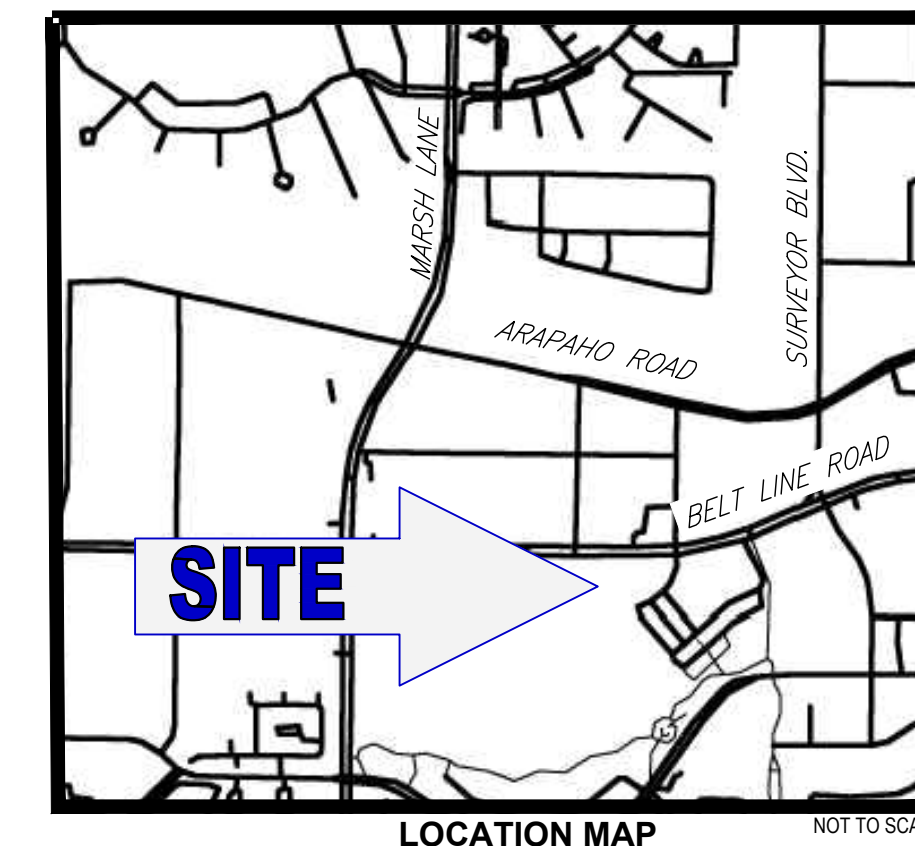


LEGEND	
	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	PROPOSED SAWCUT
	PROPOSED PARKING COUNT
	EXISTING TREE
	EXISTING SHRUB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED FIRE LANE
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED BIKE RACK



