCO BOARD	284	6.2%
ACCENT MATERIAL	130	2.9%
TOTAL SURFACE AREA	4543	



west/rear(LAUREL LN) elevation
SCALE: 3/16" = 1'-0"

0 4' 8'



ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 5&6

WEST/REAR ELEVATION

PLAN NO.

UNIT 1	13184
UNIT 2	1368
UNIT 3	1371
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	1368
UNIT 8	1351

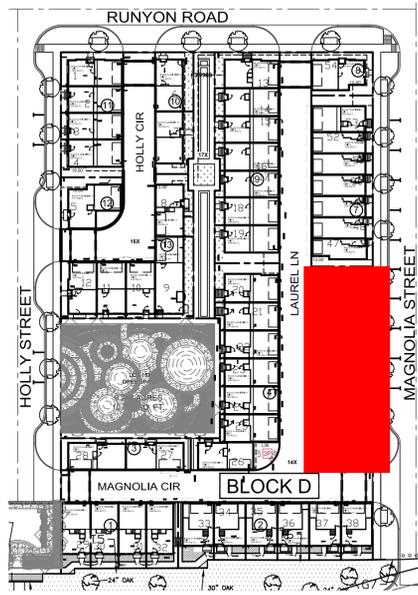
SHEET NO.

A-26

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PHONE: 713-961-3877

Drawn By/Checked By: E.Z./F.M.
Original Date: 06/11/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

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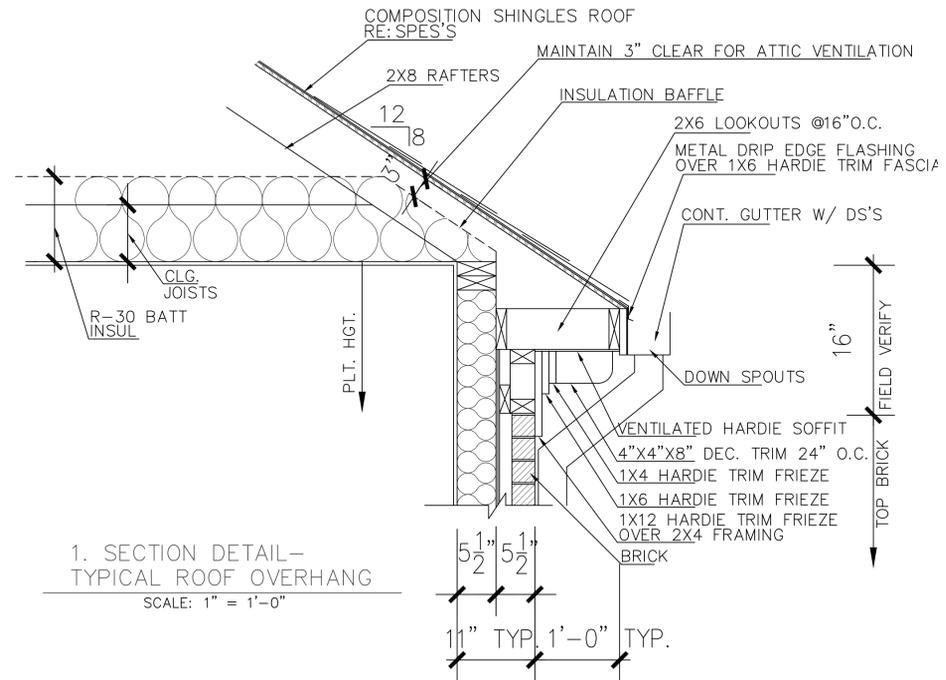
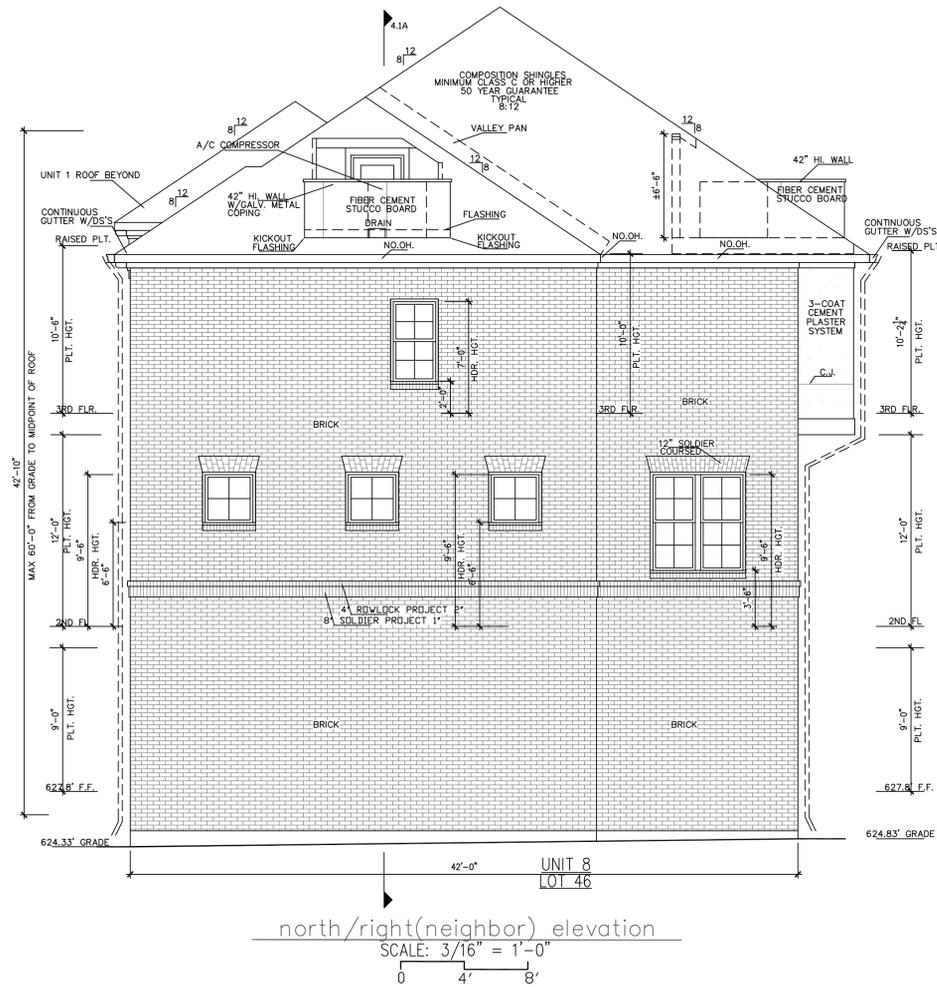


NORTH/RIGHT MATERIAL CALCULATION TABLE		
BRICK	1395	93.9%
3-COAT CEMENT PLASTER SYSTEM	33	2.2%
STUCCO BOARD	53	3.6%
ACCENT MATERIAL	4	0.3%
TOTAL SURFACE AREA	1485	

- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

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ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 5&6

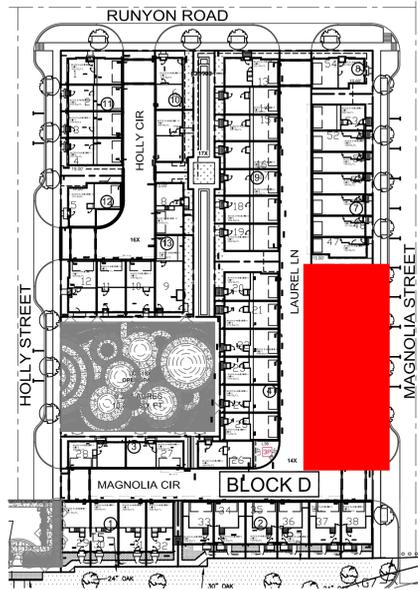
NORTH / RIGHT ELEVATIONS

PLAN NO.	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8
	1318A	1368	1371	1368	1368	1368	1368	1351

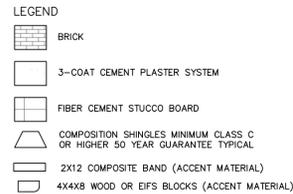
SHEET NO. **A-27**



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PHONE: 713-961-3877

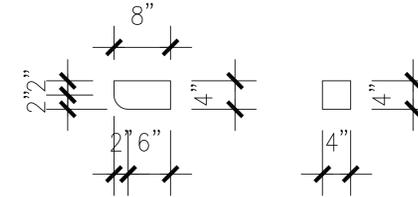
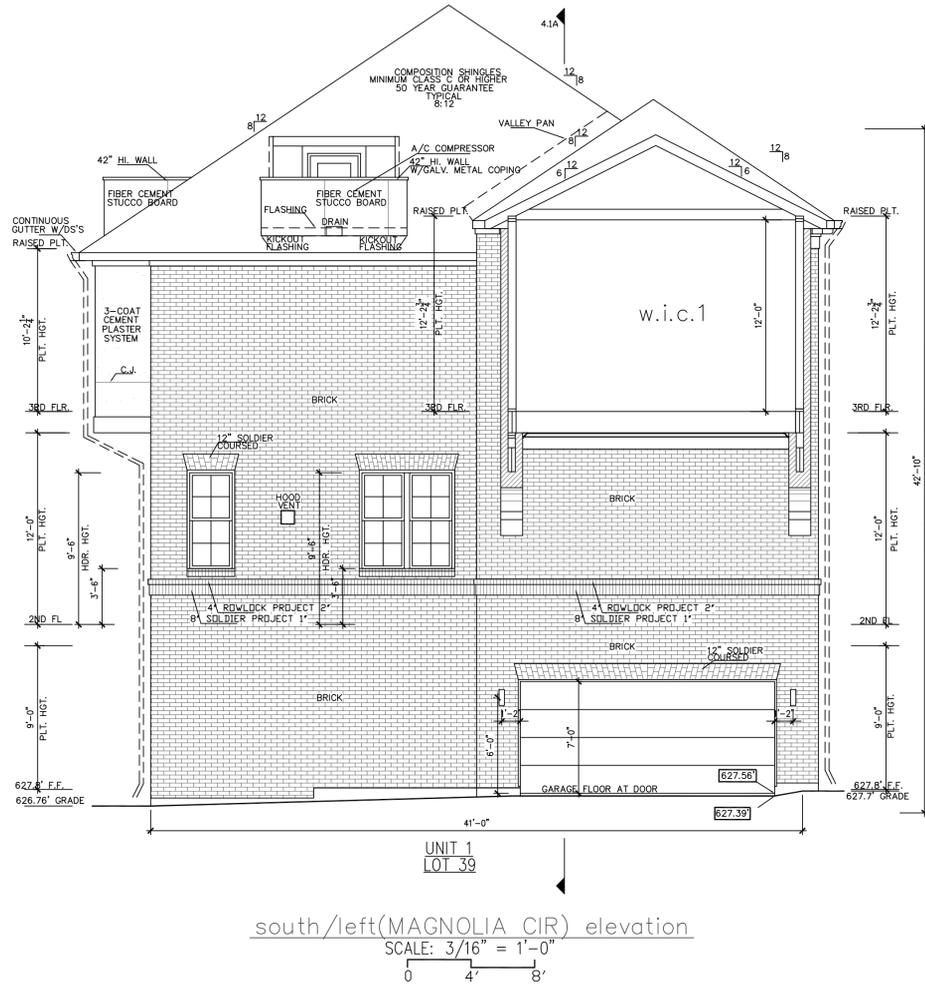


Material	Quantity	Percentage
BRICK	981	91.5%
3-COAT CEMENT PLASTER SYSTEM	33	3.1%
STUCCO BOARD	54	5.0%
ACCENT MATERIAL	4	0.4%
TOTAL SURFACE AREA	1072	

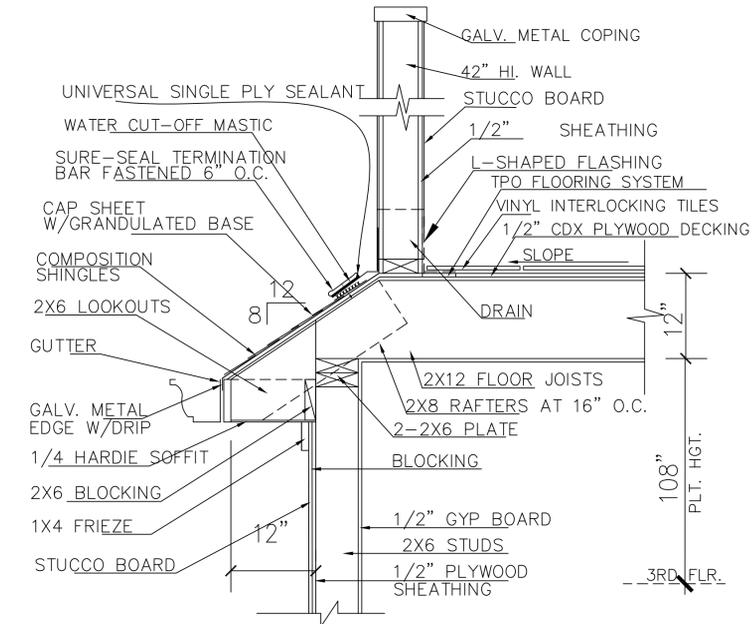


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WOOD OR EIFS BRACKETS(D)
SCALE: 1" = 1'-0"



2. SECTION DETAIL -
A/C COMPRESSOR LOCATION AT ROOF
SCALE: 1" = 1'-0"

ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 5&6

SOUTH /LEFT ELEVATIONS

URBANINTOWNHOMES

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Drawn By/Checked By: E.Z./E.M.
Original Date Issued: 06/11/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022



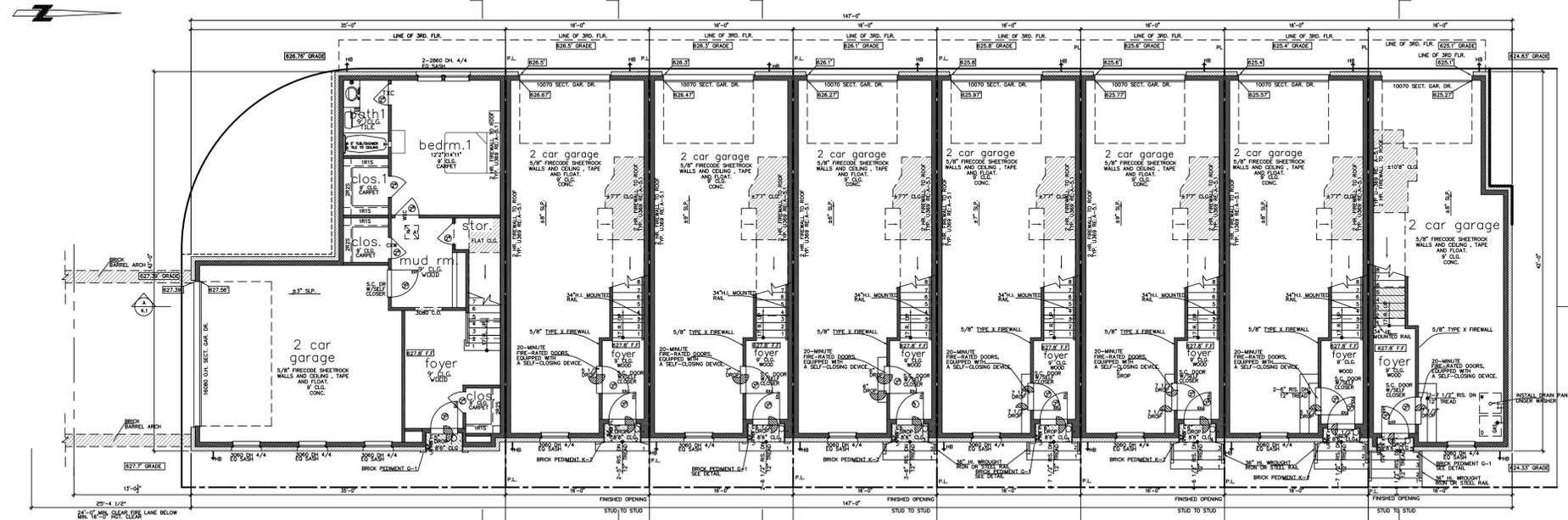
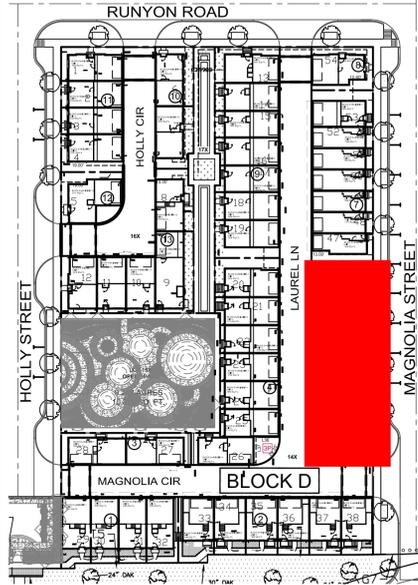
06/06/2022

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PHONE: 713-961-3877

PLAN NO.	UNIT
3154	UNIT 1
1368	UNIT 2
1371	UNIT 3
1368	UNIT 4
1368	UNIT 5
1368	UNIT 6
1368	UNIT 7
1351	UNIT 8

SHEET NO.
A-28

Town Project #:1833-Z



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	3184	3
UNIT 2	1368	2
UNIT 3	1371	2
UNIT 4	1368	2
UNIT 5	1368	2
UNIT 6	1368	2
UNIT 7	1368	2
UNIT 8	1351	2

UNIT 1 square footage

FIRST FLOOR	631
SECOND FLOOR	1141
THIRD FLOOR	1452
TOTAL LIVING AREA	3224
GARAGE	490
PORCH	8
AC BECK	80
TOTAL SLAB AREA	1142

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

UNIT 3 square footage

FIRST FLOOR	53
SECOND FLOOR	656
THIRD FLOOR	662
TOTAL LIVING AREA	1371
GARAGE	593
PORCH	8
AC BECK	80
TOTAL SLAB AREA	656

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

First Floor Plan



SCALE: 1/8" = 1'-0"

NOTE: ALL EXTERIOR WALLS TO BE 2M FRAMED PER STRUCTURAL PLANS

NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE USED. THEY SHALL BE LISTED LABELED IN ACCORDANCE WITH UL-325 AS REQUIRED IN THE IRC SECTION R508.4.

NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

UNIT 2&4&5&6&7 square footage

FIRST FLOOR	53
SECOND FLOOR	656
THIRD FLOOR	659
TOTAL LIVING AREA	1368
GARAGE	593
PORCH	8
AC BECK	80
TOTAL SLAB AREA	656

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

UNIT 8 square footage

FIRST FLOOR	78
SECOND FLOOR	640
THIRD FLOOR	630
TOTAL LIVING AREA	1351
GARAGE	563
PORCH	8
AC BECK	80
TOTAL SLAB AREA	640

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY



06/06/2022

URBAN INTOWN HOMES
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PHONE: 713-961-3877

ADDISON GROVE

URBAN INTOWN HOMES

ADDISON GROVE - BLOCK D - BUILDING 5&6

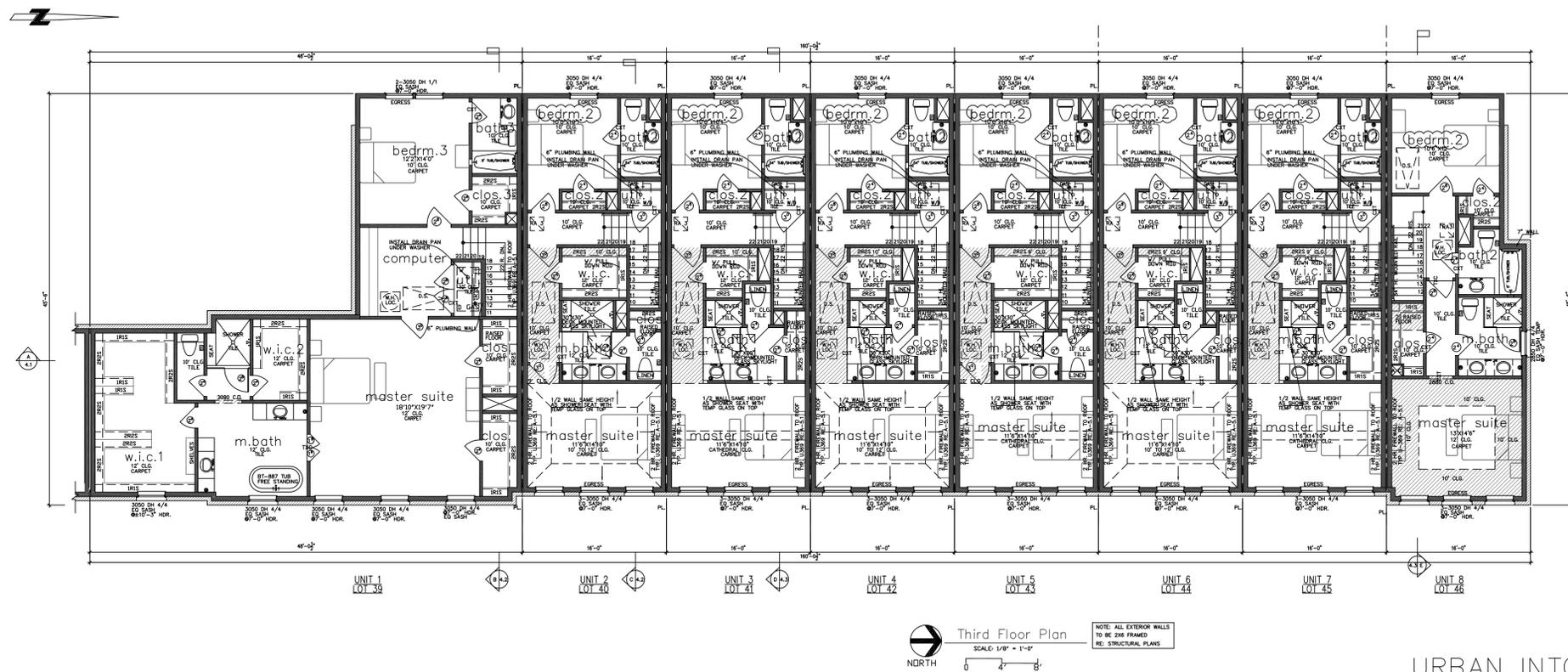
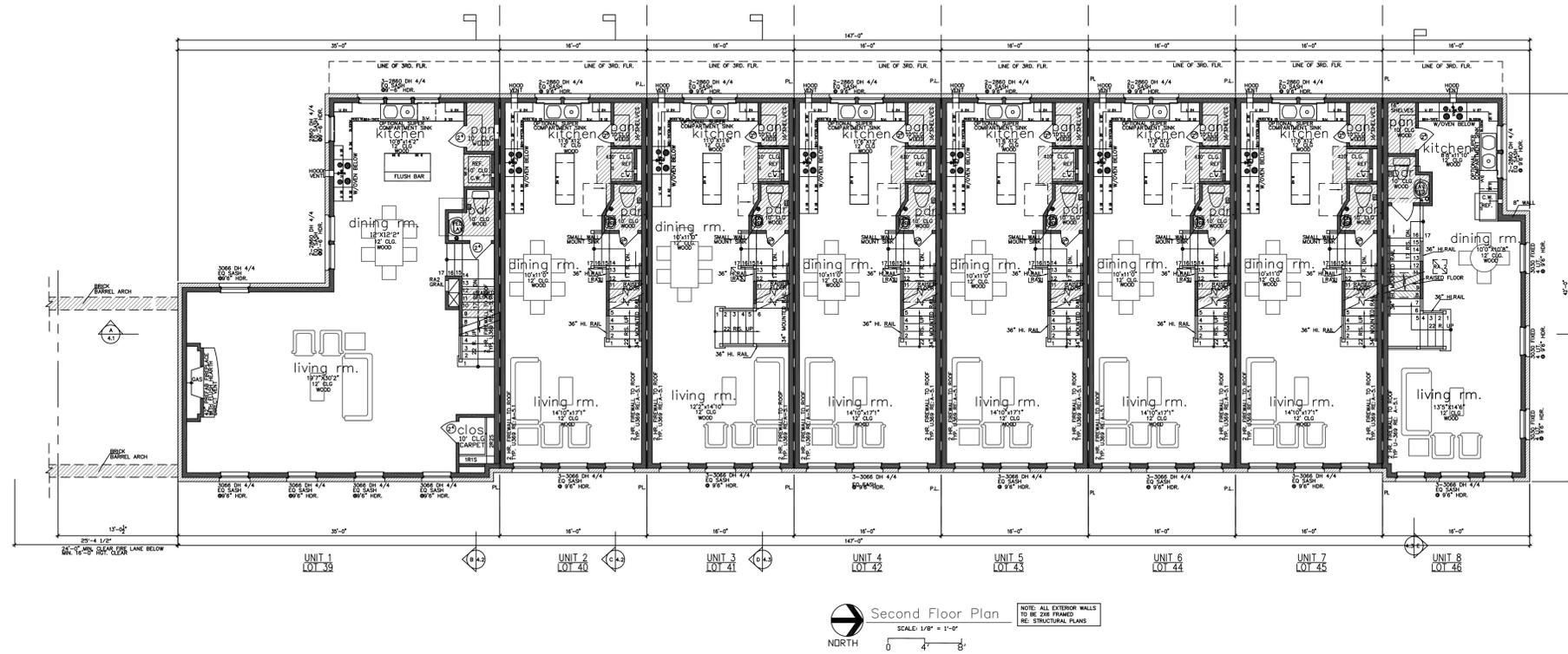
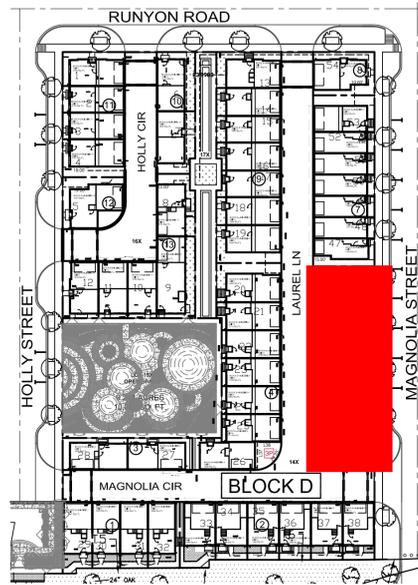
FLOOR PLAN

PLAN NO.	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8
	3184	1368	1371	1368	1368	1368	1368	1351

SHEET NO. **A-29**

Drawn By/Checked By: E.Z./F.M.
Original Date Issued: 06/11/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

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06/06/2022

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PHONE: 713-961-3877

ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 5&6

URBAN INTOWN HOMES

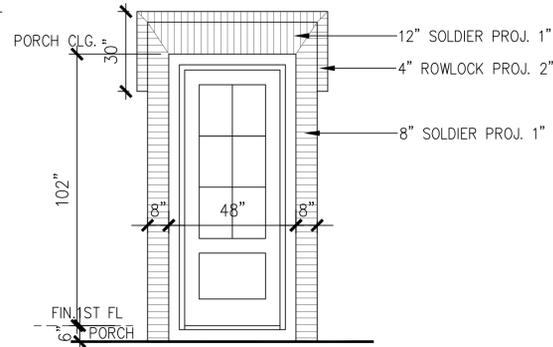
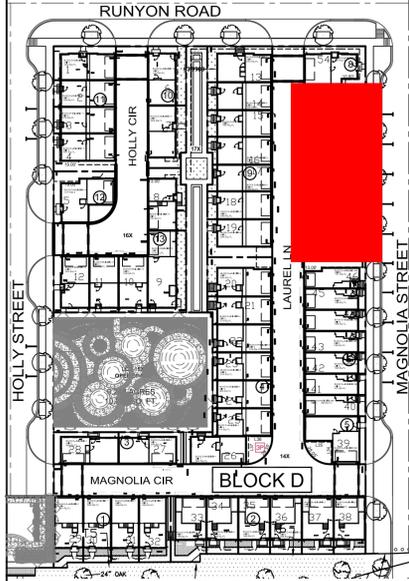
FLOOR PLAN

PLAN NO.	UNIT 1 - 1368A
UNIT 2 - 1368B	UNIT 3 - 1371
UNIT 4 - 1368C	UNIT 5 - 1368D
UNIT 6 - 1368E	UNIT 7 - 1368F
UNIT 8 - 1351	

SHEET NO. A-30

Drawn/Checked By: E.Z./F.M.
Original Date Issued: 06/11/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

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BRICK PEDIMENT G-1
SCALE: 3/8" = 1'-0"

TOTAL MATERIAL CALCULATION TABLE		
STUCCO BOARD	365	4.3%
3-COAT CEMENT PLASTER SYSTEM	875	10.2%
BRICK	7182	83.8%
ACCENT MATERIAL	150	1.7%
TOTAL SURFACE AREA	8572	

EAST/FRONT MATERIAL CALCULATION TABLE		
STUCCO BOARD	20	0.8%
BRICK	2597	98.1%
ACCENT MATERIAL	29	1.1%
TOTAL SURFACE AREA	2646	

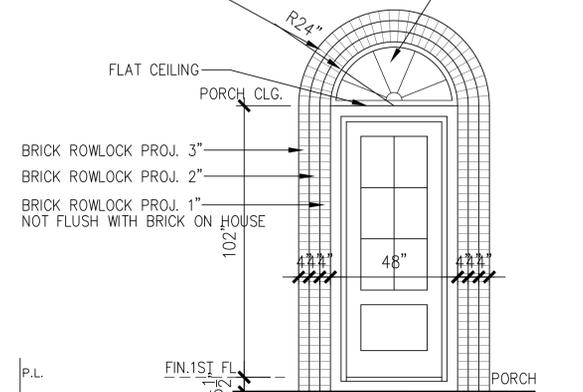
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
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NOTE: ALL PROJECTIONS & RECESSES ARE TAKEN FROM THE STANDARD BRICK WALL ON HOUSE



BRICK PEDIMENT K-2
SCALE: 3/8" = 1'-0"



east/front(MAGNOLIA STREET) elevation

SCALE: 1/4" = 1'-0"



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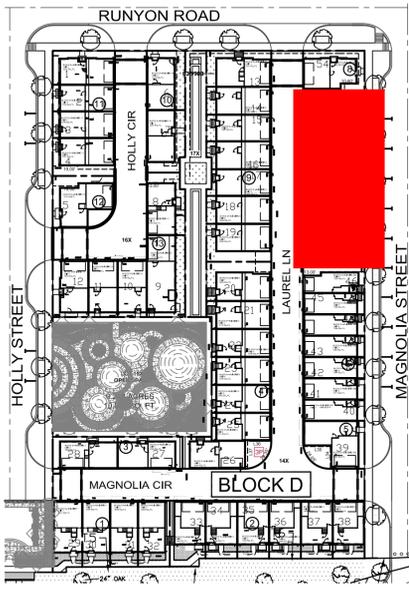
Drawn By/Checked By: E.Z./F.M.
Original Date Issued: 05/12/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

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ADDISON GROVE - BLOCK D - BUILDING 7
ADDISON GROVE
EAST/FRONT ELEVATION

PLAN NO.	DATE
UNIT 1	1360
UNIT 2	1371
UNIT 3	1368
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	2004

SHEET NO. **A-31**



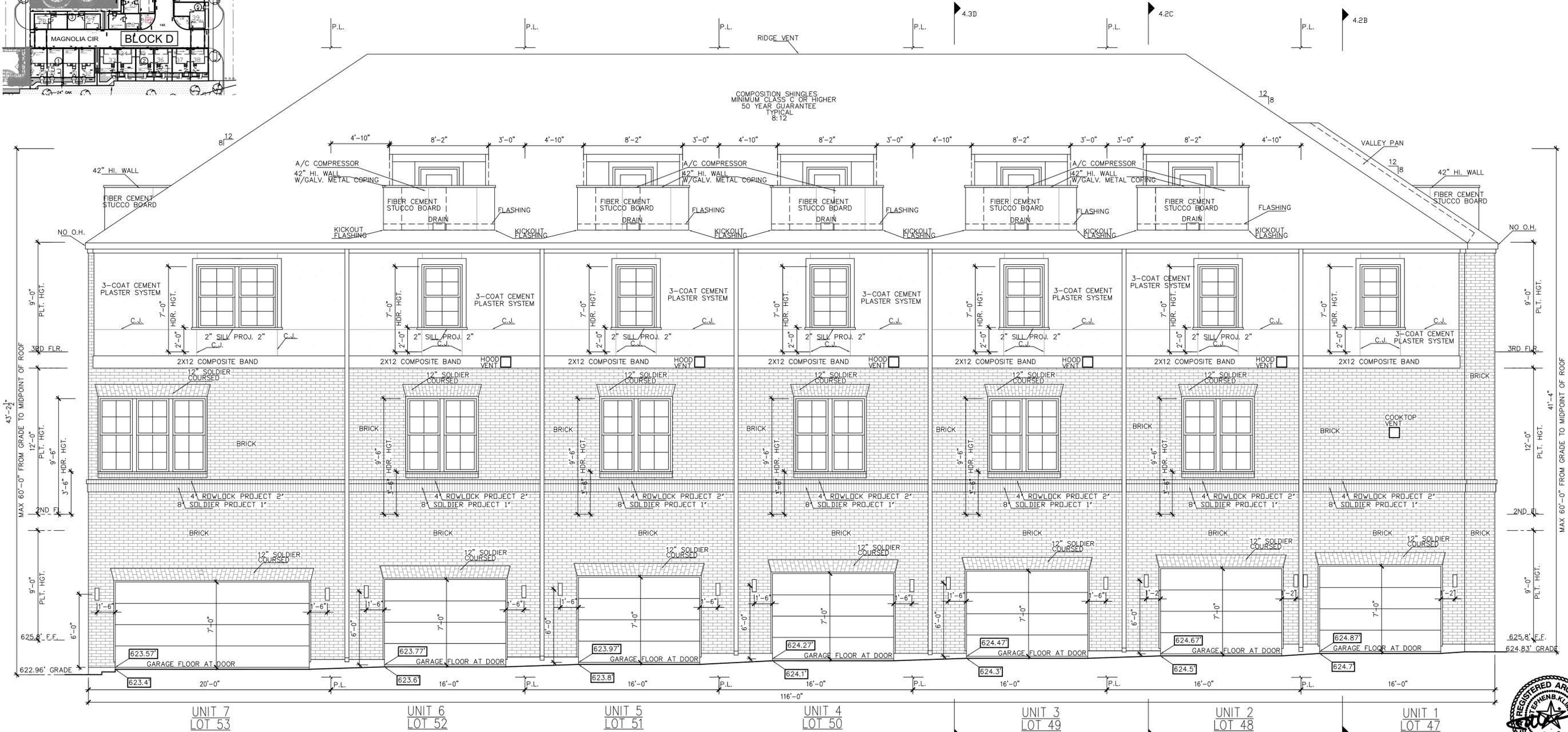
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- 3-COAT CEMENT PLASTER SYSTEM
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)

WEST/REAR MATERIAL CALCULATION TABLE		
STUCCO BOARD	238	7.5%
3-COAT CEMENT PLASTER SYSTEM	815	25.8%
BRICK	1998	63.1%
ACCENT MATERIAL	113	3.6%
TOTAL SURFACE AREA	3164	

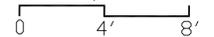
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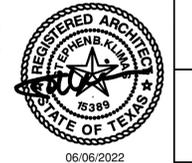


west/rear(LAUREL LN) elevation

SCALE: 1/4" = 1'-0"



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 7

WEST/REAR ELEVATION

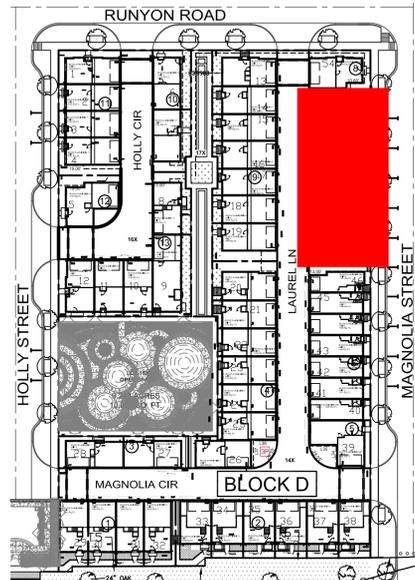
PLAN NO.	1350
UNIT 1	1371
UNIT 2	1368
UNIT 3	1368
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	2004

SHEET NO.

A-32

Drawn By/Checked By: E.Z./E.M.
Original Date Issued: 05/12/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

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(713)961-3877 TEL (713)961-4270 FAX

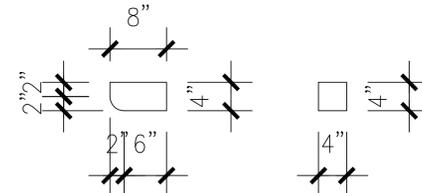


NORTH/RIGHT MATERIAL CALCULATION TABLE		
STUCCO BOARD	54	3.8%
3-COAT CEMENT PLASTER SYSTEM	30	2.1%
BRICK	1332	93.8%
ACCENT MATERIAL	4	0.3%
TOTAL SURFACE AREA	1420	

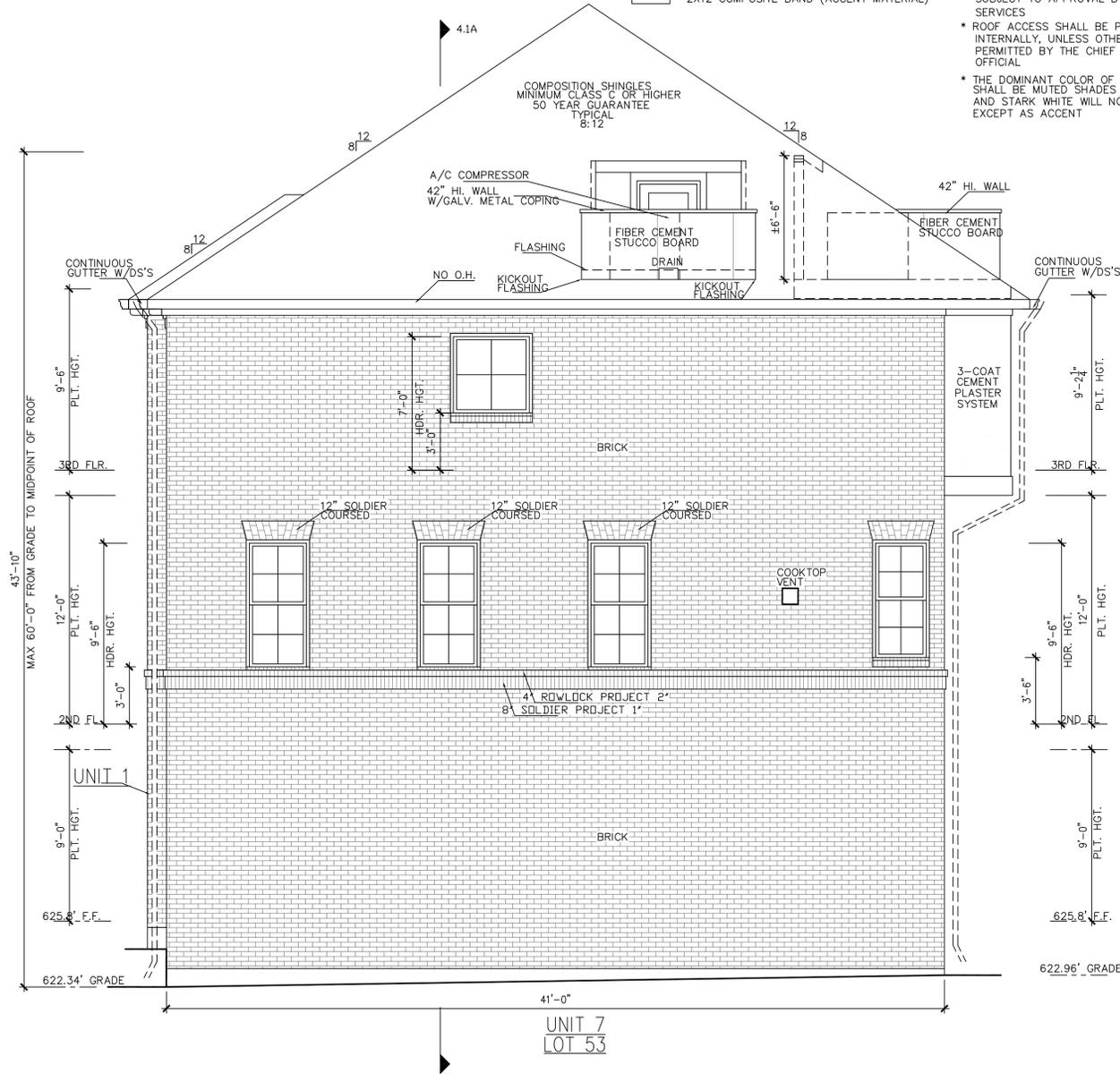
- LEGEND
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - 3-COAT CEMENT PLASTER SYSTEM
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)

FACADE PLAN NOTES

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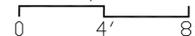


WOOD OR EIFS BRACKETS(D)
SCALE: 1" = 1'-0"



north/right(neighbor) elevation

SCALE: 1/4" = 1'-0"



ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 7

NORTH / RIGHT ELEVATION

Drawn By/Checked By: E.Z./E.M.
Original Date Issued: 05/12/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

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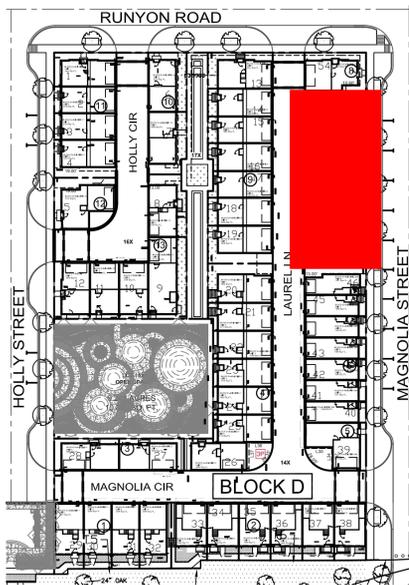
06/06/2022

PLAN NO.	UNIT
1350	UNIT 1
1371	UNIT 2
1368	UNIT 3
1368	UNIT 4
1368	UNIT 5
1368	UNIT 6
2004	UNIT 7

SHEET NO.

