LEGEND

	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	PROPOSED SAWCUT
5	PROPOSED PARKING COUNT
	EXISTING TREE
	EXISTING SHRUB
4 4 4 4 4 4 4 4	PROPOSED CONCRETE SIDEWALK
	PROPOSED FIRE LANE
Q	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYRDANT
(3)	EXISTING SANITARY SEWER MANHOLE
	PROPOSED BIKE RACK

LOCATION MAP

SITE DATA SUMMARY

SITE INFORMATION

88,597 SF (2.034 AC)

2-STORY RETAIL: 3,223 SF (2,503 SF =

TOTAL LOT AREA

PROPOSED ZONING / USE

FRONT

SIDE

REAR

LANDSCAPE BUFFER

BUILDING SETBACKS:

TOWN OF ADDISON SITE PLAN NOTES:

- 1. ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- 2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE
- 3. BUILDINGS WITH AN AGGREGATE SUM OF 500 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE
- 4. ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
- 5. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

GENERAL SITE PLAN NOTES:

- 1. ALL DIMENSIONS ARE FROM FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- 2. ALL CURB RADII ARE 3' UNLESS NOTED OTHERWISE
- 3. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- 4. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED , MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- 6. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FORM A SURVEY BY A LAND SURVEYOR.
- 7. THIS DEVELOPMENT WILL NOT IMPACT THE EXISTING NATURAL RESOURCES OF THE SURROUNDING PROPERTIES.
- 8. SITE LIES WITHIN 'ZONE X, 0.2 PCT ANNUAL CHANCE FLOOD HAZARD,' ACCORDING TO FEMA FLOOD MAP 48113C0180K.
- 9. THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN. WATER SYSTEM REQUIREMENTS. WASTEWATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.
- 10. REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS OF PROPOSED BUILDINGS. ONLY THE OVERALL FOOTPRINTS HAVE BEEN OUTLINED IN THIS SITE PLAN.
- 11. REFERENCE APPROVED CONSTRUCTION DOCUMENTS TITLED BELT LINE 1.5 PREPARED BY PACHECO KOCH DATED 01/02/2020 SIGNED BY AMBER M. DAVIS.
- 12. ANY PAVEMENT REPLACEMENT SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON'S PAVEMENT SECTION SPECIFICATIONS, OR MATCH EXISTING SECTIONS WHICHEVER IS GREATER.
- 13. EXISTING FIRE LANE MARKING TO BE REMOVED TO ALLOW FOR THE PROPOSED FIRE LANE CIRCULATION AS SHOWN IN THIS PLAN.
- 14. CROSS ACCESS AND UTILITY EASEMENT FOR ADJACENT DEVELOPMENT TO THE WEST OF THIS PROPERTY TO BE DEDICATED BY SEPARATE PRIVATE AGREEMENT.

PROPOSED BUILDING AREAS:	2-STORY RETAIL: 3,223 SF (2,503 SF = RETAIL; 720 SF = OFFICE) DRIVE-THRU RESTAURANT: 916 SF
EXISTING BUILDING AREAS	10,382 SF, 1-STORY 760 SF PATIO (11,142 SF = RETAIL)
TOTAL LOT COVERAGE	14,521 SF (16.4%)
PARKIN	G DATA
REQUIRED	
RETAIL RATIO	1 SPACE / 200 SF
RETAIL REQUIRED (INCLUDING 2-STORY RETAIL AND EXISTING BUILDING)	68 SPACES
OFFICE RATIO	1 SPACE /300 SF
OFFICE REQUIRED	3 SPACES
DRIVE-THRU RESTAURANT RATIO	1 SPACE / 70 SF
DRIVE-THRU RESTAURANT REQUIRED	13 SPACES
TOTAL PARKING REQUIRED	84 SPACES
BIKE PARKING (1 / 10 SPACES)	8 SPACES
REQUIRED ADA SPACES	4 SPACES (1 VAN SPACE)
PROVIDED	
TOTAL PROVIDED PARKING	85 SPACES
PROVIDED ADA SPACES	5 SPACES
PROVIDED BIKE PARKING	8 SPACES
SPACE	USAGE
REQUIRED LANDSCAPE AREA	20% (17,719 SF)
PROVIDED LANDSCAPE AREA	21.7% (19,243 SF) (INCLUDES LANDSCAPE AREA IN ROW)
IMPERVIOUS SURFACE AFTER DEVELOPMENT	80.5% (71,294 SF)
JURISDI	CTIONAL
EXISTING ZONING / USE	PD 93-018 / RESTAURANT



PD - LOCAL RETAIL

25'

25' ADJ. TO R.O.W.; 0' ADJ. TO

19' LANDSCAPE BUFFER INCLUDING

SIDEWALK

NON-RESIDENTIAL

SURVEYOR: AXIS SURVEYING ADDISON RETAIL, LLC 83 ORCHARD HILL PARK DR 714 FERRIS AVE B LEOMINSTER, MA 04153 WAXAHACHIE, TX 75168 PHONE: (978) 466-6661 PHONE: (214) 903-8200 CONTACT: MATHIAS HAUBERT CONTACT: SEAN SHROPSHIRE CONTACT: GREGG LISCIOT

SANITARY SEWER & DRAINAGE

EASEMENT, VOL. 89013, PG. 835 &

VOL. 92162, PG. 2251, D.R.D.C.T.

BELT LINE ROAD

-N89°30'48"E 256.29'

SANHTARY SEWER & DRAINAGE EASEMENT

DUMPSTER

AREA

VOL. 89013, PG. 835 & . <u>VOL. 92162, PG. 225</u>1 <u>D.R.D</u>.C.<u>T.</u>

REMOVED

18' (TYP.)

15' T. U. ELECTRIC EASEMENT,

VOL. 92162, PG. 827,

D.R.D.C.T.

PROP BIKE RACK-

17.79'

PROP DRIVE-THRU

RESTAURANT 916 SF

-PEDESTRIAN ACCESS &

N89°30'48"E 24.25

—25' BUILDING—

—PROP BIKE RACK

(TYP. OF 3)

53.99'

PROPOSED

RETAIL/OFFICE

RETAIL - 2,503 SF

OFFICE - 720 SF

2-STORY

SETBACK ===

LANDSCAPE EASEMENT (VARIABLE WIDTH) DOC: 202000243288,

C.C.D.C.C.

BOHLER ENGINEERING 6017 MAIN STREET FRISCO, TX 75034 PHONE:(469) 458-7300

REVISIONS REV DATE COMMENT





It's fast. It's free. It's the law.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVA

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTIO DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	TD210
DRAWN BY:	
CHECKED BY:	N
DATE:	8/12/2
CADID	c

PROJECT:

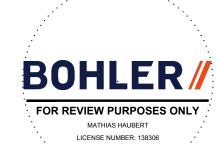
CONCEPT PLAN

ADDISON RETAIL LLC

3820 BELT LINE ROAD ADDISON, TX 75001 DALLAS COUNTY THOMAS L CHINOWITH ABST. 273 BLOCK A, LOT 1R, 2.034 AC



2600 NETWORK BLVD, STE 310 FRISCO, TX 75034 Phone: (469) 458-7300 TX@BohlerEng.com TBPE No. 18065 | TBPLS No. 10194413

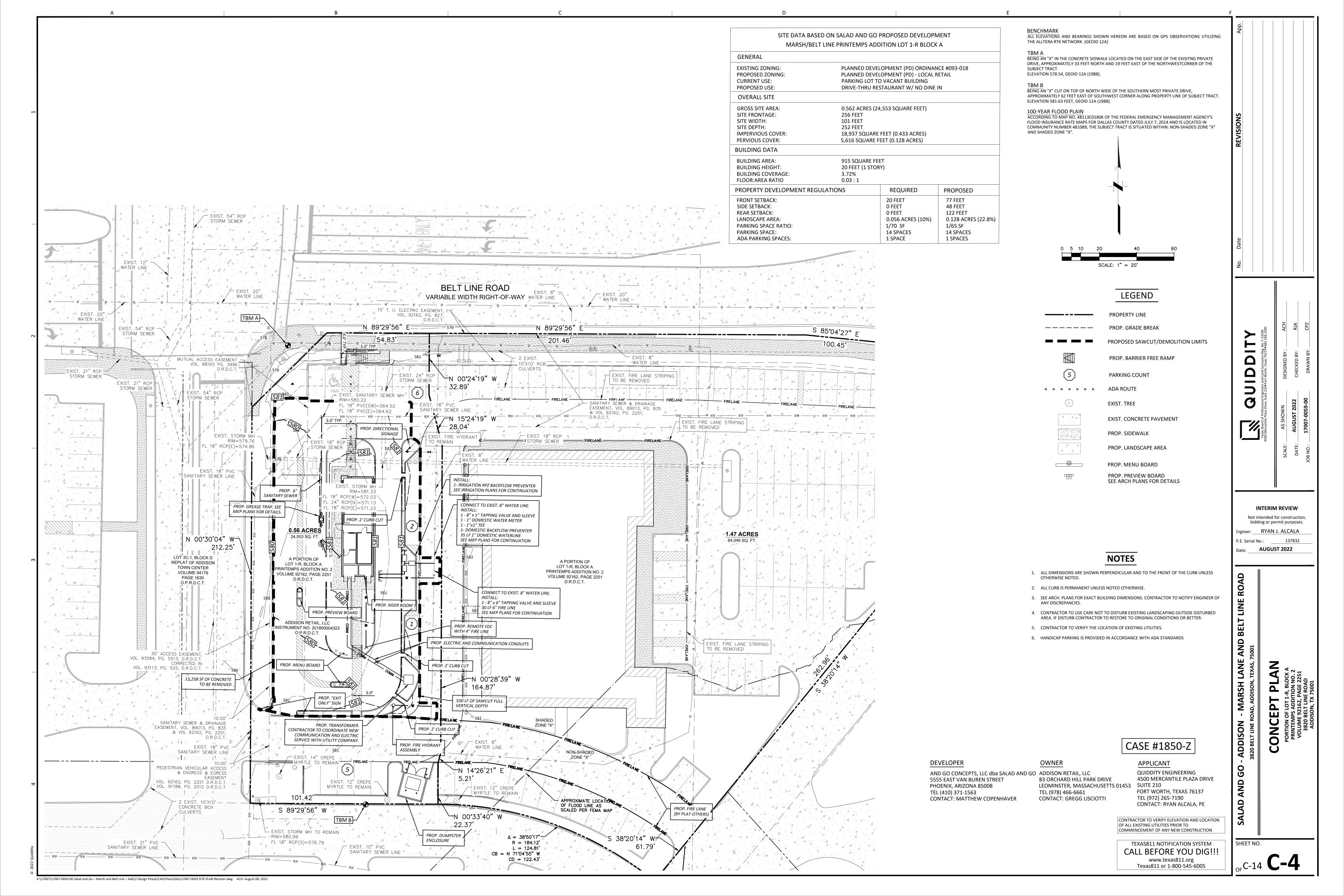


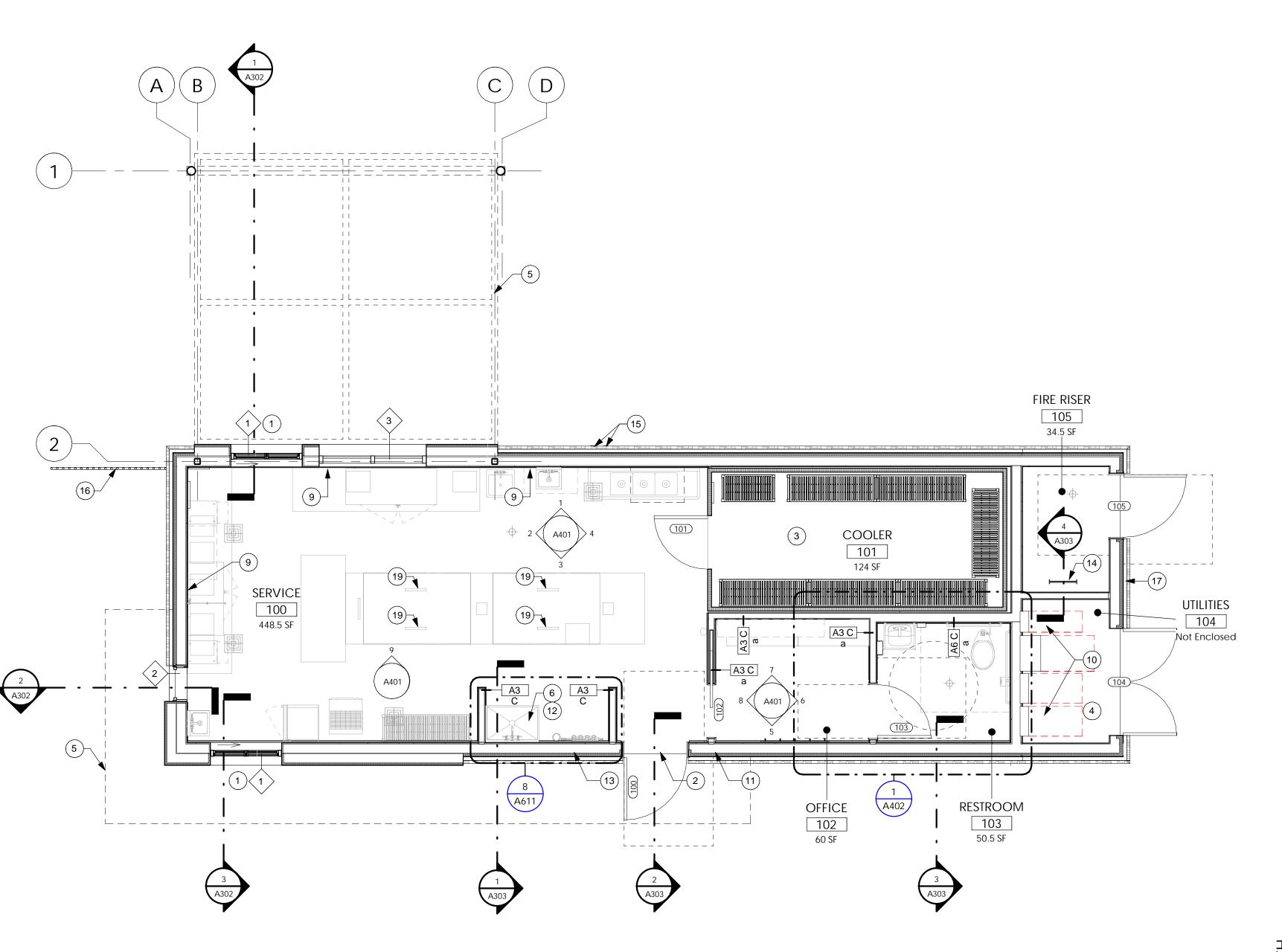
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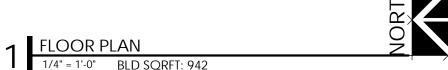
CONCEPT PLAN

C-301

CASE #1850-Z







DIMENSION NOTES

ALL PLAN DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO:
 A. FACE OF STUD
 B. CENTERLINE OF DOOR ON CENTERLINE OF ROOM OR CORRIDOR.

- 2. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS; DETAILS OVER SMALLER SCALE DRAWINGS.
- 3. "FINISH FLOOR" REFERS TO TOP OF SLAB
- VERIFY ALL ROUGH-IN, CONCRETE PAD, OR PLATFORM DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS PROJECT, OR BY OTHERS.
- 5. CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES, UNLESS NOTED OTHERWISE.

FLOOR PLAN GENERAL NOTES:

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. APPROVED SIGN INDICATING MAXIMUM OCCUPANCY FOR THE ROOM SHALL BE LOCATED NEAR MAIN EXIT. FINAL LOCATION SHALL BE VERIFIED BY FIRE MARSHAL.
 C. DO NOT SCALE DRAWINGS.
- D. FURNITURE AND KITCHEN EQUIPMENT SHOWN DASHED.E. PROVIDE BLOCKING IN WALLS FOR WALL MOUNTED
- EQUIPMENT/ACCESSORIES PER PLAN.