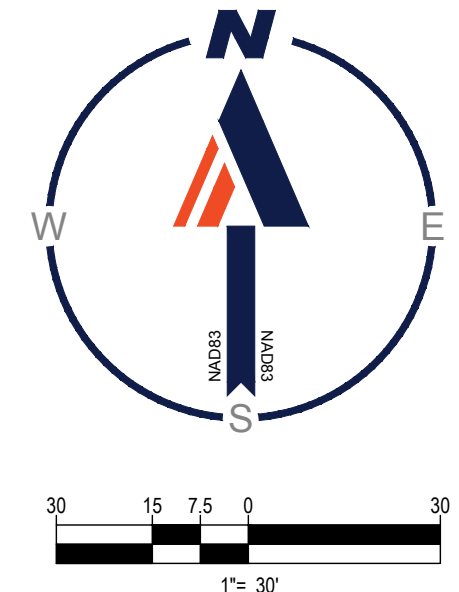
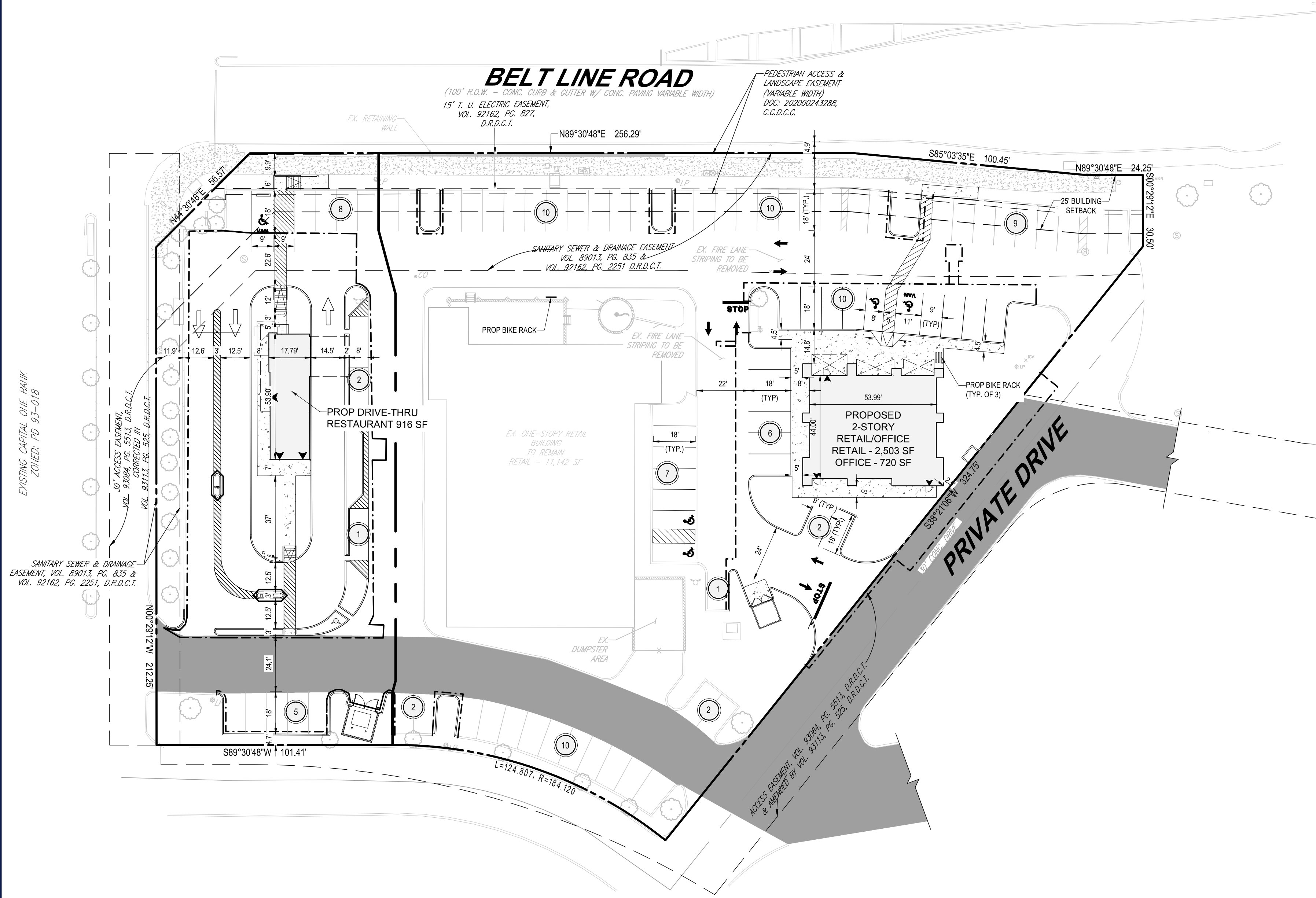
SITE DATA SUMMARY	
SITE INFORMATION	
TOTAL LOT AREA	88,597 SF (2.034 AC)
PROPOSED BUILDING AREAS:	2-STORY RETAIL: 3,223 SF (2,503 SF = RETAIL; 720 SF = OFFICE) DRIVE-THRU RESTAURANT: 916 SF
EXISTING BUILDING AREAS	10,382 SF, 1-STORY 760 SF PATIO (11,142 SF = RETAIL)
TOTAL LOT COVERAGE	14,521 SF (16.4%)
PARKING DATA	
REQUIRED	
RETAIL RATIO	1 SPACE / 200 SF
RETAIL REQUIRED (INCLUDING 2-STORY RETAIL AND EXISTING BUILDING)	68 SPACES
OFFICE RATIO	1 SPACE / 300 SF
OFFICE REQUIRED	3 SPACES
DRIVE-THRU RESTAURANT RATIO	1 SPACE / 70 SF
DRIVE-THRU RESTAURANT REQUIRED	13 SPACES
TOTAL PARKING REQUIRED	84 SPACES
BIKE PARKING (1 / 10 SPACES)	8 SPACES
REQUIRED ADA SPACES	4 SPACES (1 VAN SPACE)
PROVIDED	
TOTAL PROVIDED PARKING	85 SPACES
PROVIDED ADA SPACES	5 SPACES
PROVIDED BIKE PARKING	8 SPACES
SPACE USAGE	
REQUIRED LANDSCAPE AREA	20% (17,719 SF)
PROVIDED LANDSCAPE AREA	21.7% (19,243 SF) (INCLUDES LANDSCAPE AREA IN ROW)
IMPERVIOUS SURFACE AFTER DEVELOPMENT	80.5% (71,294 SF)
JURISDICTIONAL	
EXISTING ZONING / USE	PD 93-018 / RESTAURANT
PROPOSED ZONING / USE	PD - LOCAL RETAIL
BUILDING SETBACKS:	
FRONT	25'
SIDE	25' ADJ. TO R.O.W.; 0' ADJ. TO NON-RESIDENTIAL
REAR	0'
LANDSCAPE BUFFER	19' LANDSCAPE BUFFER INCLUDING SIDEWALK