A-33

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



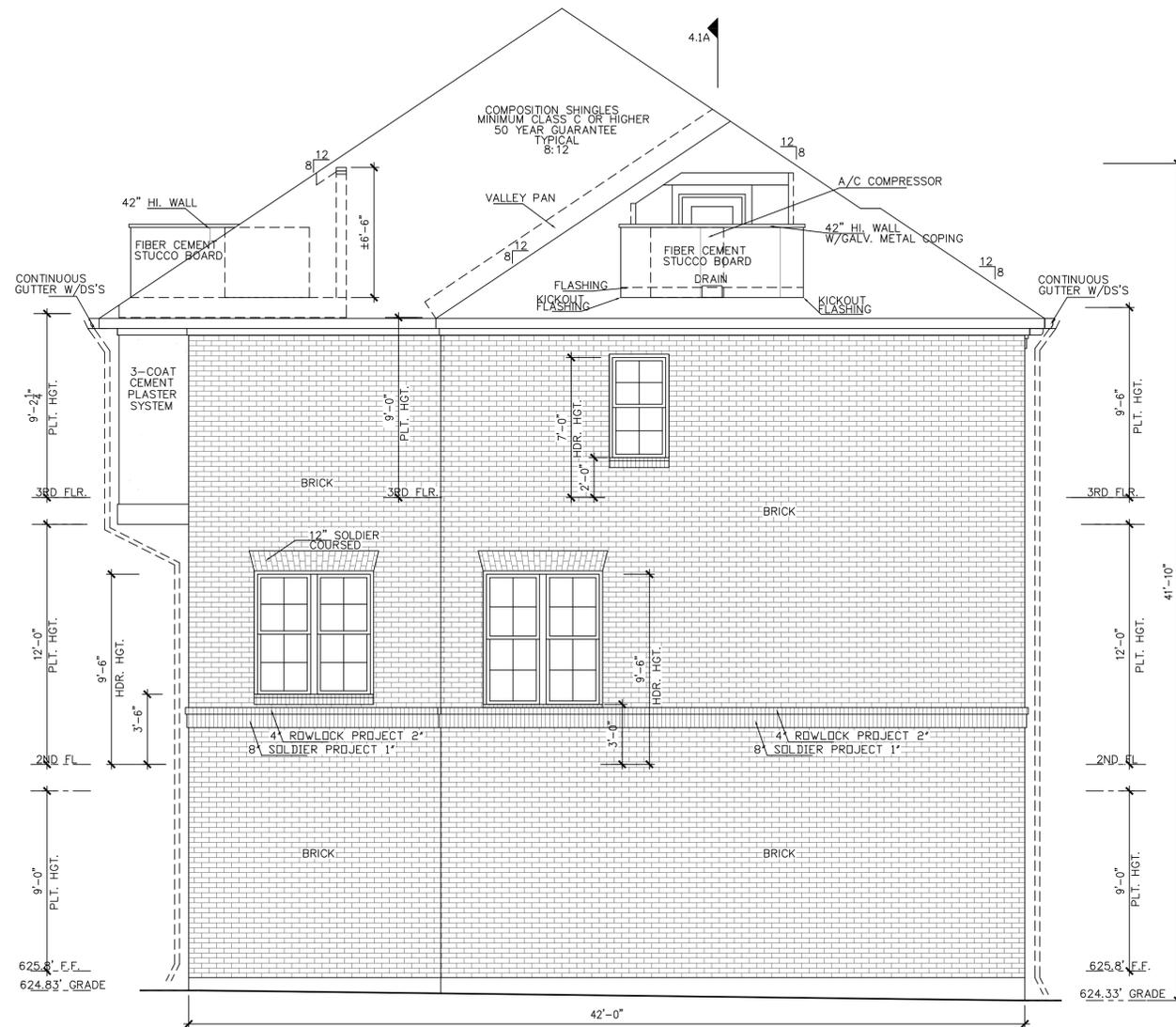
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SOUTH/LEFT MATERIAL CALCULATION TABLE		
STUCCO BOARD	53	3.9%
3-COAT CEMENT PLASTER SYSTEM	30	2.3%
BRICK	1255	93.5%
ACCENT MATERIAL	4	0.3%
TOTAL SURFACE AREA	1342	

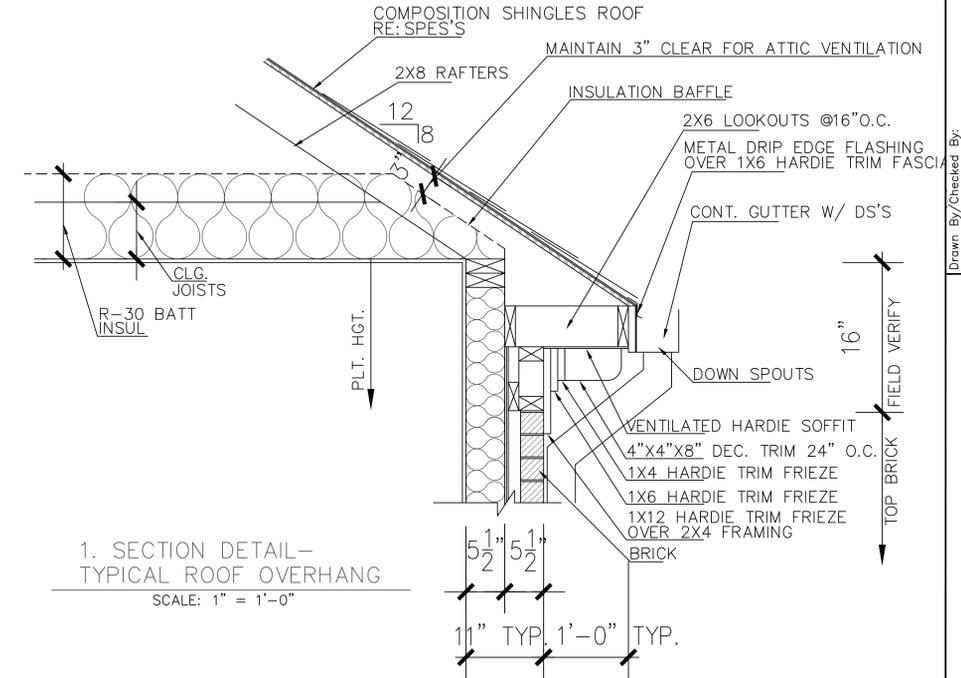
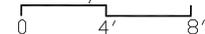
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- 3-COAT CEMENT PLASTER SYSTEM
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)



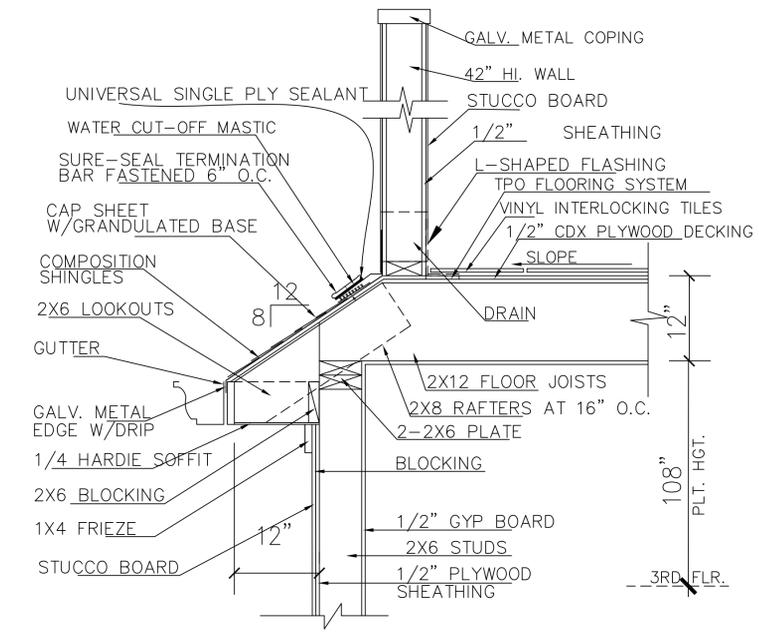
south/left(neighbor) elevation

SCALE: 1/4" = 1'-0"



1. SECTION DETAIL - TYPICAL ROOF OVERHANG

SCALE: 1" = 1'-0"



2. SECTION DETAIL - A/C COMPRESSOR LOCATION AT ROOF

SCALE: 1" = 1'-0"

ADDISON GROVE



URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 7

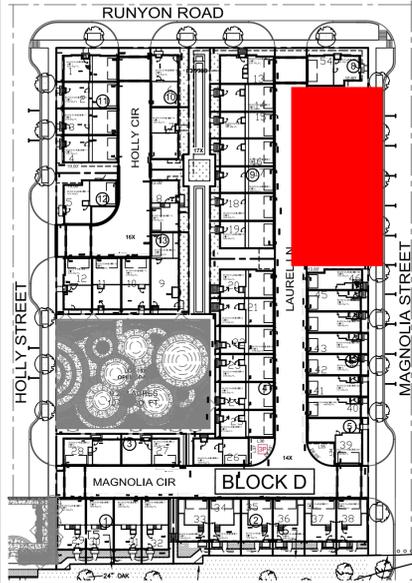
SOUTH /LEFT ELEVATION

Drawn By/Checked By: E.Z./E.M.
Original Date Issued: 05/12/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

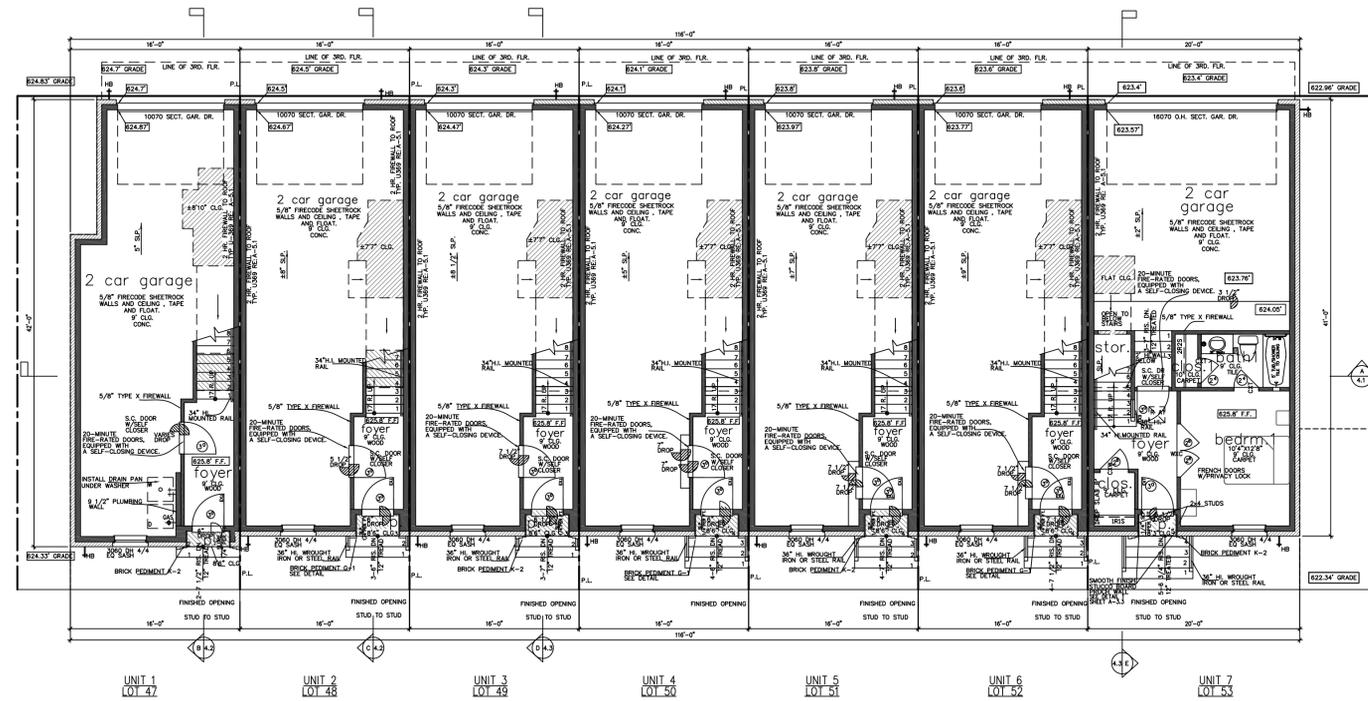
2410 POLK ST., STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

PLAN NO.	1350
UNIT 1	1371
UNIT 2	1368
UNIT 3	1368
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	2004

SHEET NO. A-34



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	1350	2
UNIT 2	1371	2
UNIT 3	1368	2
UNIT 4	1368	2
UNIT 5	1368	2
UNIT 6	1368	2
UNIT 7	2004	3

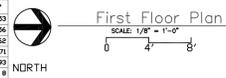


UNIT 1 square footage

FIRST FLOOR	71
SECOND FLOOR	640
THIRD FLOOR	629
TOTAL LIVING AREA	1350
GARAGE	260
PORCH	6
AC DECK	80
TOTAL SLAB AREA	644

UNIT 2 square footage

FIRST FLOOR	53
SECOND FLOOR	656
THIRD FLOOR	668
TOTAL LIVING AREA	1371
GARAGE	292
PORCH	6
AC DECK	80
TOTAL SLAB AREA	626



NOTE: ALL EXTERIOR WALLS TO BE 20# FRAMED RE: STRUCTURAL PLANS

NOTE: AUTOMATIC GARAGE DOOR OPENERS AND LIDS MUST BE LISTED LABELED IN ACCORDANCE WITH UL 2036 AS REQUIRED IN THE IRC SECTION R308.4.

NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

UNIT 3&4&5&6 square footage

FIRST FLOOR	53
SECOND FLOOR	656
THIRD FLOOR	659
TOTAL LIVING AREA	1368
GARAGE	292
PORCH	6
AC DECK	80
TOTAL SLAB AREA	626

UNIT 7 square footage

FIRST FLOOR	340
SECOND FLOOR	820
THIRD FLOOR	824
TOTAL LIVING AREA	1984
GARAGE	453
PORCH	7
AC DECK	80
TOTAL SLAB AREA	2524

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

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ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 7

FLOOR PLAN

URBAN INTOWN HOMES

2410 POLK ST., STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: E.Z./F.M.
Original Date: 05/12/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022



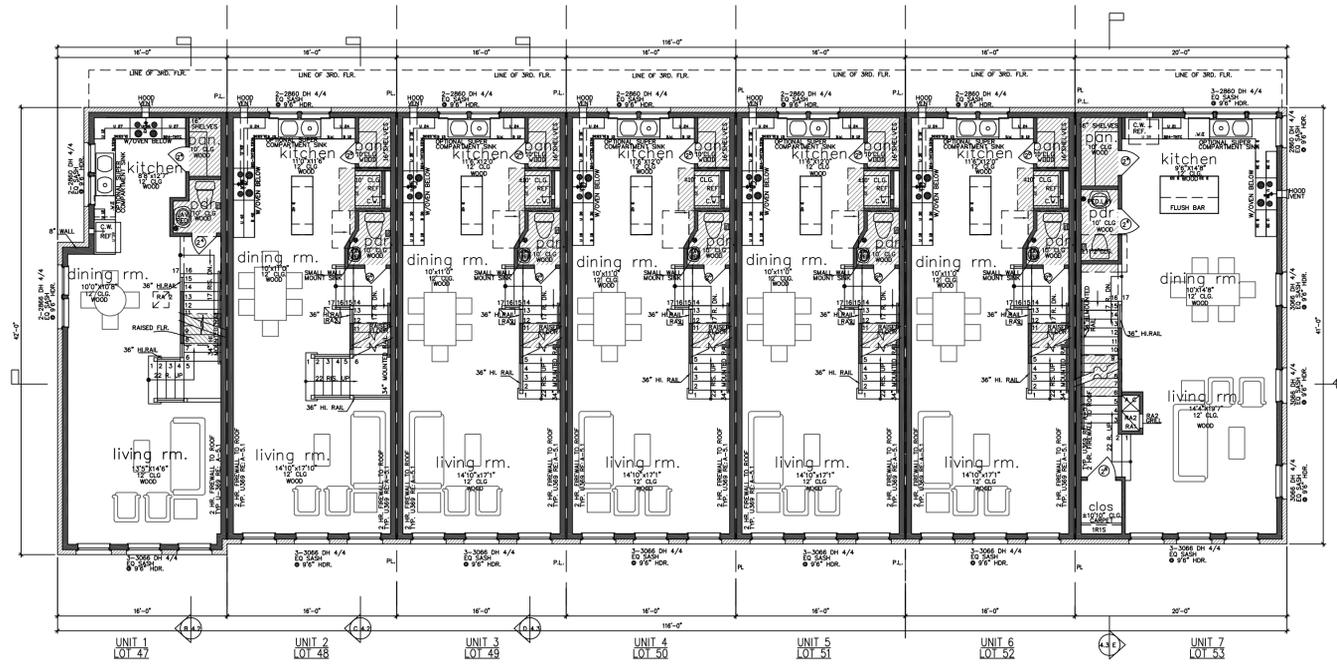
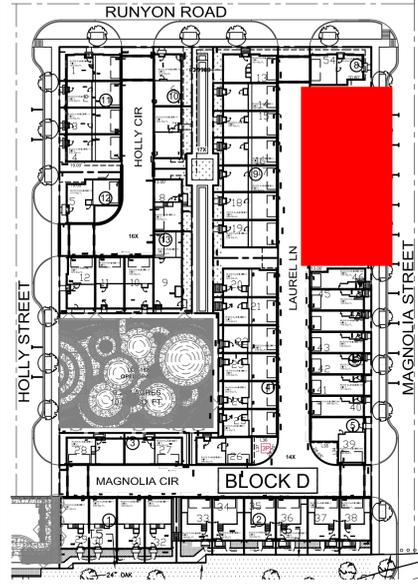
06/06/2022

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2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

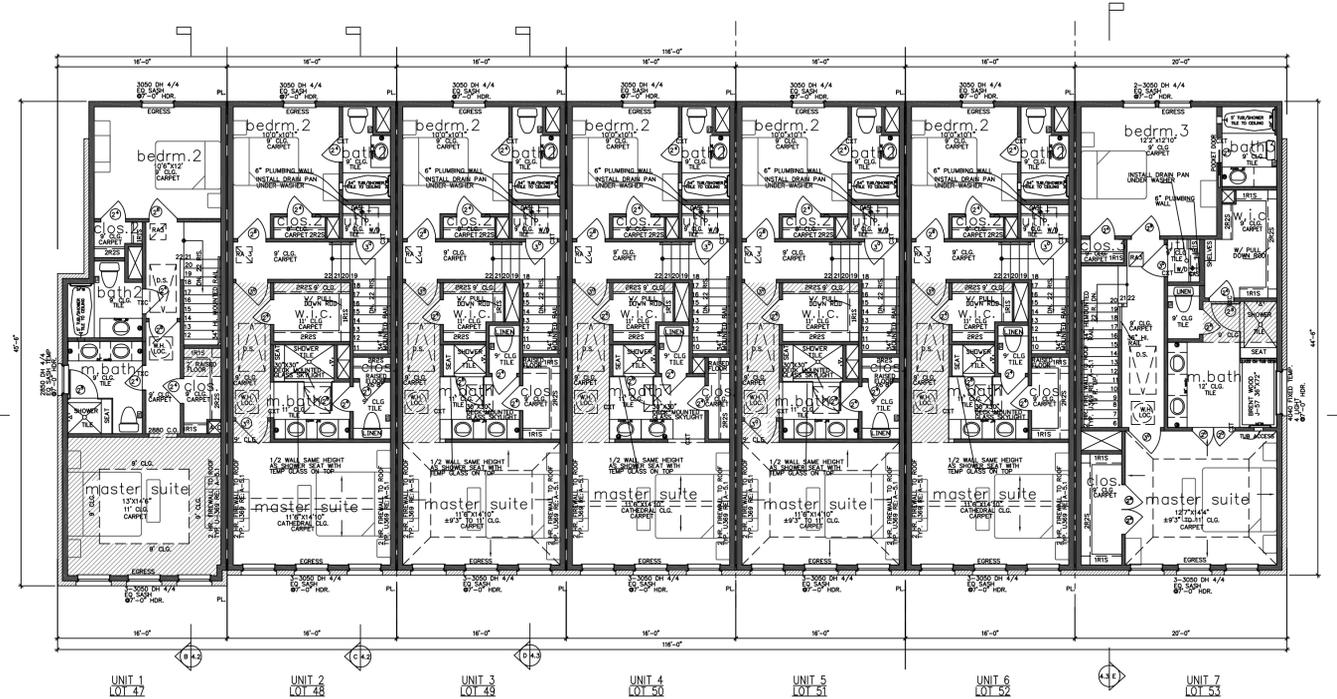
PLAN NO.	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7
	1350	1371	1368	1368	1368	1368	2004

SHEET NO. A-35

Town Project #: 1833-Z



Second Floor Plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X8 FRAMED RE: STRUCTURAL PLANS



Third Floor Plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X8 FRAMED RE: STRUCTURAL PLANS

ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 7

FLOOR PLAN



06/06/2022

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

PLAN NO.	UNIT 1 - 1350
UNIT 2 - 1323	
UNIT 3 - 1368	
UNIT 4 - 1368	
UNIT 5 - 1368	
UNIT 6 - 1368	
UNIT 7 - 2004	

SHEET NO.
A-36

Drawn By/Checked By: E.Z./F.M.

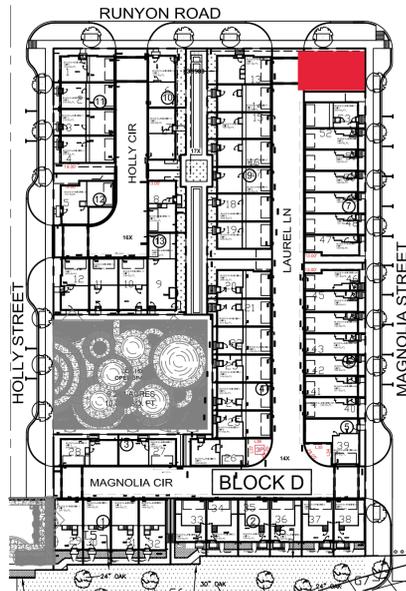
Original Date Issued: 05/12/2021

Scale: 1/8" = 1'-0"

Last Updated: 06/03/2022

URBANINTOWNHOMES

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(713)961-3877 TEL (713)961-4270 FAX



TOTAL MATERIAL CALCULATION TABLE		
STUCCO BOARD	126	3.0%
BRICK	3980	96.2%
ACCENT MATERIAL	32	0.8%
TOTAL SURFACE AREA	4138	

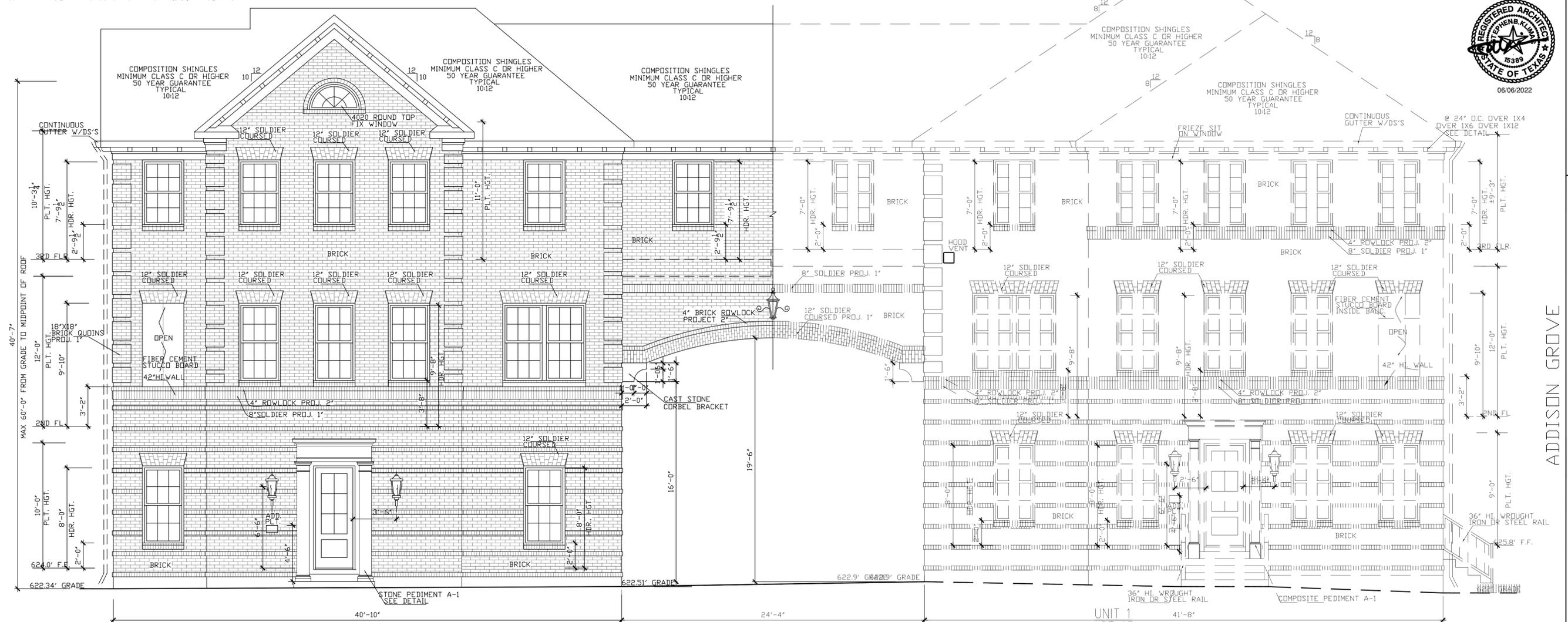
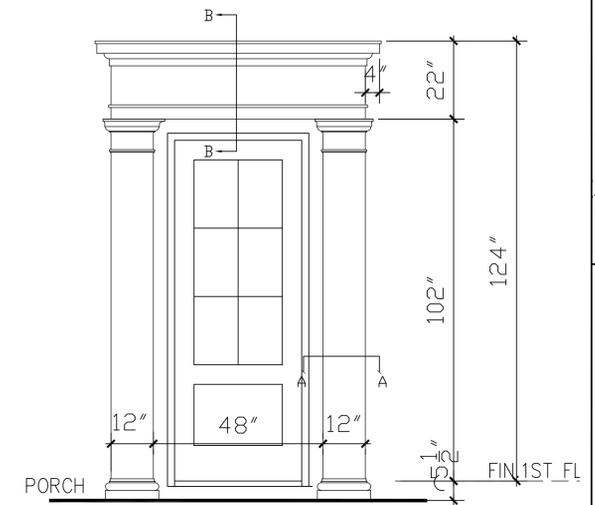
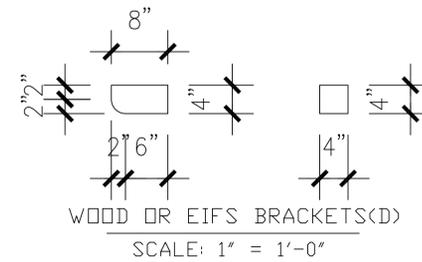
NORTH/FRONT MATERIAL CALCULATION TABLE		
STUCCO BOARD	22	1.6%
BRICK	1312	96.1%
ACCENT MATERIAL	31	2.3%
TOTAL SURFACE AREA	1365	

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LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- STONE PEDIMENT (ACCENT MATERIAL)
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)



LOT 54
BUILDING 8
north/front(RUNYON RD) elevation
SCALE: 1/4" = 1'-0"

UNIT 1
LOT 13
BUILDING 9
north/left(RUNYON ROAD) elevation
SCALE: 3/16" = 1'-0"

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

URBAN INTOWN HOMES, Ltd.

ADDISON GROVE - BLOCK B - BUILDING 8

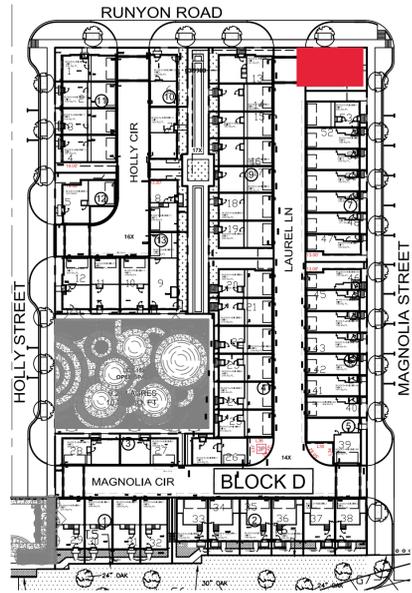
NORTH/FRONT ELEVATION

PLAN NO.
2324

SHEET NO.
A-37

Drawn By/Checked By: S.S./F.M.
Original Date Issued: 06/11/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

2410 POLK ST, STE 200, HOUSTON, TX 77003
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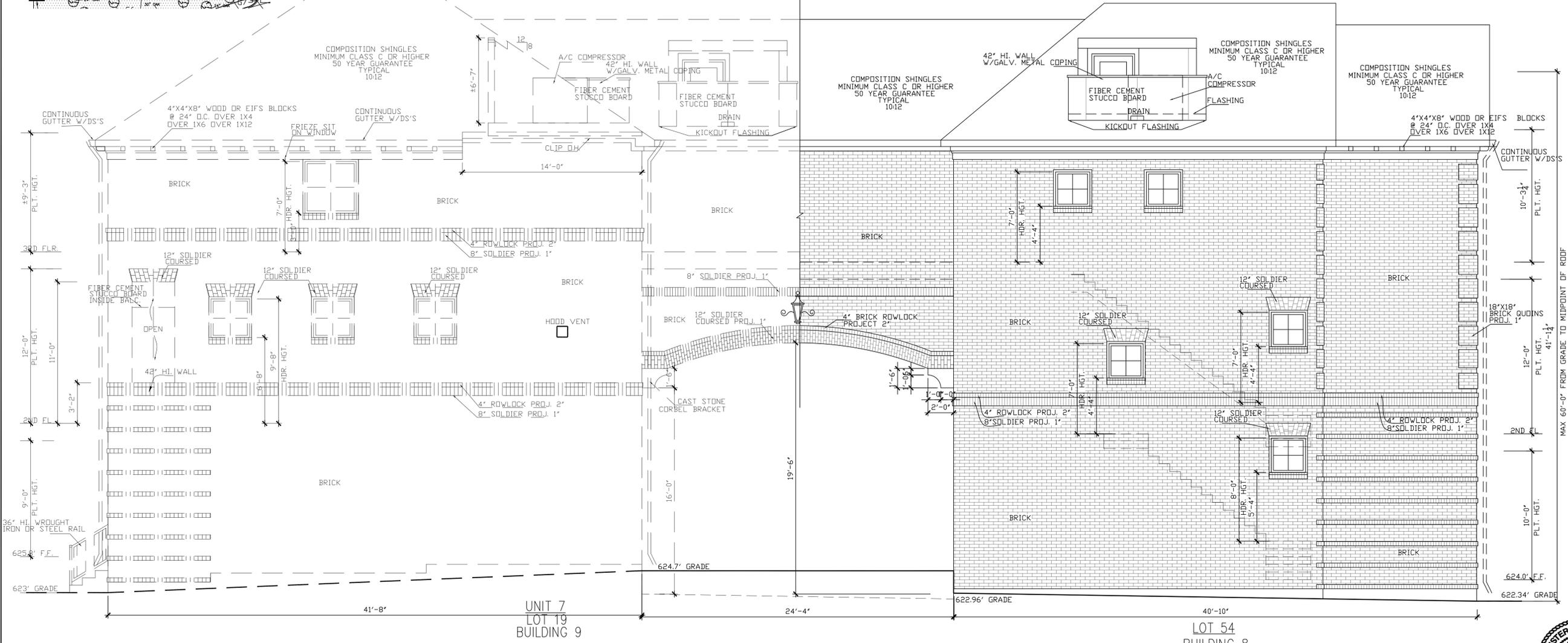


Material	Quantity	Percentage
STUCCO BOARD	51	3.3%
BRICK	1508	96.7%
ACCENT MATERIAL	0	0.0%
TOTAL SURFACE AREA	1559	

- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

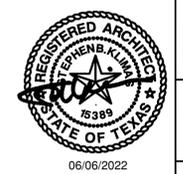
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south/right(easement) elevation
SCALE: 3/16" = 1'-0"
0 4 8'

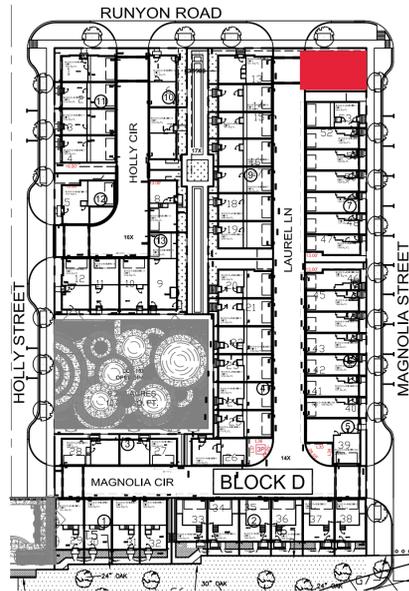
south/rear(neighbor) elevation
SCALE: 1/4" = 1'-0"
0 4 8'



Drawn By/Checked By: S.S./F.M.
 Original Date Issued: 06/11/2021
 Scale: 1/4" = 1'-0"
 Last Updated: 06/03/2022

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 2410 POLK ST., STE 200, HOUSTON, TX 77003
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ADDISON GROVE - BLOCK B - BUILDING 8
 SOUTH / REAR ELEVATION
 PLAN NO. 2324
 SHEET NO. A-38



LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

EAST/LEFT MATERIAL CALCULATION TABLE		
STUCCO BOARD	46	6.3%
BRICK	685	93.6%
ACCENT MATERIAL	1	0.1%
TOTAL SURFACE AREA	732	

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Drawn By/Checked By: S.S./E.M.
 Original Date Issued: 06/11/2021
 Scale: 1/4" = 1'-0"
 Last Updated: 06/03/2022

URBAN INTOWN HOMES, Ltd.

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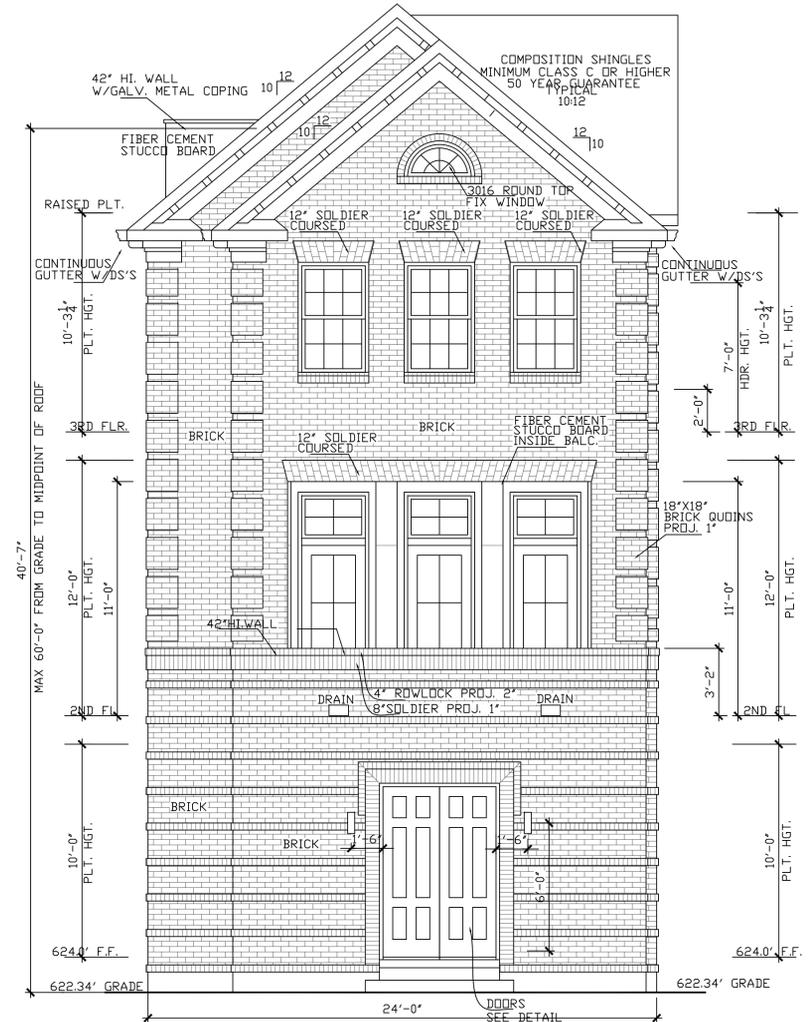
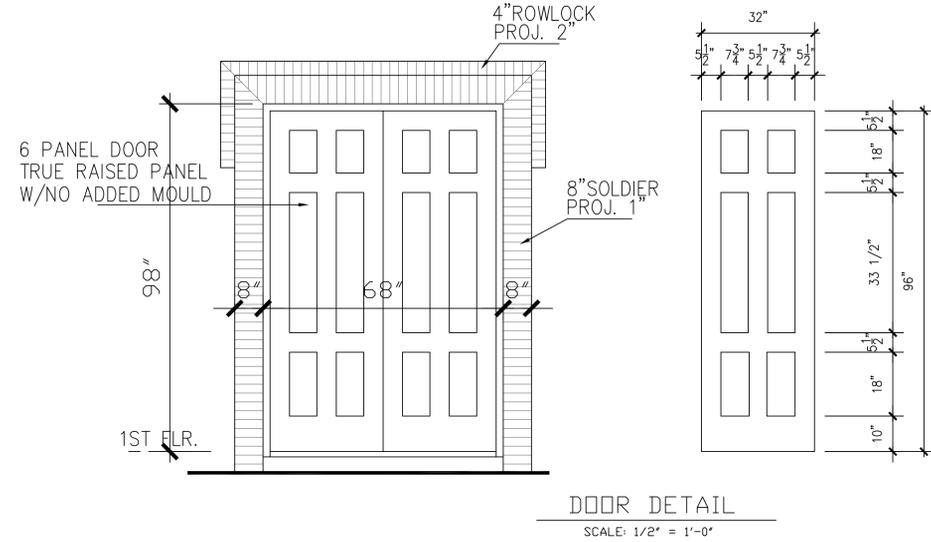
ADDISON GROVE - BLOCK B - BUILDING 8

EAST/LEFT ELEVATIONS

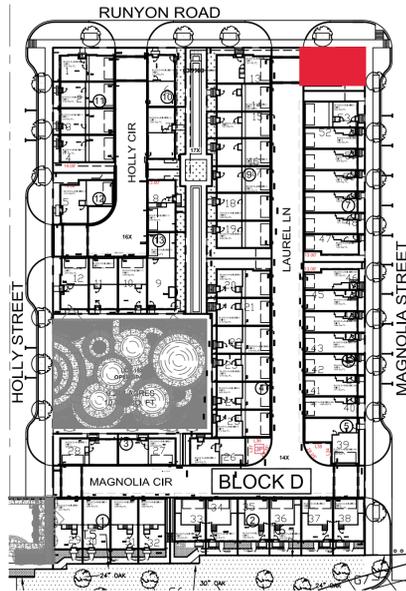
ADDISON GROVE



PLAN NO. 2324
 SHEET NO. A-39



LOT 54
 east/left (MAGNOLIA ST)elevation
 SCALE: 1/4" = 1'-0"
 0 4' 8'



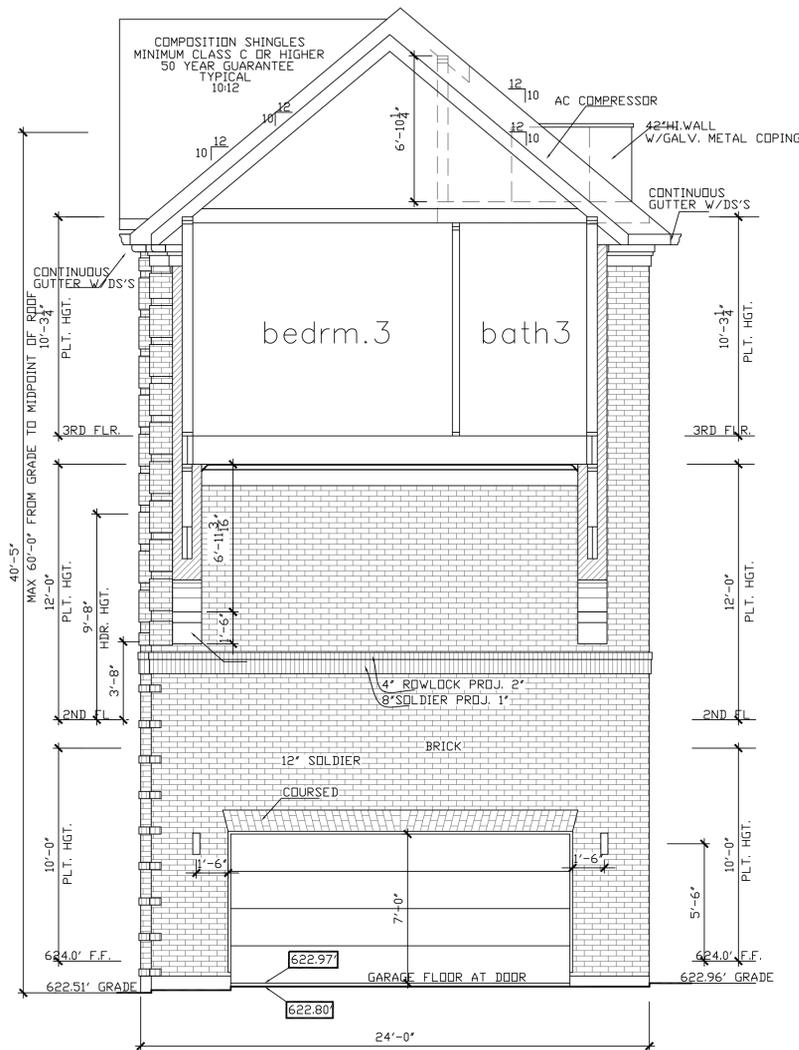
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LEGEND

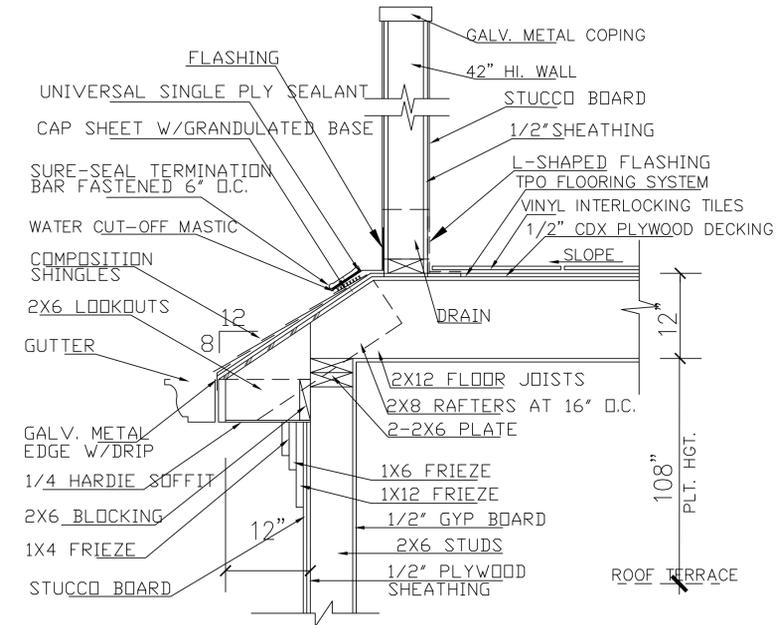
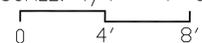
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL