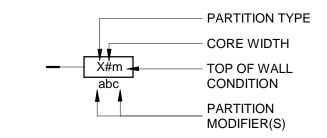
 F. REFER TO EQUIPMENT PLAN SHEET FOR ALL EQUIPMENT
- SCHEDULE INFORMATION AND LAYOUT.
 G. DIMENSION SHOWN ON THIS PLAN IS FROM FACE OF STUD TO FACE OF STUD AT INTERIOR, UNO.
- FLOOR DRAINS WITH EQUIPMENT PLAN PRIOR TO PLACEMENT

 I. PROVIDE INTERNAL WALL BLOCKING FOR LADDERS, GRAB BARS,
 MIRRORS, COUNTERTOPS, CEILING FANCS, AND OVERHEAD
 SHELVING.

H. GENERAL CONTRACTOR TO COORDIANTE ALL FLOOR SINKS AND

- J. COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL DRAWINGS AND SOIL REPORTS.
- K. EXTERIOR WALL DIMENSIONS SHOWN FROM FACE OF STUD TO FACE OF STUD, UNO.
- L. WALLS SHOWN ON ALIGNMENT ARE IN ALIGNMENT WITH FINISH SURFACE
- SURFACE
 M. TOP OF FLOOR LEVEL = 100'-0" = 0'-0" IS TOP OF CONCRETE PER
 ARCHITECTURAL PLAN AND ELEVATION. THIS DOES NOT
 INCLUDE FLOOR FINISH. REFER TO CIVIL DRAWINGS FOR
 ACTUAL GRADE LEVEL.

WALL TAG, REFER TO A611



DOOR AND WINDOW TAGS, REFER TO A631

DOOR NUMBER

X → WINDOW TYPE

FLOOR PLAN KEYNOTES

- 1. SERVICE WINDOW.
- 2. ADA COMPLIANT THRESHOLD, REFER TO A113
- 3. PRE-MANUFACTURED WALK IN COOLER BY OWNER.4. CONCRETE SLAB WITH BROOM FINISH AT PATIO.
- 5. DASHED LINE INDICATES CANOPY ABOVE.
- 6. MOP SINK PENETRATION LOCATION, INSTALL PER MANUFACTURER SPECIFICATIONS.
- 7. NOT USED.
- 8. NOT USED.
- 10. ELECTRICAL SERVICE ENTRY AND TELEPHONE SERVICE LOCATION, REFER TO

ELECTRICAL.

9. PROVIDE IN-WALL BLOCKING TO INSTALL COUNTERTOP SUPPORTS. REFER TO A400

11. 3200 SERIES KNOXBOX AT 60" A.F.F.

12. WATER HEATER WITH MOP SINK BELOW.

14. ROOF ACCESS LADDER; REFER TO A503

13. NOT USED.

15. ROOF DRAIN LEADERS.

16. 3'-6" GUARD RAIL.

17. RECESSED COVERED HOSE BIB

18. NOT USED.

19. POS MONITOR MOUNTED ON STAINLESS STEEL SHELVES. BY OWNER. SEE EQUIPMENT PLAN, TYP.



X 75001

310 BELTLINE ROAD ADDISON, 7



EAL

THIS DRAWING IS A DESIGN
DEVELOPMENT DOCUMENT.
SITE SPECIFIC MODIFICATIONS
MADE UNDER THE RESPONSIBLE
CHARGE OF THE ARCHITECT
AND/OR ENGINEER-OF-RECORD
WILL BE REQUIRED PRIOR TO
USING THIS DOCUMENT FOR
BIDDING, PERMITTING, OR

CONSTRUCTION.

FACADE PLAN: 7/07/2022

CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT THE
JOB SITE AND NOTIFY THE ARCHITECT
OF ANY DIMENSIONAL ERRORS,
OMISSIONS OR DISCREPANCIES BEFORE
BEGINNING OR FABRICATING ANY WORK.

DO NOT SCALE DRAWINGS.

ISSUE	DATE	DESCRIPTION
1	7/07/22	CITY COMMENTS

PRO	JECT INF	ORMATION	
PRO	JECT NO:		22-0090
ORIG	SINAL ISSUE	:	6/08/2022
SCAI	LE:		AS NOTED

CHECKED BY:
SHEET TITLE

DRAWN BY:

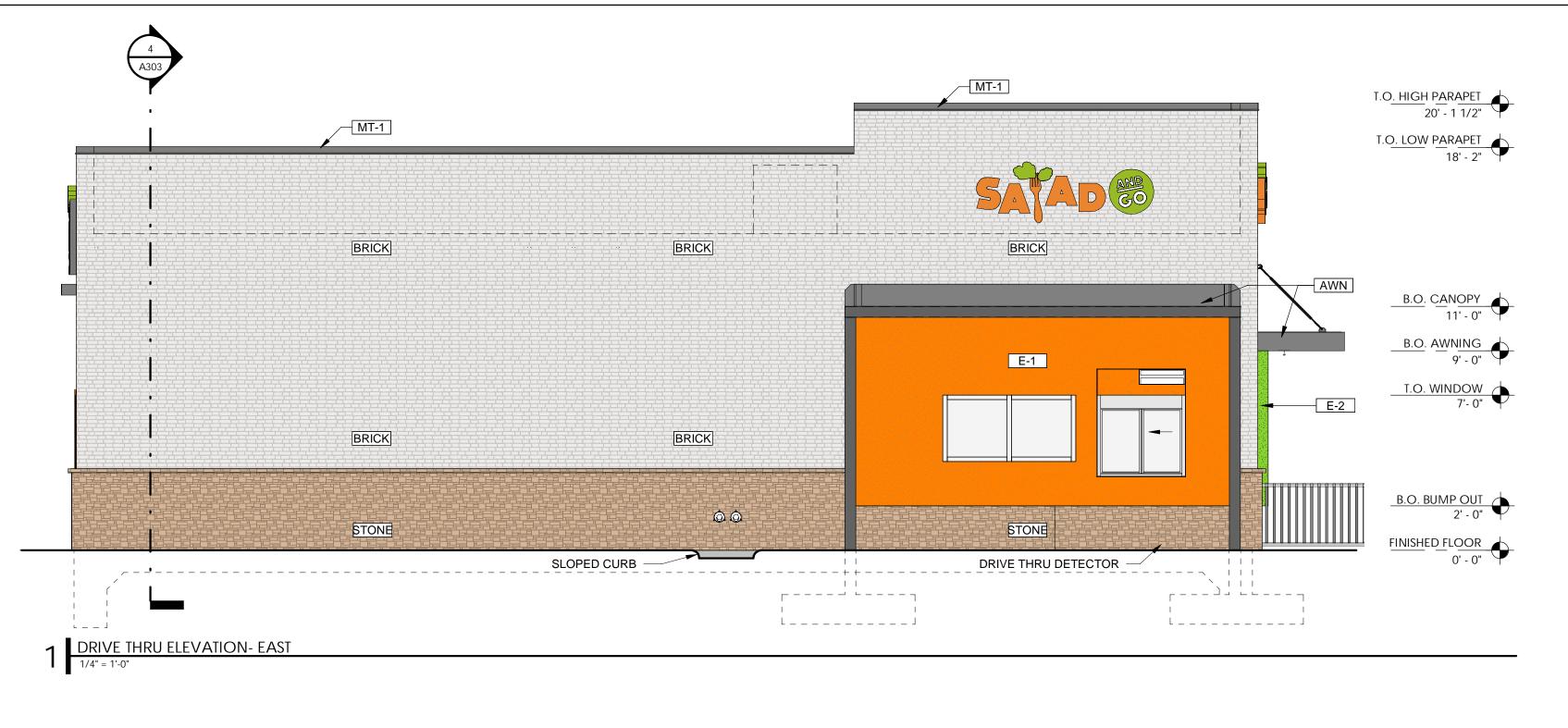
FLOOR PLAN

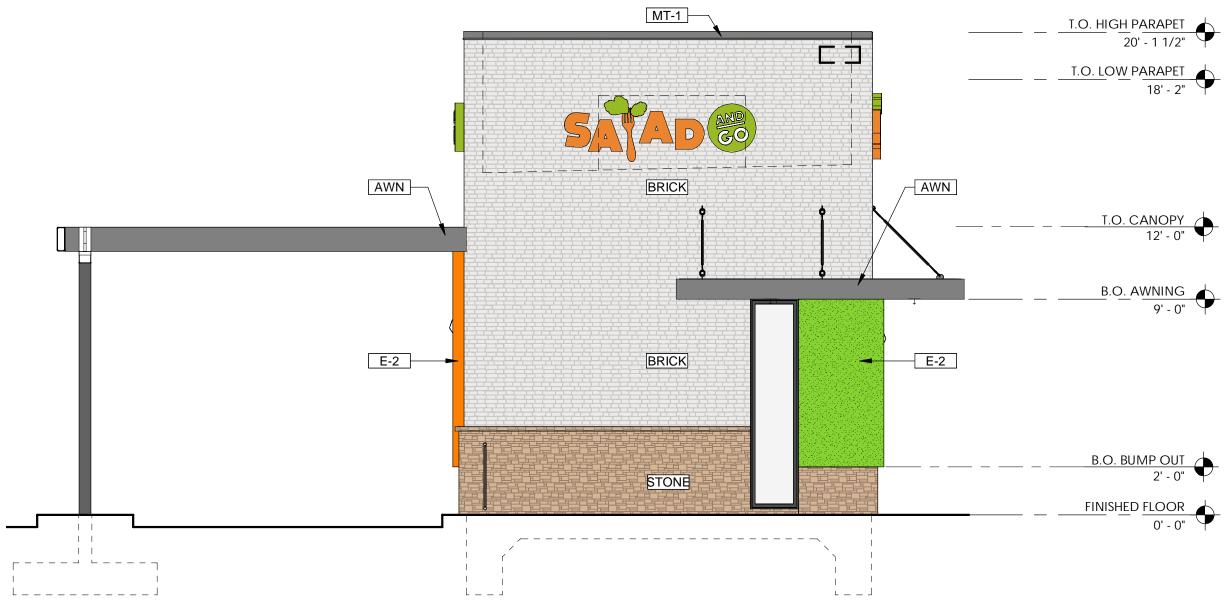
J. JEFFERY

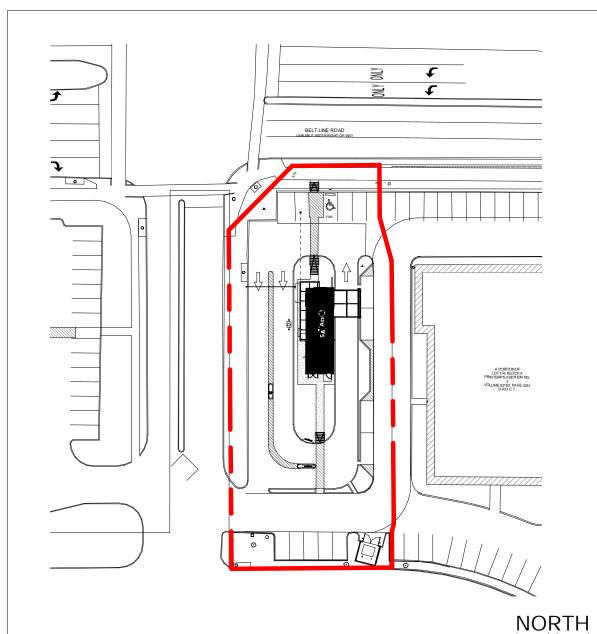
A. MORELAND

SHEET NUMBER

A112







5 SITE PLAN- KEY PLAN
NOT TO SCALE

FACADE PLAN NOTES

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS
 REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
 ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
 WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED
- TO MATCH THE BUILDING.

 ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY
- DEVELOPMENT SERVICES.

 ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL

RESTAURANT WITH DRIVE-THRU ADDISON RETAIL,LLC LOT 1-R BLOCK A #SUP-0052

PREPARATION DATE: JULY 07, 2022

ARCHITECT: ROGUE ARCHITECTS 513 MAIN STREET, STE 300 FORT WORTH, TX 76102 817-820-0433 ASHLEY MORELAND

ENGINEER: JONES|CARTER INC.

FORT WORTH, TX 76137

SUITE 210

682-268-2207 RYAN J. ALCALA, PE

4500 MERCENTILE PLAZA DRIVE,

OWNER: SALAD AND GO 5555 EAST VAN BUREN STREET PHOENIX, AZ 85008 504-432-3611 ANDY HULSEY

APPLICANT:



ARSH & BELTLINE

ELTLINE ROAD ADDISON, TX 7500

513 MAIN STREET, SUITE 300 FT. WORTH, TX 76102 817.820.0433 www.roguearchitects.com

THIS DRAWING IS A DESIGN
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SITE SPECIFIC MODIFICATIONS
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WILL BE REQUIRED PRIOR TO
USING THIS DOCUMENT FOR

FACADE PLAN: 7/07/2022

BIDDING, PERMITTING, OR

CONSTRUCTION.

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JOB SITE AND NOTIFY THE ARCHITECT
OF ANY DIMENSIONAL ERRORS,
OMISSIONS OR DISCREPANCIES BEFORE
BEGINNING OR FABRICATING ANY WORK.

BEGINNING OR FABRICATING ANY WORDON DO NOT SCALE DRAWINGS.

ISSUE DATE DESCRIPTION

ROJECT INFORMATION	
DDO IEOT NO	00.000

PROJECT INFORMATION

PROJECT NO: 22-0090

ORIGINAL ISSUE: 6/08/2022

SCALE: AS NOTED

DRAWN BY: J. JEFFERY

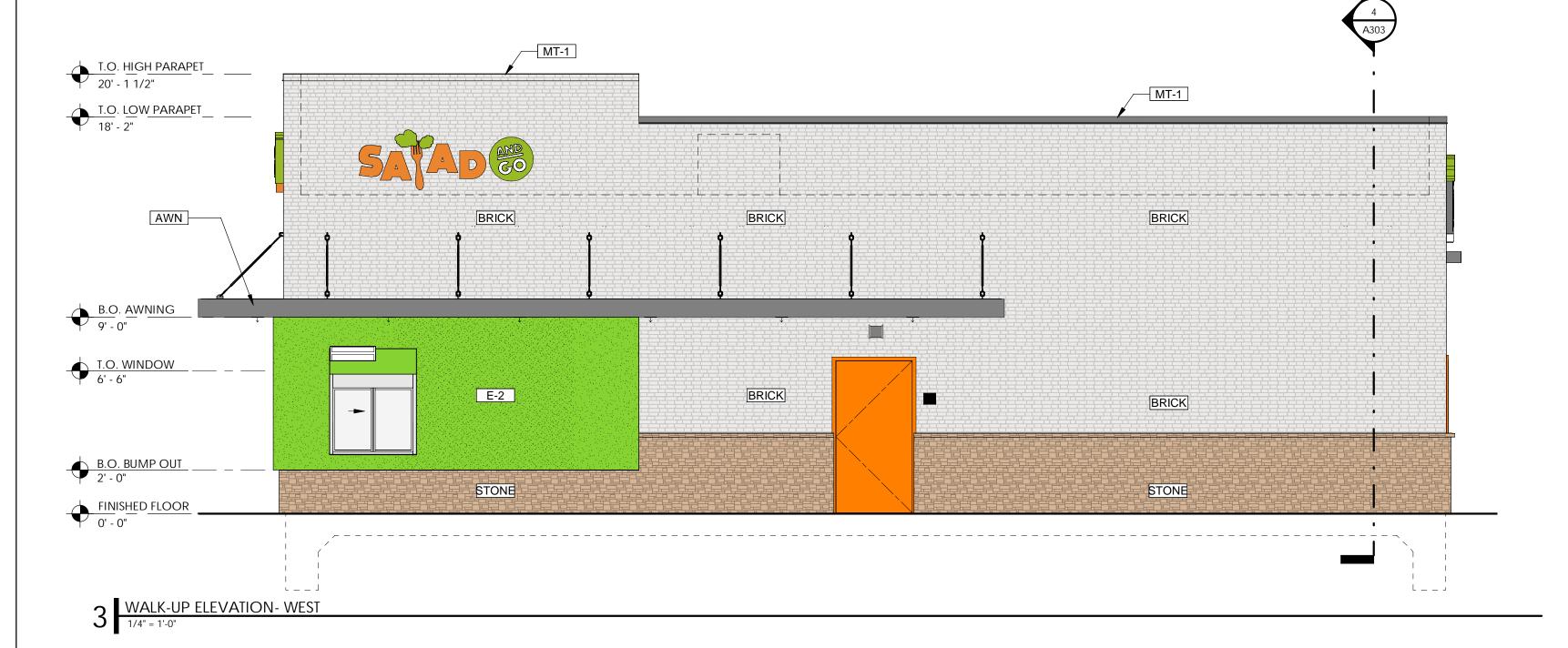
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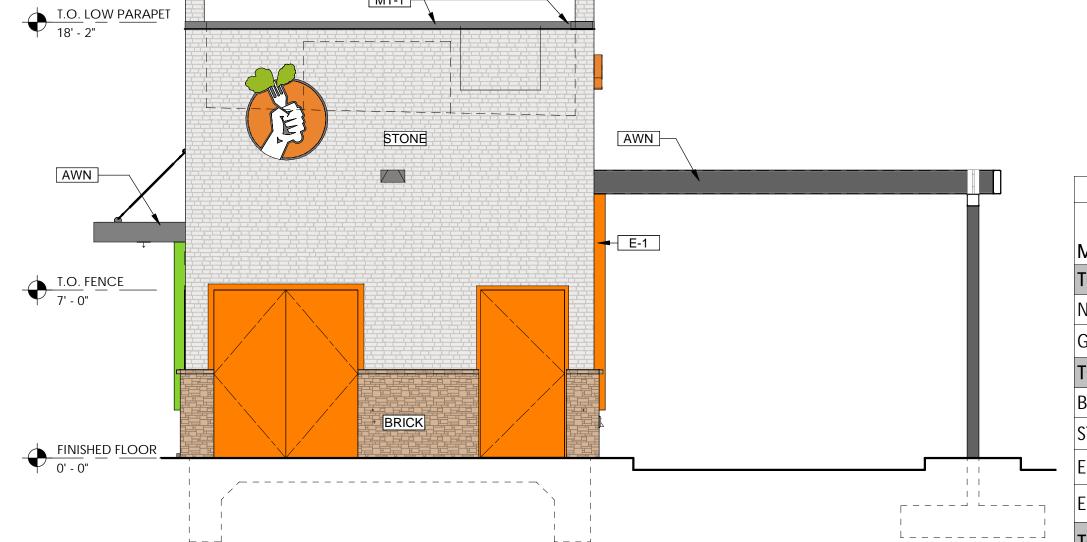
SHEET TITLE