TOWN OF ADDISON SITE PLAN NOTES:

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDINGS WITH AN AGGREGATE SUM OF 500 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

GENERAL SITE PLAN NOTES:

- ALL DIMENSIONS ARE FROM FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- ALL CURB RADII ARE 3' UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- THIS DEVELOPMENT WILL NOT IMPACT THE EXISTING NATURAL RESOURCES OF THE SURROUNDING PROPERTIES.
- SITE LIES WITHIN 'ZONE X, 0.2 PCT ANNUAL CHANCE FLOOD HAZARD,' ACCORDING TO FEMA FLOOD MAP 48113C0180K.
- THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTEWATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.
- REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS OF PROPOSED BUILDINGS. ONLY THE OVERALL FOOTPRINTS HAVE BEEN OUTLINED IN THIS SITE PLAN.
- REFERENCE APPROVED CONSTRUCTION DOCUMENTS TITLED BELT LINE 1.5 PREPARED BY PACHECO KOCH DATED 01/02/2020 SIGNED BY AMBER M. DAVIS.
- ANY PAVEMENT REPLACEMENT SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON'S PAVEMENT SECTION SPECIFICATIONS, OR MATCH EXISTING SECTIONS WHICHEVER IS GREATER.
- EXISTING FIRE LANE MARKING TO BE REMOVED TO ALLOW FOR THE PROPOSED FIRE LANE CIRCULATION AS SHOWN IN THIS PLAN.
- CROSS ACCESS AND UTILITY EASEMENT FOR ADJACENT DEVELOPMENT TO THE WEST OF THIS PROPERTY TO BE DEDICATED BY SEPARATE PRIVATE AGREEMENT.