WEST/RIGHT MATERIAL CALCULATION TABLE		
STUCCO BOARD	7	1.5%
BRICK	475	98.5%
ACCENT MATERIAL	0	0.0%
TOTAL SURFACE AREA	482	

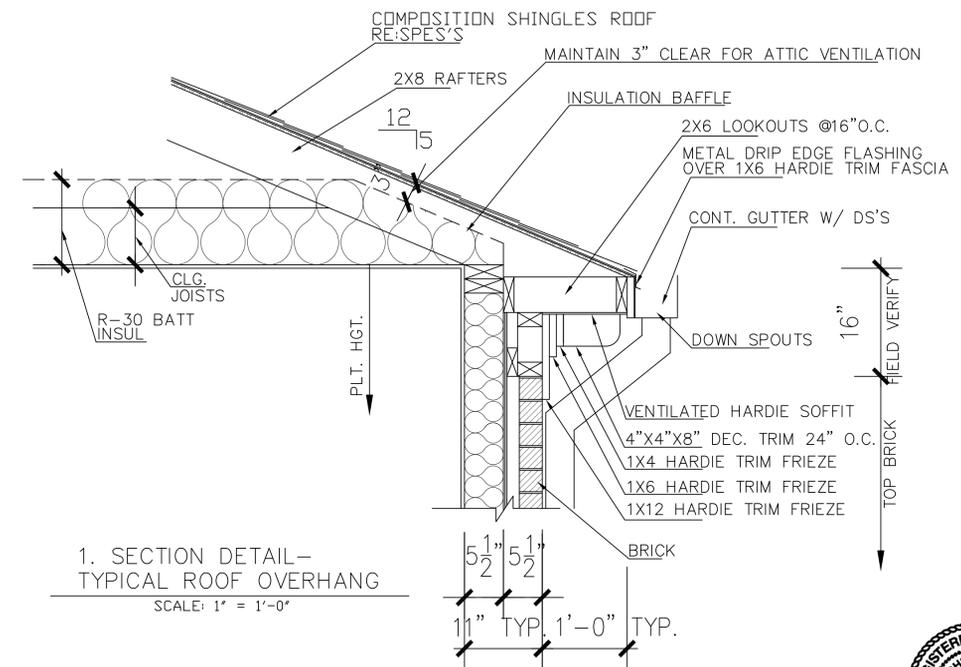


west/right(LAUREL LN) elevation

SCALE: 1/4" = 1'-0"



2. SECTION DETAIL - A/C COMPRESSOR LOCATION AT ROOF
SCALE: 1" = 1'-0"



1. SECTION DETAIL - TYPICAL ROOF OVERHANG
SCALE: 1" = 1'-0"



ADDISON GROVE

ADDISON GROVE - BLOCK B - BUILDING 8
WEST/RIGHT ELEVATIONS

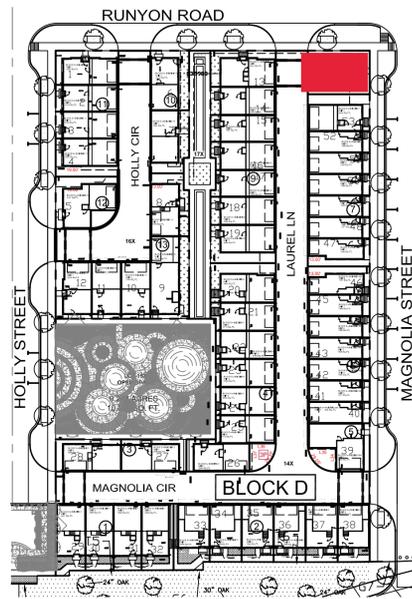
PLAN NO.
2324

SHEET NO.
A-40

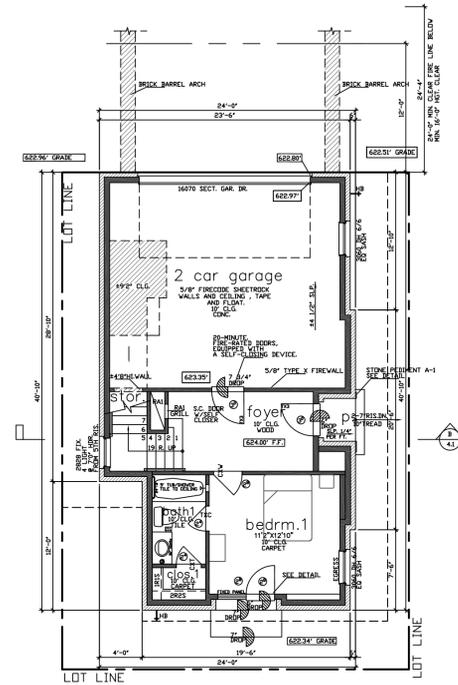
URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Drawn By/Checked By: S.S./E.M.
Original Date Issued: 06/11/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

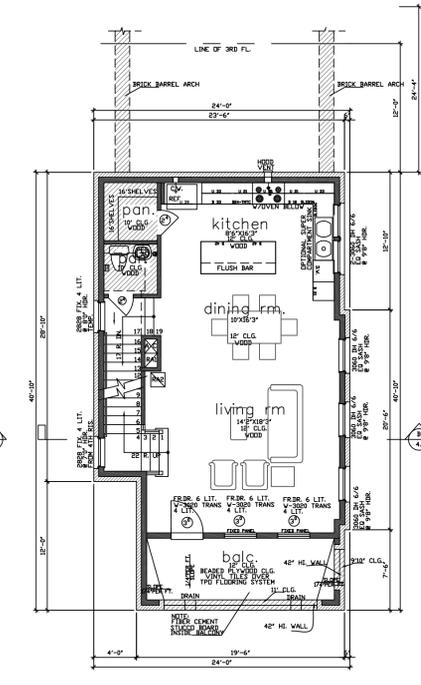
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX



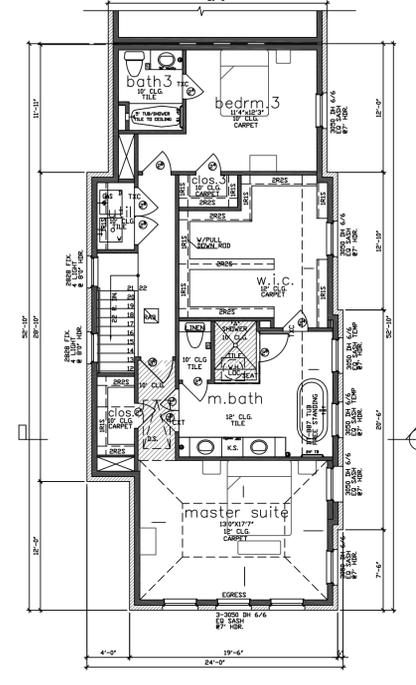
LIVING AREA(SQ. FT.)	BEDROOM
2324	3



first floor
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE CMU FRAMED RESTRUCTURAL PLANE.



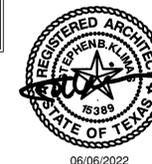
second floor
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE CMU FRAMED RESTRUCTURAL PLANE.



third floor
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE CMU FRAMED RESTRUCTURAL PLANE.

square footage	
FIRST FLOOR	416
SECOND FLOOR	791
THIRD FLOOR	1117
TOTAL LIVING AREA	2324
PORCH	12
GARAGE	479
BALCONY	131
UNCOVERED AC DECK	80
TOTAL SLAB AREA	926

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.



ADDISON GROVE

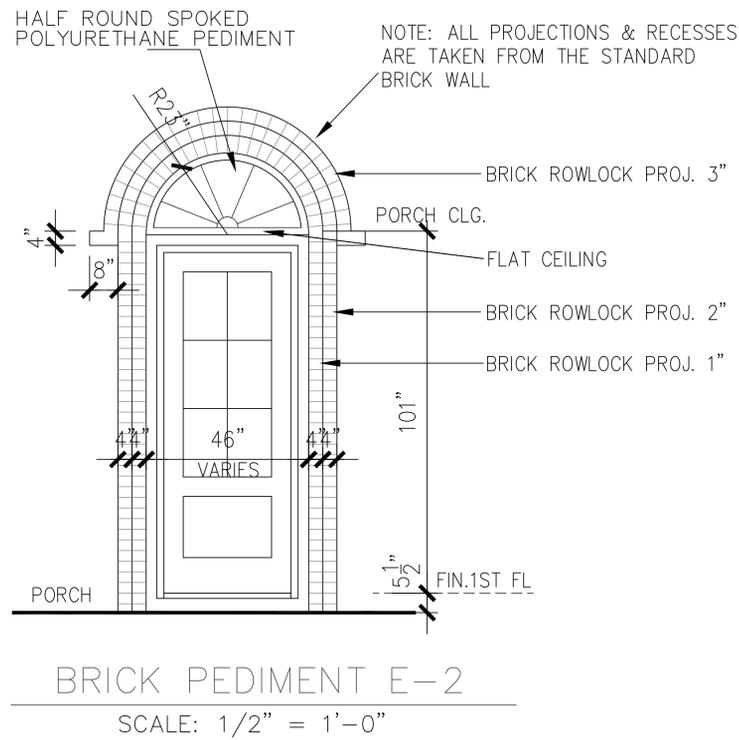
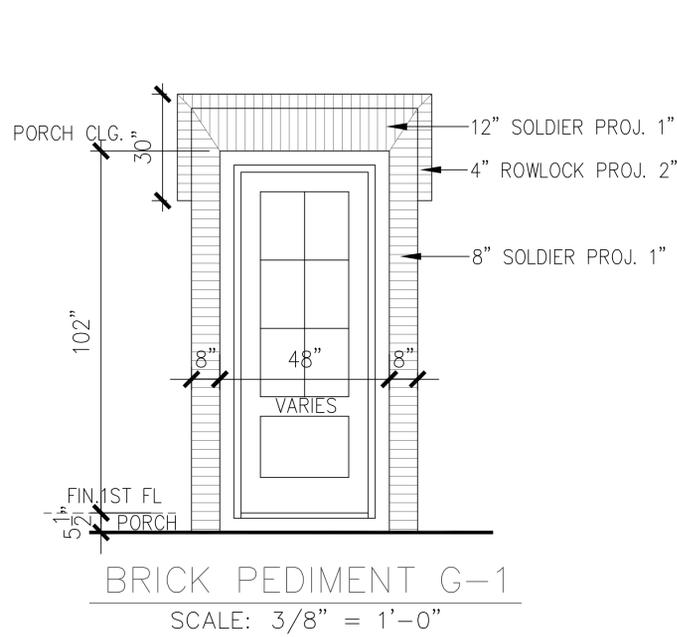
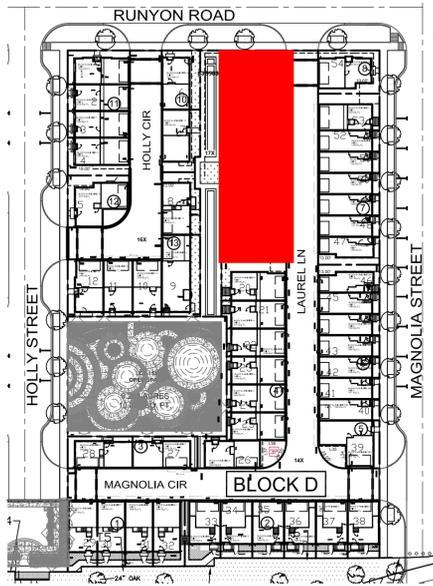
ADDISON GROVE - BLOCK B - BUILDING 8

Drawn By/Checked By: S.S./F.M.
Original Date Issued: 06/11/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

URBAN INTOWN HOMES, L.t.d.
2410 POLK ST, STE 200, HOUSTON, TX 77003
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FLOOR PLAN
PLAN NO. 2324
SHEET NO. A-41

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

TOTAL MATERIAL CALCULATION TABLE

STUCCO BOARD	481	4.8%
BRICK	9369	94.6%
ACCENT MATERIAL	58	0.6%
TOTAL SURFACE AREA	9908	

WEST/FRONT MATERIAL CALCULATION TABLE

STUCCO BOARD	100	2.9%
BRICK	3306	96.4%
ACCENT MATERIAL	24	0.7%
TOTAL SURFACE AREA	3430	

- ELEVATION NOTES
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 - ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.
 - THE DOMINANT COLOR OF THE BUILDING SHALL BE Muted SHADES COLORS, BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT.



west/front elevation
SCALE: 3/16" = 1'-0"

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2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 9

WEST/FRONT ELEVATION

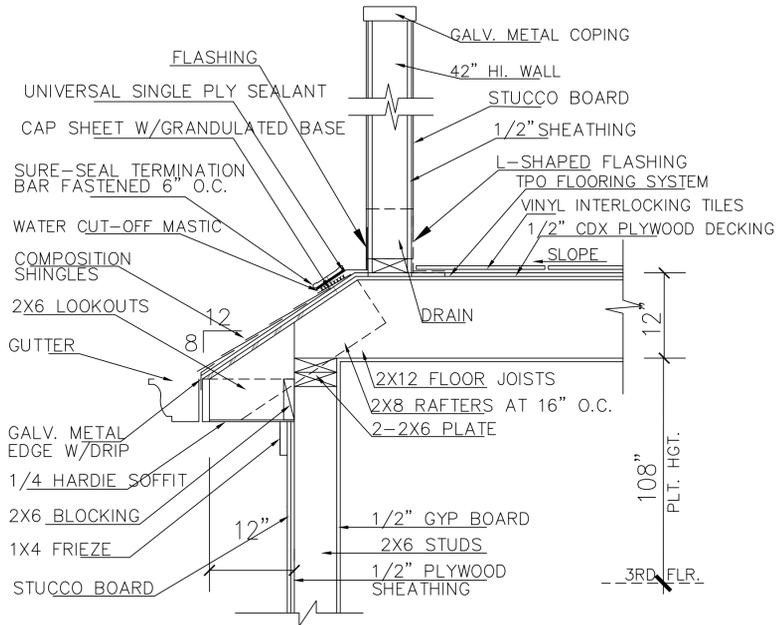
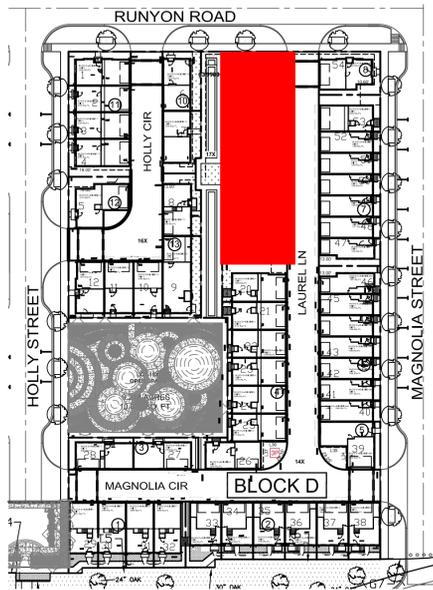
PLAN NO.

UNIT 1	1987
UNIT 2	1988
UNIT 3	1987
UNIT 4	1989
UNIT 5	1989
UNIT 6	2006
UNIT 7	2006

SHEET NO.
A-42

Drawn By/Checked By: E.Z./E.M.
Original Date Issued: 05/20/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

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2. SECTION DETAIL-
A/C COMPRESSOR LOCATION AT ROOF
SCALE: 1" = 1'-0"

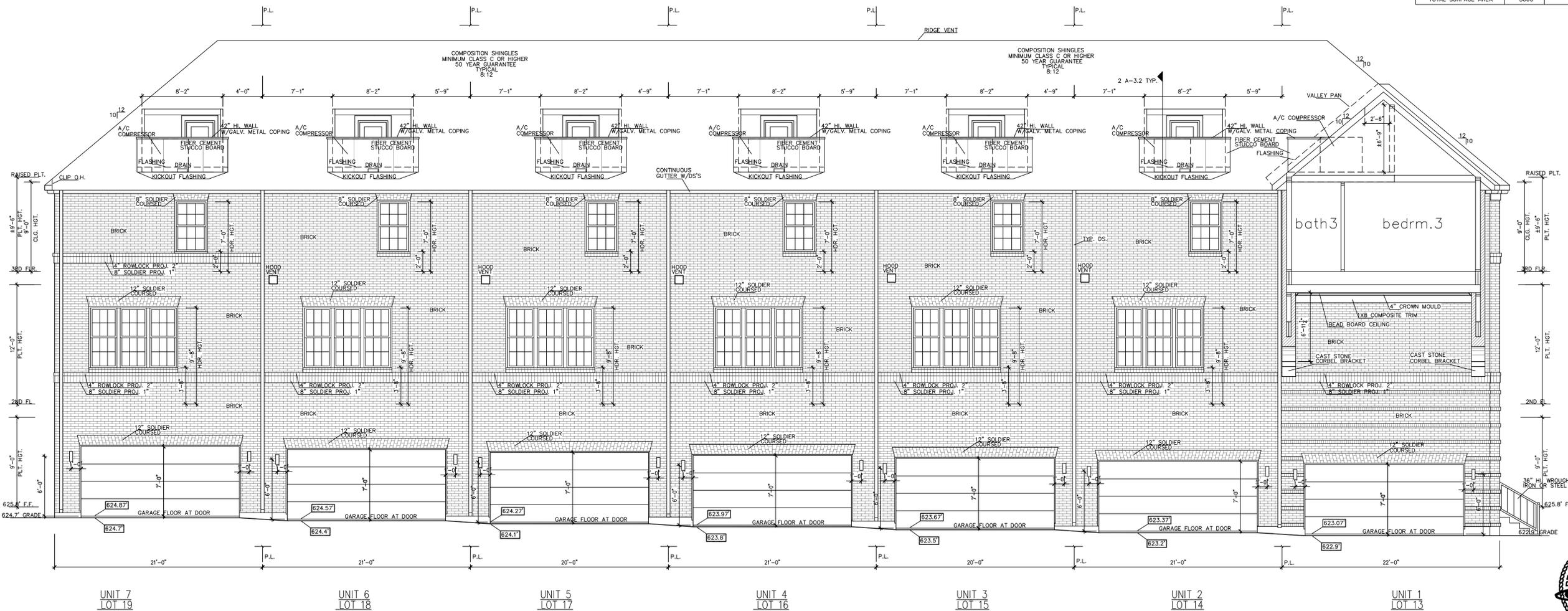
ELEVATION NOTES

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LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL

EAST/REAR MATERIAL CALCULATION TABLE		
STUCCO BOARD	271	7.4%
BRICK	3395	92.6%
ACCENT MATERIAL	0	0.0%
TOTAL SURFACE AREA	3666	



east/rear(LAUREL LN) elevation
SCALE: 3/16" = 1'-0"

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PHONE: 713-961-3877



ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 9

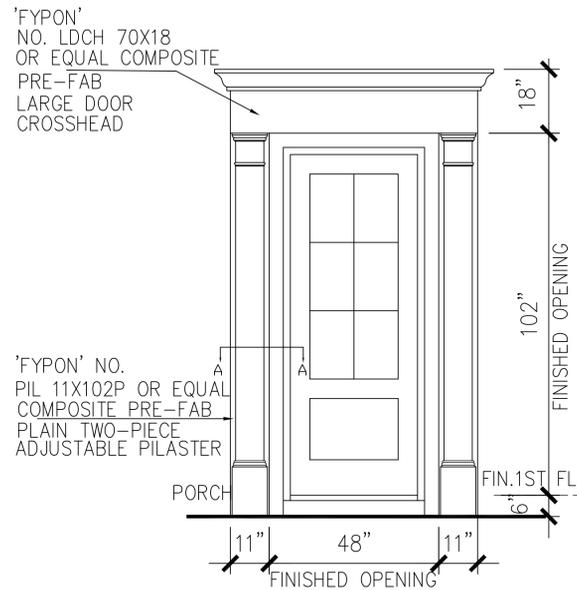
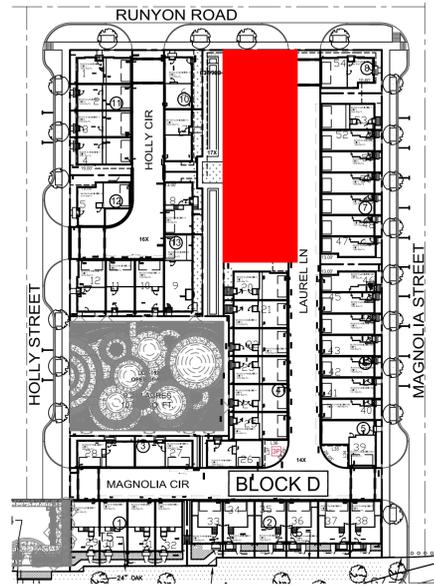
EAST/REAR ELEVATION

PLAN NO.	DATE
UNIT 1	238.1
UNIT 2	1989
UNIT 3	1987
UNIT 4	1983
UNIT 5	1989
UNIT 6	2006
UNIT 7	2006

SHEET NO. A-43

Drawn By/Checked By: E.Z./F.M.
Original Date Issued: 05/20/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

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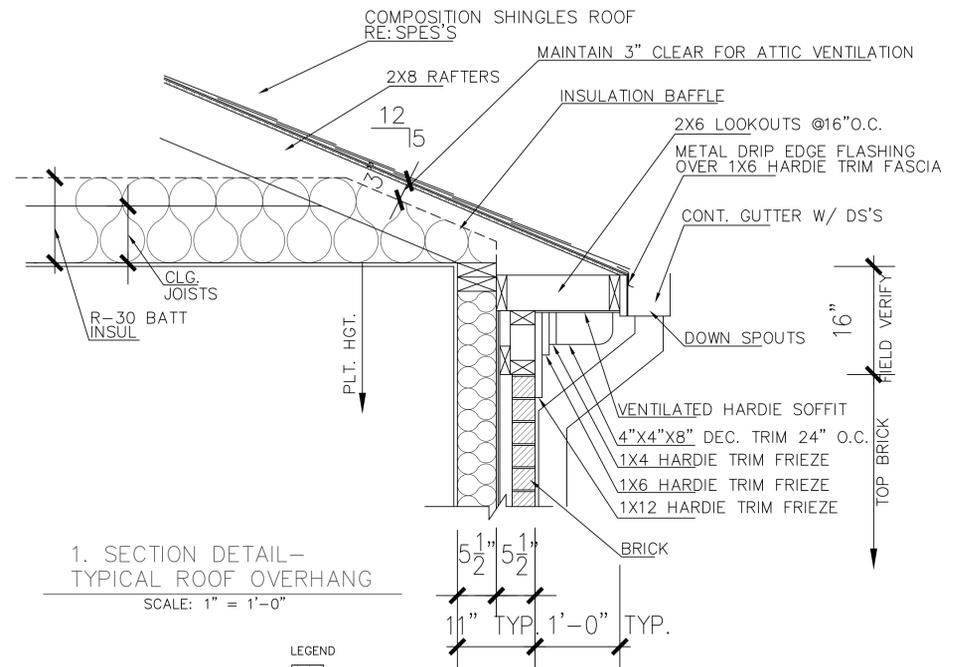


COMPOSITE PEDIMENT A-1

SCALE: 1/2" = 1'-0"

ELEVATION NOTES

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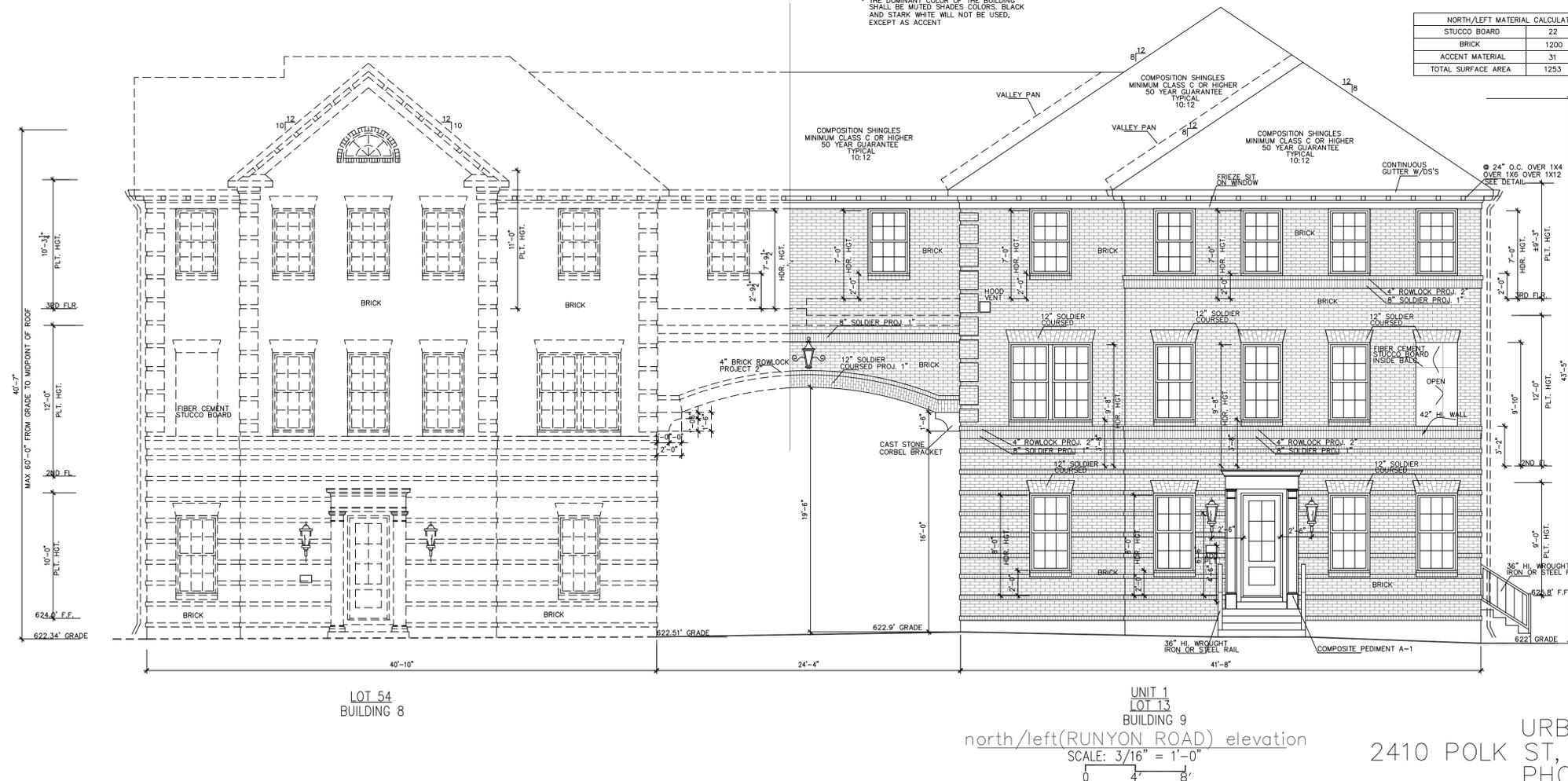
1. SECTION DETAIL - TYPICAL ROOF OVERHANG

SCALE: 1" = 1'-0"

LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- COMPOSITE PEDIMENT (ACCENT MATERIAL)
- 4X4X8 WOOD OR EFS BLOCKS (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

NORTH/LEFT MATERIAL CALCULATION TABLE		
STUCCO BOARD	22	1.8%
BRICK	1200	96%
ACCENT MATERIAL	31	2.2%
TOTAL SURFACE AREA	1253	



LOT 54
BUILDING 8

UNIT 1
LOT 13
BUILDING 9
north/left(RUNYON ROAD) elevation
SCALE: 3/16" = 1'-0"

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PHONE: 713-961-3877



06/06/2022

ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 9

NORTH/LEFT ELEVATIONS

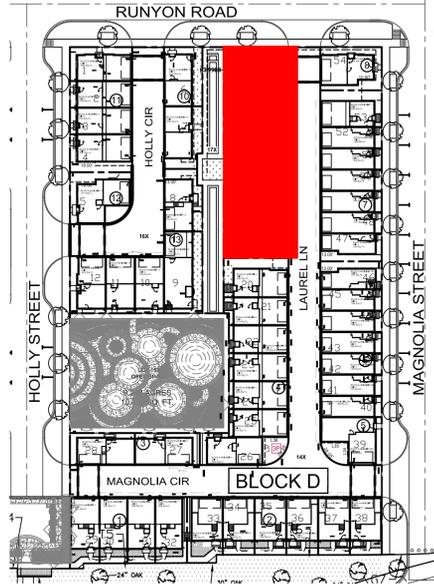
PLAN NO.	DATE
UNIT 1 - 2351	
UNIT 2 - 1989	
UNIT 3 - 1987	
UNIT 4 - 1993	
UNIT 5 - 1999	
UNIT 6 - 2006	
UNIT 7 - 2006	

SHEET NO.

A-44

Drawn By/Checked By: E.Z./F.M.
Original Date Issued: 05/20/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

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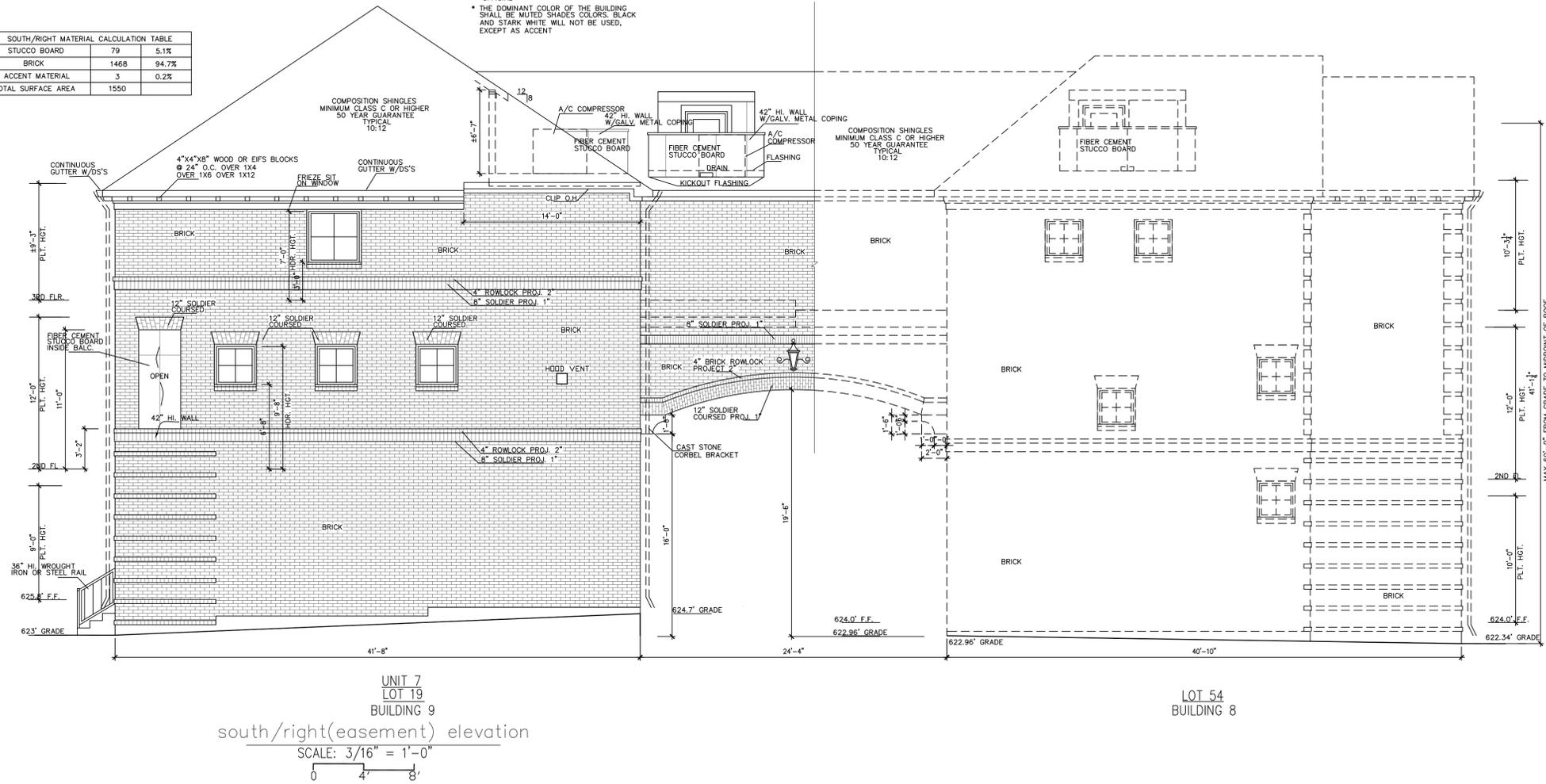
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

SOUTH/RIGHT MATERIAL CALCULATION TABLE		
STUCCO BOARD	79	5.1%
BRICK	1468	94.7%
ACCENT MATERIAL	3	0.2%
TOTAL SURFACE AREA	1550	

ELEVATION NOTES

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UNIT 7
LOT 19
BUILDING 9
south/right(easement) elevation
SCALE: 3/16" = 1'-0"
0 4 8

ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 9

SOUTH/RIGHT ELEVATIONS

Drawn By/Checked By:
E.Z./F.M.
Original Date Issued:
05/20/2021
Scale:
3/16" = 1'-0"
Last Updated:
06/03/2022

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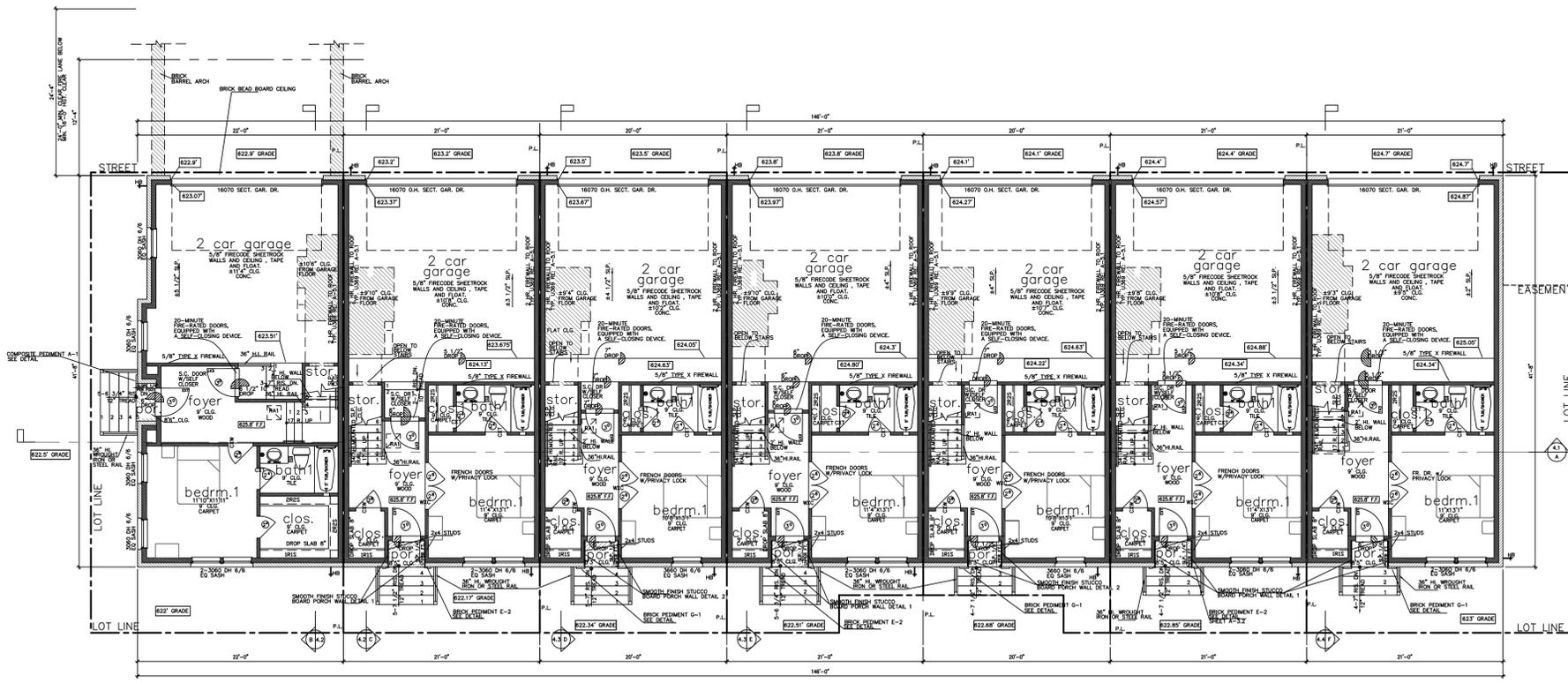
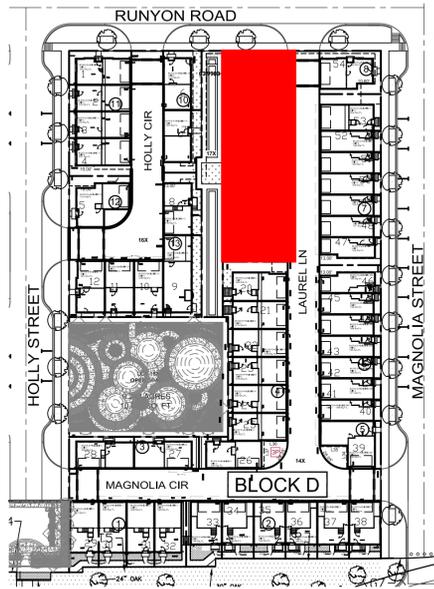
06/06/2022

URBAN INTOWN HOMES
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PHONE: 713-961-3877

PLAN NO.	DATE
UNIT 1	2351
UNIT 2	1989
UNIT 3	1987
UNIT 4	1983
UNIT 5	1989
UNIT 6	2006
UNIT 7	2006

SHEET NO.

A-45



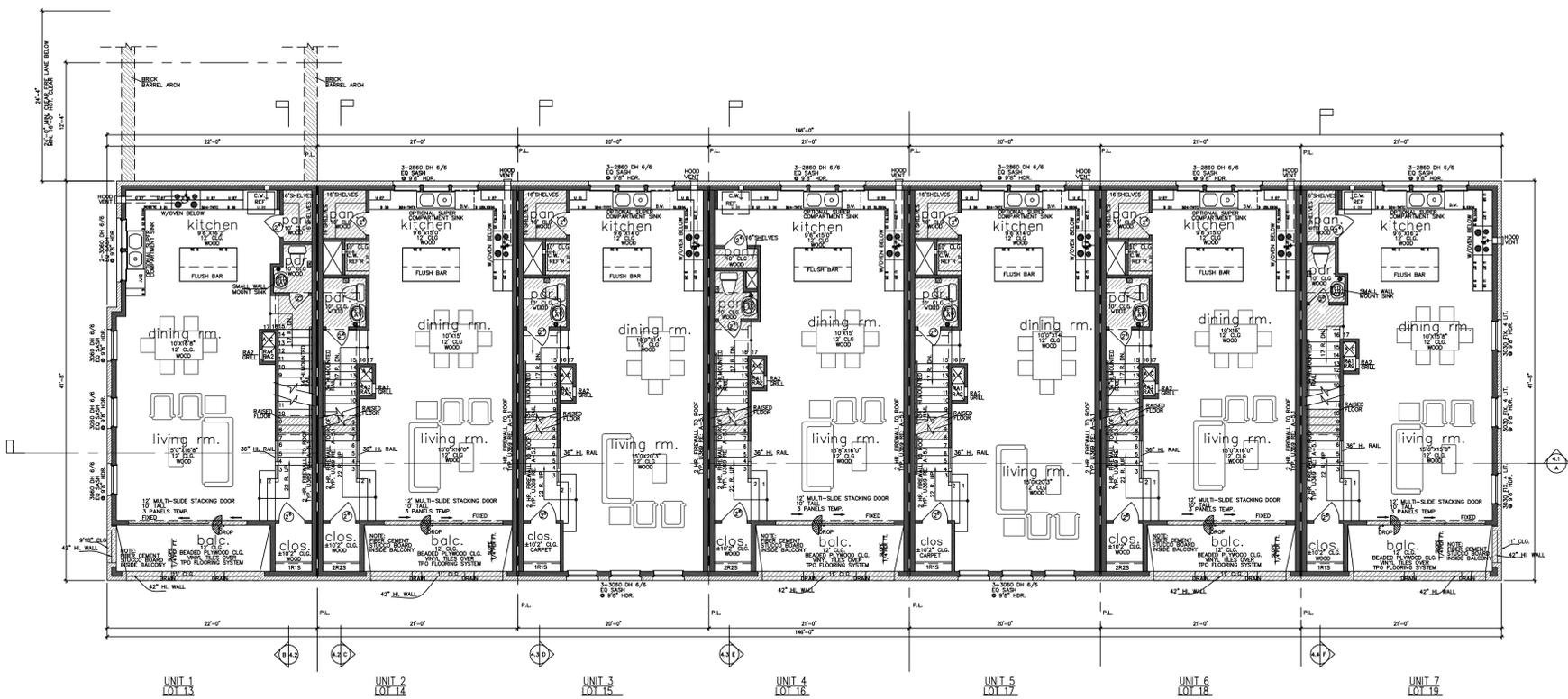
	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2351	3
UNIT 2	1989	3
UNIT 3	1987	3
UNIT 4	1993	3
UNIT 5	1999	3
UNIT 6	2006	3
UNIT 7	2006	3

Unit 1 square footage		Unit 2 square footage	
FIRST FLOOR	443	FIRST FLOOR	394
SECOND FLOOR	889	SECOND FLOOR	796
THIRD FLOOR	1103	THIRD FLOOR	681
TOTAL LIVING AREA	2435	TOTAL LIVING AREA	1971
PORCH	11	PORCH	11
GARAGE	478	GARAGE	478
BALCONY	93	BALCONY	93
AC DECK	93	AC DECK	93
TOTAL SQA. AREA	3207	TOTAL SQA. AREA	2831

Unit 3 square footage		Unit 4 square footage	
FIRST FLOOR	372	FIRST FLOOR	396
SECOND FLOOR	823	SECOND FLOOR	796
THIRD FLOOR	782	THIRD FLOOR	681
TOTAL LIVING AREA	1977	TOTAL LIVING AREA	1973
PORCH	11	PORCH	11
GARAGE	491	GARAGE	474
BALCONY	4	BALCONY	93
AC DECK	82	AC DECK	82
TOTAL SQA. AREA	2822	TOTAL SQA. AREA	2831

Unit 5 square footage		Unit 6 & 7 square footage	
FIRST FLOOR	364	FIRST FLOOR	423
SECOND FLOOR	823	SECOND FLOOR	796
THIRD FLOOR	782	THIRD FLOOR	681
TOTAL LIVING AREA	1969	TOTAL LIVING AREA	2000
PORCH	11	PORCH	11
GARAGE	491	GARAGE	474
BALCONY	4	BALCONY	93
AC DECK	82	AC DECK	82
TOTAL SQA. AREA	2822	TOTAL SQA. AREA	2831

First Floor Plan
 SCALE: 1/8" = 1'-0"
 NORTH



Second Floor Plan
 SCALE: 1/8" = 1'-0"
 NORTH

ADDISON GROVE

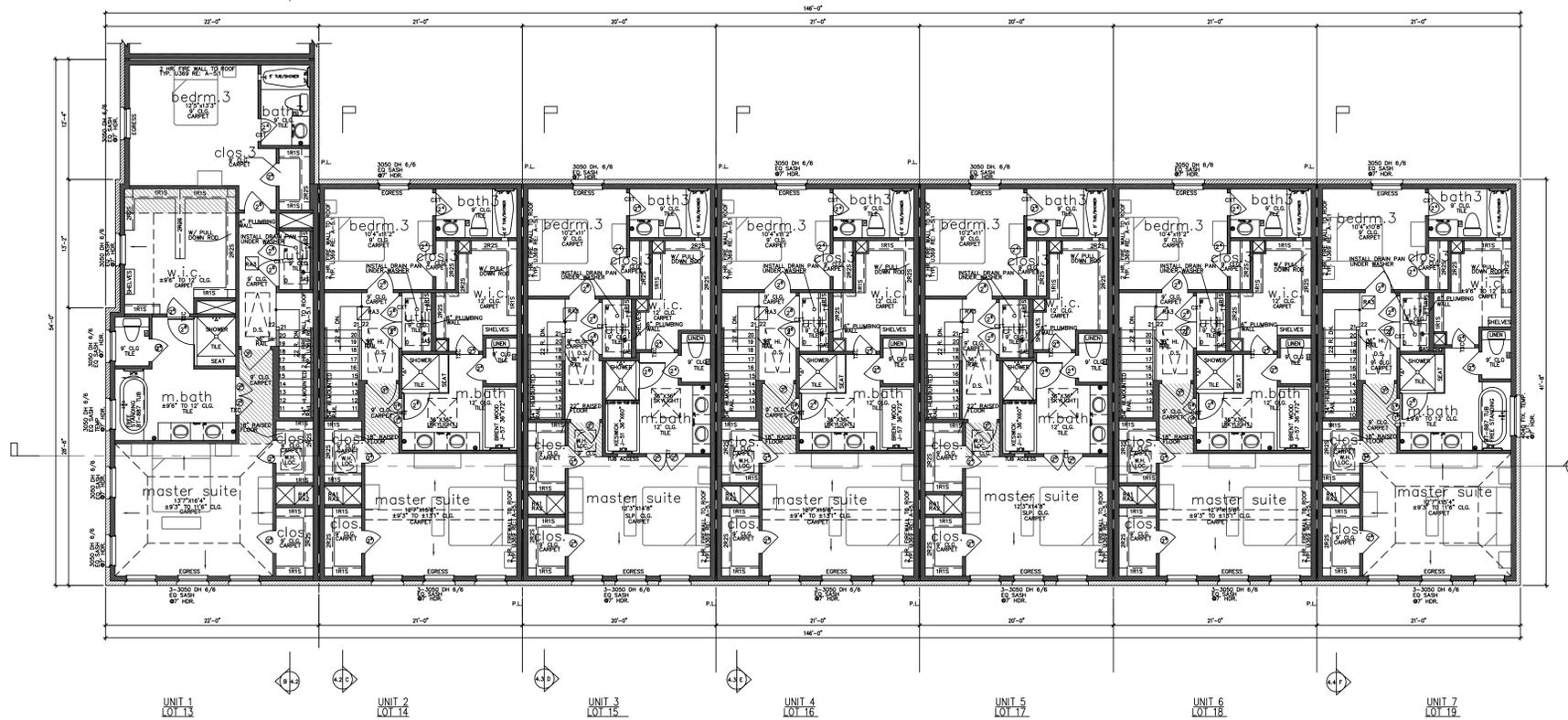
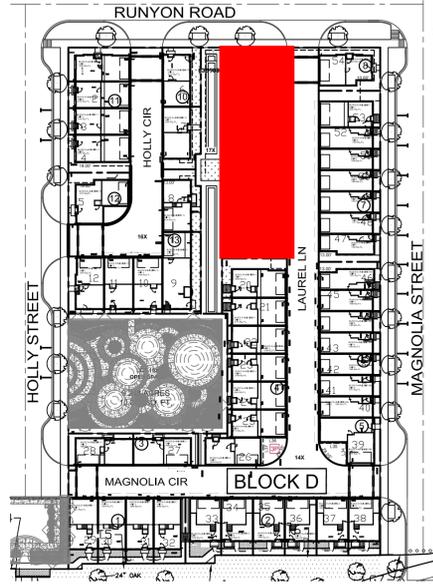


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ADDISON GROVE - BLOCK D - BUILDING 9
 FLOOR PLAN

PLAN NO.	SHEET NO.
UNIT 1 - 2351	A-46
UNIT 2 - 1989	
UNIT 3 - 1987	
UNIT 4 - 1993	
UNIT 5 - 1999	
UNIT 6 - 2006	
UNIT 7 - 2006	

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877



Third Floor Plan
 SCALE: 1/8" = 1'-0"
 0 4 8

NOTE: ALL EXTERIOR WALLS TO BE ONE FRAMED PER STRUCTURAL PLANS

ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 9

FLOOR PLAN

PLAN NO.	UNIT 1	22511
	UNIT 2	19889
	UNIT 3	19887
	UNIT 4	19883
	UNIT 5	19889
	UNIT 6	20006
	UNIT 7	20006

SHEET NO.