FACADE PLAN

SHEET NUMBER

FP001





	MA	TERIAL C	ALCULAT	ION						
	FRONT		DRIVE THRU		WALK UP		REAR		TOTAL	
MATERIAL	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
TOTAL ELEVATION AREA	341	100	1012	100	1016	100	318	100	2687	100
NON-GLAZED DOORS AND WINDOWS	0	0	0	0	28	3	74	23	102	4
GLAZED DOORS AND WINDOWS	13	4	37	4	15	1	0	0	65	2
TOTAL (GLAZED/NON-GLAZED DOORS AND WINDOWS)	328	100	975	100	973	100	244	100	2520	100
BRICK	248	73	697	69	705	69	212	67	182	69
STONE	51	15	168	17	157	15	27	11	403	15
EIFS (ORANGE)	5	1	110	11	0	0	5	2	120	5
EIFS (LIME)	24	7	0	0	111	11	0	0	135	4
TOTAL MASONRY	299	88	865	85	862	85	239	75	2265	84

EXTERIOR FINISH SCHEDULE

PRODUCT: DRYVIT

SHERWIN WILLIAMS

SW-6887 NAVEL

FINISH: SAND

METAL COPING | COLOR: SW-7068 GRIZZLE GRAY.

PRODUCT: GREENHECK FINISH: ALUMINUM

COLOR: SW-7068 GRIZZLE GRAY

PRODUCT: DRYVIT

FINISH: SAND COLOR: MATCH

MATERIAL

THIN BRICK

E.I.F.S.

MARK

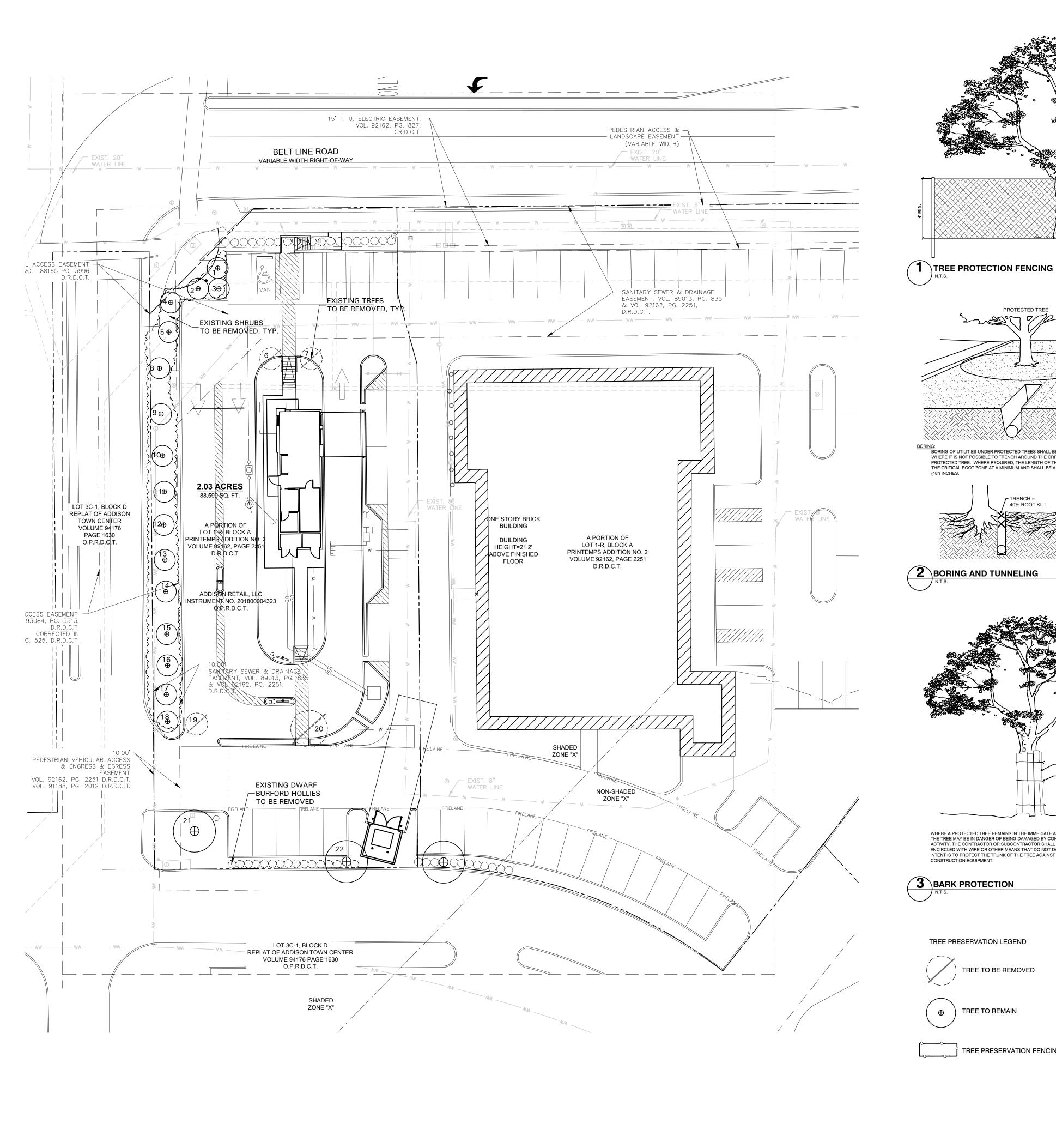
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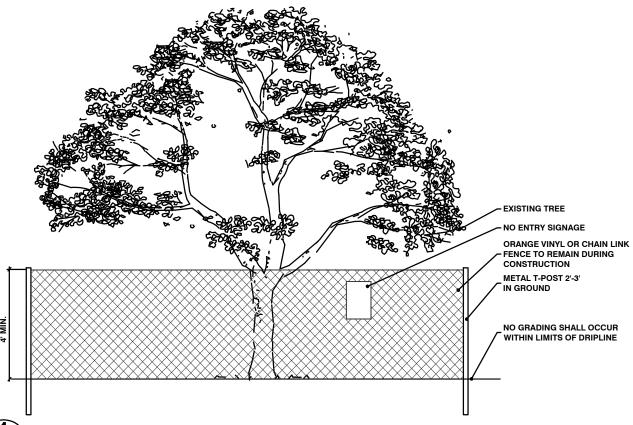
CORONADO WIRECUT BRICK COLOR: ICEBERG

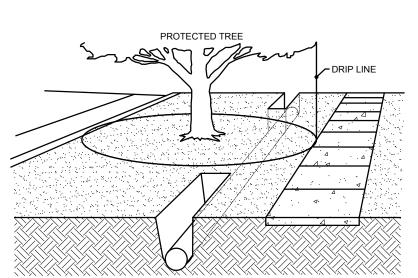
CORONADO FREEDOM STONE COLOR: BUNKER HILL

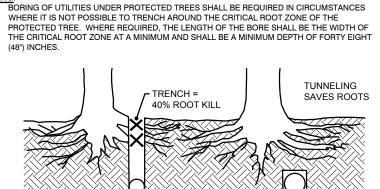
COLOR: TO MATCH SHERWIN WILLIAMS SW-6921 ELECTRIC LIME