ENGINEER: BOHLER ENGINEERING 6017 MAIN STREET FRISCO, TX 75034 PHONE: (469) 458-7300 CONTACT: MATHIAS HAUBERT	SURVEYOR: AXIS SURVEYING 714 FERRIS AVE B WAXAHACHIE, TX 75080 PHONE: (214) 903-8200 CONTACT: SEAN SHROPSHIRE	OWNER/APPLICANT: ADDISON RETAIL, LLC 83 ORCHARD HILL PARK DR LECOMINSTER, MA 04153 PHONE: (978) 466-6861 CONTACT: GREGG LISCIOTTI
---	---	---

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY / CHECKED BY

811

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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	TD210002
DRAWN BY:	MG
CHECKED BY:	MJH
DATE:	8/12/2022
CAD I.D.:	SPD

CONCEPT PLAN

FOR

ADDISON RETAIL LLC

3820 BELT LINE ROAD
 ADDISON, TX 75001
 DALLAS COUNTY
 THOMAS L CHINOWITH ABST. 273
 BLOCK A, LOT 1R, 2.034 AC

BOHLER

2600 NETWORK BLVD, STE 310
 FRISCO, TX 75034
 Phone: (469) 458-7300
 TX@BohlerEng.com
 TBPE No. 18065 | TBPLS No. 10194413

BOHLER

FOR REVIEW PURPOSES ONLY

MATHIAS HAUBERT
LICENSE NUMBER: 138306

SHEET TITLE:

CONCEPT PLAN

SHEET NUMBER:

C-301

CASE #1850-Z

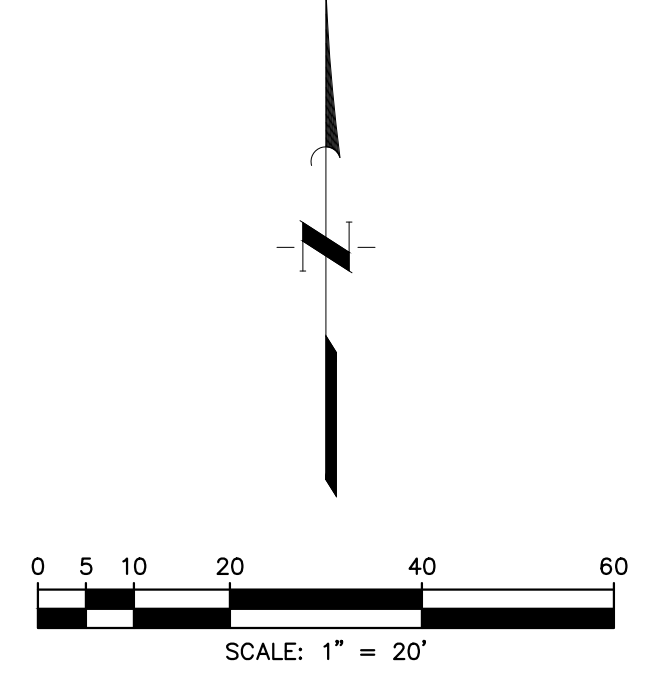
SITE DATA BASED ON SALAD AND GO PROPOSED DEVELOPMENT MARSH/BELT LINE PRINTEMPS ADDITION LOT 1-R BLOCK A		
GENERAL		
EXISTING ZONING:	PLANNED DEVELOPMENT (PD) ORDINANCE #093-018	
PROPOSED ZONING:	PLANNED DEVELOPMENT (PD) - LOCAL RETAIL	
CURRENT USE:	PARKING LOT TO VACANT BUILDING	
PROPOSED USE:	DRIVE-THRU RESTAURANT W/ NO DINE IN	
OVERALL SITE		
GROSS SITE AREA:	0.562 ACRES (24,553 SQUARE FEET)	
SITE FRONTAGE:	256 FEET	
SITE WIDTH:	101 FEET	
SITE DEPTH:	252 FEET	
IMPERVIOUS COVER:	18,937 SQUARE FEET (0.433 ACRES)	
PERVIOUS COVER:	5,616 SQUARE FEET (0.128 ACRES)	
BUILDING DATA		
BUILDING AREA:	915 SQUARE FEET	
BUILDING HEIGHT:	20 FEET (1 STORY)	
BUILDING COVERAGE:	3.72%	
FLOOR:AREA RATIO	0.03 : 1	
PROPERTY DEVELOPMENT REGULATIONS		
	REQUIRED	PROPOSED
FRONT SETBACK:	20 FEET	77 FEET
SIDE SETBACK:	0 FEET	48 FEET
REAR SETBACK:	0 FEET	122 FEET
LANDSCAPE AREA:	0.056 ACRES (10%)	0.128 ACRES (22.8%)
PARKING SPACE RATIO:	1/70 SF	1/65 SF
PARKING SPACE:	14 SPACES	14 SPACES
ADA PARKING SPACES:	1 SPACE	1 SPACES