A-47

Drawn By/Checked By:

E.Z./F.M.

Original Date Issued:

05/20/2021

Scale:

3/16" = 1'-0"

Last Updated:

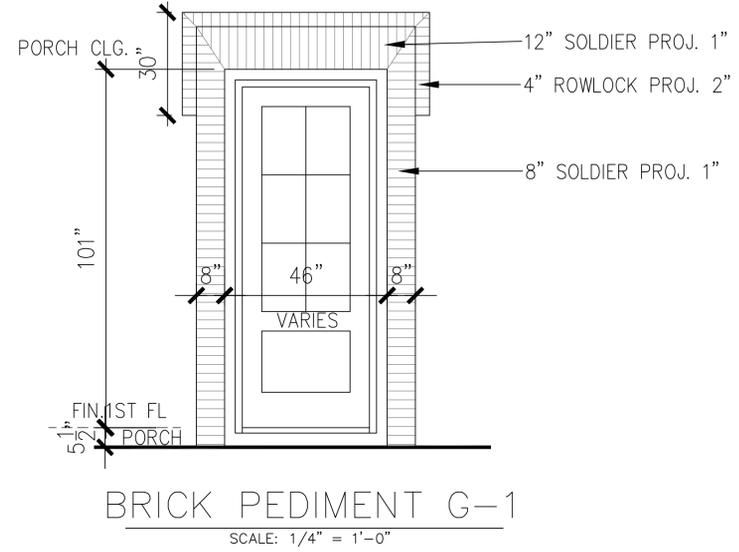
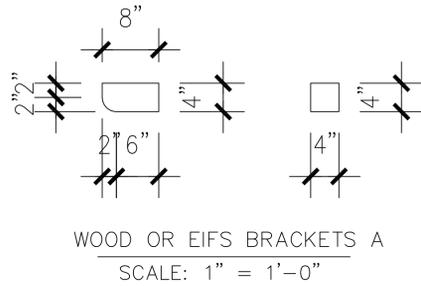
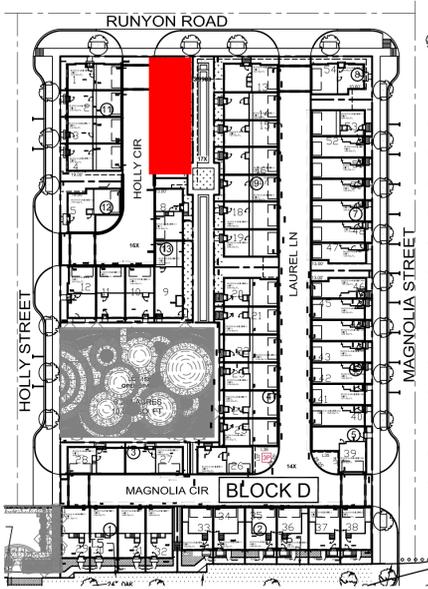
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 PHONE: 713-961-3877



- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

TOTAL MATERIAL CALCULATION TABLE		
BRICK	5171	95.8%
STUCCO BOARD	197	3.6%
ACCENT MATERIAL	31	0.57%
TOTAL SURFACE AREA	5399	

EAST/FRONT MATERIAL CALCULATION TABLE		
BRICK	2104	98.8%
STUCCO BOARD	22	1.0%
ACCENT MATERIAL	4	0.2%
TOTAL SURFACE AREA	2130	

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east/front(green space) elevation
SCALE: 1/4" = 1'-0"

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



Drawn By/Checked By: J.C./F.M.
Original Date Issued: 06/15/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

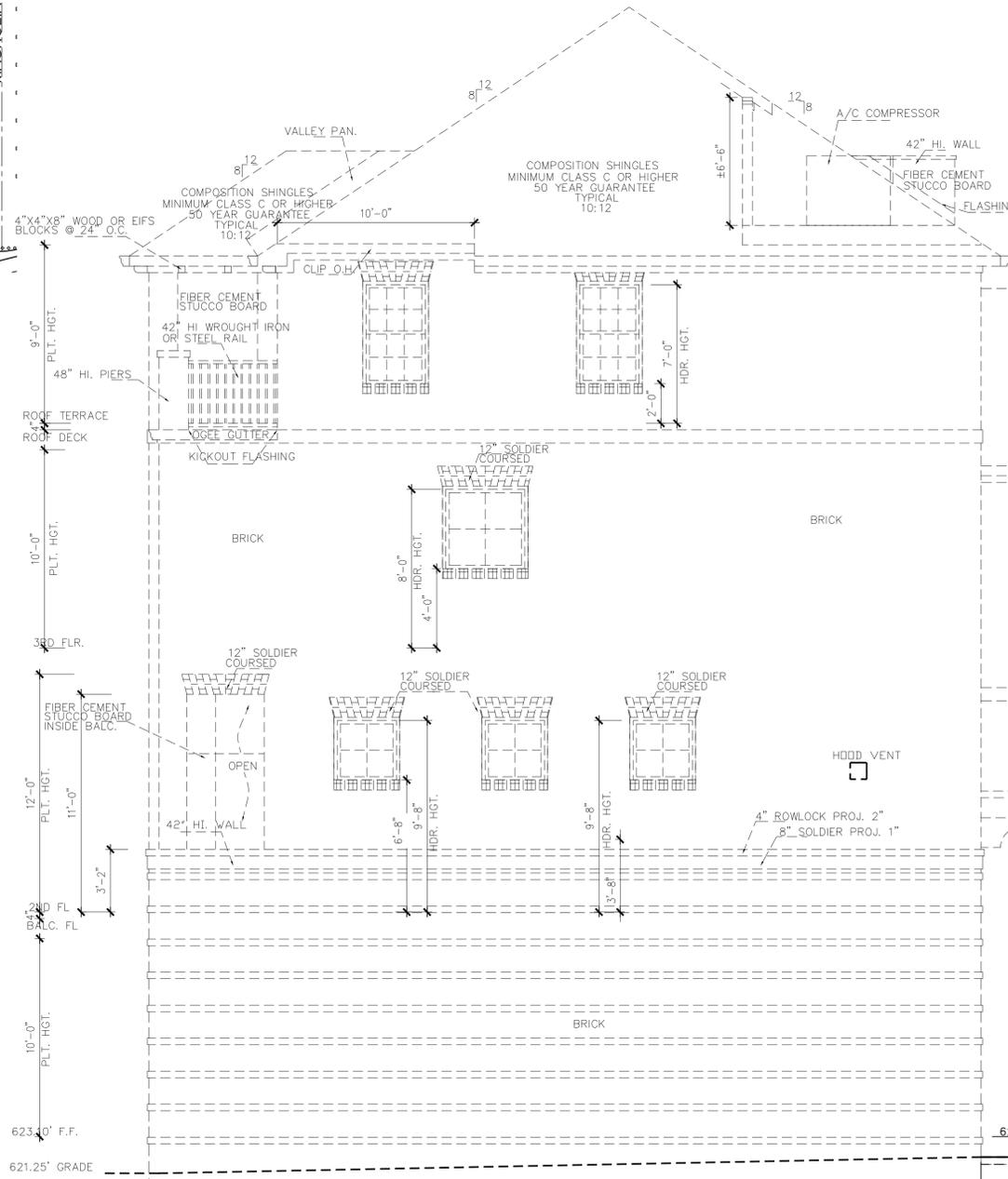
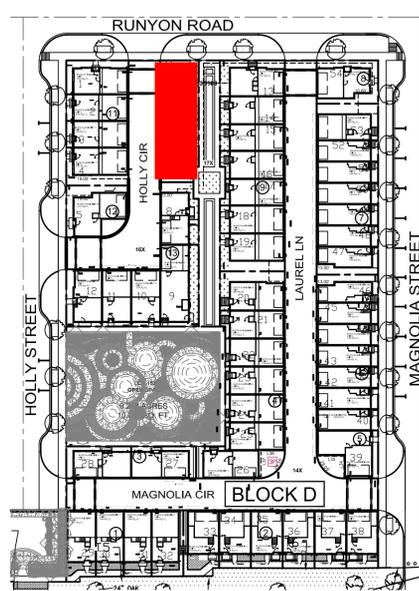
URBAN INTOWN HOMES, Ltd.
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 10
ADDISON GROVE
EAST/FRONT ELEVATION

PLAN NO.
UNIT 1 - 2024
UNIT 2 - 2173

SHEET NO.
A-48

06/06/2022



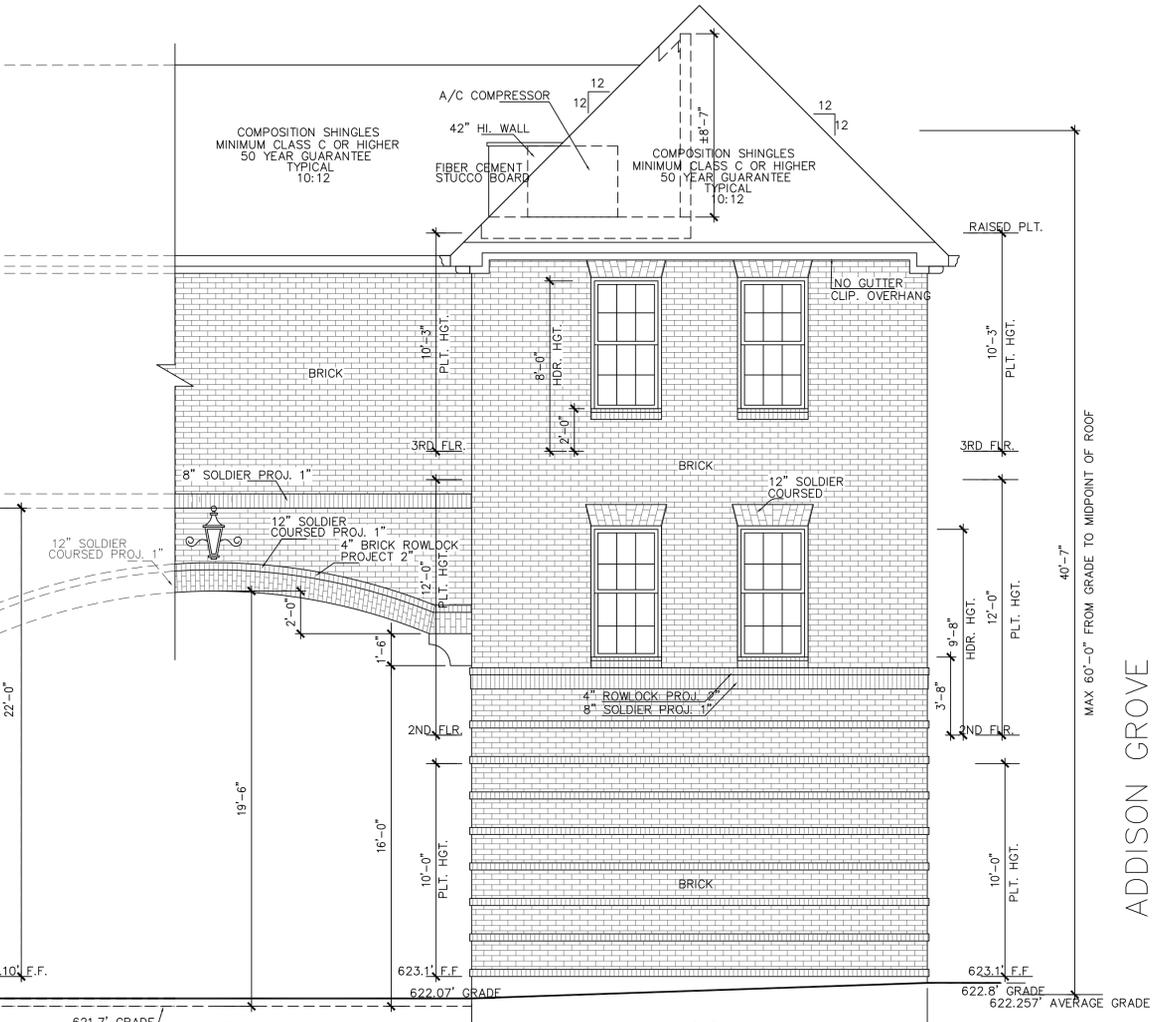
UNIT 4
LOT 4
BUILDING 11
south/right(neighbor) elevation
SCALE: 1/4" = 1'-0"
0 4 8'

- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

SOUTH/LEFT MATERIAL CALCULATION TABLE

BRICK	833	99.0%
STUCCO BOARD	6	0.7%
ACCENT MATERIAL	2	0.3%
TOTAL SURFACE AREA	841	

- FACADE PLAN NOTES**
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UNIT 1
LOT 7
BUILDING 10
south/left(neighbor) elevation
SCALE: 1/4" = 1'-0"
0 4 8'



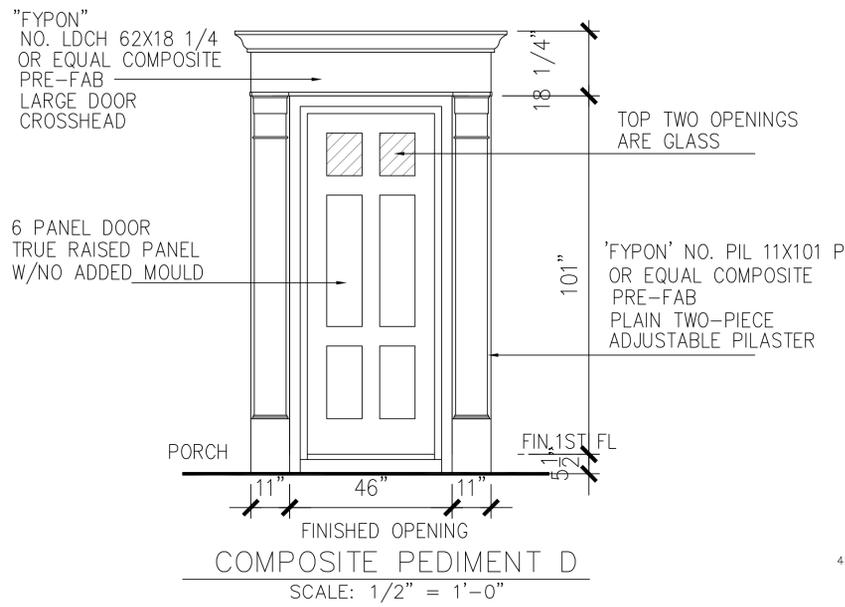
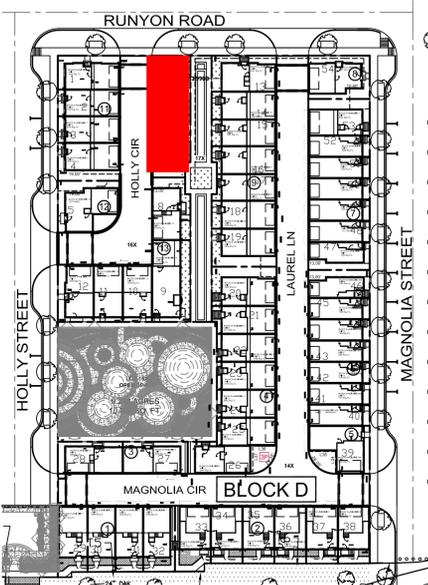
URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Drawn By/Checked By: J.C./F.M.
Original Date Issued: 06/15/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

URBAN INTOWN HOMES, Ltd.
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE -BLOCK D - BUILDING 10
SOUTH / LEFT ELEVATIONS

PLAN NO.
UNIT 1 - 2024
UNIT 2 - 2173
SHEET NO.
A-50

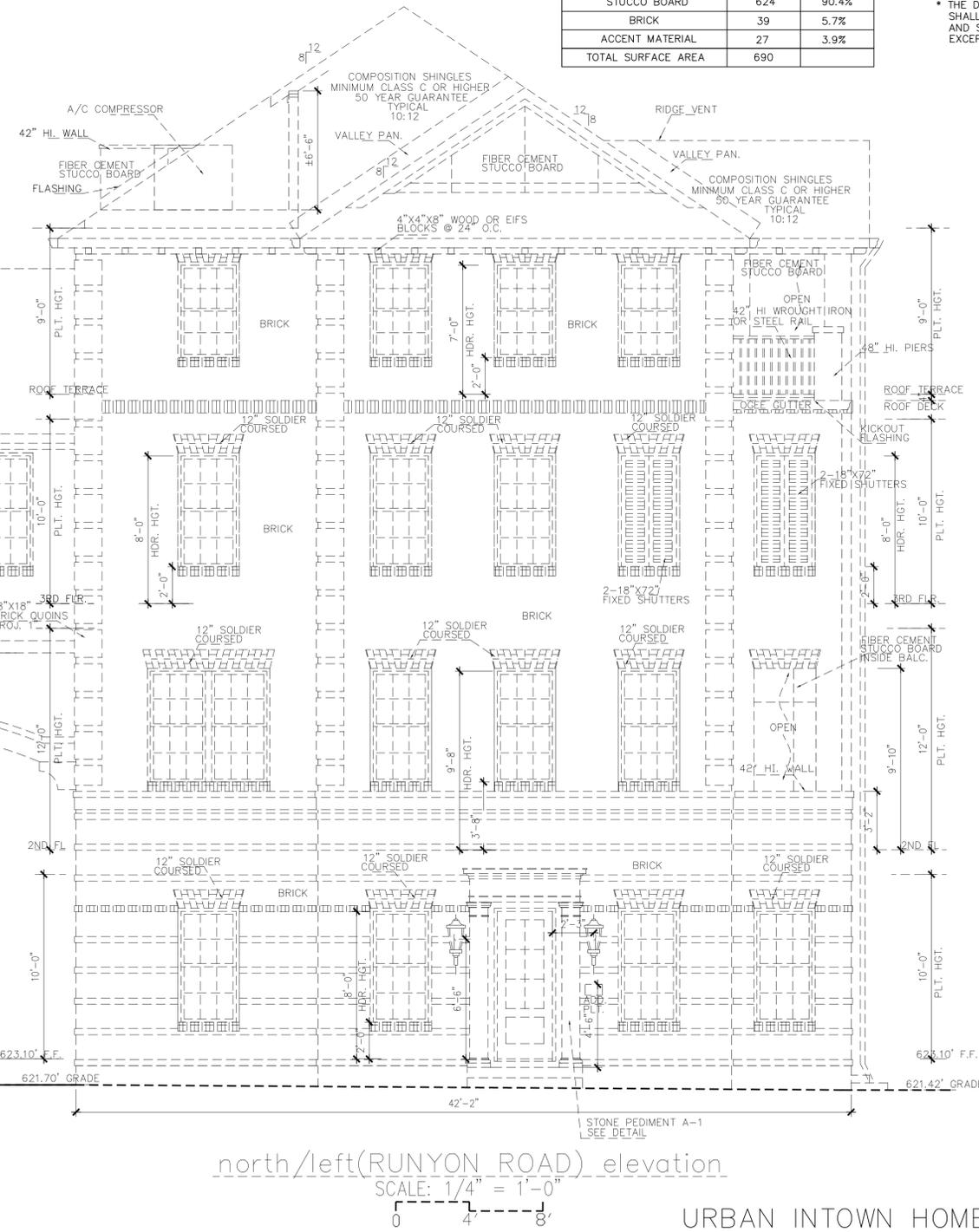
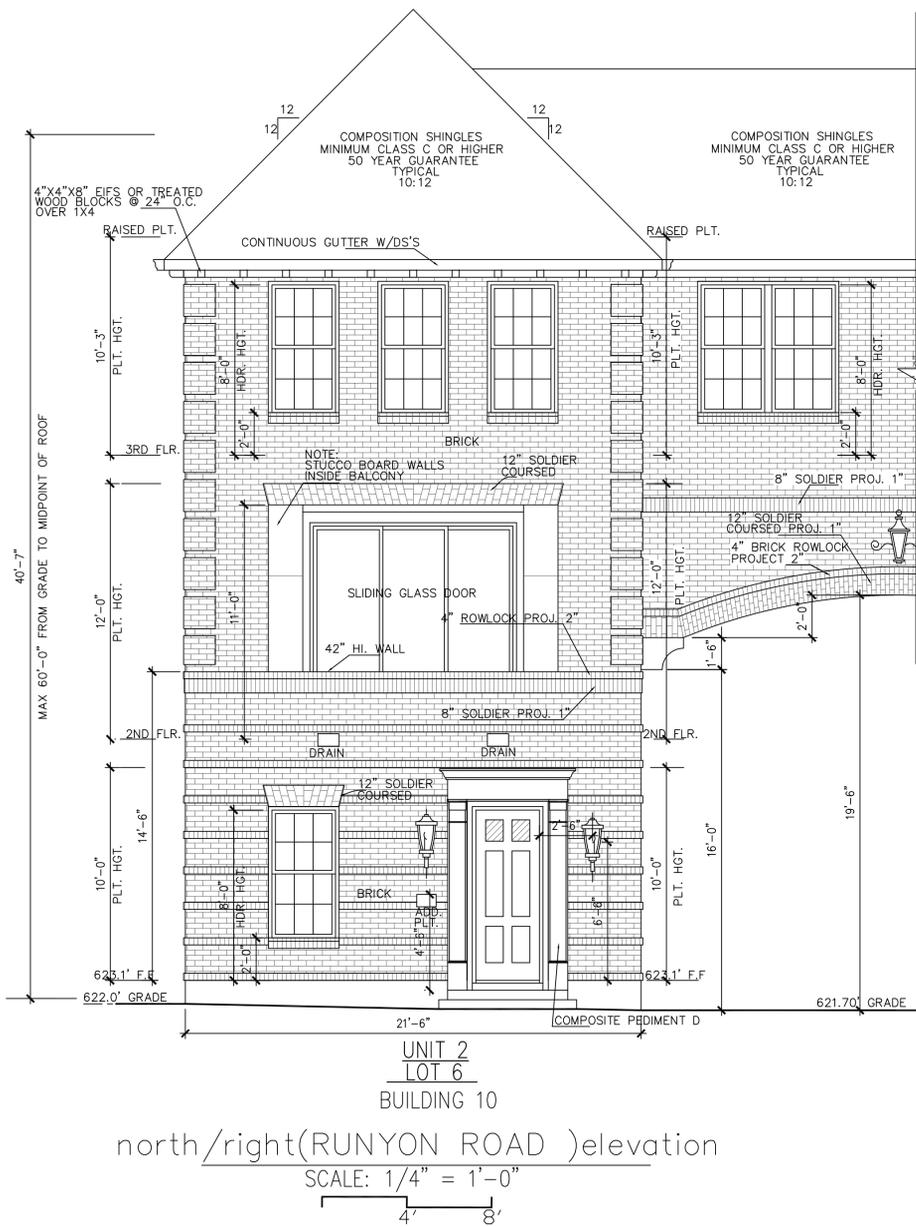


- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - COMPOSITE PEDIMENT (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

NORTH/RIGHT MATERIAL CALCULATION TABLE

STUCCO BOARD	624	90.4%
BRICK	39	5.7%
ACCENT MATERIAL	27	3.9%
TOTAL SURFACE AREA	690	

- FACADE PLAN NOTES**
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
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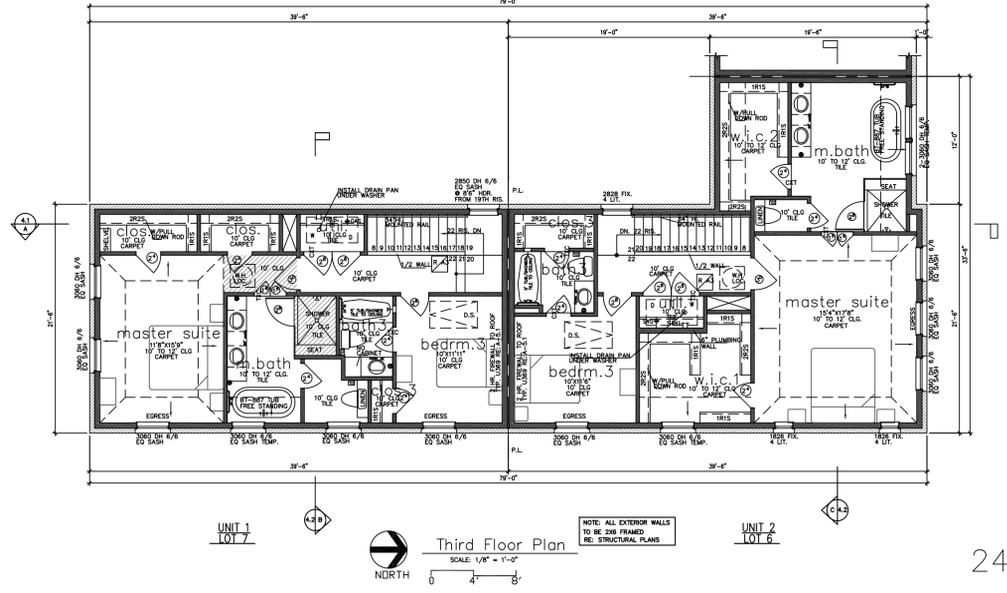
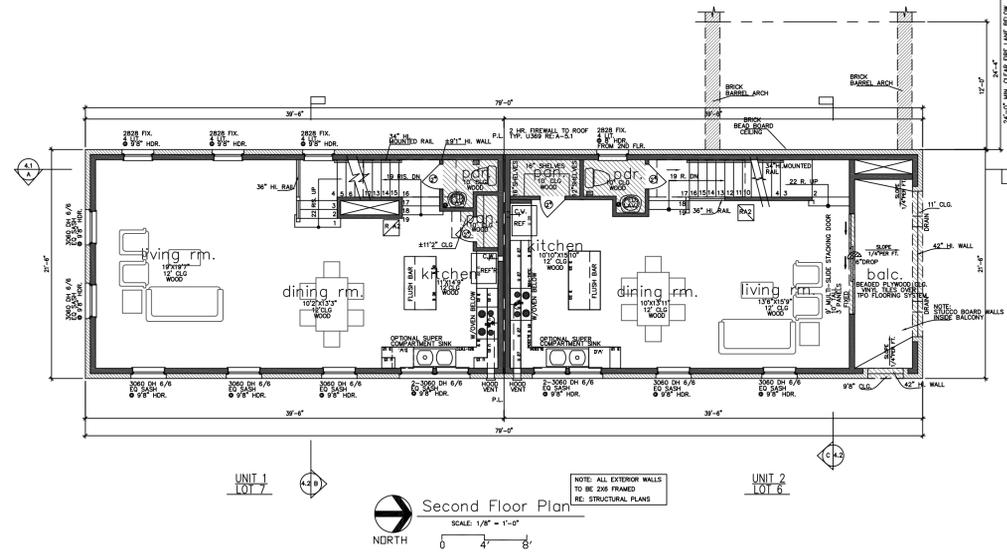
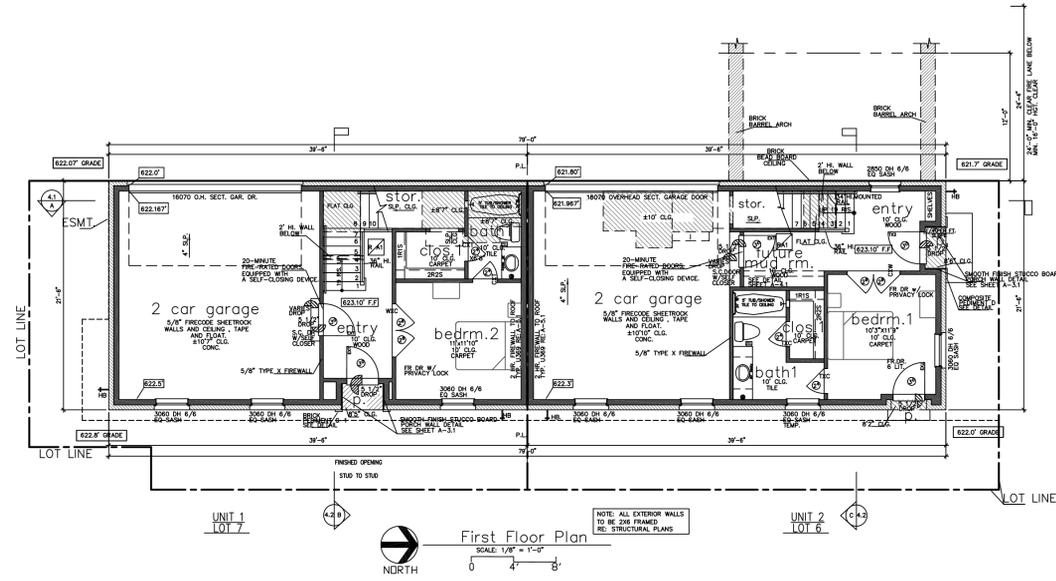
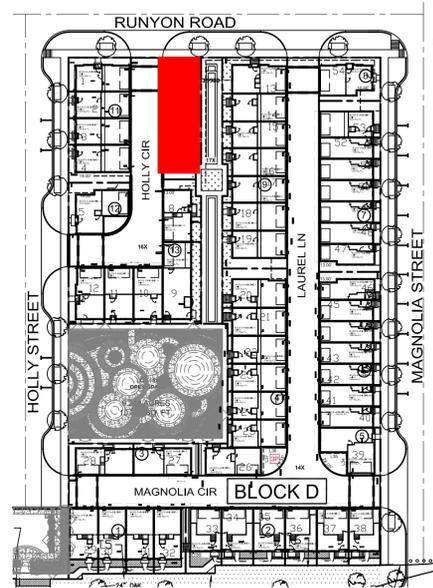
Drawn By/Checked By: J.C./F.M.
 Original Date Issued: 06/15/2021
 Scale: 1/4" = 1'-0"
 Last Updated: 06/03/2022

URBANINTOWNHOMES, Ltd.
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE -BLOCK D - BUILDING 10
 NORTH/RIGHT ELEVATION

PLAN NO.
 UNIT 1 - 2024
 UNIT 2 - 2173
 SHEET NO.
A-51

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2024	3
UNIT 2	2173	3

NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE USED THEY SHALL BE LISTED LABELED IN ACCORDANCE WITH UL 205 AS REQUIRED BY THE IRC SECTION 2008.4

NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

Unit 1 square footage

FIRST FLOOR	484
SECOND FLOOR	899
THIRD FLOOR	773
TOTAL LIVING AREA	2056
PORCH	4
BALCONY	8
UNCOVERED AT BOOK	84
TOTAL SLAB AREA	896

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE PRESENT DIMENSIONS IN GENERAL. SQUARE FOOTAGE MAY VARY.

Unit 2 square footage

FIRST FLOOR	483
SECOND FLOOR	729
THIRD FLOOR	882
TOTAL LIVING AREA	2094
PORCH	4
BALCONY	8
UNCOVERED AT BOOK	83
TOTAL SLAB AREA	898

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE PRESENT DIMENSIONS IN GENERAL. SQUARE FOOTAGE MAY VARY.

total all 2 units

FIRST FLOOR	967
SECOND FLOOR	1628
THIRD FLOOR	1655
TOTAL LIVING AREA	3250
PORCH	8
BALCONY	16
UNCOVERED AT BOOK	167
TOTAL SLAB AREA	1351

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE PRESENT DIMENSIONS IN GENERAL. SQUARE FOOTAGE MAY VARY.

ADDISON GROVE



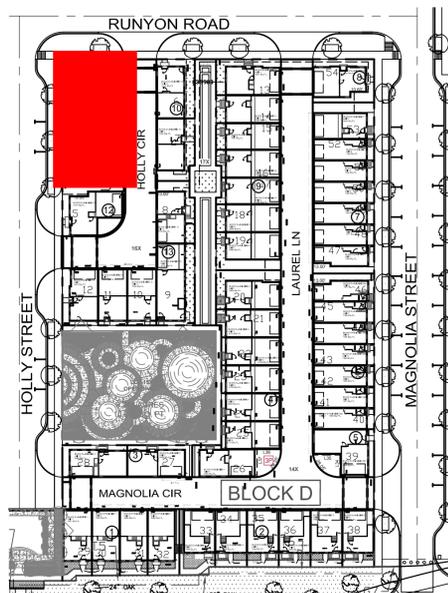
URBANINTOWNHOMES, Ltd.
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE -BLOCK D - BUILDING 10
FLOOR PLANS

PLAN NO.
 UNIT 1 - 2024
 UNIT 2 - 2173

SHEET NO.
A-52

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877



TOTAL MATERIAL CALCULATION TABLE		
BRICK	8228	90.5%
FIBER CEMENT STUCCO BOARD	448	4.9%
ACCENT MATERIAL	457	5.6%
TOTAL SURFACE AREA	9089	

WEST/FRONT MATERIAL CALCULATION TABLE		
BRICK	2254	82.4%
FIBER CEMENT STUCCO BOARD	133	4.9%
ACCENT MATERIAL	348	12.7%
TOTAL SURFACE AREA	2735	

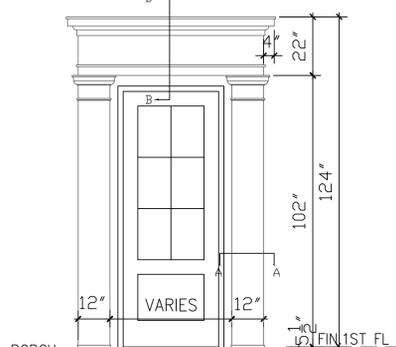
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- STONE PEDIMENT (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- FIX. SHUTTER (ACCENT MATERIAL)
- HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

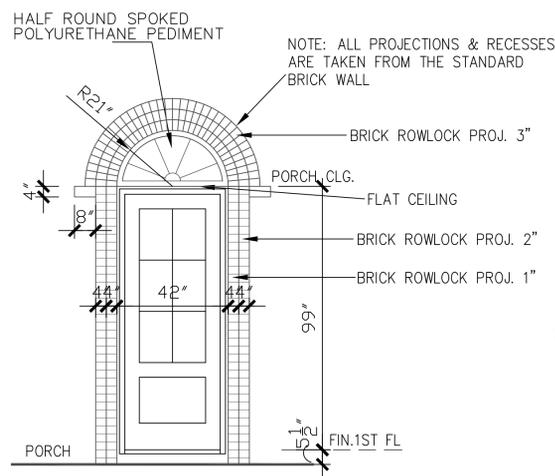
FACADE PLAN NOTES

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NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.

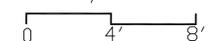


STONE PEDIMENT A-1
SCALE: 1/2" = 1'-0"



BRICK PEDIMENT E-2
SCALE: 3/8" = 1'-0"

west/front (HOLLY STREET) elevation
SCALE: 1/4" = 1'-0"



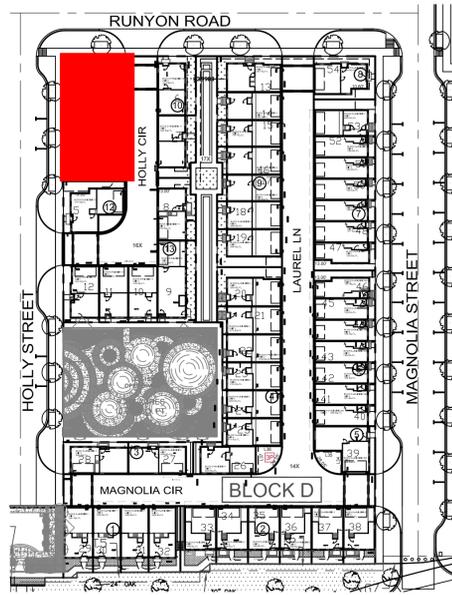
URBANINTOWNHOMES, L.td.
 ADDISON GROVE-BLOCK D-BUILDING 11
 WEST/FRONT ELEVATION
 2410 POLK ST., STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX

PLAN NO.	DESCRIPTION
UNIT 1	2932
UNIT 2	2720
UNIT 3	2720
UNIT 4	2761

SHEET NO.
A-53



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



LEGEND

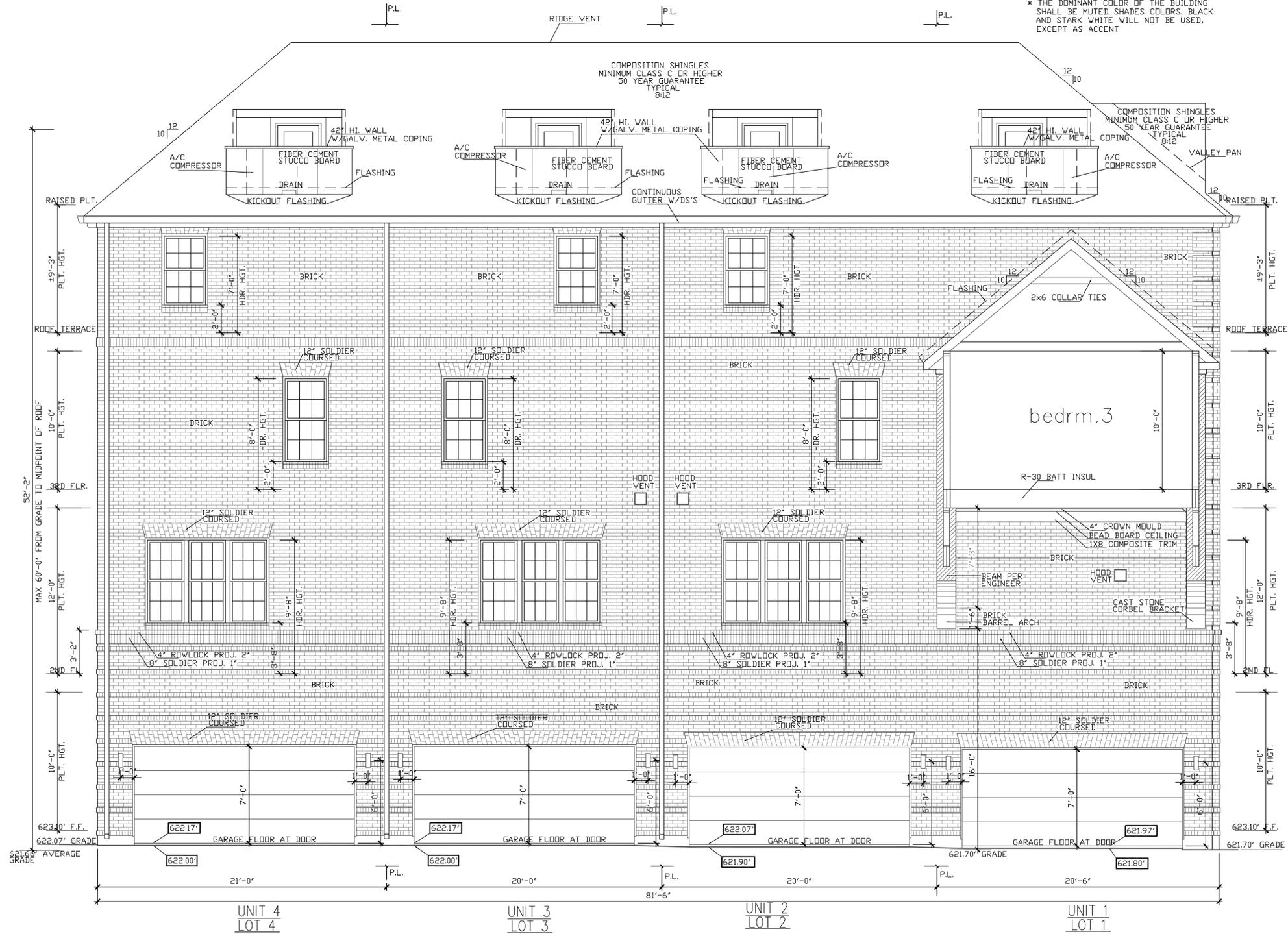
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL

EAST/REAR MATERIAL CALCULATION TABLE

BRICK	2550	93.8%
FIBER CEMENT STUCCO BOARD	168	6.2%
ACCENT MATERIAL	0	0%
TOTAL SURFACE AREA	2718	

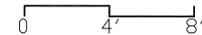
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east/rear(HOLLY CIR) elevation

SCALE: 1/4" = 1'-0"



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

ADDISON GROVE

ADDISON GROVE-BLOCK D-BUILDING 11
EAST / REAR ELEVATION

PLAN NO.