/2022 3:51:22 PM

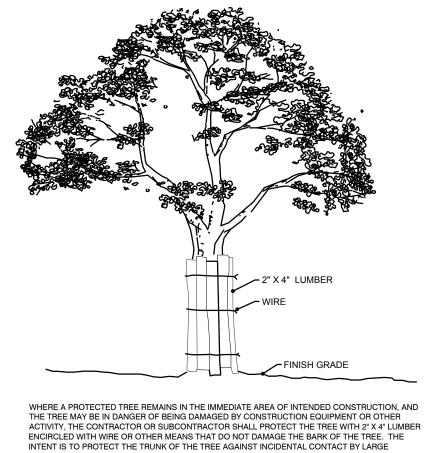








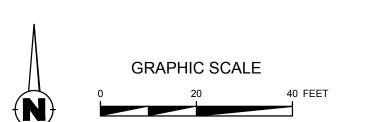




3 BARK PROTECTION

TREE TO BE REMOVED TREE TO REMAIN





TREE PRESERVATION NOTES

CONSTRUCTION METHODS:

BORING: BORING OF UTILITIES UNDER PROTECTED TREES MAY BE REQUIRED. WHEN REQUIRED, THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY (48) INCHES.

TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS CRITICAL ROOT ZONES OF ANY PROTECTED TREE. THE PLACEMENT OF UNDERGROUND UTILITY LINES SUCH AS ELECTRIC, PHONE, GAS, ETC., IS ENCOURAGED TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE. TRENCHING FOR IRRIGATION SYSTEMS SHALL BE PLACED OUTSIDE THE CRITICAL ROOT ZONE EXCEPT THE MINIMUM REQUIRED SINGLE HEAD SUPPLY LINE. THIS LINE IS ALLOWED TO EXTEND INTO THE CRITICAL ROOT ZONE PERPENDICULAR TO THE TREE TRUNK WITH THE LEAST POSSIBLE DISTURBANCE.

TREES TO BE REMOVED: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE.

TREES TO REMAIN: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.

EXISTING TREES NOTED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE OF TREE.

UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

PROHIBITED ACTIVITIES IN CRITICAL ROOT ZONE:
THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE AREAS NOTED AS THE CRITICAL ROOT ZONE.

MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION, OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION, SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED, OR OTHER LIQUIDS DEPOSITED OR ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR

TREE ATTACHMENTS: NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION, EQUIPMENT, TRAFFIC, OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET

GRADE CHANGES: A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF

PROCEDURES REQUIRED PRIOR TO CONSTRUCTION:
PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK, AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

BARK PROTECTION: IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE LANDSCAPE ARCHITECT OR OWNERS'S REPRESENTATIVE DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2"X4" LUMBER ENCIRCLED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE BARK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.

EXISTIN				
NO.	CALIPER	TREE SPECIES	REMAIN/REMOVE	NOTES
1	5	CREPE MYRTLE		MULTI TRUNK
2	6	CREPE MYRTLE		MULTI TRUNK
3	6	CREPE MYRTLE		MULTI TRUNK
4	5	CREPE MYRTLE		MULTI TRUNK
5	6	CREPE MYRTLE		MULTI TRUNK
6	5	CREPE MYRTLE	TO BE REMOVED	MULTI TRUNK
7	5	CREPE MYRTLE	TO BE REMOVED	MULTI TRUNK
8	6	CREPE MYRTLE		MULTI TRUNK
9	6	CREPE MYRTLE		MULTI TRUNK
10	6	CREPE MYRTLE		MULTI TRUNK
11	6	CREPE MYRTLE		MULTI TRUNK
12	6	CREPE MYRTLE		MULTI TRUNK
13	8	CREPE MYRTLE		MULTI TRUNK
14	8	CREPE MYRTLE		MULTI TRUNK
15	8	CREPE MYRTLE		MULTI TRUNK
16	5	CREPE MYRTLE		MULTI TRUNK
17	5	CREPE MYRTLE		MULTI TRUNK
18	5	CREPE MYRTLE		MULTI TRUNK
19	5	CREPE MYRTLE	TO BE REMOVED	
20	18	BRADFORD PEAR	TO BE REMOVED	NOT PROTECTED
21	14	ELM	TO REMAIN	
22	12	ELM	TO REMAIN	

TOTAL ON SITE TOTAL TO BE REMOVED

Case #: SUP-0052

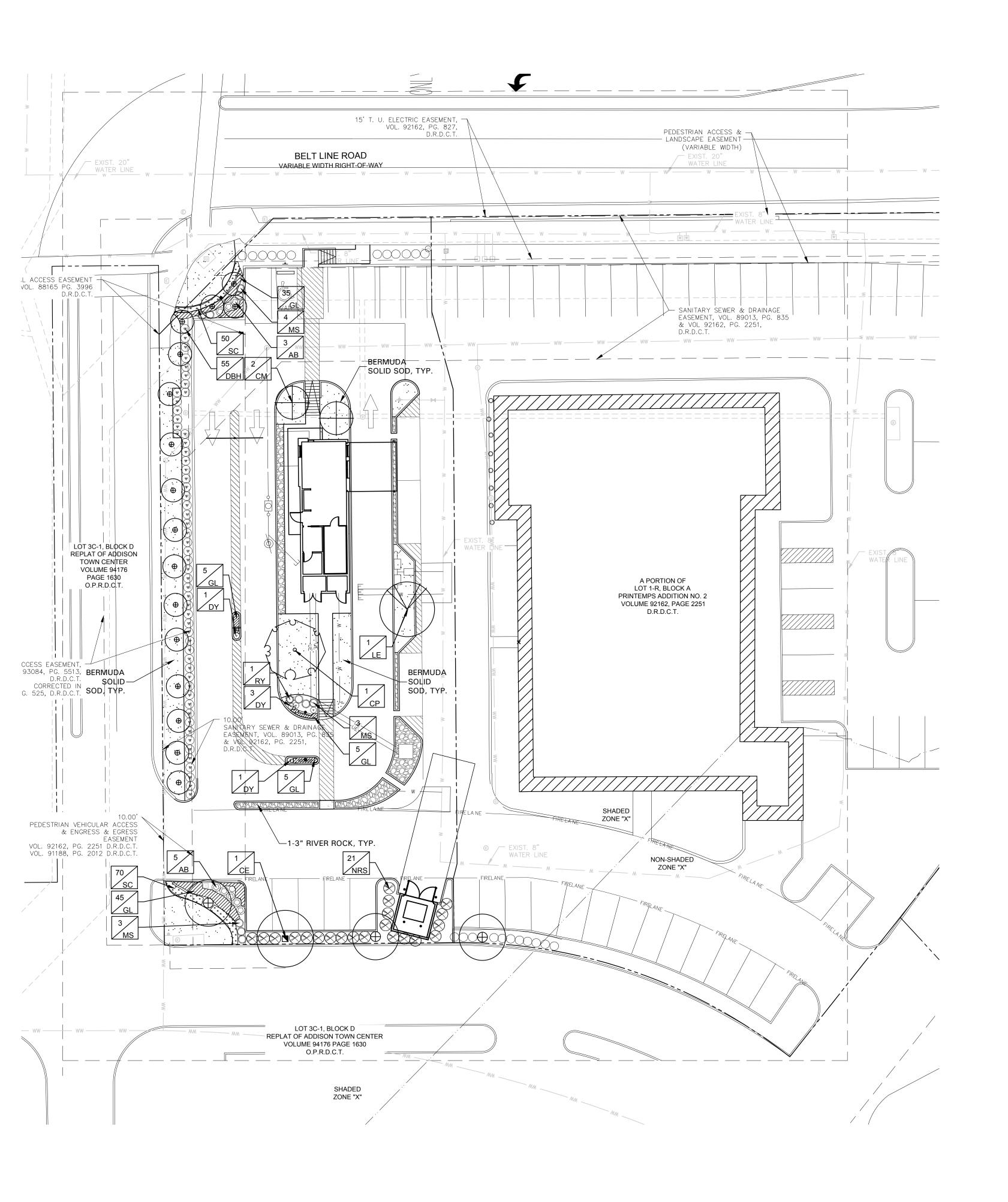




SHEET NO.

ADDISON
3820 BELT LINE R

L1.01



GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER

2. LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.

3. CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.

4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN

INSTALLATION. 5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER. REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.