BENCHMARK
ALL ELEVATIONS AND BEARINGS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS UTILIZING THE ALLTERA RTK NETWORK. (GEOID 12A)

TBM A
BEING AN "X" IN THE CONCRETE SIDEWALK LOCATED ON THE EAST SIDE OF THE EXISTING PRIVATE DRIVE, APPROXIMATELY 33 FEET NORTH AND 19 FEET EAST OF THE NORTHWESTCORNER OF THE SUBJECT TRACT.
ELEVATION 578.54, GEOID 12A (1988).

TBM B
BEING AN "X" CUT ON TOP OF NORTH WIDE OF THE SOUTHERN MOST PRIVATE DRIVE, APPROXIMATELY 62 FEET EAST OF SOUTHWEST CORNER ALONG PROPERTY LINE OF SUBJECT TRACT.
ELEVATION 581.63 FEET, GEOID 12A (1988).

100-YEAR FLOOD PLAIN
ACCORDING TO MAP NO. 4813C0180K OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR DALLAS COUNTY DATED JULY 7, 2014 AND IS LOCATED IN COMMUNITY NUMBER 481089, THE SUBJECT TRACT IS SITUATED WITHIN: NON-SHADED ZONE "X" AND SHADED ZONE "X".



LEGEND

- PROPERTY LINE
- PROP. GRADE BREAK
- PROPOSED SAWCUT/DEMOLITION LIMITS
- PROP. BARRIER FREE RAMP
- PARKING COUNT
- ADA ROUTE
- EXIST. TREE
- EXIST. CONCRETE PAVEMENT
- PROP. SIDEWALK
- PROP. LANDSCAPE AREA
- PROP. MENU BOARD
- PROP. PREVIEW BOARD
- SEE ARCH PLANS FOR DETAILS