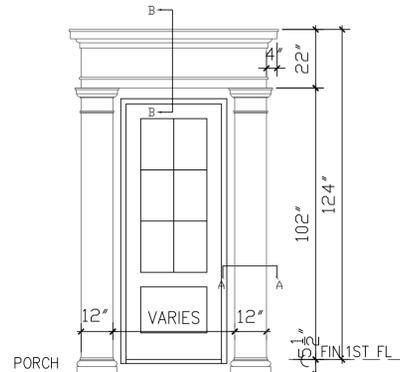
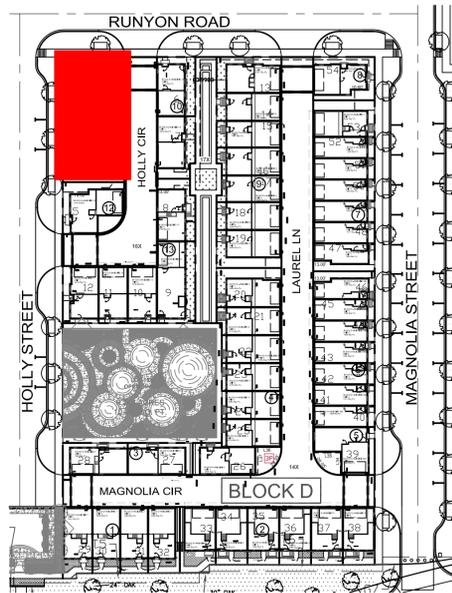
UNIT 1	2932
UNIT 2	2720
UNIT 3	2720
UNIT 4	2761

SHEET NO.
A-54

URBAN INTOWN HOMES, Ltd.

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: B.M./F.M.
Original Date Issued: 06/08/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022



STONE PEDIMENT A-1
SCALE: 1/2" = 1'-0"

NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.

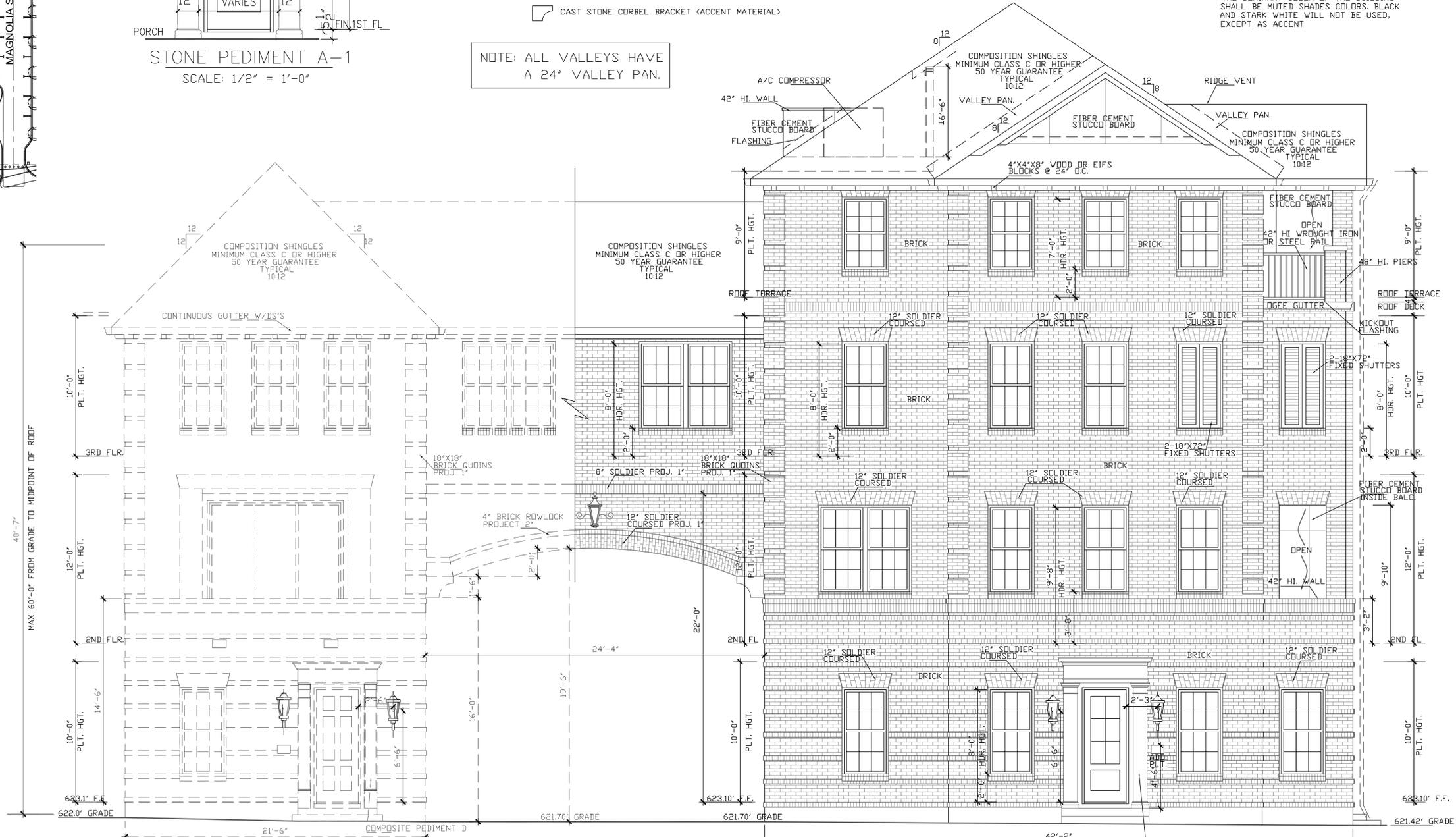
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- STONE PEDIMENT (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- FIX. SHUTTER (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

NDRTH/LEFT MATERIAL CALCULATION TABLE		
BRICK	1522	89.6%
FIBER CEMENT STUCCO BOARD	86	5.1%
ACCENT MATERIAL	91	5.3%
TOTAL SURFACE AREA	1699	

FACADE PLAN NOTES

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UNIT 2 LOT 6 BUILDING 10
north/right(RUNYON ROAD) elevation
SCALE: 1/4" = 1'-0"

UNIT 1 LOT 1 BUILDING 11
north/left(RUNYON ROAD) elevation
SCALE: 1/4" = 1'-0"

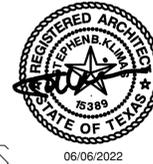
Drawn By/Checked By: B.M./F.M.
Original Date/Revised: 06/08/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

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ADDISON GROVE-BLOCK D-BUILDING 11
NORTH / LEFT ELEVATION

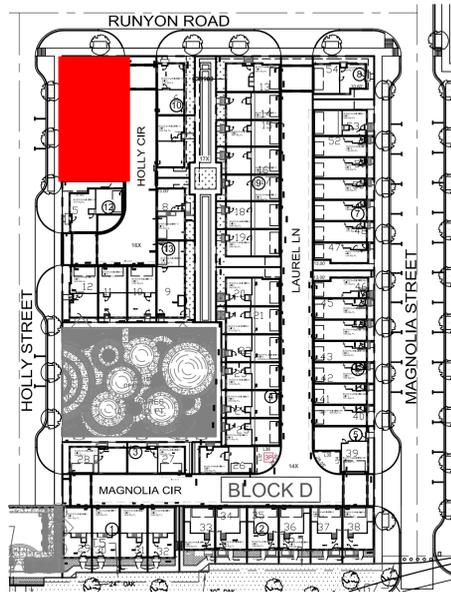
PLAN NO.	REVISION
UNIT 1	2932
UNIT 2	2720
UNIT 3	2720
UNIT 4	2761

SHEET NO. **A-55**



06/06/2022

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



Material	Quantity	Percentage
BRICK	1902	96.0%
FIBER CEMENT STUCCO BOARD	61	3.1%
ACCENT MATERIAL	18	0.9%
TOTAL SURFACE AREA	1981	

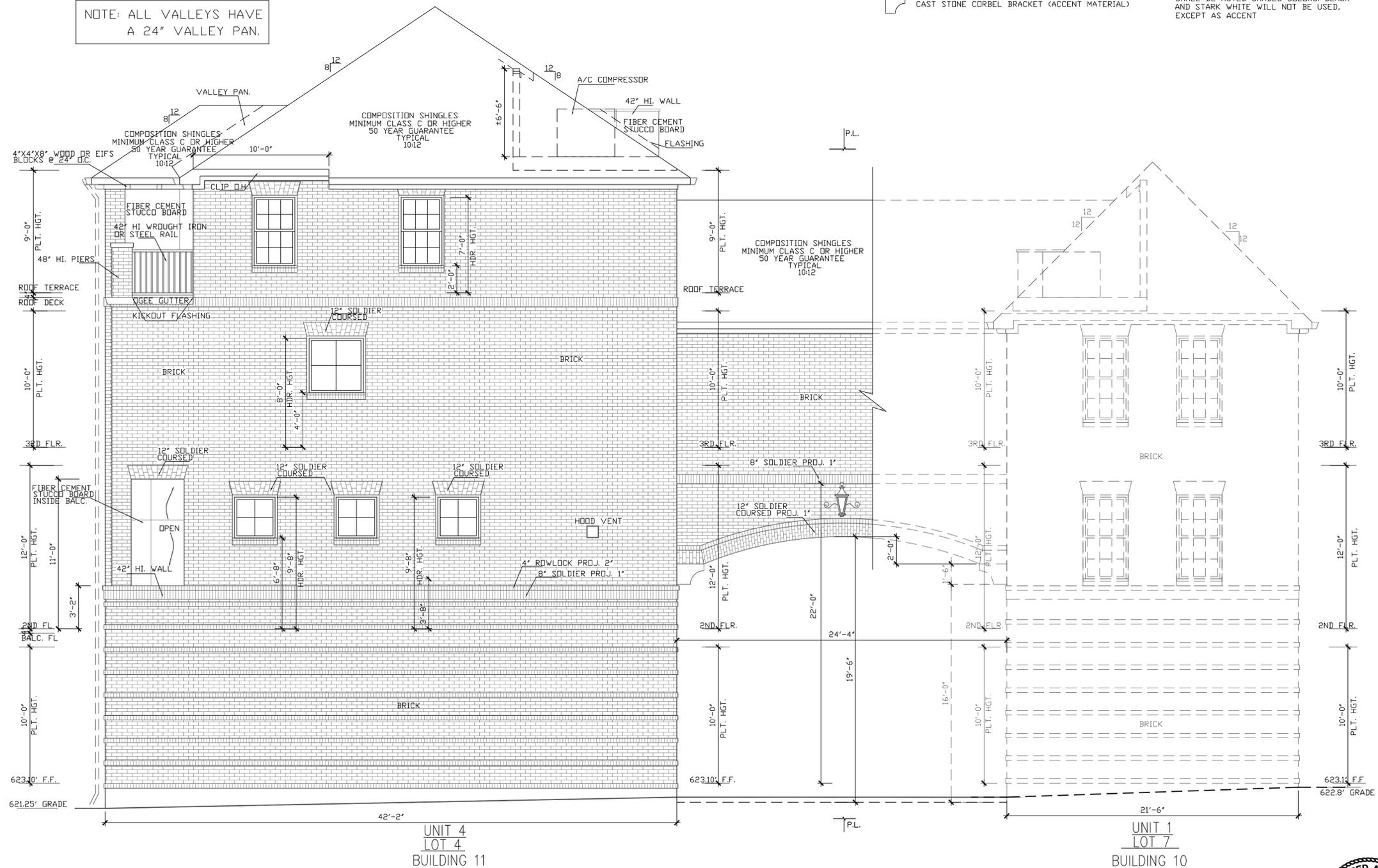
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
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- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

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NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.



UNIT 4
LOT 4
BUILDING 11
south/right(neighbor) elevation
SCALE: 1/4" = 1'-0"
0 4' 8'

UNIT 1
LOT 7
BUILDING 10
south/left(alley)elevation
SCALE: 1/4" = 1'-0"
0 4' 8'



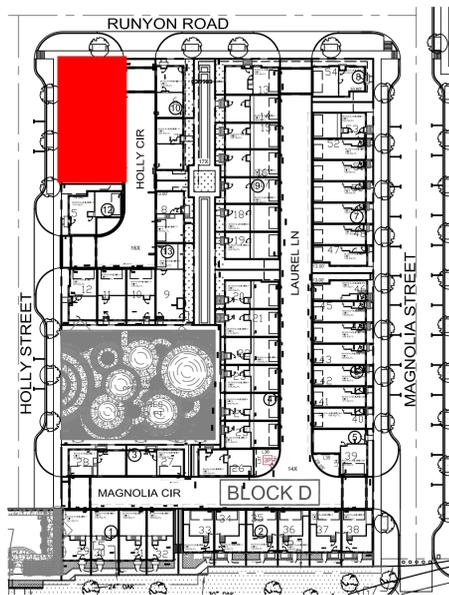
URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

URBANINTOWNHOMES, Ltd.
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

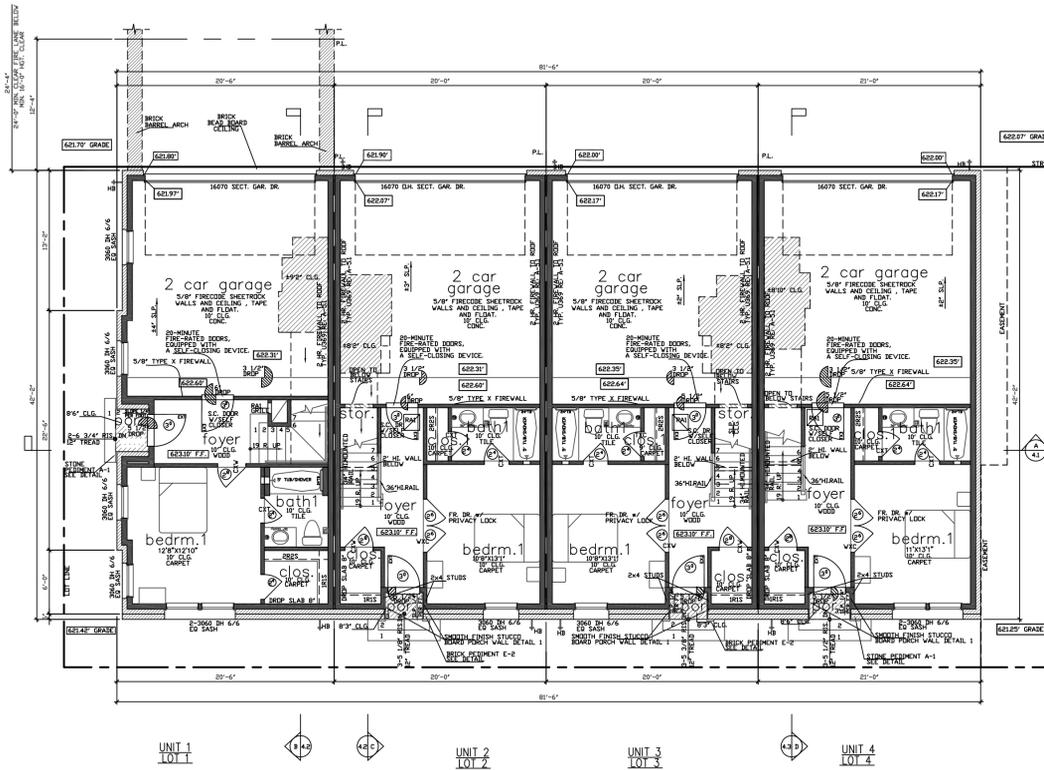
ADDISON GROVE-BLOCK D-BUILDING 11
SOUTH / RIGHT ELEVATION

PLAN NO.	UNIT	NO.
A-56	UNIT 1	2932
	UNIT 2	2720
	UNIT 3	2720
	UNIT 4	2761

SHEET NO.
A-56



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2932	4
UNIT 2	2720	4
UNIT 3	2720	4
UNIT 4	2761	4



unit 1 square footage

FIRST FLOOR	407
SECOND FLOOR	760
THIRD FLOOR	1086
ROOF TERRACE	177
TOTAL LIVING AREA	2130
PORCH	102
GARAGE	432
COVERED ROOF DECK	31
UNCOVERED ROOF DECK	80
TOTAL SLAB AREA	315

THE SQUARE FOOTAGE SHOWN ABOVE IS CALCULATED FROM THE BUILDING FOOTPRINTS IN GENERAL. FINISHES, STAIRS, ETC. (PER-100) ACTUAL SQUARE FOOTAGE MAY VARY.

unit 2&3 square footage

FIRST FLOOR	395
SECOND FLOOR	806
THIRD FLOOR	806
ROOF TERRACE	833
TOTAL LIVING AREA	2800
PORCH	428
GARAGE	428
COVERED ROOF DECK	42
UNCOVERED ROOF DECK	80
TOTAL SLAB AREA	310

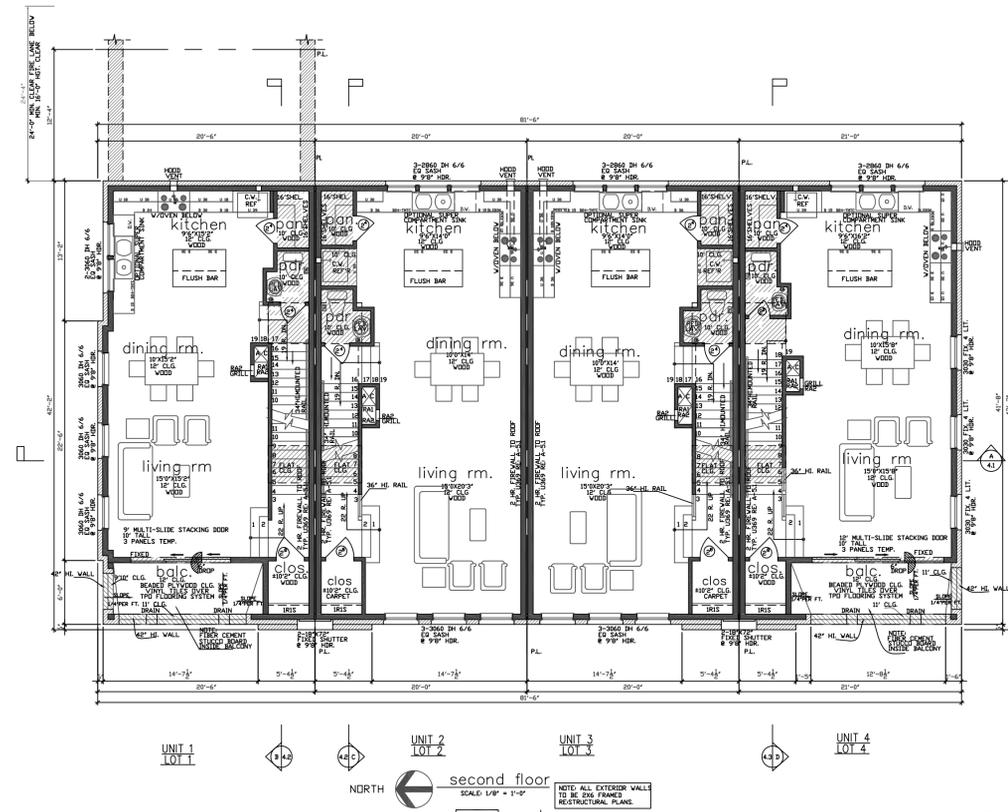
THE SQUARE FOOTAGE SHOWN ABOVE IS CALCULATED FROM THE BUILDING FOOTPRINTS IN GENERAL. FINISHES, STAIRS, ETC. (PER-100) ACTUAL SQUARE FOOTAGE MAY VARY.

unit 4 square footage

FIRST FLOOR	414
SECOND FLOOR	774
THIRD FLOOR	878
ROOF TERRACE	680
TOTAL LIVING AREA	2746
PORCH	8
GARAGE	461
COVERED ROOF DECK	46
UNCOVERED ROOF DECK	76
TOTAL SLAB AREA	376

THE SQUARE FOOTAGE SHOWN ABOVE IS CALCULATED FROM THE BUILDING FOOTPRINTS IN GENERAL. FINISHES, STAIRS, ETC. (PER-100) ACTUAL SQUARE FOOTAGE MAY VARY.

first floor
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMER RESTRUCTURAL PLANS.
NOTE: AUTOMATIC GARAGE DOOR OPENER ARE USED THEY SHALL BE LISTED UNDER IN COMPLIANCE WITH UL 325 AS REQUIRED IN THE IRC SECTION R320.4
NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.



second floor
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMER RESTRUCTURAL PLANS.



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PHONE: 713-961-3877

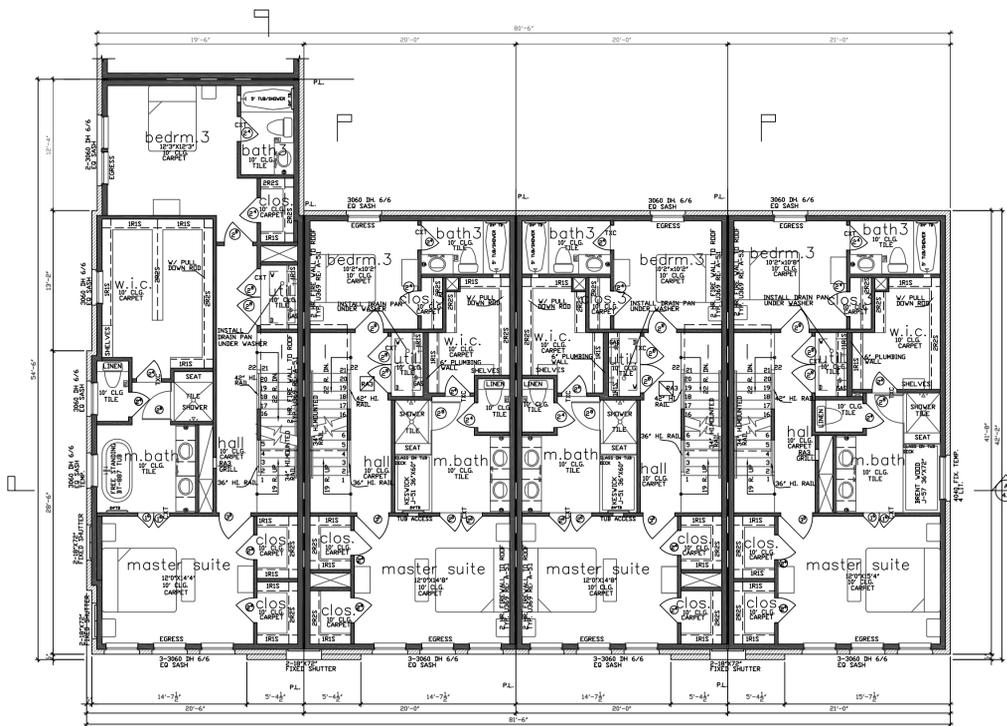
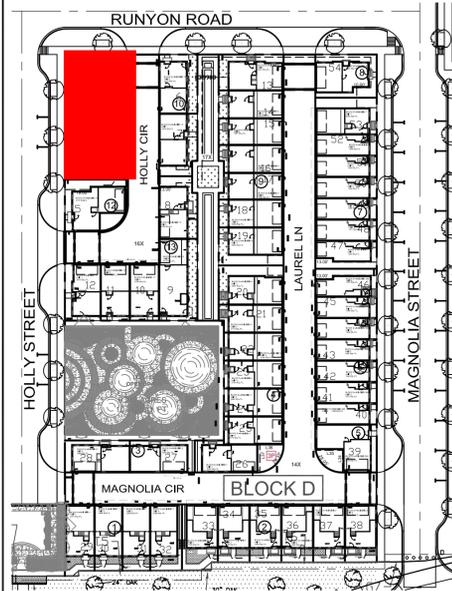
Drawn By/Checked By: B.M./F.M.
Original Date Issued: 06/08/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

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ADDISON GROVE-BLOCK D-BUILDING 11
FLOOR PLAN

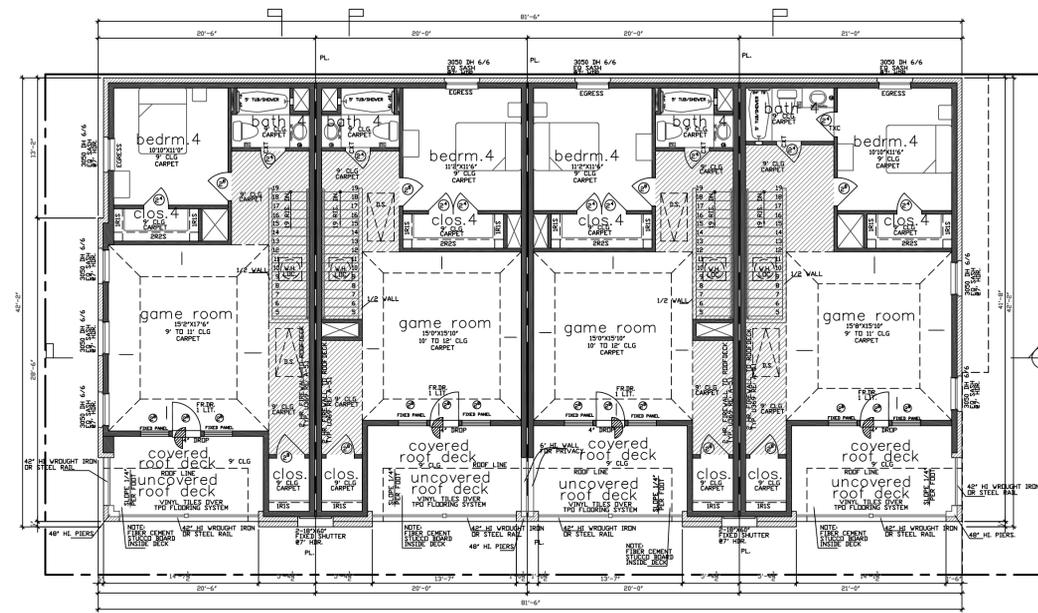
PLAN NO.
UNIT 1 2932
UNIT 2 2720
UNIT 3 2720
UNIT 4 2761

SHEET NO.
A-57



UNIT 1 LOT 1 UNIT 2 LOT 2 UNIT 3 LOT 3 UNIT 4 LOT 4

third floor
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE SFG FRAMES RESTRICTIONAL PLANS.



UNIT 1 LOT 1 UNIT 2 LOT 2 UNIT 3 LOT 3 UNIT 4 LOT 4

roof terrace
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE SFG FRAMES RESTRICTIONAL PLANS.

ADDISON GROVE

ADDISON GROVE-BLOCK D-BUILDING 11

FLOOR PLAN

URBANTOWN HOMES, Ltd.

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: B.M./F.M.
Original Date Issued: 06/08/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022



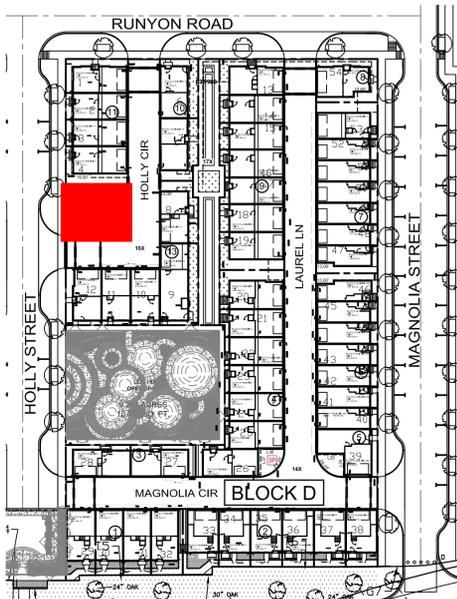
URBANTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

PLAN NO.	UNIT NO.
UNIT 1	2932
UNIT 2	2720
UNIT 3	2720
UNIT 4	2761

SHEET NO.
A-58



Drawn By/Checked By: C.C./E.M.
 Original Date Issued: 05/27/2021
 Scale: 1/8" = 1'-0"
 Last Updated: 06/03/2022



- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - COMPOSITE PEDIMENT (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

TOTAL MATERIAL CALCULATION TABLE

BRICK	5923	95.0%
FIBER CEMENT STUCCO BOARD	197	3.2%
ACCENT MATERIAL	115	1.8%
TOTAL SURFACE AREA	6235	

WEST/FRONT MATERIAL CALCULATION TABLE

BRICK	1330	86.5%
FIBER CEMENT STUCCO BOARD	110	7.2%
ACCENT MATERIAL	96	6.3%
TOTAL SURFACE AREA	1536	

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NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.



LOT 5
 BUILDING 12
 west/front(HOLLY STREET) elevation
 SCALE: 1/4" = 1'-0"

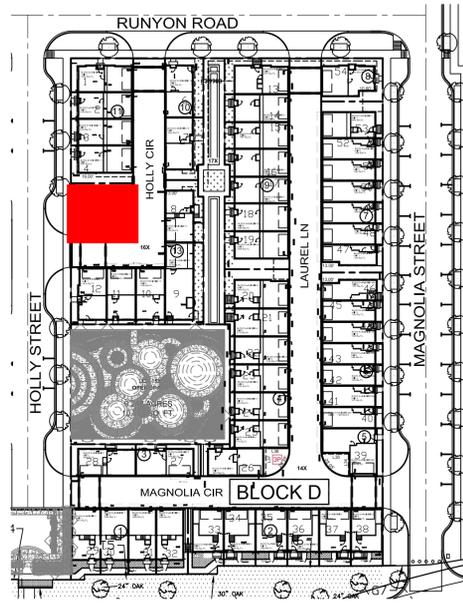
west/left(HOLLY STREET) elevation
 SCALE: 1/4" = 1'-0"

UNIT 1
 LOT 12
 BUILDING 13
 URBAN INTOWN HOMES
 2410 POLK ST., STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877

URBANINTOWNHOMES
 2410 POLK ST., STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK B - BUILDING 12
WEST/FRONT ELEVATION

PLAN NO. 3737
 SHEET NO. A-59



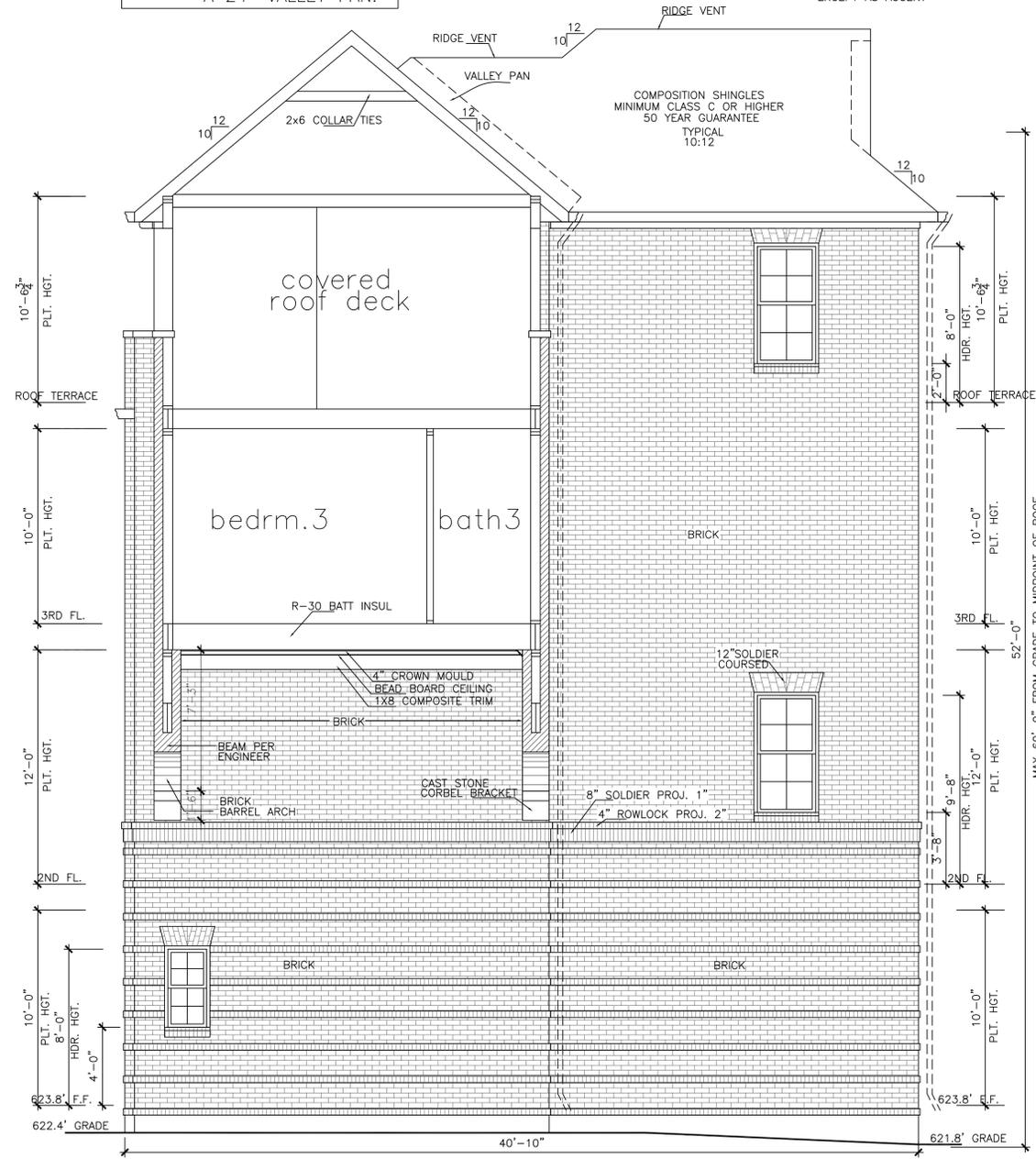
- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

SOUTH/RIGHT MATERIAL CALCULATION TABLE

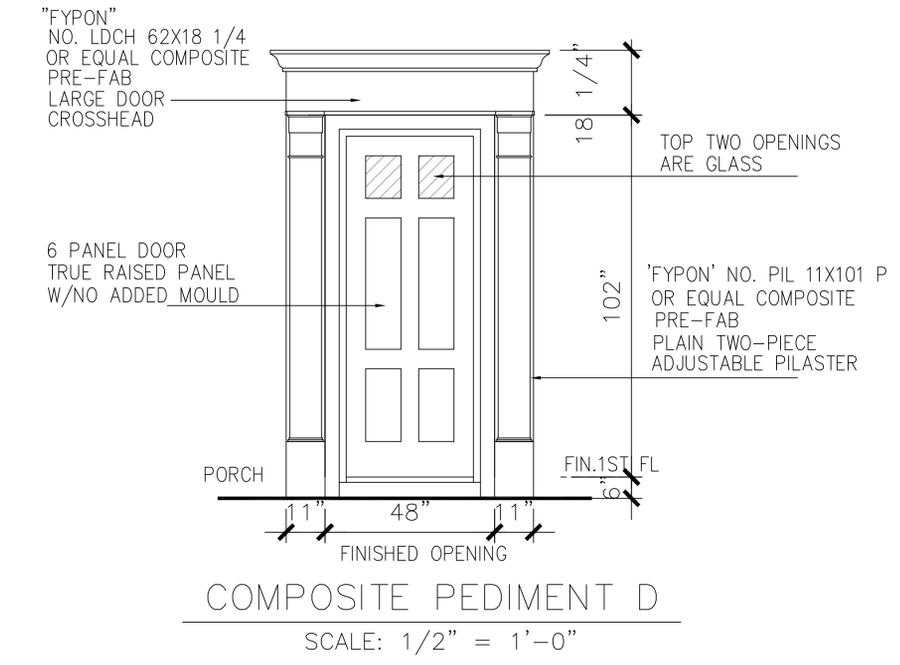
MATERIAL	AMOUNT	PERCENT
BRICK	1314	100%
FIBER CEMENT STUCCO BOARD	0	0%
ACCENT MATERIAL	0	0%
TOTAL SURFACE AREA	1314	

NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.

- FACADE PLAN NOTES**
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LOT 5
south/right(Holly Cir.) elevation
SCALE: 1/4" = 1'-0"



ADDISON GROVE

ADDISON GROVE - BLOCK B - BUILDING 12

SOUTH / RIGHT ELEVATION

URBANINTOWNHOMES

2410 POLK ST., STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

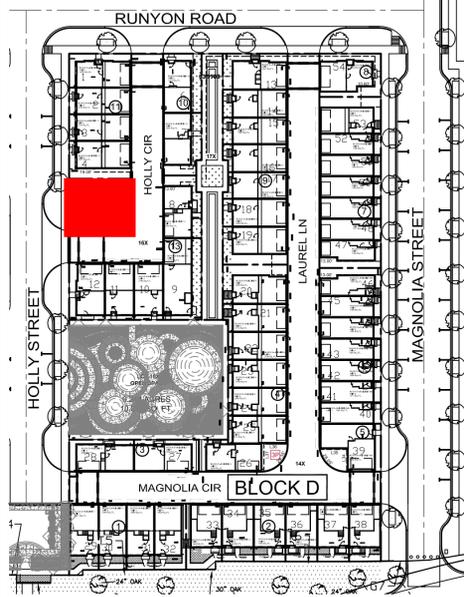
Drawn By/Checked By: C.C./E.M.
Original Date Issued: 05/27/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

PLAN NO. 3737
SHEET NO. A-60



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

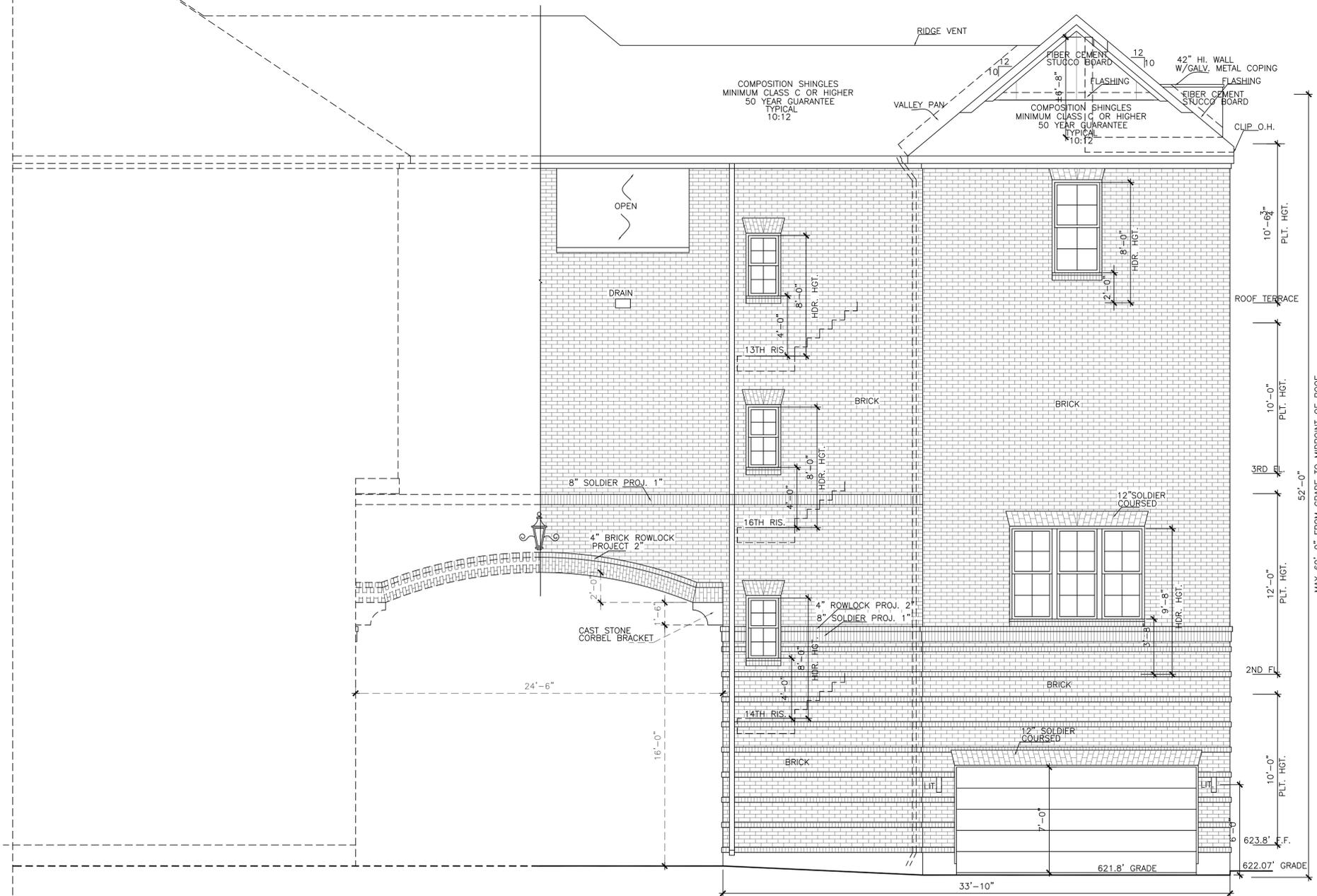
Town Project #:1833-Z



- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

EAST/REAR MATERIAL CALCULATION TABLE		
BRICK	1626	98.0%
FIBER CEMENT STUCCO BOARD	32	1.9%
ACCENT MATERIAL	2	0.1%
TOTAL SURFACE AREA	1660	

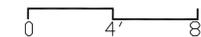
NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.