6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL

ACCEPTANCE. 7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

SOLID SOD:

1. SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.

2. SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH. 3. LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY,

ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS. 4. TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF

5. SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD

LANDSCAPE TABULATIONS for ADDISON, TEXAS

5,597 s.f (22.8%)

PROVIDED

3 trees have been placed

easements along Beltline

existing trees on site, 1

additional shade tree

shrub screen - 36" height and

3 existing crepe myrtles and 1

proposed shade trees, 4" cal.

elsewhere on property due to

20' buffer

5' buffer

PROVIDED

885 s.f.

SITE LANDSCAPE

LANDSCAPE BUFFER

2. 1 shade tree, 4 inches in caliper is required per ever 30 linear

PARKING LOT PERIMETER LANDSCAPE

PARKING LOT INTERIOR LANDSCAPE

1. One 4" cal. Tree shall be provided for each 35 l.f. of perimeter

and one shrub planted for every 3-3.5' on center.

1. 5% of the interior parking lot to be landscaped.

Bermuda Solid Sod

One shade tree for each 10 spaces.

1. 10% of the total site are to be landscaped

Total Site Area: 24,458 s.f.

feet of street frontage

3 shade trees, 4" cal.

8 shade trees, 4" cal.

Beltline - 95 I.f.

20' buffer

5' buffer

shrubs

REQUIRED 638 s.f. (10%)

2 shade trees, 4" cal.

1. A 20' landscape buffer is required

2,446 (10%)

SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS. 6. SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH

1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

LANDSCAPE NOTES

- 1. CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF
- EXISTING CONDITIONS WAS SUPPLIED BY OTHERS 2. CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND
- UTILITIES. 3. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
- 4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- 5. LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT 6. PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO
- STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE. 7. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS
- WALKS AND/OR CURRS 8. MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS
- AND CURBING. 9. QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING
- OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. 10. CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS
- APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST. 11. TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE,
- SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS 12. 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE
- PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL, PINE STRAW MULCH IS
- 13. WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL.

14. CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION

1. ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS: 1. VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT

- PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE. 2. MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER
- APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- 3. ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS: 1. STEEL EDGING SHALL BE 3/16" X 4 X 16' DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON

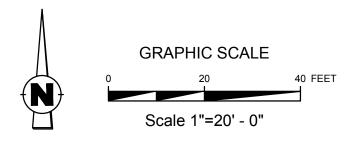
PLANS/DETAILS 2. RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

- PRUNING AND TRIMMING NOTES 1. CONTRACTOR SHALL PRUNE ALL EXISTING TREES ON-SITE USING STANDARD GUIDELINES IN THE INDUSTRY. 2. ALL TREES SHALL BE TRIMMED SO THAT NATURAL SHAPES OF THE
- PLANTS ARE RETAINED. 3. DO NOT 'TOP' OR 'HEAD' TREES.
- 4. IF BALLING OR SHEARING OF TREES HAS OCCURRED IN THE PAST, DISCONTINUE THIS PRACTICE AND ALLOW PLANTS TO GROW INTO NATURAL SHAPE.
- 5. REMOVE SUCKERS, DEAD, DYING, DISEASED, BROKEN AND / OR WEAK BRANCHES FROM ALL TREES ALONG THE MAIN TRUNK STRUCTURE AND WITHIN THE BRANCHING AREA. 6. CONTRACTOR SHALL PRUNE EXISTING DECIDUOUS HARDWOOD BY REMOVING LOWER LIMBS TO RAISE THE CANOPY. THE BOTTOM OF THE
- CANOPY SHALL BE RAISED TO 12'-0" ABOVE GRADE FOR DECIDUOUS HARDWOOD TREES, WHEN POSSIBLE. THE INTEGRITY OF THE CANOPY AND STRUCTURE OF THE TREE SHALL BE MAINTAINED. DO NOT CUT OR PRUNE CENTRAL LEADERS. CONTRACTOR SHALL THIN THE CANOPY BY ONE-FOURTH. PRUNE TREE
- TO EVENLY SPACE BRANCHES WITHIN THE CANOPY WHENEVER POSSIBLE. REMOVE THOSE LIMBS THAT CROSS OTHERS, DOUBLE LEADERS AND THOSE THAT EXCESSIVELY EXTEND BEYOND THE NATURAL CROWN OF THE TREE.
- 8. CONTRACTOR SHALL PROVIDE DEEP ROOT FEEDING AND INVIGORATION OF EXISTING TREES. THIS SHALL BE ORGANIC BASED NUTRIENTS BASED FOR ROOT GROWTH AND LEAF GROWTH STIMULATION. 9. CONTRACTOR SHALL BE REQUIRED TO CHIP ALL REMOVED BRANCHES,

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
		TREES			
1	CE	Cedar Elm	Ulmus crassifolia	3" cal.	12' ht., 4' spread, matching
2	CM	Crepe Myrtle 'Tuscarora'	Lagerstromia indica 'Tuscarora'	30 gal.	8' ht. 3' spread, matching
1	CP	Fruitless Chinese Pistache - Male	Pistachia chinensis 'Keith Davey'	4" cal.	12' ht., 4' spread
1	LE	Lacebark Elm	Ulmus parvifolia 'Sempervirens'	4" cal.	12' ht., 4' spread
		SHRUBS			
8	AB	Glossy Abelia	Abelia grandiflora	5 gal.	full, 24" spread, 36" o.c.
55	DBH	Dwarf Burford Holly	llex cornuta ' Burford Nana'	3' ht X 3' wt	full, 3' spread, 36" o.c.
5	DY	Dwarf Yaupon Holly	llex vomitoria 'Condeaux'	5 gal.	full, 24" sprd, 24" o.c.
10	MS	Morning Light Miscanthus	Miscanthus sinensis 'Morning Light'	5 gal.	full, 20" spread, 36" o.c.
21	NRS	Nellie R Stevens Holly	Illex x 'Nellie R. Stevens'	7 gal.	full, 40" o.c.
1	RY	Red Yucca	Hesperaloe parvifolia	5 gal.	full, 24" sprd, 30" o.c.
		GROUNDCOVER/VINES/GRAS	S		
15	GL	Giant Lirope	Liriope gigantea	1 gal.	full, 18" o.c.
120	SC	Seasonal Color		4" pots	full, 12" o.c.

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

Cynodon dactylon



Case #: SUP-0052



BELT ADDISON
3820 BELT LINE RO **G**0 SHEET NO.

RO/

L1.02

PART 1 - GENERAL 1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.

A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING

A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS

1.3 SCOPE OF WORK / DESCRIPTION OF WORK A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALI SUPERVISIONS. LABOR. MATERIALS. SERVICES. EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN

- CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING: PLANTING (TREES, SHRUBS, GRASSES)
- BED PREP AND FERTILIZATION
- 3. NOTIFICATION OF SOURCES 4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
- GUARANTEE B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN
- SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS. C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK

1.4 REFERENCES

- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN; 27 OCTOBER 1980, EDITION; BY AMERICAN NATIONAL STANDARDS INSTUTUTE (Z60.1) - PLANT MATERIAL B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE; 1942
- EDITION OF STANDARDIZED PLANT NAMES. C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS

GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNER'S REPRESENTATIVE BEFORE USE. B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.

A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX,

C. BEFORE INSTALLATION. SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE. B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES
- AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD
- RESPONSIBLE FOR THEFT OR DAMAGE.
- A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOD. B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED

ORGANIC MATTER. 1.8 MAINTENANCE AND GUARANTEE

SECTIONS

STEP 1

SET TREE IN PLANTING PIT

PLACE ANCHOR WITH RING SIDE DOWN AGAINST TOP OF ROOT

ALIGN DRIVE ROD AS CLOSE AS POSSIBLE TO OUTSIDE EDGE OF

CENTER ROOT ANCHOR'S INNER RING(S) AROUND TRUNK OF TREE

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOWING OF
- GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE. D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE

- TREE ROOT BALL - ROOT ANCHOR TREE TRUNK

- U-BRACKET

— "S" НООК

SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION AN ON SITE INSPECTION BY THE OWNER'S ALITHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE. E. NOTIFY OWNER OR OWNER'S REPRESENTATIVE SEVEN DAYS PRIOR TO THE

EXPIRATION OF THE WARRANTY PERIOD. F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY

G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR

H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY. I. REMOVE TRASH, DEBRIS, AND LITTER. WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.

PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING

ADEQUATE WATER FROM AN IRRIGATION SYSTEM. K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON

J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT

- TO MAXIMIZE WATER CONSERVATION.
- L. REAPPLY MULCH TO BARE AND THIN AREAS. M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE
- RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER. N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
- a. THE LANDSCAPE SHALL SHOW ACTIVE. HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE. c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE

RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL

ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE

- A. TREES, SHRUBS, GROUNDCVOER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES. WHICH HAVE PARTIALLY DIED SO THAT SHAPE SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE
- C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY
- A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED. D. WHEN PLANT REPLACEMENTS ARE MADE. PLANTS. SOIL MIX. FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRA
- REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER "WORK" OF THIS SECTION. E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY
- F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD. VANDALISM INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE
- G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.9 QUALITY ASSURANCE

A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS

TIGHTENING STRAP

- DRIVE ROD

DETAIL A

DRIVE ANCHOR STRAIGHT DOWN INTO

SEE CHART FOR RECOMMENDED DEPTHS

Phone: 281-778-1400

Mobile: 903-676-6143

Fax: 281-778-1425

UNDISTURBED SUBBASE SOIL

PER TREE SIZE

TREE STAKE SOLUTIONS, LLC

9973 FM 521 Road

Rosharon, Texas 77583

www.treestakesolutions.com

- GOVERNING LANDSCAPE MATERIALS AND WORK. B. FMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
- C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.

REMOVE DRIVE ROD

ANCHOR

REPEAT STEPS 1 & 2 FOR ALL THREE (3) ANCHOR LOCATIONS

PLACE "S" HOOK OVER THE END OF THE U-BRACKET

STRAP TO ADJUST TREE, IF NECESSARY

PULL BACK ON STRAP APPROXIMATELY 3" FOR THE V-68 ANCHOR, OR 6" TO

POSITION. A FULCRUM MAY BE REQUIRED TO ASSIST IN SETTING THE

• PULL STRAP UP VERTICALLY UNTIL ROOT ANCHOR RINGS BITE INTO THE TOP OF THE ROOT BALL AND U-BRACKETS ARE SETTING FLUSH ON TOP OF

TIE EXCESS STRAP OFF TO THE U-BRACKET ALLOWING ENOUGH REMAINING

7" FOR THE V-88 ANCHOR TO SET ANCHOR INTO A HORIZONTAL OR LOCKED

- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR
- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS, IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLAN
- F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
- G. OWNER'S REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNER'S REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/SHE FEELS TO BE LINSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED
- 1.10 PRODUCT DELIVERY, STORAGE AND HANDLING A. PREPARATION

EXCEED PROJECT SPECIFICATIONS.

- 1. BALLED AND BURLAPPED B&B PLANTS): DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
- 2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS. B. DELIVERY
 - WEIGHT, ANALYSIS AND NAME OF MANUFACTURER, PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE. 2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE

1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING

- 3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24
- HOURS OF DELIVERY. 4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES. 5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING
- 6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE. 7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE. 8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

- 2.1 PLANT MATERIALS A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS, PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR
- DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
- C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS. INJURY. DISEASE. BROKEN BRANCHES DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY. D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND
- SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMACTIC
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED. EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.

TOP OF MULCH SHOULD BE

AT MINIMUM, 1/2" BELOW

CURB OR SIDEWALK NO STEEL EDGING

ALONG WALK, TYP

WALK OR CURBING

SHRUB PLANTING

4 \STEEL EDGING DETAIL

H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE. I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING

- ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED
- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND. L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR\INSECT DAMAGE WILL BE REJECTED.
- M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER
- N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT MEASURED FROM THE TOP OF THE ROOT BALL. O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY
- COVERED, SHALL BE REJECTED. P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD. 2.2 SOIL PREPARATION MATERIALS
- A. SANDY LOAM: 1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLASGRASS OR
 - NUTGRASS SHALL BE REJECTED 2. PHYSICAL PROPERTIES AS FOLLOWS:
 - a. CLAY BETWEEN 7-27%
 - b. SILT BETWEEN 15-25% c. SAND – LESS THAN 52% 3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY

4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT

- SANDY LOAM MEETS THE ABOVE REQUIREMENTS B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS
- SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL. C. PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS,
- TEXAS OR APPROVED EQUAL. D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
- E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN. F. ORGANIC FERTILIZER: FERTILAID, SUSTANE, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER
- SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN
- SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UF) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS. H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY
- DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS

REF. LANDSCAPE

PLAN FOR SPACING

SHRUBS AND GROUNDCOVER REFER TO PLANS FOR PLANT TYPES

PREPARED SOIL MIX

PER SPECIFICATIONS

MULCH PER SPECIFICATIONS

3/16" X 4" X 16" STEEL EDGING WITH

NOTE: NO STEEL EDGING TO BE INSTALLED ALONG

SIDEWALKS

- A. STEEL EDGING SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING. DURAEDGE STEEL OR APPROVED EQUAL.
- B. TREE STAKING TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE;
- C. FILTER FABRIC MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (469-523-0444)
- D. SAND UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND,
- E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5" F DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF
- GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2"-4" IN
- DIAMETER. H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING

SHRUBS OR GROUNDCOVER AS

LAYER OF MULCH

SHOULD BE 2" MIN

DISTURB

SETTLED THICKNESS

ROOT BALL, DO NOT

PLANTING SOIL MIX. TILL IN WITH PARTS

EXISTING SOIL, EXCLUDING LARGE

CLODS AND ROCKS.

UNDISTURBED SUBGRADE / NATIVE SOII

PECIFIED ON PLAN

PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURE ON WHICH IT WILL BE LITHIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS

- AND REPORT ANY DEFICIENCIES TO THE OWNER B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS 1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL NTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED
- 2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
- C. GRASS AREAS: 1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPED OPEN, THEN WATERED THOROUGHLY.

3.2 INSTALLATION

- A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY
- ACCOMPLISHED. B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSIT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WINI AND BALLS OF EARTH OF B & B PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
- POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS
- D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. REE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED. THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF
- GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SLICK OR GLAZED. F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN IT'S VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE
- THOROUGHLY MOIST BEFORE REMOVING CONTAINERS. G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL
- A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS. H. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK. TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP $\frac{1}{3}$ OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND, IF SO FOLLOW STANDARD NURSERY PRACTICE OF 'ROOT SCORING'.
- DO NOT WRAP TREES. J. DO NOT OVER PRUNE.
- K. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE
- SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING. M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
- N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE. O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY

TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF

- THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED
- P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER. WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3') FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT TH REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE TH REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE
- R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.
- S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING, CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.
- 1. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED

ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC

MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC

- MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT. Q. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS. STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN
- OWNERS APPROVAL PRIOR TO INSTALLATION. ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT
- 2. TOP OF EDGING SHALL BE $\slash\hspace{-0.4em}Z^{"}$ MAXIMUM HEIGHT ABOVE FINAL FINISHED GRADE. 3. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF
- 4. DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR 5. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING

THE CURBING, AS OPPOSED TO THE GRASS SIDE.

MEETS SIDEWALKS OR CURBS. 3.3 CLEANUP AND ACCEPTANCE

CONTRACTOR.

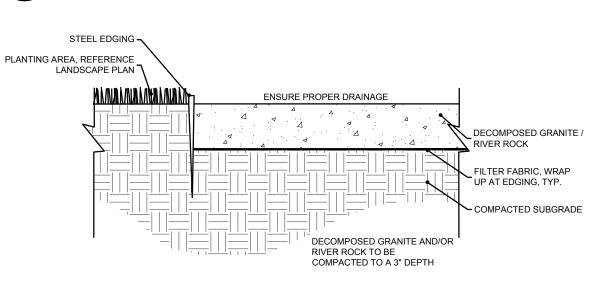
- A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING THEM AT END OF EACH WORK DAY.
- B. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
- D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN. FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- E. WHEN/IF THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND $\,$ GUARANTEE PERIODS WILL COMMENCE.

END OF SECTION

24" MIN. SETBACI FOR SHRUBS & GROUNDCOVERS ALONG BACK OF **CURB TO ALLOW** FOR CAR OVERHANG

SHRUB SPACING AND PLANTING AT B.O.C.

5 DECOMPOSED GRANITE / RIVER ROCK





Case #: SUP-0052

SHEET NO.

L1.03

RO/

BELT