NOTES

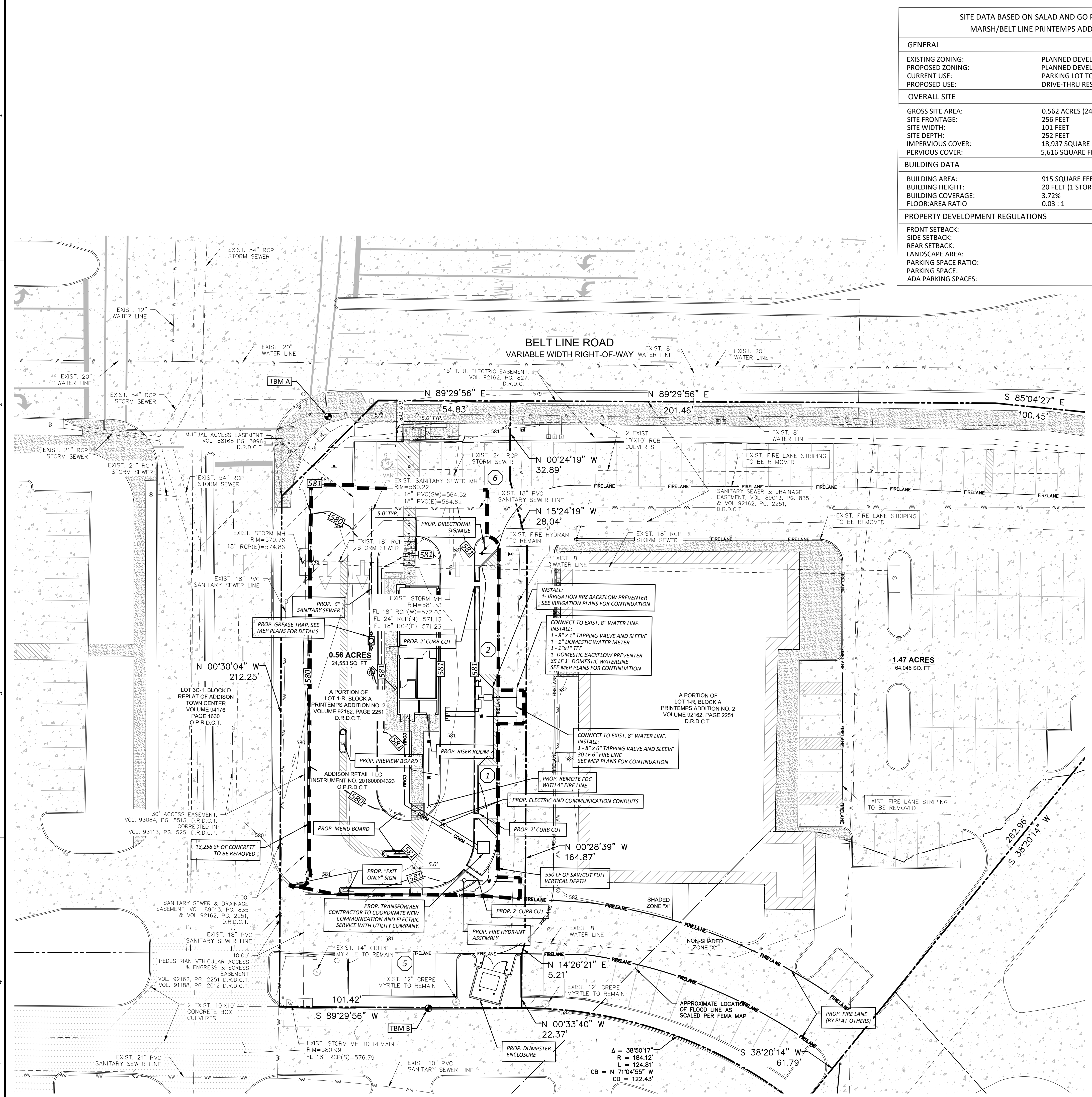
1. ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
2. ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
3. SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. CONTRACTOR TO USE CARE NOT TO DISTURB EXISTING LANDSCAPING OUTSIDE DISTURBED AREA. IF DISTURB CONTRACTOR TO RESTORE TO ORIGINAL CONDITIONS OR BETTER.
5. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES.
6. HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

CASE #1850-Z

DEVELOPER	OWNER	APPLICANT
AND GO CONCEPTS, LLC dba SALAD AND GO 5555 EAST VAN BUREN STREET PHOENIX, ARIZONA 85008 TEL (410) 371-1563 CONTACT: MATTHEW COPENHAVER	ADDISON RETAIL, LLC 83 ORCHARD HILL PARK DRIVE LEOMINSTER, MASSACHUSETTS 01453 TEL (978) 466-6661 CONTACT: GREGG LISCIOTTI	QUIDDITY ENGINEERING 4500 MERCANTILE PLAZA DRIVE SUITE 210 FORT WORTH, TEXAS 76137 TEL (972) 265-7190 CONTACT: RYAN ALCALA, PE

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

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App.	Revisions
No.	Date

QUIDDITY
4500 Mercantile Plaza Drive, Suite 210, Fort Worth, TX 76137
P: 972.265.7190 | F: 972.265.7190

SCALE: AS SHOWN
DESIGNED BY: ACH
CHECKED BY: RJA
DATE: AUGUST 2022
JOB NO.: 17007-0059-00

INTERIM REVIEW
Not intended for construction, bidding or permit purposes.
Engineer: RYAN J. ALCALA
P.E. Serial No.: 137832
Date: AUGUST 2022

SALAD AND GO - ADDISON - MARSH LANE AND BELT LINE ROAD
3820 BELT LINE ROAD, ADDISON, TEXAS, 75001

CONCEPT PLAN
PORTION OF LOT 1-R, BLOCK A
PRINTEMPS ADDITION NO. 2
VOLUME 92162, PAGE 2251
3820 BELT LINE ROAD
ADDISON, TX 75001