BUILDING 13

LOT 5
BUILDING 12
east/rear(Holly Cir.) elevation

SCALE: 1/4" = 1'-0"



06/06/2022

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

URBANINTOWNHOMES

ADDISON GROVE - BLOCK B - BUILDING 12

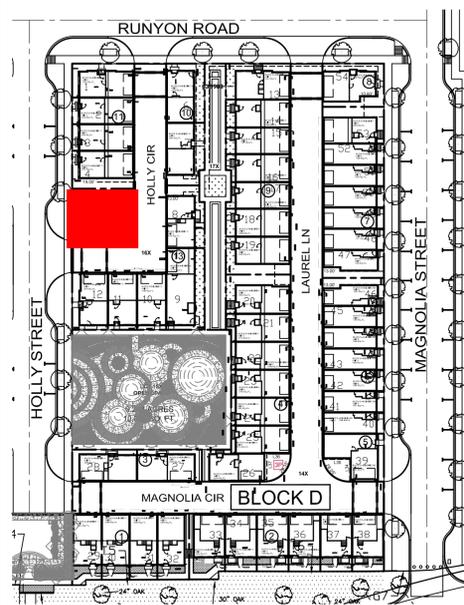
EAST / REAR ELEVATION

PLAN NO.
3737

SHEET NO.
A-61

Drawn By/Checked By:
C.C./F.M.
Original Date Issued:
05/27/2021
Scale:
1/8" = 1'-0"
Last Updated:
06/03/2022

2410 POLK ST, STE 200, HOUSTON, TX 77003
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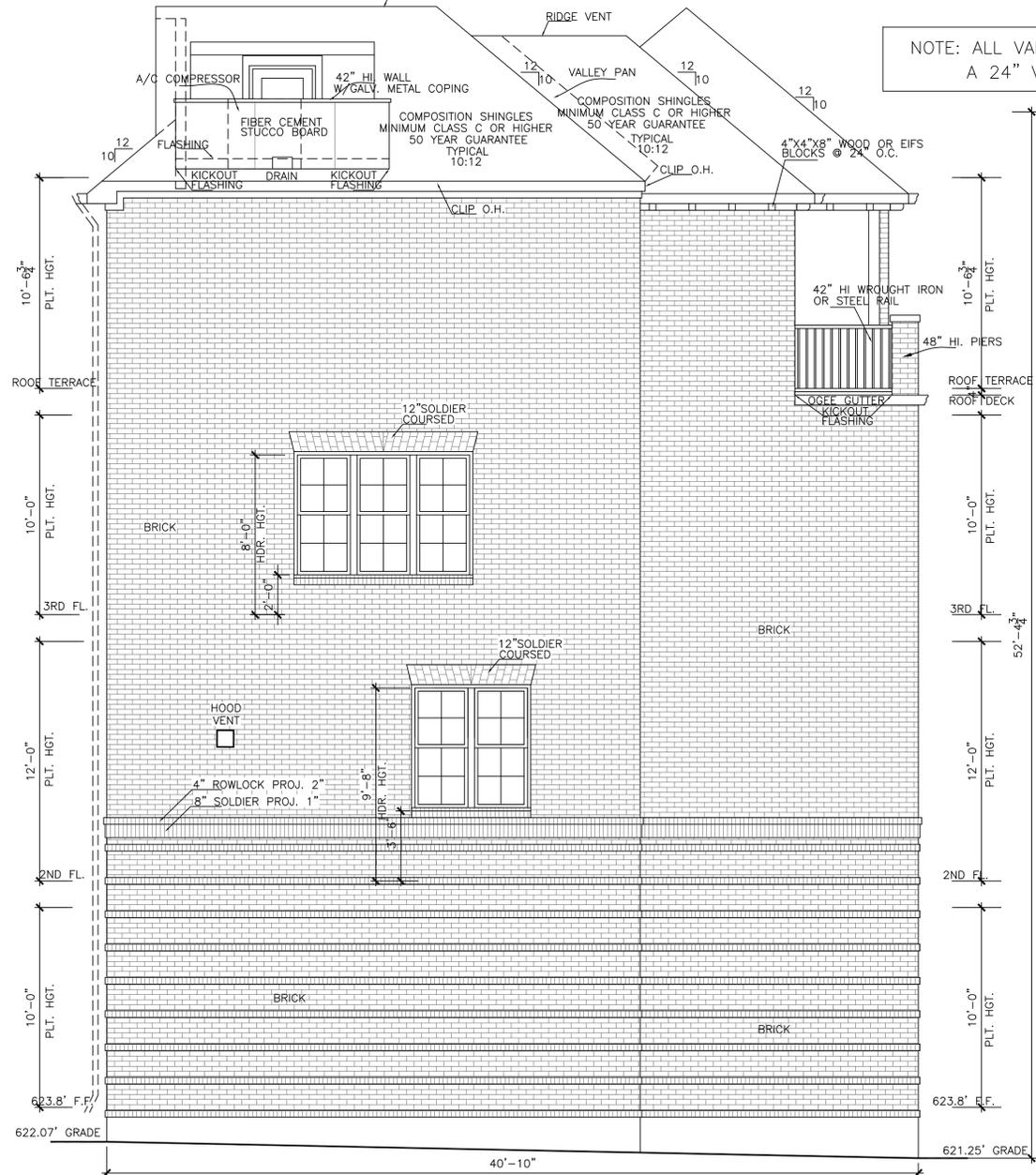
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NORTH/LEFT MATERIAL CALCULATION TABLE		
BRICK	1653	95.8%
FIBER CEMENT STUCCO BOARD	55	3.2%
ACCENT MATERIAL	17	1.0%
TOTAL SURFACE AREA	1725	

LEGEND

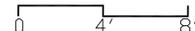
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL(ACCENT MATERIAL)



NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.

north/left(neighbor) elevation

SCALE: 1/4" = 1'-0"



ADDISON GROVE

ADDISON GROVE - BLOCK B - BUILDING 12

NORTH / LEFT ELEVATION



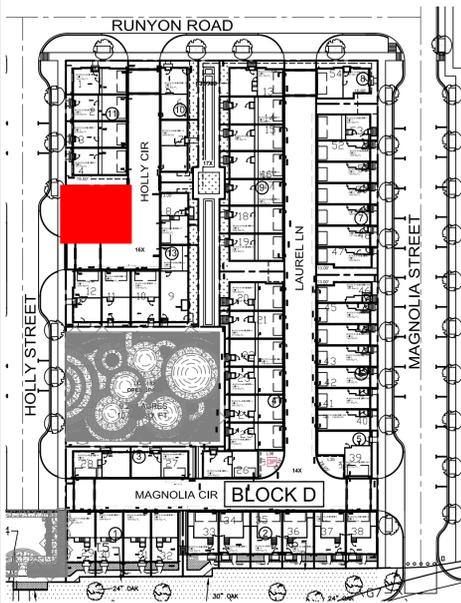
URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

PLAN NO.
3737

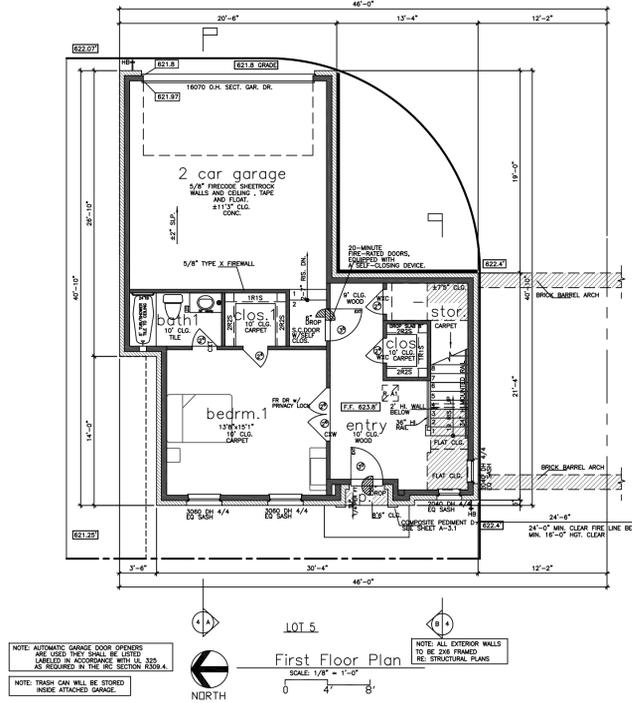
SHEET NO.
A-62

Drawn By/Checked By:
C.C./F.M.
Original Date Issued:
05/27/2021
Scale:
1/8" = 1'-0"
Last Updated:
06/03/2022

URBANINTOWNHOMES
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(713)961-3877 TEL (713)961-4270 FAX

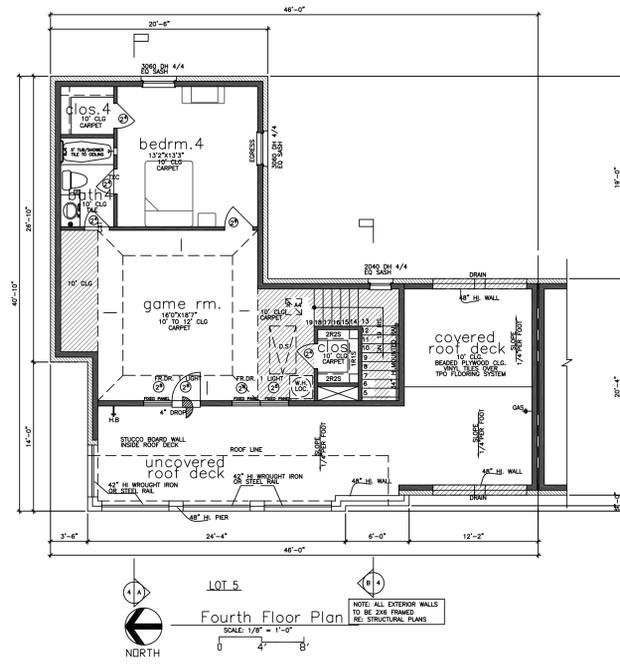
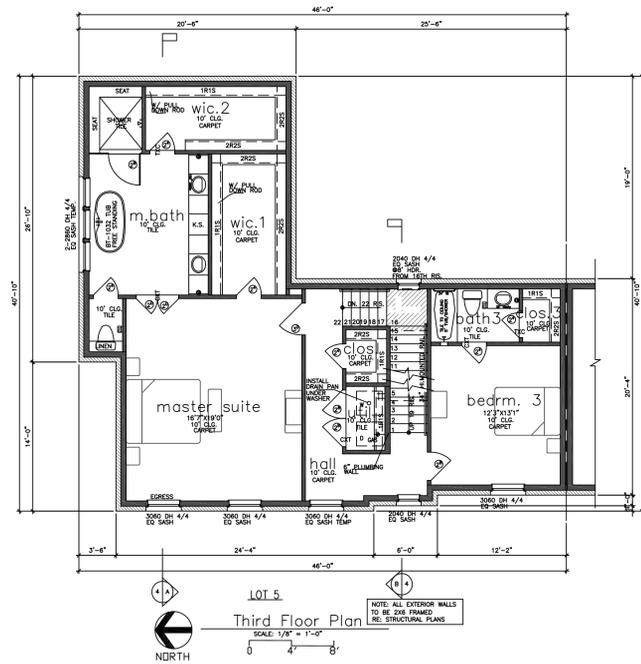
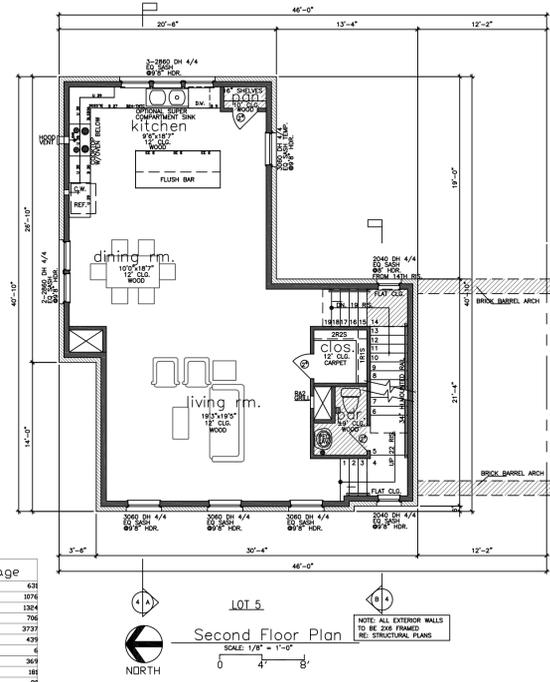


LIVING AREA(SQ. FT.)	BEDROOM
3737	4



Square Footage	
FIRST FLOOR	638
SECOND FLOOR	1076
THIRD FLOOR	1324
FOURTH FLOOR	760
TOTAL LIVING AREA	3737
GARAGE	438
PORCH	4
COVERED ROOF DECK	369
UNCOVERED ROOF DECK	181
AC DECK	90
TOTAL SLAB AREA	1076

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH AREA 2700-2003. NETUAL SQUARE FOOTAGE MAY VARY.



Drawn By/Checked By: C.C./F.M.
 Original Date Issued: 05/27/2021
 Scale: 1/8" = 1'-0"
 Last Updated: 06/03/2022

URBANTOWN HOMES

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ADDISON GROVE

ADDISON GROVE - BLOCK B - BUILDING 12

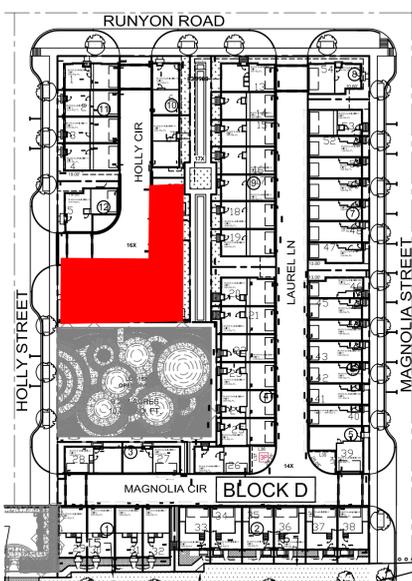
FLOOR PLANS

PLAN NO.
3737

SHEET NO.
A-63

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877

Town Project #:1833-Z

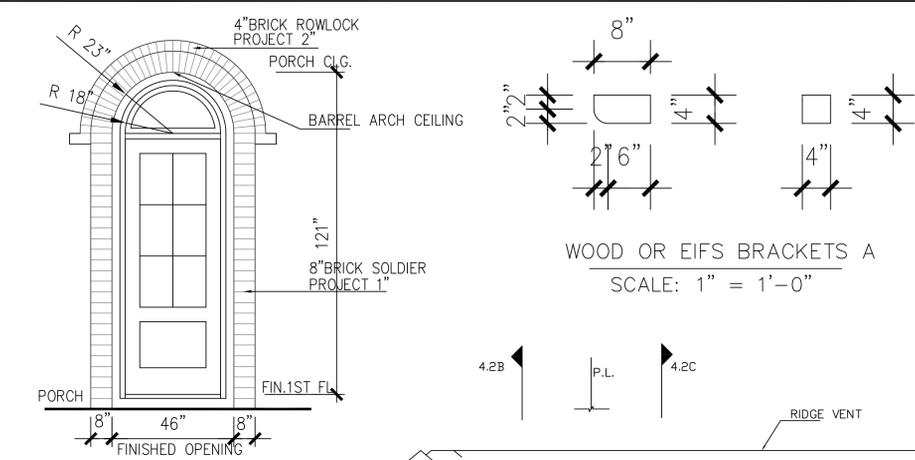


TOTAL MATERIAL CALCULATION TABLE		
BRICK	11798	82.8%
3-COAT CEMENT PLASTER SYSTEM	838	7.1%
FIBER CEMENT STUCCO BOARD	552	4.7%
ACCENT MATERIAL	639	5.4%
TOTAL SURFACE AREA	11798	

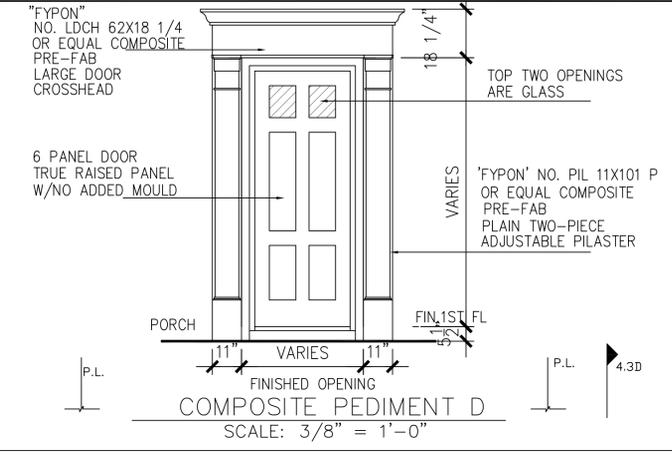
SOUTH/FRONT MATERIAL CALCULATION TABLE		
BRICK	2378	79.9%
FIBER CEMENT STUCCO BOARD	262	8.8%
ACCENT MATERIAL	337	11.3%
TOTAL SURFACE AREA	2977	

- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - STANDING SEAM METAL ROOF
 - COMPOSITE PEDIMENT (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - FIX. SHUTTER (ACCENT MATERIAL)
 - HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

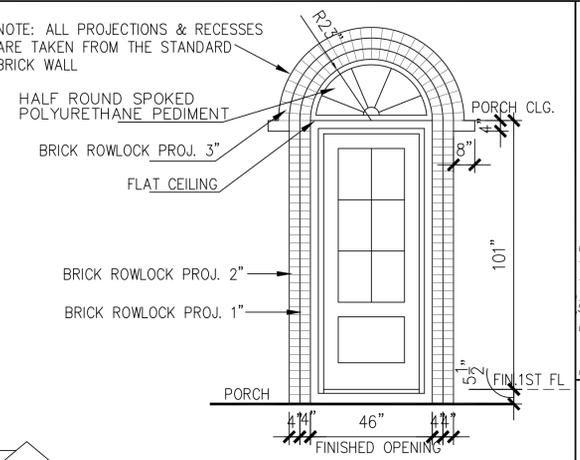
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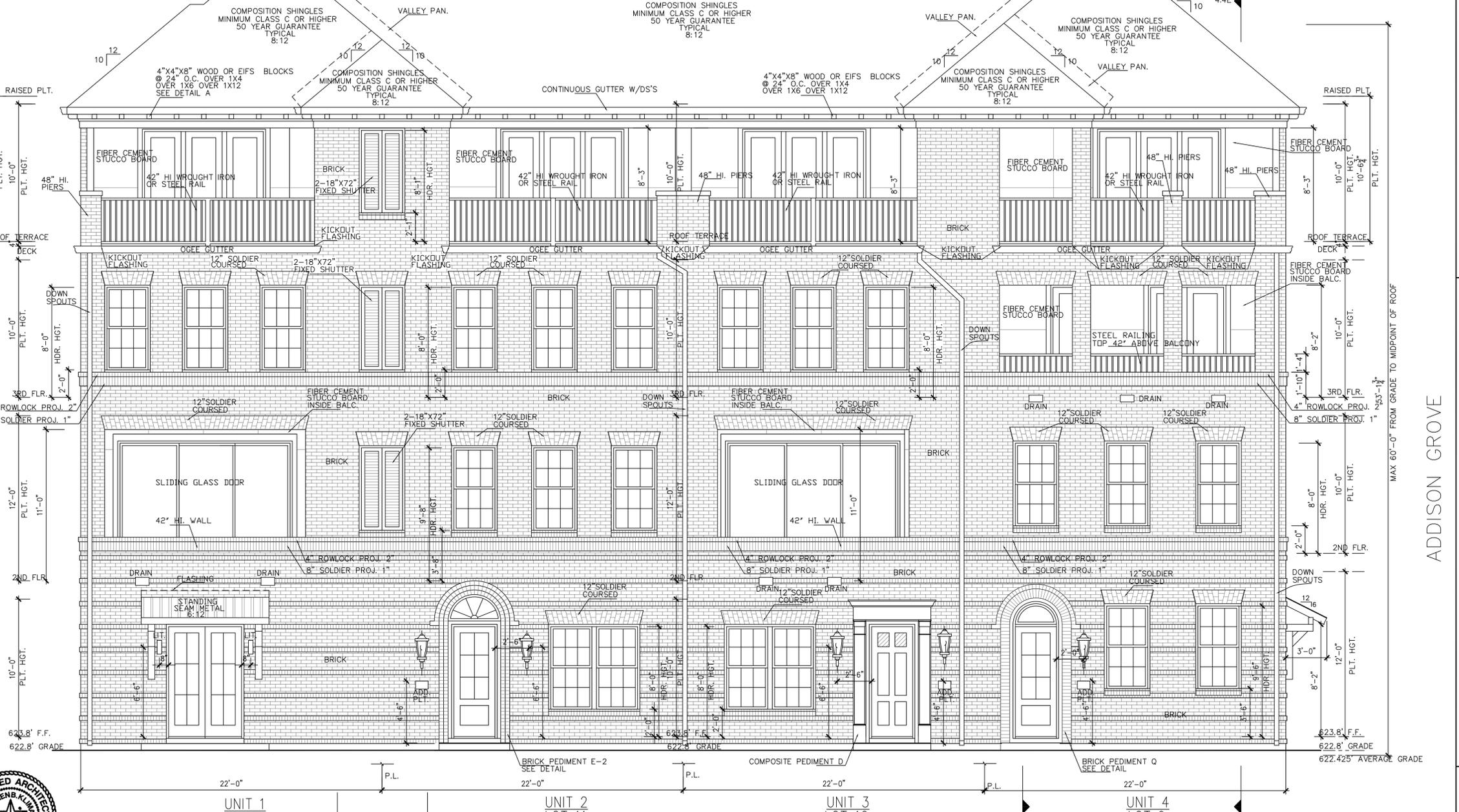
BRICK PEDIMENT Q
SCALE: 3/8" = 1'-0"



COMPOSITE PEDIMENT D
SCALE: 3/8" = 1'-0"



BRICK PEDIMENT E-2
SCALE: 3/8" = 1'-0"



south/front(public park) elevation
SCALE: 1/4" = 1'-0"



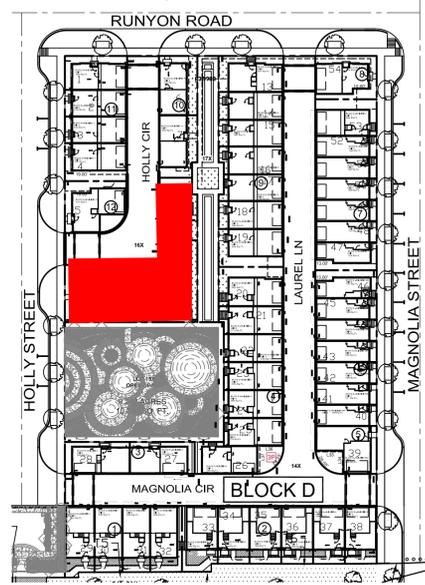
Drawn By/Checked By: J.Q./F.M.
Original Date Issued: 05/17/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

URBANINTOWNHOMES
2410 POLK ST., STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 13
SOUTH/FRONT ELEVATION

PLAN NO.	UNIT	NO.
3070	1	2894
2894	2	2790
2790	3	4115
4115	4	2759
2759	5	

SHEET NO. **A-64**



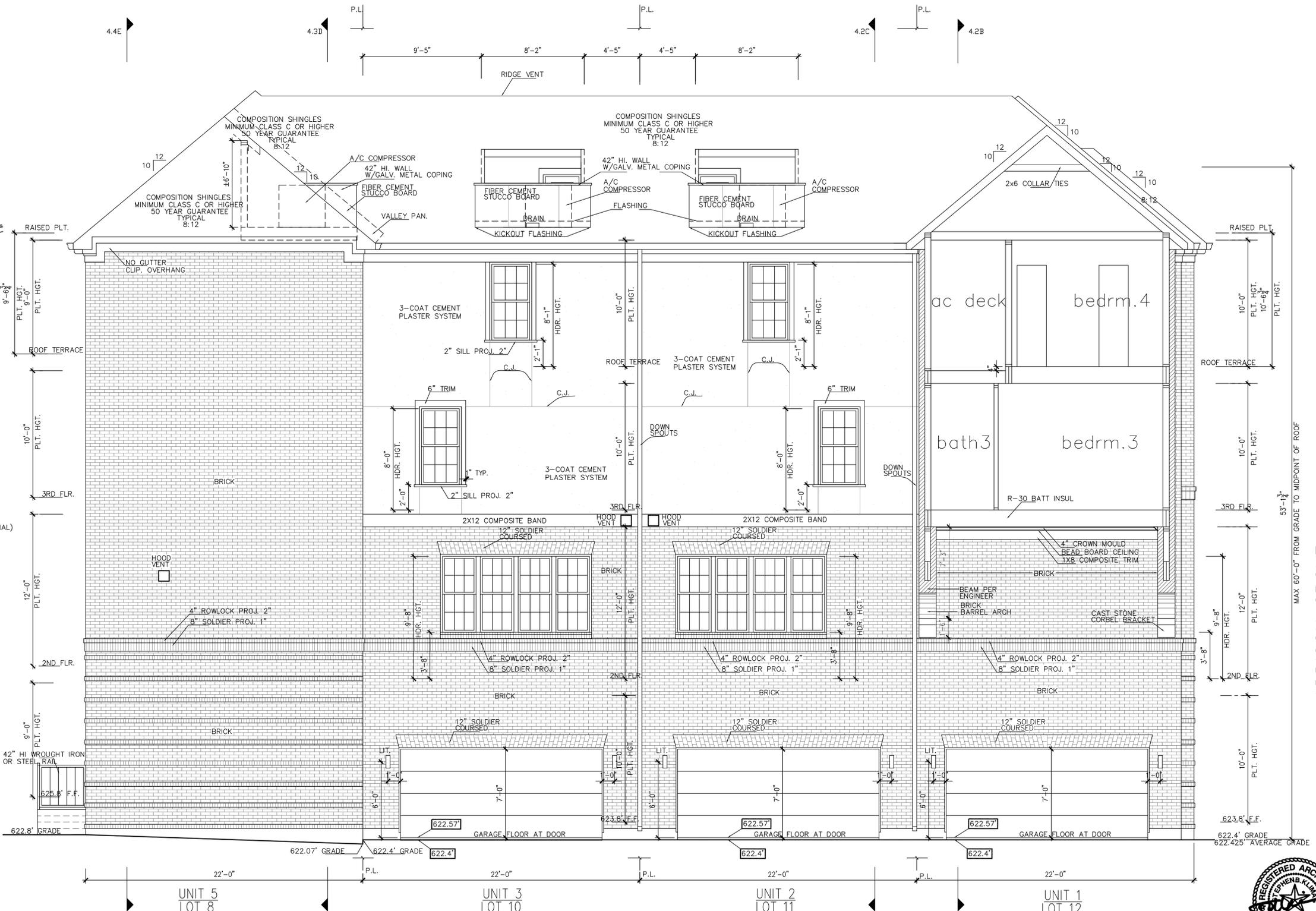
NORTH/REAR MATERIAL CALCULATION TABLE

BRICK	2431	71.0%
3-COAT CEMENT PLASTER SYSTEM	838	24.4%
FIBER CEMENT STUCCO BOARD	99	2.9%
ACCENT MATERIAL	57	1.7%
TOTAL SURFACE AREA	3425	

- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

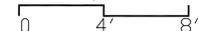
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north/rear(Holly Cir.) elevation

SCALE: 1/4" = 1'-0"



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

PLAN NO.	3070
UNIT 1	2894
UNIT 2	2790
UNIT 3	4115
UNIT 4	2759
UNIT 5	

SHEET NO.

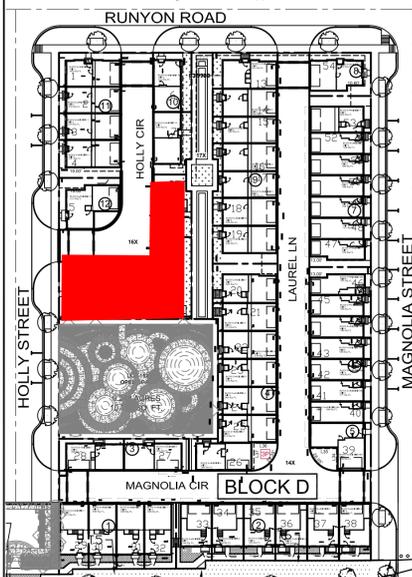
A-65

ADDISON GROVE - BLOCK D - BUILDING 13

NORTH/REAR ELEVATION

Drawn By/Checked By: J.Q./F.M.
 Original Date Issued: 05/17/2021
 Scale: 1/4" = 1'-0"
 Last Updated: 06/03/2022

2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX



LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- COMPOSITE PEDIMENT (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- FIX. SHUTTER (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

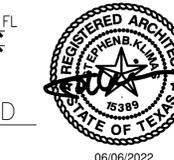
WEST/LEFT MATERIAL CALCULATION TABLE		
BRICK	1556	90.1%
FIBER CEMENT STUCCO BOARD	69	4.0%
ACCENT MATERIAL	101	5.9%
TOTAL SURFACE AREA	1726	

FACADE PLAN NOTES

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"FYPON"
NO. LDCH 62X18 1/4
OR EQUAL COMPOSITE
PRE-FAB
LARGE DOOR
CROSSHEAD

6 PANEL DOOR
TRUE RAISED PANEL
W/NO ADDED MOULD



Drawn By/Checked By: J.O./F.M.
Original Date Issued: 05/17/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022



LOT 5 west/front (HOLLY STREET) elevation

west/left (HOLLY STREET) elevation

UNIT 1 LOT 12 BUILDING 13

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 13

WEST/LEFT ELEVATIONS

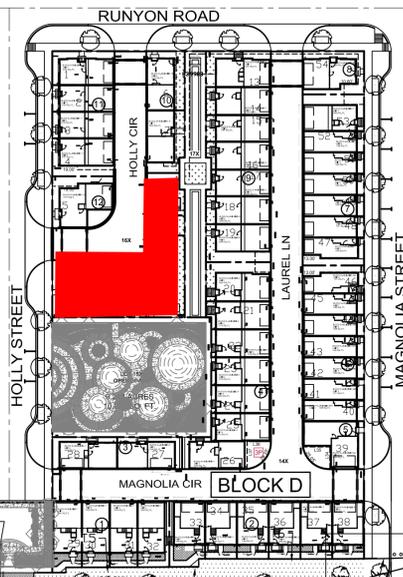
PLAN NO.	3070
UNIT 1	2894
UNIT 2	2790
UNIT 3	4115
UNIT 4	2759

SHEET NO.

A-66

URBAN INTOWN HOMES
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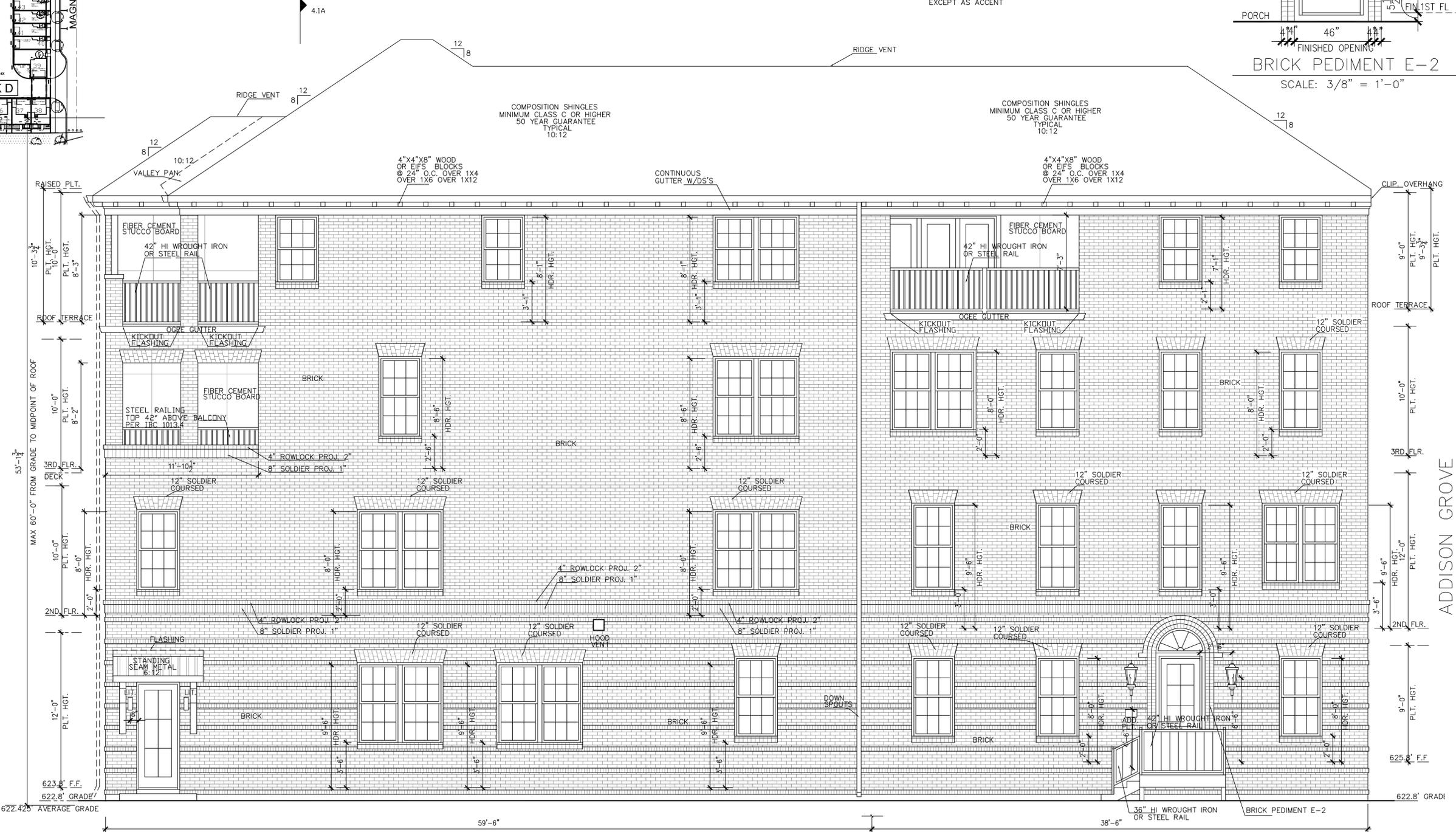
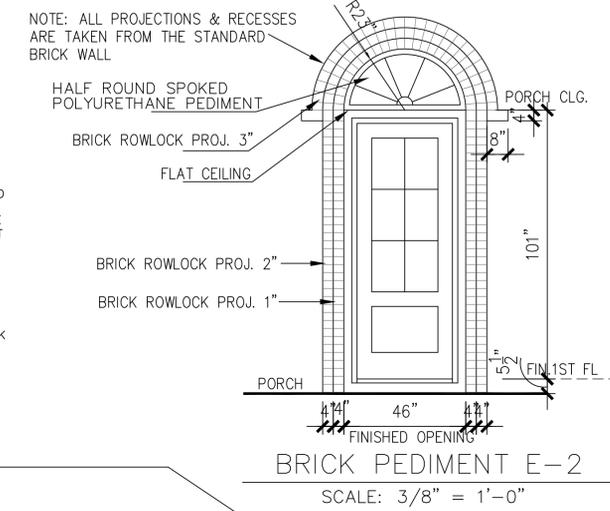


EAST/RIGHT MATERIAL CALCULATION TABLE		
BRICK	3404	92.8%
FIBER CEMENT STUCCO BOARD	122	3.3%
ACCENT MATERIAL	144	3.9%
TOTAL SURFACE AREA	3670	

- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - STANDING SEAM METAL ROOF
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)

FAÇADE PLAN NOTES

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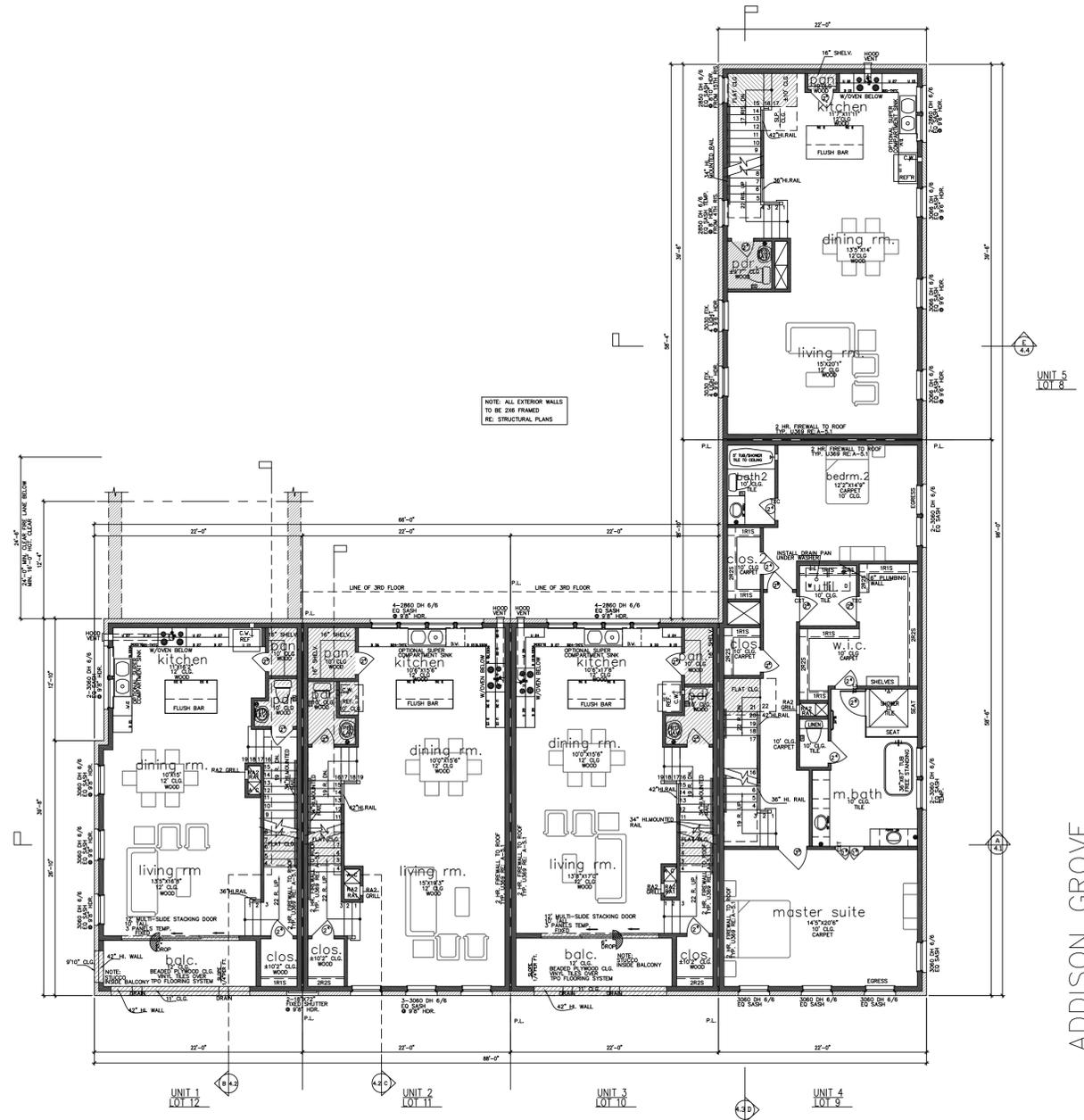
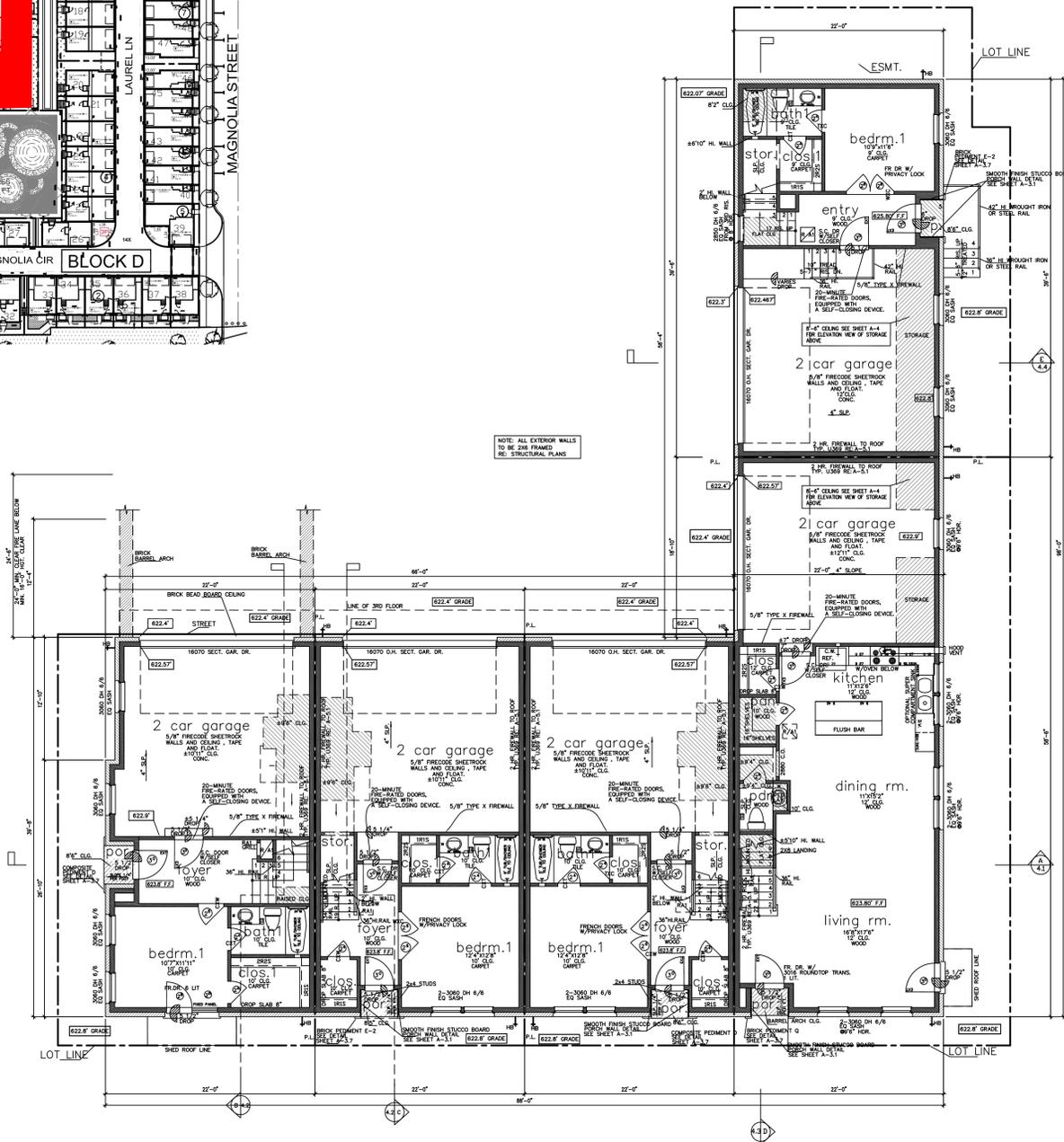
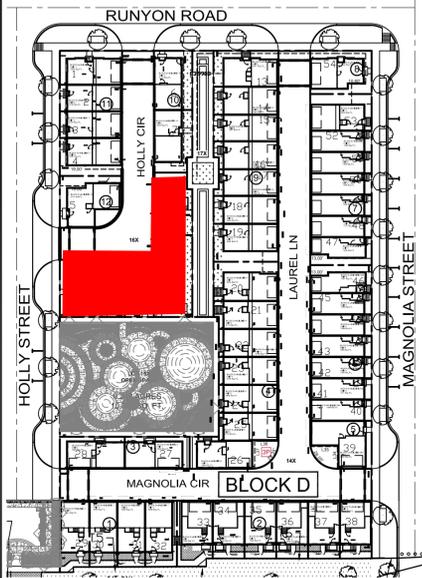
east/right(green space) elevation
SCALE: 1/4" = 1'-0"