SHEET NO. **C-14** **C-4**

K:\17007\17007-0059-00 Salad and Go - Marsh and Belt Line - Add2 Design Phase\CAD\Plans\Site\17007-0059 SITE PLAN Recover.dwg ACH: August 08, 2022

SEAL

THIS DRAWING IS A DESIGN DEVELOPMENT DOCUMENT. SITE SPECIFIC MODIFICATIONS MADE UNDER THE RESPONSIBLE CHARGE OF THE ARCHITECT AND/OR ENGINEER-OF-RECORD WILL BE REQUIRED PRIOR TO USING THIS DOCUMENT FOR BIDDING, PERMITTING, OR CONSTRUCTION.

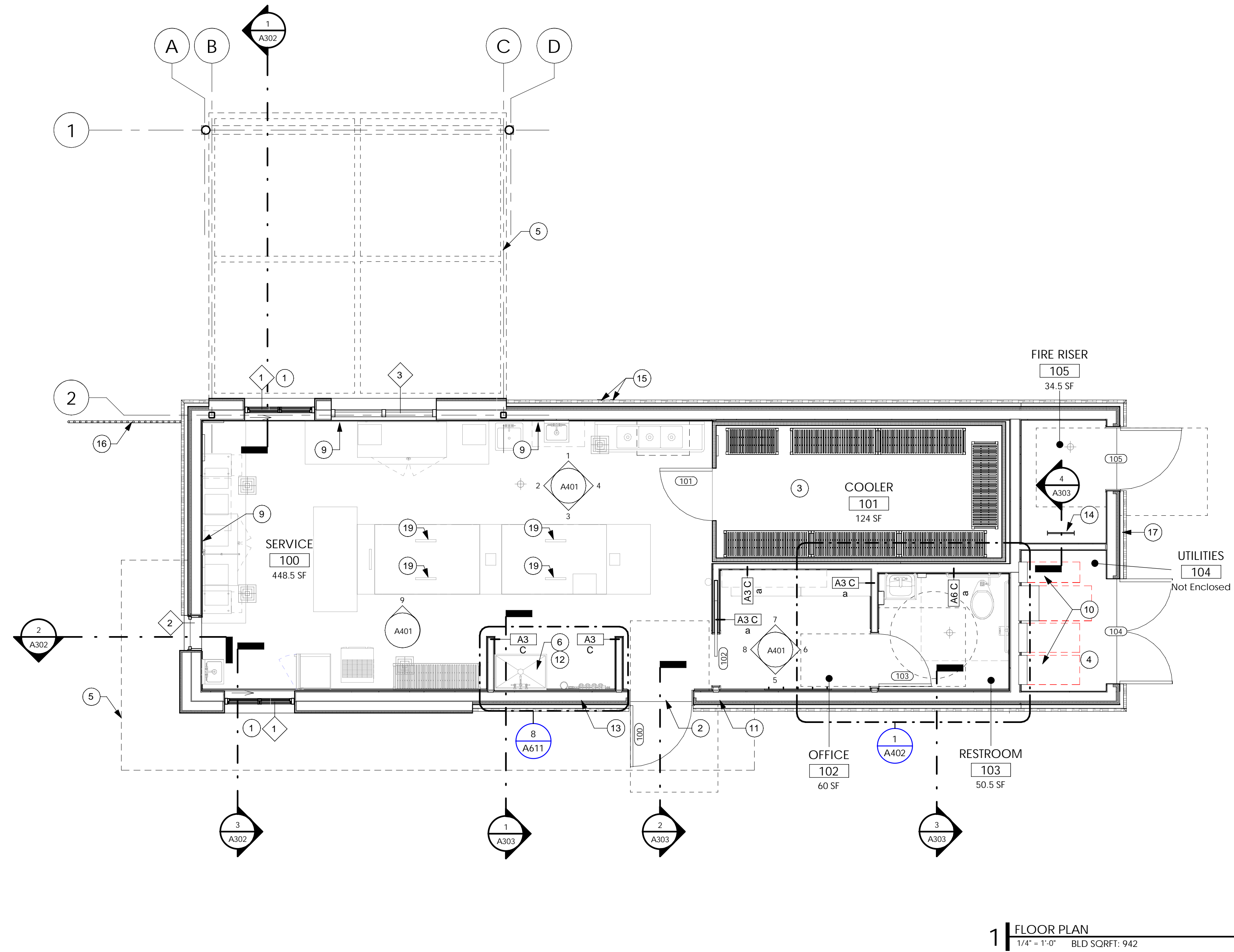
FAÇADE PLAN: 7/07/2022

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS. OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