Drawn By/Checked By: J.Q./F.M.
Original Date Issued: 05/17/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

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ADDISON GROVE - BLOCK D - BUILDING 13
EAST/RIGHT ELEVATIONS

PLAN NO. 3070
UNIT 1 2894
UNIT 2 2894
UNIT 3 2790
UNIT 4 4115
UNIT 5 2759
SHEET NO. **A-67**



First Floor Plan
SCALE: 1/8" = 1'-0"

Second Floor Plan
SCALE: 1/8" = 1'-0"

Unit 1 square footage

FIRST FLOOR	244
SECOND FLOOR	1021
THIRD FLOOR	1021
ROOF TERRACE	800
TOTAL LIVING AREA	3070
PORCH	12
GARAGE	448
BALCONY	95
COVERED ROOF DECK	147
UNCOVERED ROOF DECK	109
AC DECK	45
TOTAL SLAB AREA	861

Unit 2 square footage

FIRST FLOOR	465
SECOND FLOOR	744
THIRD FLOOR	875
ROOF TERRACE	495
TOTAL LIVING AREA	2894
PORCH	11
GARAGE	222
BALCONY	33
COVERED ROOF DECK	53
UNCOVERED ROOF DECK	147
AC DECK	80
TOTAL SLAB AREA	872

Unit 3 square footage

FIRST FLOOR	465
SECOND FLOOR	744
THIRD FLOOR	875
ROOF TERRACE	495
TOTAL LIVING AREA	2894
PORCH	11
GARAGE	222
BALCONY	33
COVERED ROOF DECK	53
UNCOVERED ROOF DECK	147
AC DECK	80
TOTAL SLAB AREA	872

Unit 4 square footage

FIRST FLOOR	639
SECOND FLOOR	897
THIRD FLOOR	906
ROOF TERRACE	443
TOTAL LIVING AREA	4115
PORCH	4
GARAGE	482
BALCONY	222
COVERED ROOF DECK	179
UNCOVERED ROOF DECK	88
AC DECK	80
TOTAL SLAB AREA	1287

Unit 5 square footage

FIRST FLOOR	379
SECOND FLOOR	864
THIRD FLOOR	864
ROOF TERRACE	443
TOTAL LIVING AREA	2759
PORCH	4
GARAGE	482
BALCONY	222
COVERED ROOF DECK	179
UNCOVERED ROOF DECK	88
AC DECK	80
TOTAL SLAB AREA	1287

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	3070	4
UNIT 2	2894	4
UNIT 3	2790	4
UNIT 4	4115	5
UNIT 5	2759	4



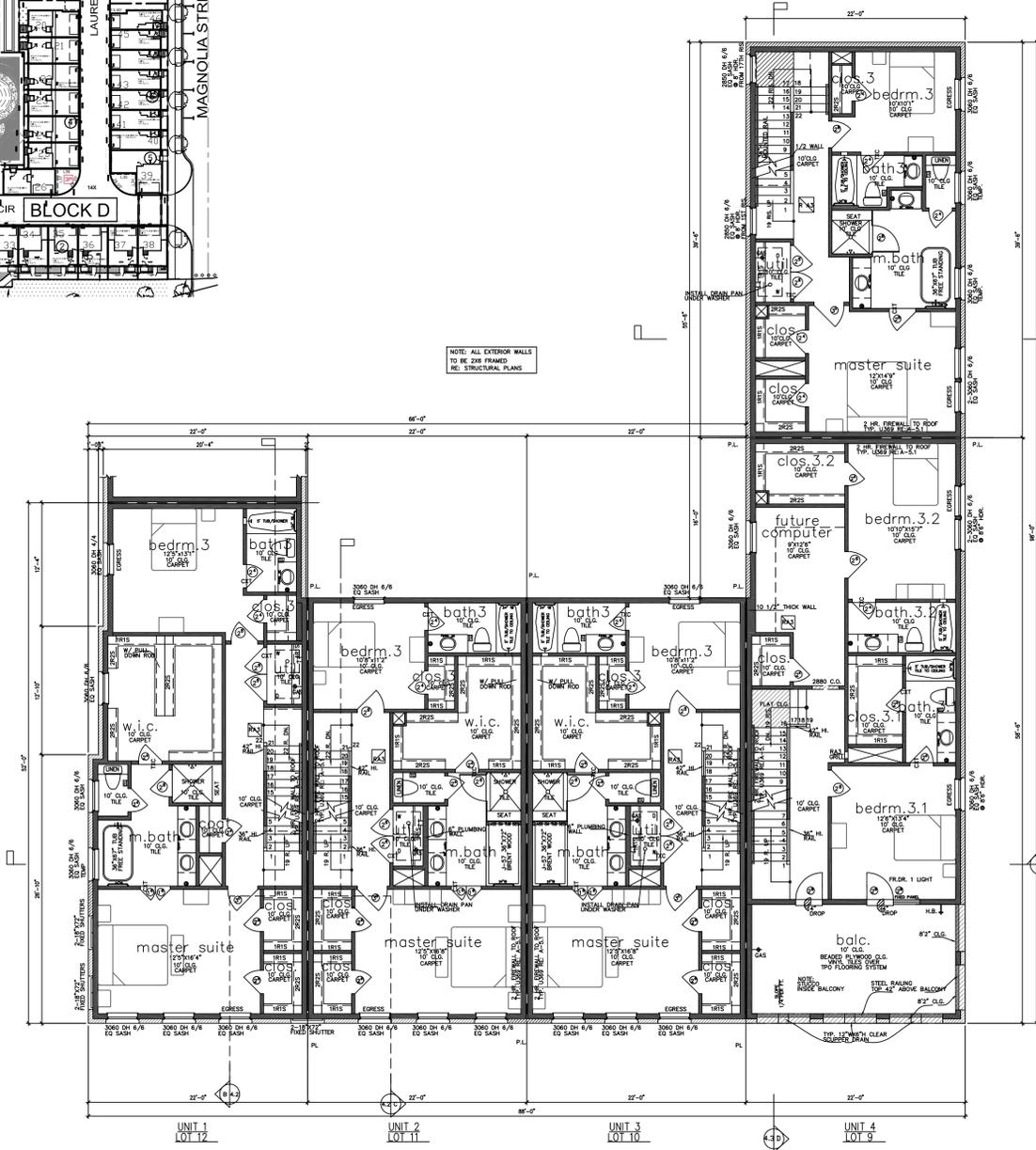
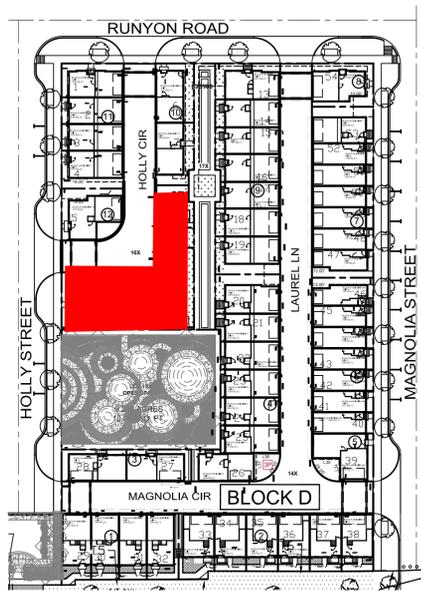
URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Drawn By/Checked By: J.O./F.M.
Original Date Issued: 05/17/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

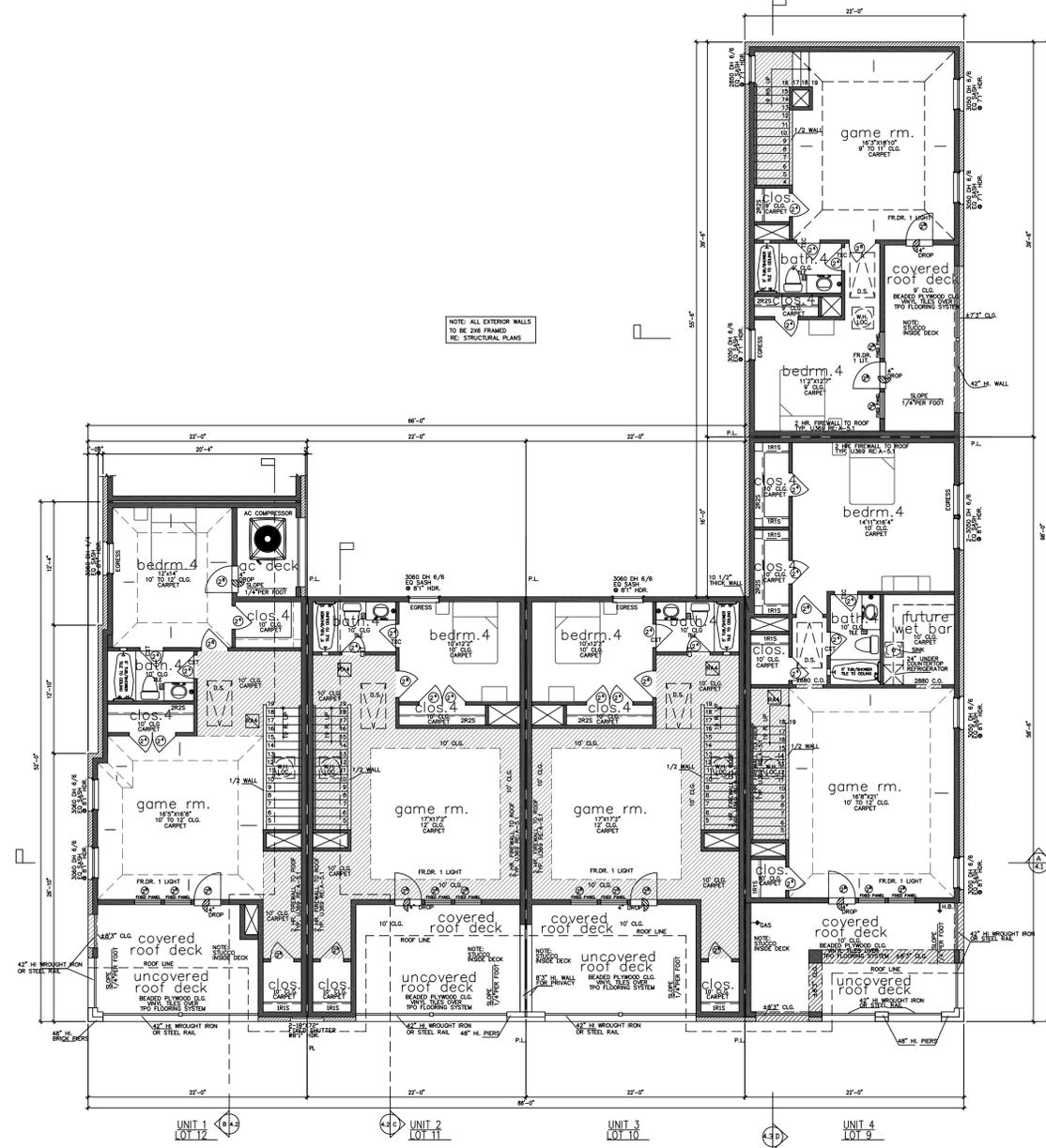
ADDISON GROVE - BLOCK D - BUILDING 13
2410 POLK ST., STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE
FLOOR PLANS
SHEET NO. A-68

Town Project #: 1833-Z



Third Floor Plan
NORTH
SCALE: 1/8" = 1'-0"



Roof Terrace Plan
NORTH
SCALE: 1/8" = 1'-0"



06/06/2022

URBAN INTOWN HOMES
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ADDISON GROVE - BLOCK D - BUILDING 13
2410 POLK ST., STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 13	
PLAN NO.	3020
UNIT 1	2894
UNIT 2	2790
UNIT 3	4115
UNIT 4	2759
UNIT 5	

SHEET NO.
A-69

Planning & Zoning Commission
Meeting Date: 06/21/2022

4.

Agenda Caption:

Present and Discuss the **Draft Report for the Sam's Club Special Area Study.**

Attachments

Staff Report - Sam's Club Special Area Study Draft Report
Sam's Club Special Area Study Draft Report



June 17, 2022

STAFF REPORT

RE: Sam's Club Special Area Study Draft Report

LOCATION: 79± acres at the western frontage of Midway Road, between Belt Line Road and Hornet Road

REQUEST: Present and Discuss the Draft Report for the Sam's Club Special Area Study

APPLICANT: Town of Addison

DISCUSSION:

Background: In April 2021, the City Council approved a professional services agreement for a planning consultant and appointed a project advisory committee to complete the Sam's Club Special Area Study.

The study of this area began in 2014, in accordance with policy direction provided within the 2013 Comprehensive Plan. At that time, the City Council chose to study an area of land generally running from the former Sam's Club site south along the Midway Corridor, including the Midway Square Shopping Center and Office in the Park. At the conclusion of that process in 2015, the City Council only provided direction on the portion of the study area that was the former Sam's Club property. The vision for the other areas within the study was never finalized.

With the establishment of a 17 member project advisory committee for this re-initiated special project, the City Council directed staff to expand the study area to the south to include commercial properties situated between Office in the Park and the Greenhill School campus.

Following initiation of the project, the project team and project advisory committee met three times. The Town also hosted two community open houses at the Addison Athletic Club in order to receive broader community feedback at key milestones in the project. Following the second community open house, the advisory committee shared their strong desire for additional discussion and refinement of the direction of the study. The committee was deeply committed to developing recommendations that respect existing neighborhoods and businesses and at that time, they did not feel that the process had achieved that intent.

The feedback shared by the committee resulted in a shared commitment from Town staff and the committee to carry out a much more open-ended dialogue on the future of the study area. That commitment resulted in four additional meetings between the advisory committee and staff. The outcome of those meetings is reflected in the Sam's Club Special Area Study Draft Report that is included with this agenda memo.

With this presentation, staff seeks feedback and direction from the Planning and Zoning Commission. The draft report is included in this packet, and it can also be viewed at the [Sam's Club Special Area Study project website](#).

In addition to the draft report, an appendices document comprised of supporting project documents is provided at the above link.

RECOMMENDATION: DISCUSS AND PROVIDE DIRECTION

The purpose of this presentation is to share the draft report with the Commission and the community and provide a summary of its recommendations. Staff will place this item on the July 19, 2022, Planning and Zoning Commission agenda as a public hearing and to request Commission action. Following this meeting, feedback on the draft report can be shared with the Town's Director of Development Services, Ken Schmidt.



ADDISON

SAM'S CLUB SPECIAL AREA STUDY

June 17, 2022

DRAFT

ACKNOWLEDGEMENTS

Addison City Council

Joe Chow, *Mayor*

Kathryn Wheeler, *Mayor Pro Tempore*

Lori Ward, *Deputy Mayor Pro Tempore*

Tom Braun, *Council Member*

Darren Gardner, *Council Member*

Guillermo Quintanilla, *Council Member*

Eileen Resnik, *Council Member*

Paul Walden, *Former Council Member*

Marlin Willesen, *Former Council Member*

Project Advisory Committee

Al Cioffi

Nancy Craig

Susan Halpern

Peter Jessiman

Judy Lindloff

Steve Loras

Alex McCutchin

Sue Milholland

Bill Park

Marvin Perez

Eileen Resnik

Lorrie Semler

Austen Spoons

Dan Stansbury

Nancy Williams

Ron Whitehead

Kathie Wood

Key City Staff

Wes Pierson

City Manager

Ashley Shroyer

Deputy City Manager

Ken Schmidt

Director of Development Services

Orlando Campos

Director of Economic Development & Tourism

Shannon Hicks

Director of Public Work & Engineering

Mary Rosenbleeth

Director of Marketing & Communications

Janna Tidwell

Director of Parks & Recreation

Project Consultant Team

Strategic Community Solutions

Karen Walz

Kimley-Horn & Associates

Mark Bowers

Daniel Acevado

Jessica Rossi

Katie Urdiales

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STUDY BACKGROUND

Past Planning Efforts

In 2014, the Town of Addison began a Special Area Study for the area near the Midway Road - Belt Line Road intersection that included the Sam's Club superstore. This area had been identified in the Town's 2013 Comprehensive Plan as one that should have a plan "in the event that the Sam's Club closed". This closure happened during that study. For this study, the Town appointed a nine-member Advisory Committee to provide community input and hired a consultant team for professional assistance.

This Committee met three times over the course of three months and prepared a recommendation regarding the future land use of this area. Additional input from residents and property owners was received at a community meeting. The findings of this study were presented to the Council in December 2014 and again in March 2015. At that time, the City Council only provided direction on the portion of the study area that was the former Sam's Club property. The vision for the other areas within the study was never finalized.

Current Study

In 2021, the Town decided to start an effort to complete a plan for the previous study area as well as an additional area to its south. The catalyst for this planning effort was anticipated redevelopment interest in the Midway corridor. Having a policy in place to guide this investment is critical to the future of the corridor.

Consultant assistance was secured through a team led by Strategic Community Solutions LLC, with Kimley-Horn and Associates, Inc. providing urban design and economic/market assistance as a subconsultant. The planning process, including community engagement, began in April 2021. This process concluded with recommendations by the Advisory Committee in March 2022. The 2021 project is the subject of this report and the recommendations it contains.

The objectives for this study are:

1. Update the analysis of this study area to reflect current conditions, market opportunities, and the new development that has occurred since the original study.
2. Create a concept for the study area's future development that can be used to communicate with property owners, potential buyers and neighbors.
3. Create a plan the Town can use to evaluate future requests for rezoning, infrastructure planning, and other development approvals.

Study Area

The study area for the project is shown in Exhibit 1. It is bounded by Belt Line Road on the north, Midway Road on the east, Hornet Road on the south, and the easterly boundaries of existing residential developments on the west. It contains 79 acres of land.

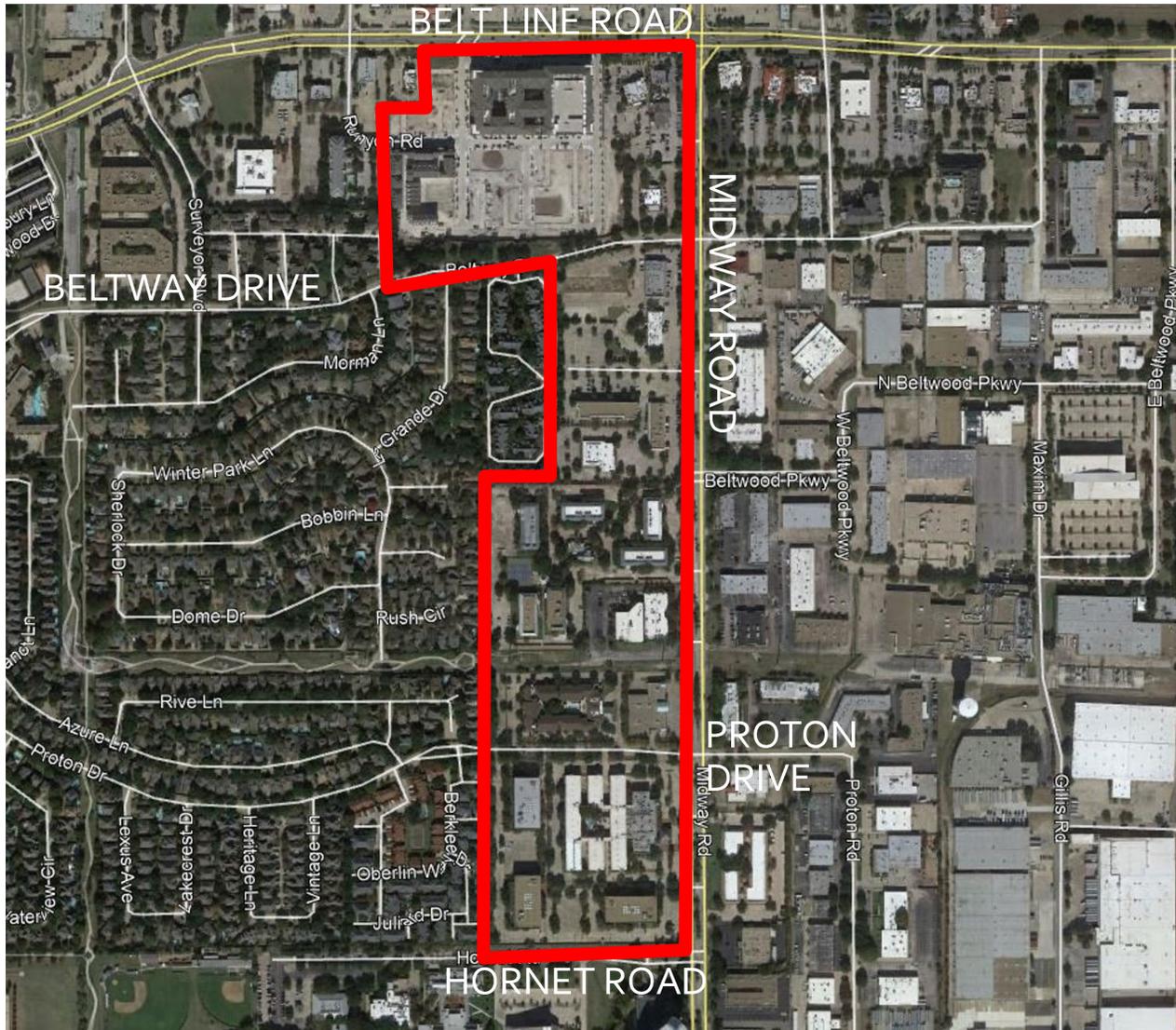
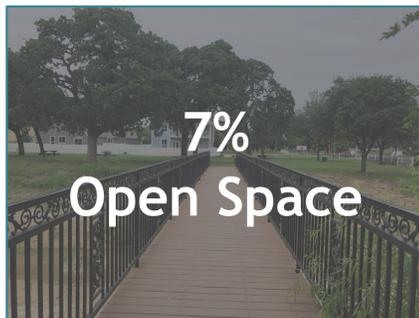
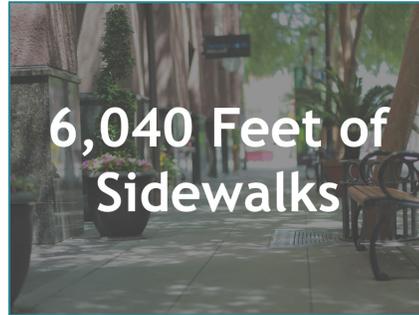


Exhibit 1: Study Area

Study Area Snapshot

A background analysis was conducted for the study area, providing the planning team and area stakeholders with a general understanding of land use patterns, ownership composition, zoning, and other items of relevance to the plan. As Exhibit 2 shows, the Study Area consists generally of 12% residential, 74% commercial and 7% mixed-use land uses. Buildings occupy about 28% of the area, and 7% of the area is dedicated to open space. The background analysis included a detailed mapping of several themes of importance to the study, described below.



79 Total Acres

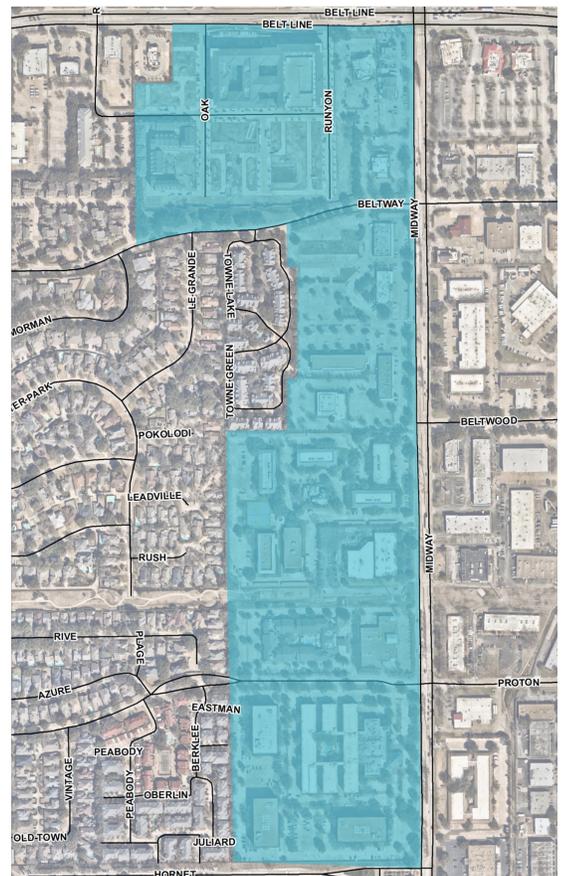


Exhibit 2: Study Area Snapshot

Existing Development Character

With the exception of the Addison Grove neighborhood, most buildings in the study area were constructed in the 1980s. The Midway Road frontage is generally characterized by mature trees and low-rise buildings supporting restaurant, hospitality, and office uses, with parking situated between the buildings and this major arterial roadway. This development pattern continues as you traverse west through the study area, with larger surface parking lots supporting the commercial uses. Pedestrian connectivity in this area is fairly limited, as the Midway Road frontage is bifurcated by many site access drives.

With much of the development in this area approaching 40 years in age, many of the existing buildings, as well as public and private infrastructure are experiencing decline, and the economic conditions of the pandemic have accelerated that trend for office and hotel properties.



Exhibit 3: Existing Development Character

Existing Land Use & Parcel Ownership

The Study Area consists of predominately commercial uses, with the breakdown of commercial consisting of office at 30.2%, hotel at 15.7%, restaurant at 20.6%, commercial vacant (refers to individual properties that are vacant, not building utilization) at 4.3% and retail at 2.5%. Residential uses are located within mixed-use at 7%, and single-family attached at 12.5% (both of which are in the Addison Grove development). Just over 7% of the Study Area is dedicated to open space.

Excluding the new homeowners in Addison Grove, the 19 large individual parcels within the Study Area are owned by 17 individuals or ownership groups. This creates a need for a high level of coordination on the part of the Town to ensure that future redevelopment of the area is not fragmented, but rather planned in a way that achieves the overall objectives for the area.

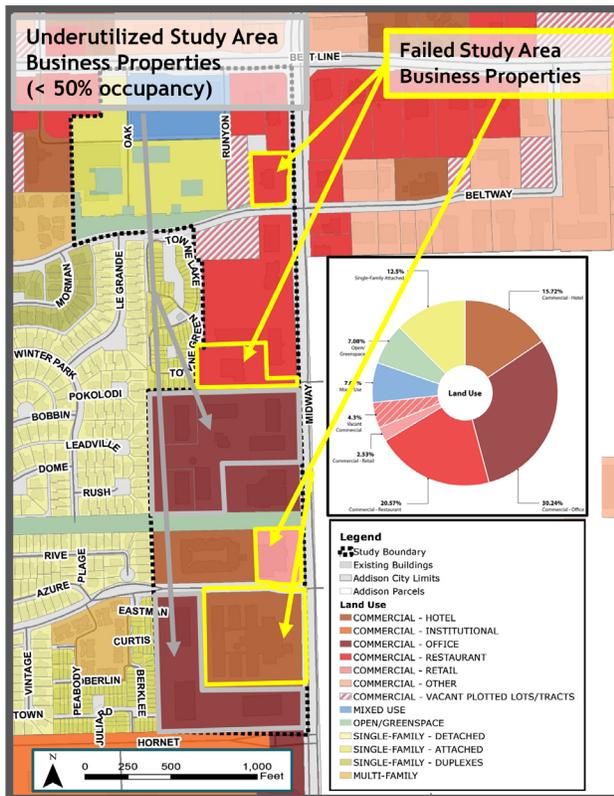


Exhibit 4: Existing Land Use

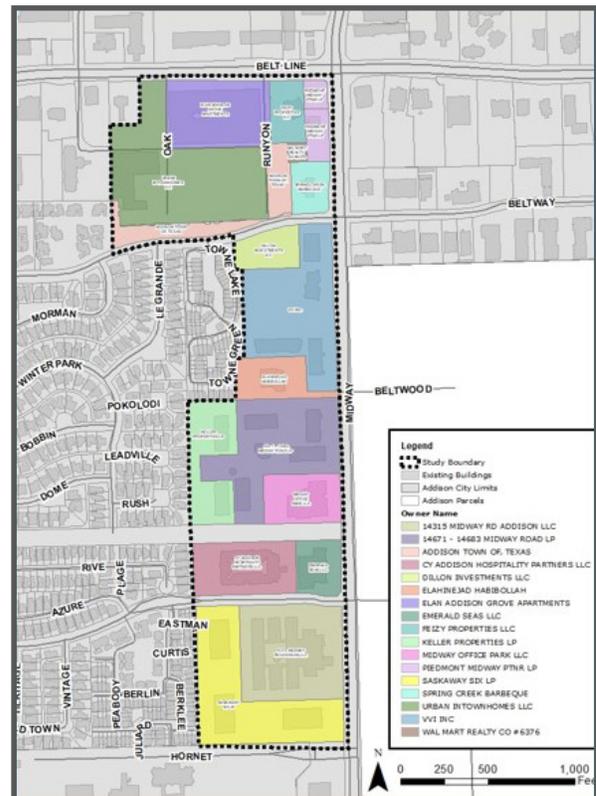


Exhibit 5: Parcel Ownership

Master Transportation Plan and Trail Master Plan

The edge of the Study Area is bounded by Midway Road (a major arterial) which provides a high level of visibility to the Study Area, particularly toward the intersection with Belt Line Road at the northern end of the Study Area where the traffic counts are highest. Signalized intersections are located at Midway/Belt Line, Midway/Beltway, Midway/Proton and Midway/Hornet.

Proton and Beltway are both classified as Residential Collectors. As redevelopment occurs in the Study Area, it will be critical to carefully balance access to and from these roadways to minimize negative traffic impacts on the greater Addison community. Additionally, as Midway is currently being reconstructed, the Master Thoroughfare Plan exhibit has highlighted the future locations of median cuts along Midway Road to provide a better understanding of future access to and from the Study Area.

The Trail Master Plan calls for a trail at the western edge of Midway Road (the reconstruction of Midway Road is planned to accommodate this facility). Local shared-use trails are planned throughout the Study Area between Proton and Beltway. Opportunities exist to incorporate these trail connections as the properties in this area redevelop in the future.

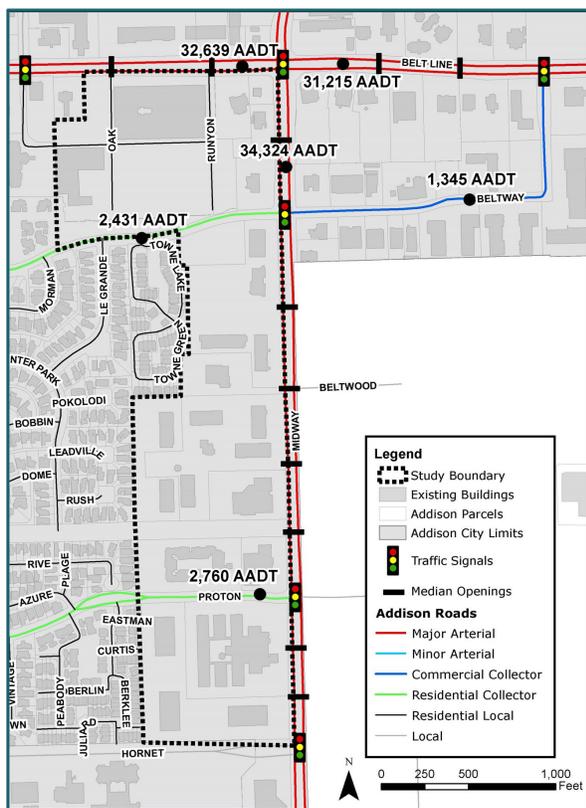


Exhibit 6: Master Transportation Plan

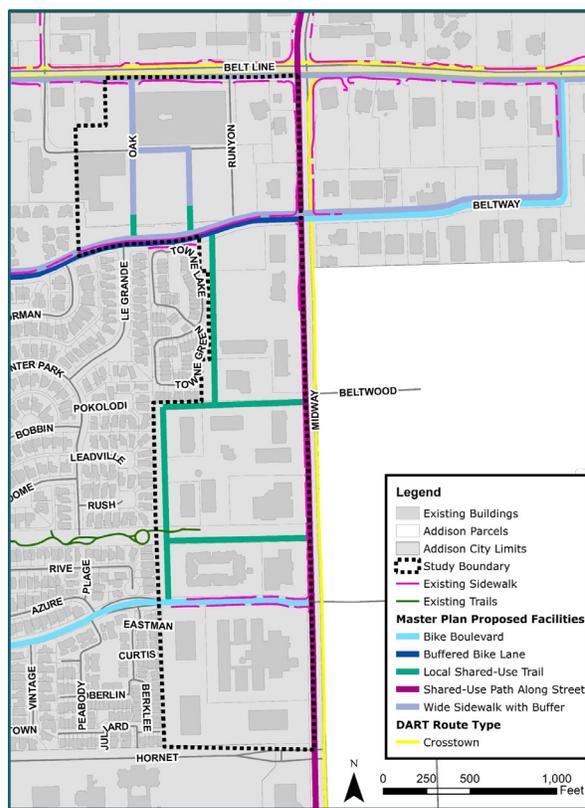


Exhibit 7: Trail Master Plan

Demographic Snapshot - People

The Town of Addison had an estimated 17,895 residents in 2020, an increase of 37.1% from 2010. On average, residents of Addison are younger and more diverse when compared to the larger Dallas Metroplex. Additionally, households are smaller, with less than two persons per household, are less likely to own their home, and have fewer children.

Psychographics for the Town of Addison reflect a diverse group of residents with varying housing and shopping preferences. More than one-half of the households in Addison align with characteristics described as Metro Renters, followed by Urban Chic at 22.2% and Enterprising Professionals at 11.4%. The top three segments all represent young, up-and-coming professionals that desire a range of housing options close to employment, shopping, and entertainment. Detailed descriptions of the Town’s psychographic profile can be found in Appendix 5.

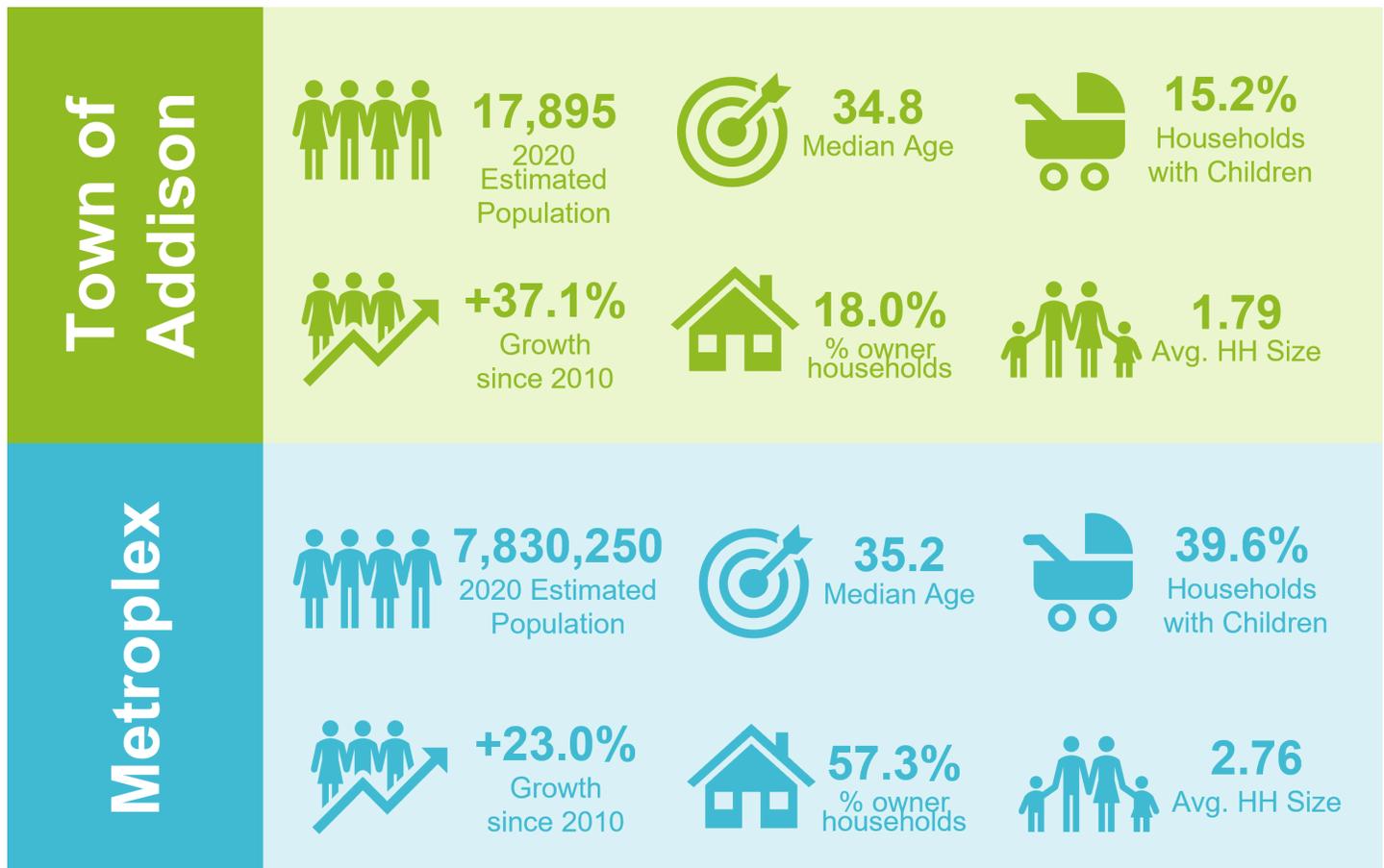


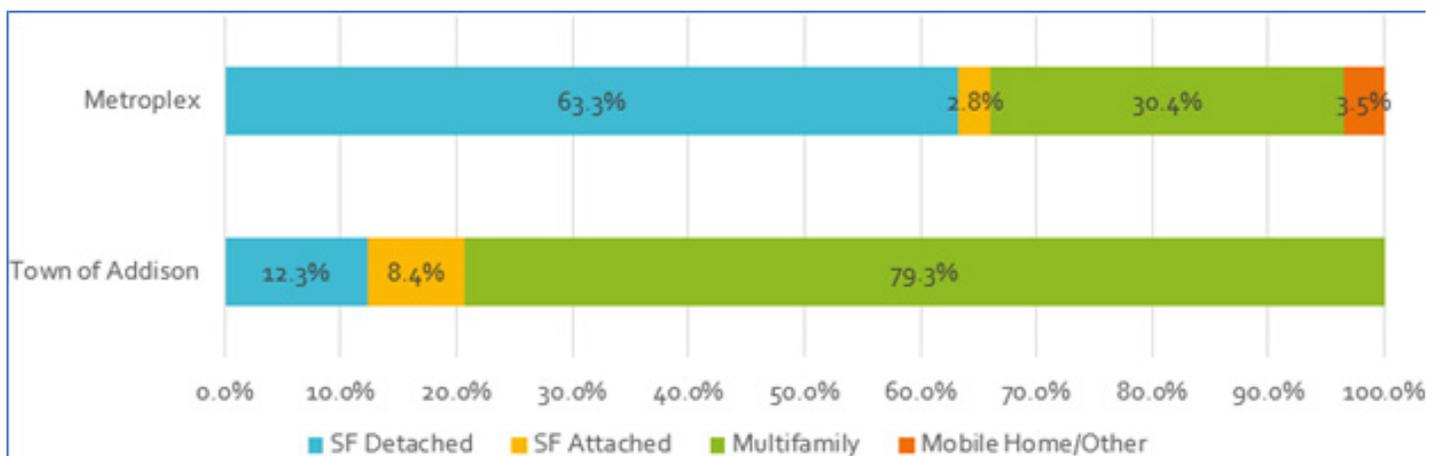
Exhibit 8: Demographic Snapshot - People

Demographic Snapshot - Housing

The housing stock in Addison is comprised of over 11,000 dwelling units. Nearly 80% of all housing units are multifamily units, compared to approximately 30.4% across the Metroplex.

The comparatively higher average of multifamily units reflects an intentional difference in growth approaches chosen by the Town compared to other communities in the region. In fact, multifamily development has been a component of support for the Town's successful economic base, providing housing to the talent pool that has attracted Professional Services and Finance and Insurance jobs. However, it should be noted that owner-occupancy is forecasted to increase gradually in the coming years.

Median home values and multifamily rental rates have both increased significantly since the data for this analysis was collected. With recent inflation and interest rate increases, rental rates will likely continue to grow, while the home sales market may see some movement towards stabilization.



Source: US Census; ESRI BAO; Kimley-Horn

Exhibit 10: Demographic Snapshot - Housing

Economic Snapshot - Employment

More than 110,000 jobs are located in Addison, equating to approximately 6.2 jobs per resident. This measure is notably higher than 0.44 jobs per resident across the larger Dallas Metroplex and speaks to the importance of Addison as an economic anchor for the larger region. Professional Services jobs comprise the highest share of the total in Addison at nearly 20% of the total. Other notable job concentrations in Addison include Finance and Real Estate, Leisure and Hospitality, and Retail Trade. The largest industry in the Dallas Metroplex is Retail Trade, comprising 14.7% of the total.

Residents of Addison are more likely to hold a Bachelor's Degree (51.7% of the population aged 25 or greater) and more commonly participate in a white-collar occupation when compared to the Dallas Metroplex. This translates to higher median household incomes at \$76,929, compared to \$73,903 for the Metroplex.

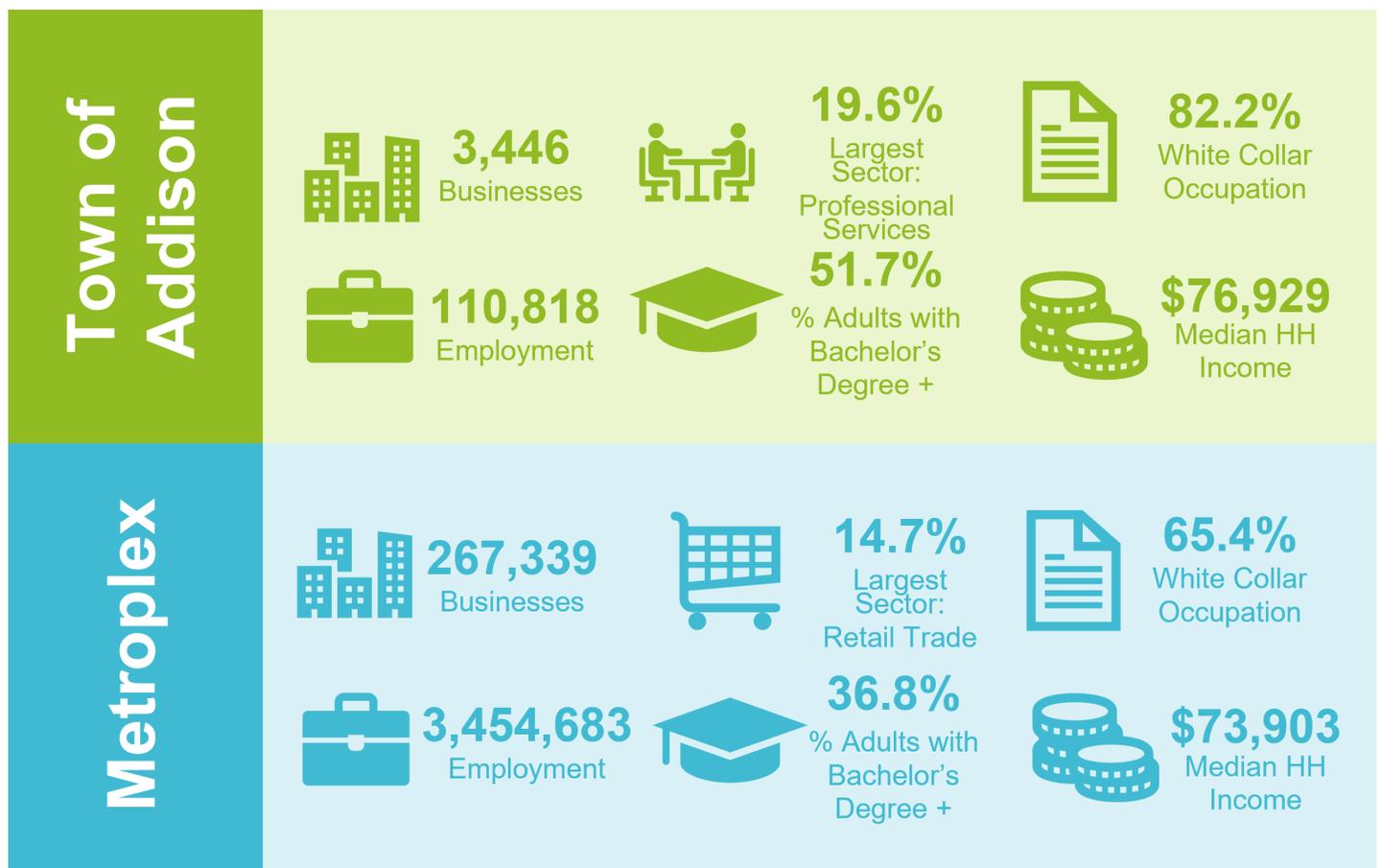


Exhibit 10: Economic Snapshot - Employment

Economic Snapshot - Retail Sales

Nationally, the retail real estate sector was significantly impacted by the COVID-19 pandemic. Impacts of the pandemic were also present in Addison, where vacancy rates for retail space increased, and quoted lease rates stagnated. As of second-quarter 2021, the retail vacancy rate in Addison remained elevated at 10.4%. It should be noted that the Addison vacancy was lower than the regional average of 12.8%. Average rent per square foot was \$22.13, a slight decrease from the beginning of 2021. These trends have improved significantly as pandemic conditions improved, but are now being influenced by ongoing inflation challenges.

The graphics below total annual retail sales, consumer expenditures, and retail surplus in the Trade Area. The defined Trade Area had a \$1.78 billion retail surplus, which means people are attracted from outside the Trade Area for shopping, dining, and entertainment. Proximity to major transportation thoroughfares and employment centers helps bolster sales within the Trade Area from non-residents.

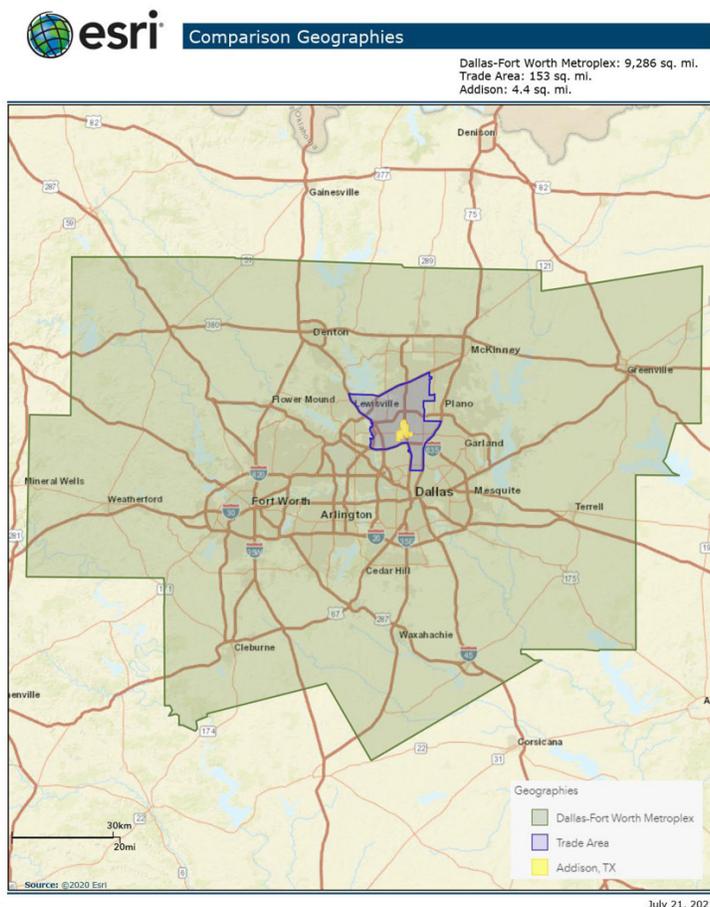


Exhibit 11: Trade Area Map



Source: ESRI; Kimley-Horn

Exhibit 12: Economic Snapshot - Retail Sales

PLANNING PROCESS

Planning Process

The planning process for this study included both professional analysis and community engagement. Exhibit 13 shows the timeline for the study, which began in April 2021 and is anticipated to conclude with City Council consideration of recommendations in August 2022.

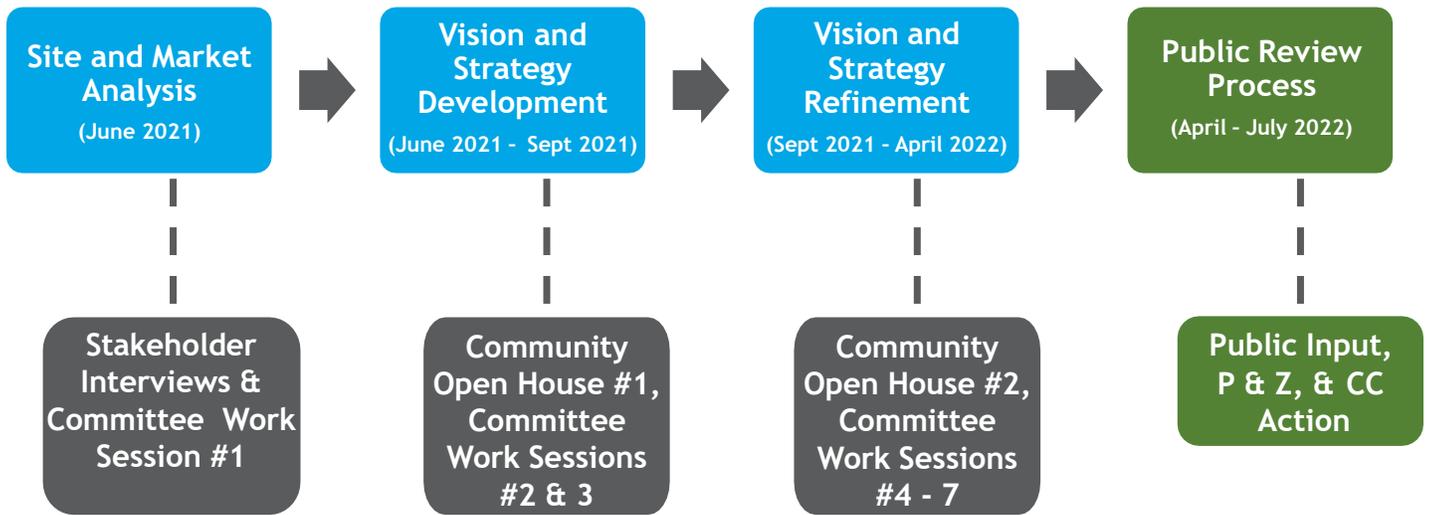


Exhibit 13: Planning Process

Study Phases

The three phases of this study included:

Phase I - Site and Market Analysis

This phase was designed to update the analysis and information from the previous study and to gain current information on the study area and community perspectives. Town staff provided current information and plans; the consultant team updated the background data, mapping, and analysis of demographic and market conditions. Community engagement during this phase included stakeholder interviews, the first online survey, and the Advisory Committee's initial meeting. An initial draft of potential Strategic Direction for the Study Area was developed based on this analysis and input.

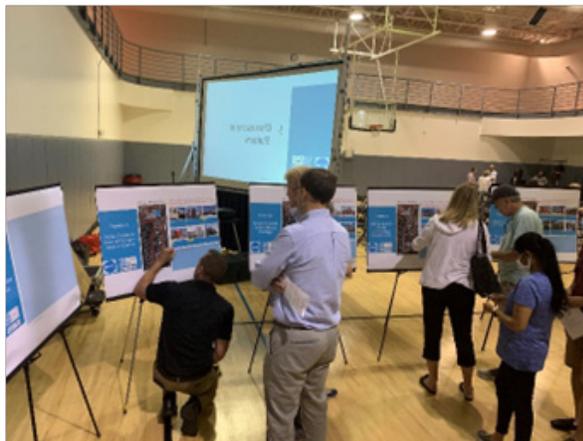
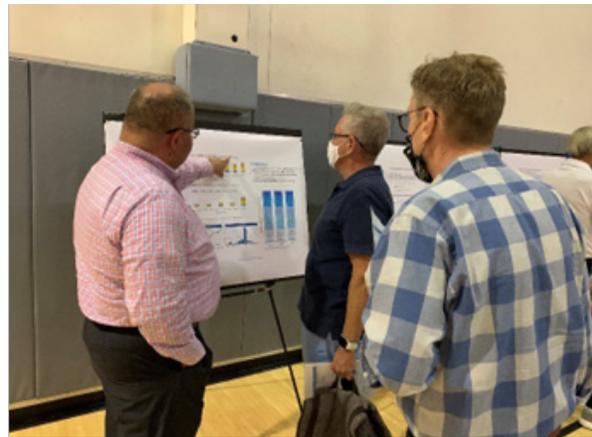
Phase II - Vision and Strategy Development

The second phase focused on creating concepts for the area's future development that carry out this initial Strategic Direction and respond to the analysis and community input from Phase 1. A preliminary Development Concept was developed and refined through discussion at Advisory Committee meetings and the first Community Open House event.

Phase III - Vision and Strategy Refinement

The third phase began with additional input received through the second Community Workshop and online survey. This feedback supported some aspects of the concept but opposed others; in particular, some community members were vocal in their opposition to apartments in the area. A revised Development Concept was discussed at the Advisory Committee's October meeting. The Committee determined that more discussion was needed to develop a Committee recommendation to City Council. In later meetings, the Committee chose to recommend a more generalized Development Concept. This general concept is presented in this report.

COMMUNITY ENGAGEMENT



Community Engagement Process

Community engagement to develop this plan included five primary efforts in order to obtain a broad range of feedback from community members, business property owners, and other community stakeholders.

Stakeholder Focus Group Interviews - 2 Sessions

Two stakeholder interview sessions were held virtually on May 27, 2021. The first session included business property owners within the study area; the second session included residents of existing residential neighborhoods in or adjacent to the Study Area. Appendix 1 provides a summary of these focus group interviews.

Advisory Committee - 7 Meetings

The Addison City Council appointed a seventeen-member Advisory Committee to review, discuss, and make recommendations for the area. Advisory Committee members and their affiliations are listed in Exhibit 14. The Advisory Committee met seven times. Materials presented to the advisory committee are provided in Appendix 2.

Committee Member	Neighborhood/Organization
Al Cioffi	Towne Lake
Nancy Craig	Addison Timbers HOA President/P & Z member
Susan Halpern	Midway Meadows
Peter Jessiman	Asbury Circle
Judy Lindloff	Towne Lake/Former HOA President
Steve Loras	Addison Timbers
Sue Milholland	Midway Meadows
Marvin Perez	Towne Lake
Eileen Resnik	Grand Park Place/P & Z Chair/Council Member
Lorrie Semler	Midway Meadows
Austen Spoons	Pecan Square
Ron Whitehead	Midway Meadows/Former City Manager of Addison
Nancy Williams	Midway Meadows
Kathie Wood	Les Lacs
Alex McCutchin	Midway Square
Bill Park	Starbucks / Nate's Seafood
Dan Stansbury	Office in the Park

Exhibit 14: Advisory Committee Membership

Community Open House - 2 Events

The Town hosted several open house events to seek broad feedback from the community at key points during the vision and strategy development process.

Community Open House #1 was held on June 10, 2021 at the Addison Athletic Club. The Open House was designed to:

- Explain the planning process for this study
- Share a synopsis of the information and analysis completed about the study area and its opportunities
- Obtain input from the community about the desired future for the study area

Approximately 70 people participated in the Open House.

The workshop began with a presentation about the study process and background information. Keypad polling provided input from all participants through a set of interactive questions on slides.

In addition, eight input stations were created, each focused on a particular aspect of the study area and its future. The stations covered: 1) Existing Conditions, 2) Community Input Summary, 3) Demographics and Economic Activity, 4) Housing Policy, 5) Transportation and Traffic, 6) Open Space, Trails, and Placemaking, 7) Vision and Strategic Direction, and 8) Other Issues.

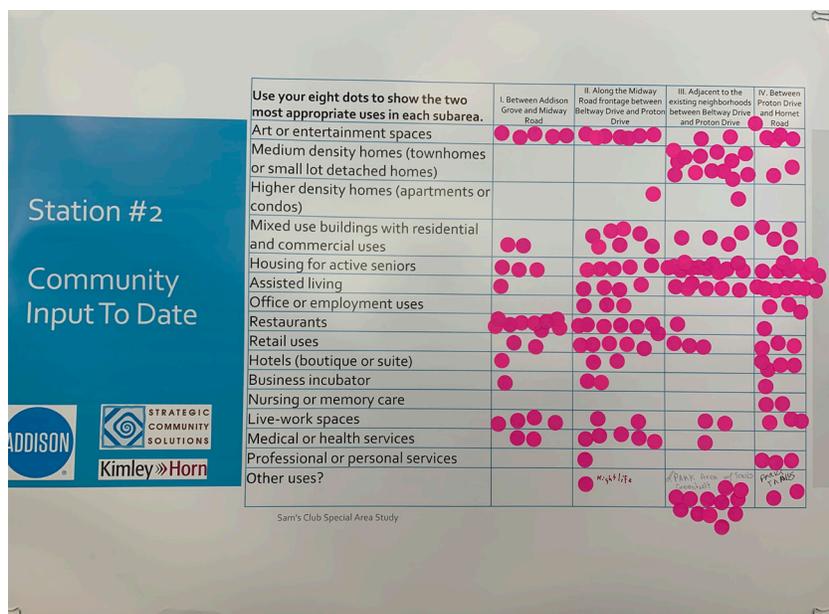


Exhibit 15: Station Exhibit

Community Open House #2 was held on September 23, 2021 at the Addison Athletic Club. This Open House was designed to:

- Summarize the planning process, analysis, and input to date
- Present preliminary recommendations based on that analysis, input, and Advisory Committee discussion
- Obtain feedback from the community about these preliminary recommendations

Over 80 people participated in the Open House.

After a presentation of the study's preliminary recommendations, keypad polling was used to obtain feedback from participants.

Seven input stations were also used to give participants the opportunity to talk about specific aspects of the recommendations with staff or consultant team members, and to provide more specific feedback on these topics. The stations covered: 1) Introduction, 2) Strategic Direction Overview, 3) Physical Development Framework, 4) Design, Form, and Character Policies, 5) Mobility and Connectivity Policies, 6) Branding, and 7) Other Comments.

Online Community Surveys - 2 Surveys

The first online survey was designed to obtain input on the respondents' perspectives about opportunities for future development of the area, as well as concerns about the current conditions. Multiple choice questions were used to obtain perspectives about appropriate future uses, mobility, open space and other design options. Open-ended questions provided the opportunity for respondents to share broader visions, concerns and comments on these and other aspects of the Study Area. This online survey was opened on May 7, 2021 and was closed at the end of the day on May 30, 2021. There were 177 respondents during that time.

An online survey was also part of the second round of input. Other than two additional questions about participants' backgrounds, the questions asked in the online survey were consistent with the questions used for keypad polling during the companion Community Open House held on September 23, 2021. This online survey was opened on September 24, 2021 and was closed at the end of the day on October 10, 2021. There were 68 respondents during that time.

City Council Meetings - 1 Work Session

Town staff presented the project Advisory Committee's draft recommendations to the City Council during a work session held at the April 26, 2022 City Council meeting.

ANALYSIS & ENGAGEMENT OUTCOMES

Key Outcomes

The demographic and market analysis performed for this study addresses anticipated demand for housing, retail, and employment uses in Exhibit 16 below.

Through continued engagement with the community and the Project Advisory Committee, several key themes rose to the forefront. These include:

- The structure of the planning process and the form of process deliverables was a point of frustration early on in the process. The resulting strategic direction was simplified by the project Advisory Committee to maintain flexibility and to empower community leaders to act in the best interests of Town.
- Neighborhood compatibility is critical to the success of this area, and it should be achieved through the establishment of a residential transition zone, and through careful consideration of adjacent land use and proposed street connections to low volume residential collector streets. Street connectivity should limit cut through traffic, and should instead push traffic to high volume thoroughfares.
- Housing remains a challenging policy issue. This study will help the Town evaluate requests for new housing, but it does not resolve the housing dynamics that our region faces. Proposals for additional housing will need to be carefully considered and should be shaped by a robust public input process.

	<p><u>For-Sale Housing</u> Opportunity: Immediate Products: Cottage Townhouse Missing Middle</p>	<p><u>Market Considerations</u> -Increases ownership opportunities in Addison -Buffers existing SFD neighborhoods -Adds rooftops to support commercial -Land cost will influence price points</p>
	<p><u>Rental Housing</u> Opportunity: Immediate Products: Market-Rate MF Active Adult MF Senior Care</p>	<p><u>Market Considerations</u> -Recent MF developments prove viability -Market-rate communities performing well -Seniors are fastest growing age group -Increases options for aging in place</p>
	<p><u>Neighborhood-Serving Retail</u> Opportunity: Mid-Term Product: In-line retailers Destination Service office</p>	<p><u>Market Considerations</u> -Retail in a state of flux -New development will seek premier locations -Smaller-scale retail can be an amenity -Role for services beyond traditional retail</p>
	<p><u>Office</u> Opportunity: Mid- to Long-Term Product: Service office Flexible workspaces Medical</p>	<p><u>Market Considerations</u> -Continued recovery from pandemic -Higher vacancy rates; excess space absorbed -Smaller-scale neighborhood-services -Medical office integrated in a master plan</p>

Exhibit 16: Market Forecast

STRATEGIC DIRECTION

Advisory Committee Intent

The Special Area Study Advisory Committee worked for many months to shape a recommended vision and development policy that Town leadership can use to evaluate future development proposals and to prioritize infrastructure and amenity investments for this area. It is the committee’s strong desire that Council set policy direction that preserves the integrity, privacy, and safety of the nearby residential neighborhoods and encourages compatible land uses in the area. Due to the long-term nature of the proposed vision and the unique conditions that each property within the study may present as it develops/redevelops, Town leadership may be required to balance competing goals. When competing goals/priorities are being considered, it is the intent of this committee that Town leadership’s priority be to preserve the integrity of the existing residential neighborhoods.

Overview

The Strategic Direction for this Study communicates the Town’s vision for the future of this area to property owners, residents, future developers, and other interested stakeholders. This strategic planning framework is comprised of **design principles**, **policies**, and **illustrative graphics** tailored to achieve the **overall objectives** provided below. Town leadership will utilize this framework to promote the highest quality reinvestment that also respects adjacent neighborhoods. This framework will consider and balance near-, mid-, and long-term needs over a 30-year planning horizon and should accommodate the flexibility needed to achieve the highest and best use of the land as market conditions evolve.

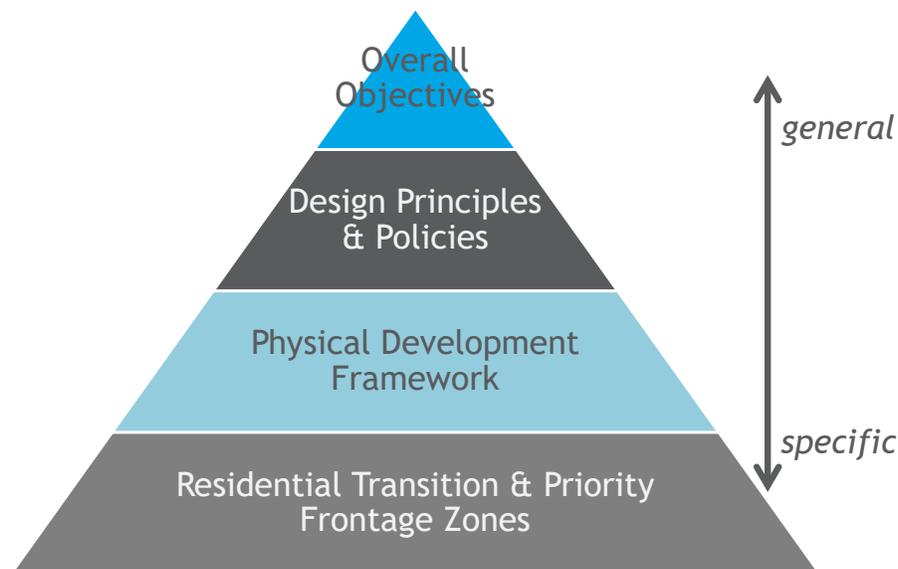


Exhibit 17: Strategy Hierarchy

Overall Objectives

Future development, reuse, and redevelopment in the Sam's Club Special Study Area should help the Town achieve these overall objectives for the area's future:

1. Strengthen the area as a distinctive Addison destination.
2. Support new development with uses, character, buffering, and social amenities that respect surrounding neighborhoods.
3. Include useable public green space throughout the area and in each major phase of reinvestment.
4. Provide opportunities for uses, development patterns, and pedestrian connections that complement the options available in Addison now.
5. Build in flexibility to allow for phased reinvestment and to accommodate current and future market conditions.



Design Principles, Form and Character Policies

These design principles and underlying form and character policies should guide decisions related to new development, redevelopment, or the reuse of existing buildings, design of the public realm, and the public investments that support the desired future character of the Study Area. These policies are particularly important to Town oversight of rezoning requests related to private development activity in the Study area.

Design Principles

These principles shape a design concept that achieves the overall objectives through future reinvestment in this area:

1. Create a network of **connected trails and open spaces** and orient development to engage and activate public open space destinations.
2. Make **vehicular connections** where they add benefit but not where they cause concern.
3. Allow **building heights and uses** that respect the existing neighborhoods and recognize market potential.
4. Maximize **flexibility** for buildings fronting on Midway Road in order to allow uses and building form that elevate this corridor as a prominent gateway to Addison.
5. Accommodate **lifecycle housing options** for a broad range of household types and leverage any investment in housing to serve as a catalyst for broader reinvestment in the Study Area.

Form and Character Policies

Development Form, Land Use, and Housing Mix

1. Redevelopment areas should be organized with a focus on pedestrian-scale blocks and walkability. Streets, trail corridors, parks, and civic spaces should serve as neighborhood focal points and should be engaged as much as possible by active building frontages such as porches, patios, and balconies.
2. Future development patterns should accommodate projects of varied density and uses in order to achieve more efficient use of the land and to support an economically resilient mix of land uses.
3. Implementation should establish a medium density, horizontal mixed-use development pattern that is compatible with surrounding lower density residential neighborhoods, and that is differentiated from large scale urban centers such as Addison Circle and Vitruvian Park.
4. The inclusion of additional housing in the Study Area should be carefully considered in order to maintain opportunities for the employment, service, retail, restaurant, and entertainment uses that are also needed components of a true mixed-use environment. Policy implementation should consider and protect future demand for these uses.
5. Where housing is accommodated, Missing Middle Housing Types such as small lot detached homes, duplexes, townhomes, cottage courts, triplexes, fourplexes, and live/work units should be prioritized.
6. Where higher density housing options are considered, neighborhood compatibility must be achieved, and the project should serve as an economic catalyst for the overall redevelopment needs of the Study Area. Emerging trends in condo development should be closely monitored for applicability to the Study Area and the Town should examine opportunities to mitigate any existing barriers to that model of home ownership.

Neighborhood Compatibility

1. Implementation should not discourage the continued operation of existing businesses that are self-sustaining. Where market conditions necessitate adaptive reuse or incremental redevelopment, staff and city leadership should work with development teams to achieve high quality outcomes that best meet the intent of this study.
2. The western edge of the Study Area should serve as a residential transition zone to protect the privacy of adjacent neighborhoods. A defined open space area/trail corridor should be established at this boundary as a buffer, in accordance with the [Residential Transition Zone Exhibit](#). As redevelopment occurs, a multi-use trail should be constructed in accordance with the recommendations of this Study and the Town's Trail Master Plan, and new development should positively engage and be located outside of the transition zone.
3. Existing mature trees along the edges of existing residential neighborhoods should be maintained and supplemented to create a continuous green buffer. Where tree health is degraded, replacement of existing canopy should be accommodated with new development, where feasible.



Mobility and Connectivity

1. Streets throughout the new development/redevelopment areas should be designed as walkable, pedestrian-friendly streets with design features that provide traffic calming and encourage slow vehicular movement. Pedestrian paths such as sidewalks or trails should be buffered from vehicle traffic by street tree plantings in the parkway, and on-street parking, where feasible.
2. Driveway spacing along Midway Road should support convenient and safe vehicle movement within the Study Area and surrounding areas.
3. As parcels redevelop along Midway Road, consolidation of driveway access to Midway Road may be allowed or required by the Town. Slip lanes should provide parking (either head-in, angle, or parallel) to support ground floor commercial uses at the Midway Road Priority Frontage Zone.
4. To maintain compatible conditions with nearby residential neighborhoods in the Beltway Drive corridor, new vehicular connections shall not be allowed between Addison Grove and the parcels fronting Midway Road, or between Addison Grove and Beltway Drive.

Note: A consensus of the committee felt strongly, in keeping with a previous Council decision related to limiting the connection between the Addison Grove development and Beltway Drive for only Public Safety purposes, that the Council should memorialize a policy statement that limits the ability to connect the Addison Grove development to Beltway Drive. It is the committee's strong desire that Council set policy direction that preserves the integrity, privacy, and safety of the nearby residential neighborhoods.

5. Vehicular connectivity between the parcels south of Beltway should be required where such connections are beneficial to the overall design of the area. When new street connections are introduced, the block patterns should be designed to limit cut-through traffic from the southern parcels to Beltway Drive.

Trails and Open Spaces

1. Future development/redevelopment areas should provide new open spaces programmed with a range of active and passive recreation activities.
2. The new open spaces should be accessible to residents and business patrons of the new developments through walkable and bikeable connections within the developments.
3. The new open spaces should also be accessible to existing residents of surrounding neighborhoods through walkable and bikeable connections along existing thoroughfares and existing connections to the Redding Trail.
4. “Trail-oriented” development should be facilitated by providing connectivity between and focusing building frontages towards the Residential Transition Zone and the Midway Road multiuse trails.



Placemaking

1. Flexible treatment of development form and function at the Priority Frontage Zone (Midway and Belt Line Road frontages) should be considered in future development/redevelopment plans. Site and building design should treat this area as a gateway and should carefully consider the design needs of successful retail, dining, and social spaces.
2. Ground floor uses should be activated with wide sidewalks accommodating amenity areas that support the adjacent ground floor use (i.e., outdoor dining areas for restaurants, sidewalks for commercial shopfronts or live/work units or landscaped areas for residential uses).
3. Residential mixed-use buildings should have commercial uses such as office, co-working space, restaurants, and retail on the ground floor of building frontages at the Priority Frontage Zone and at other frontages where the condition is market supported. “Retail Ready” treatments are not preferred.
4. New development should preserve existing mature trees as development focal points as much as possible, and should fully mitigate trees lost due to challenging redevelopment conditions.
5. Parking should be oriented to balance business access needs and to mitigate the aesthetic impact of accommodating required parking supply. With the exception of slip lanes and on-street parking, parking should be screened by buildings and landscape treatments. Shared parking should be evaluated to reduce unneeded parking supply.
6. Public art and elevated landscape design treatment should be utilized to create focal points within the Study Area.

Physical Development Framework Map

The Physical Development Framework Map establishes parameters for how new development will interact with the surrounding area, while allowing for a mix of uses and flexibility to respond to changing market conditions. With fragmented property ownership and varying redevelopment timelines, this physical planning framework will help shape a cohesive development pattern as this area evolves.

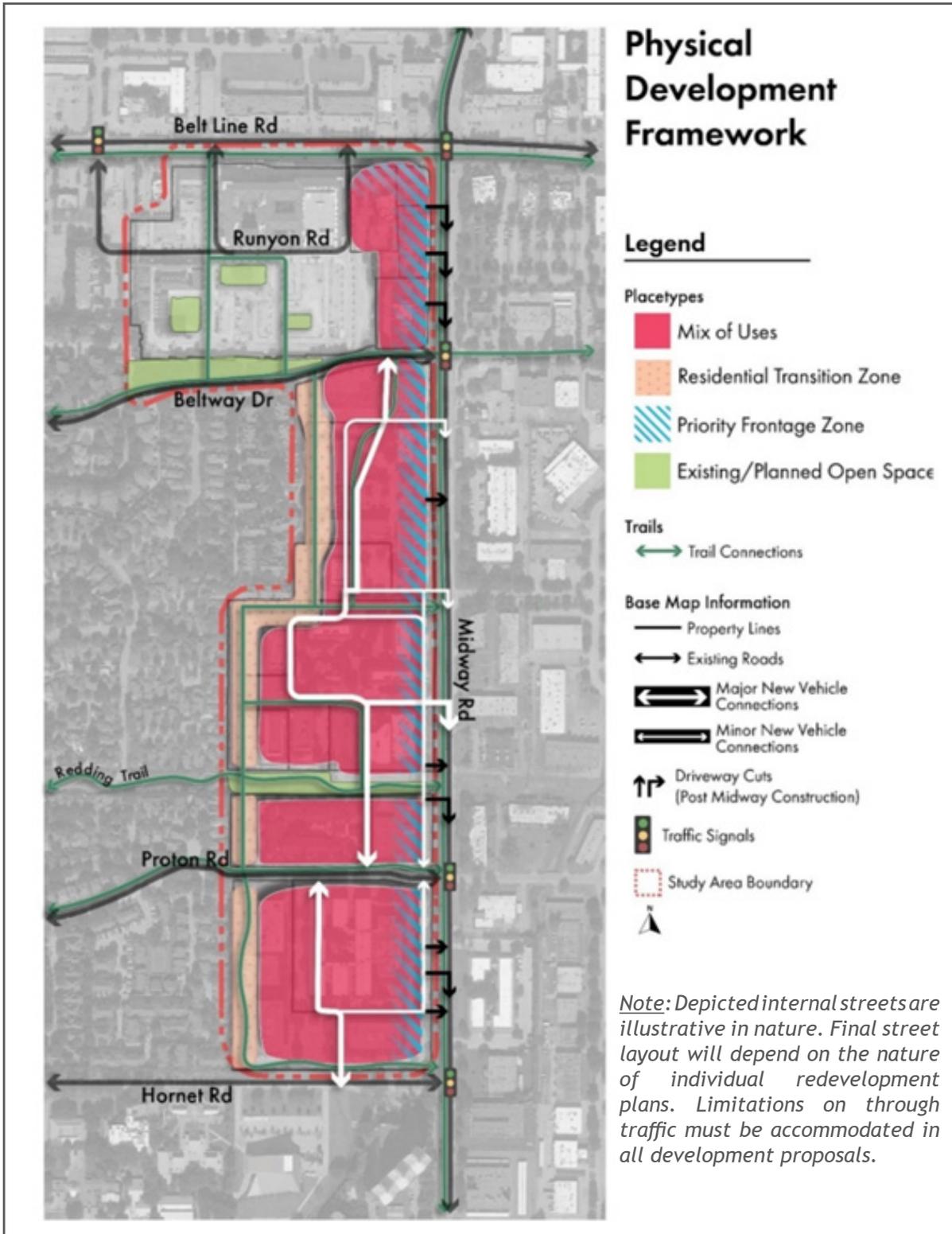
Framework Map Components – Mix of Uses

This study envisions a future development pattern that comprises a horizontal mix of uses where buildings supporting employment, retail, dining/entertainment, services, and a range of housing options are cohesively integrated and connected by a pedestrian friendly network of streets, trails, civic and open spaces.

The envisioned Mix of Uses includes:

- Employment and Service Uses
- Restaurant and Retail Uses
- Missing Middle Housing
- Multiunit Housing
- Social Amenities

Framework Map



Employment and Service Uses

Building Form and Orientation



Employment and service uses can be accommodated in single- or multi-tenant buildings providing work-space for large employers and small businesses. These uses may be located in single-use, freestanding buildings or within a portion of a vertical mixed use building. These buildings are generally larger in scale and are best situated at corridor frontages.



Streetscape

Buildings engaging the street or slip lanes, wide sidewalks, street trees, patios.

Parking

Parking structure, on-street parking, slip lanes, ride share, surface parking lots.

Restaurant and Retail Uses

Building Form and Orientation



Restaurant and retail uses can be accommodated in small, freestanding buildings or on the ground floor of vertical mixed use buildings. These buildings may be single or multi-tenant, and are most likely to serve residents of surrounding neighborhoods, but may include anchor/destination tenants that capture more demand, such as a specialty grocer or a prominent dining option. These uses are best situated at highly visible/accessible corridor frontages.



Streetscape

Buildings engaging the street, a slip lane or surface parking lot, wide sidewalks, street trees, patios, sidewalk cafes.

Parking

Surface lots, slip lanes, valet and ride share, shared parking structure.

Missing Middle Housing

Building Form and Orientation



Missing Middle Housing includes a variety of different low and medium density housing types that are primarily single-family (ownership and rental). Housing options include townhomes, small lot detached homes, duplexes, triplexes, fourplexes, cottage courts, and live/work units. Close proximity to small communal open spaces and fronting buildings with stoops, porches, and patios on public streets and open spaces are critical design considerations. These housing options are best utilized adjacent to neighborhood transition areas.



Streetscape

Buildings with porches or stoops and small yards at the street or fronting open space, wide sidewalks, street trees.

Parking

Individual garages, on-street visitor parking, common surface parking.

Multiunit Housing

Building Form and Orientation



Multiunit housing includes a variety of medium to high density housing types such as apartments, condominiums, independent and assisted living facilities. These larger building types should front on major corridors, with active uses (retail, restaurants, services, co-working, and/or amenity areas) on the ground floor of the primary building frontage. These buildings should have access to open space and trails and should be buffered from less intensive uses.



Streetscape

Buildings with patios/ small courtyards at the street, wide sidewalks, street trees.

Parking

Parking structure, on-street, slip lanes, Individual garages.

Social Amenities

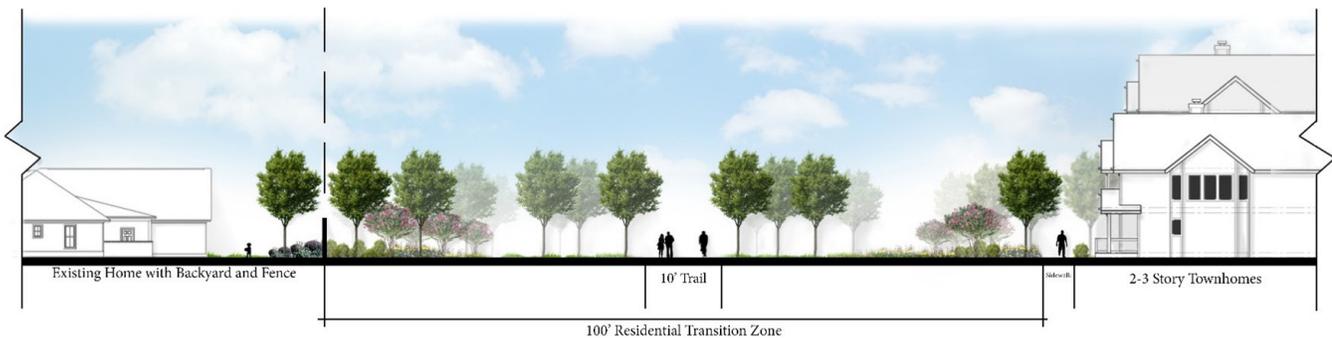
Form and Orientation



Framework Map Components – Residential Transition Zone

As new development and redevelopment occurs at the western edge of the study area, it is anticipated that this may result in changes in use and development density. To achieve this, property owners and developers would likely need to seek approval from the Town for new zoning entitlements.

Where these rezoning requests are made, the Town should seek to establish a Residential Transition Zone at the western edge of the study area.



Design Principles

These principles shape a design concept that achieves the overall objectives through future reinvestment in this area:

1. 100 feet in width measured from the western boundary of the Study Area.
2. Dedicated to or acquired by the Town to support consistent maintenance practices.
3. Publicly accessible.
4. Serves as a trail corridor, with a 10' multiuse trail constructed as new development occurs.
5. Amenitized with landscaping, shade trees, public art, recreation features, and other unique design treatments.
6. New development adjacent to the Residential Transition Zone should orient toward and activate that area, creating a sense of safety and comfort for pedestrians throughout the day and early evening. Building scale and design in this area should be compatible with neighborhoods adjacent to the Study Area.

Framework Map Components – Priority Frontage Zone

As new development and redevelopment occurs in the Study Area, treatment of properties fronting Midway Road and Belt Line Road should be carefully considered, as those frontages are critical gateways to Addison and are the areas best suited for employment, retail, and services uses, as well as buildings that are more prominently scaled.

When development proposals are considered for this Priority Frontage Zone, the following elements should be carefully considered in the design of these sites:

1. Buildings should front towards the major roadway and should feature prominent façade design elements to create an inviting presence along these corridors. Taller, multistory buildings should be encouraged at these frontages.
2. The ground floor of buildings should be appropriately scaled and articulated to create a shopfront façade for retail, restaurant, and services uses. Key considerations include ground floor ceiling height, signage, glazing, and landscape treatments that compliment, but do not overwhelm.
3. A single slip lane of head-in or angled parking should be provided between the building and the street where retail, restaurant, or service uses are planned for current conditions or future retrofit.
4. Appropriate access should be provided for building services and deliveries, and buildings should be designed to allow for flexible use, addressing issues such as the provision of grease traps, building ventilation systems, and any other potential retrofit needs.
5. Safe and inviting pedestrian connections should be extended from the Priority Frontage Zone to the interior of the Study Area and the surrounding pedestrian network, to allow for convenient pedestrian access to this area.



IMPLEMENTATION

Overview

Creation of the places envisioned by this study will require investment and involvement over a 30-year or similar time frame. The study cannot specify all actions that will be taken during that time that affect the area's character. It can, however, identify the major partners in this implementation and the general role each will play.

Implementation Partners

First and foremost, the individuals and companies who own the property in the Study Area will play the essential role in deciding whether or when to change the uses and structures that exist here today. Their decisions and investments will be shaped by the market opportunities they see and their own priorities and choices.

The Town of Addison plays two important roles in implementing this study - as an investor and as a regulator. It maintains the public infrastructure in the study area and the infrastructure that connects this area to the rest of Addison and the region. As the Town makes investments in parks, trails, streets, facilities, public art, or other capital projects, this study should guide decisions about the location, scale, and character of these investments. The study should also provide guidance for Town programs and operations that support the desired character of the area.

The Town's second role is that of a regulatory decision-maker. Most - if not all - future private development in the Study Area will require zoning or development approvals by the Town. This study should provide guidance to Town staff, Boards and Commissions, and City Council that they should use in evaluating individual rezoning proposals. The study should also guide action on other development approvals, such as subdivisions or site plans, and on any decisions related to special districts or financial incentives.

Other public entities may also help implement this plan. Investments by Dallas County, the State of Texas, or other public entities can help fund the improvements envisioned in this study.

Community and non-profit organizations may provide support for particular aspects of the study's implementation. The Addison Arbor Foundation may assist in carrying out recommendations about open space and public art. Neighborhood organizations in the neighborhoods that exist today and the new communities that will be created in the study area are important to implementation of this study because they can remain engaged in public decision-making processes over time. In addition, some programs and initiatives are best implemented through volunteer efforts, and neighborhood groups can create and manage these efforts.

Timeline and Next Steps

This study's recommendations should be considered by the Addison Planning and Zoning Commission, which will make its own recommendations to the City Council after hearing public input and deliberating on the appropriate direction for the area. The Addison City Council will consider the Planning and Zoning Commission's recommendations as well as this report and public input during its deliberations. It may choose to adopt the report's recommendations as stated, adopt them with modifications or take some other action.

After the study's adoption, Town staff, Planning & Zoning Commission, and City Council will use these recommendations to make decisions on future private development and public investment in the area. Implementation of the study may take many years, so the Town should be prepared to evaluate progress periodically and to update the adopted study when changes in the market or the community make such an update warranted.

Appendices

Documents created throughout the planning process are provided for review in the report appendices. These documents are provided as they were presented during this process reflecting a snapshot in time that has not been modified to reflect current conditions.

The report appendices document includes the following components:

- Appendix 1 - Stakeholder Interviews
- Appendix 2 - Advisory Committee Meeting Materials
- Appendix 3 - Community Open House Materials
- Appendix 4 - Online Survey Results
- Appendix 5 - Site & Market Analysis

These documents can be viewed at the Sam' Club Special Area Study project webpage.



**SAM'S CLUB
SPECIAL AREA STUDY**