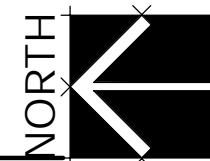
ISSUE	DATE	DESCRIPTION
1	7/07/22	CITY COMMENTS

PROJECT INFORMATION	
PROJECT NO:	22-0090
ORIGINAL ISSUE:	6/08/2022
SCALE:	AS NOTED
DRAWN BY:	J. JEFFERY
CHECKED BY:	A. MORELAND

SHEET TITLE
FLOOR PLAN
SHEET NUMBER
A112

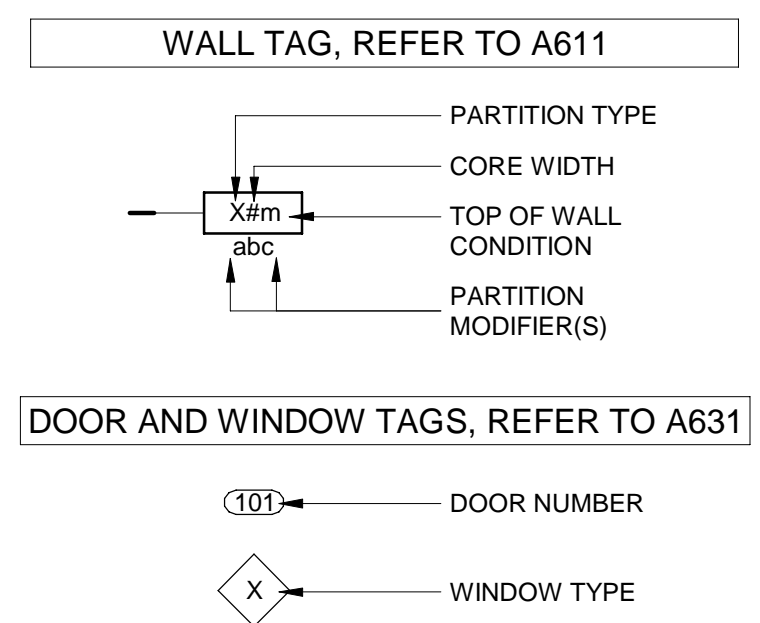


1 FLOOR PLAN
1/4" = 1'-0" BLD SQFT: 942



- DIMENSION NOTES**
- ALL PLAN DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO:
A. FACE OF STUD
B. CENTERLINE OF DOOR ON CENTERLINE OF ROOM OR CORRIDOR.
 - NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS; DETAILS OVER SMALLER SCALE DRAWINGS.
 - "FINISH FLOOR" REFERS TO TOP OF SLAB
 - VERIFY ALL ROUGH-IN, CONCRETE PAD, OR PLATFORM DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS PROJECT, OR BY OTHERS.
 - CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES, UNLESS NOTED OTHERWISE.

- FLOOR PLAN GENERAL NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
 - APPROVED SIGN INDICATING MAXIMUM OCCUPANCY FOR THE ROOM SHALL BE LOCATED NEAR MAIN EXIT. FINAL LOCATION SHALL BE VERIFIED BY FIRE MARSHAL.
 - DO NOT SCALE DRAWINGS.
 - FURNITURE AND KITCHEN EQUIPMENT SHOWN DASHED.
 - PROVIDE BLOCKING IN WALLS FOR WALL MOUNTED EQUIPMENT/ACCESSORIES PER PLAN.
 - REFER TO EQUIPMENT PLAN SHEET FOR ALL EQUIPMENT SCHEDULE INFORMATION AND LAYOUT.
 - DIMENSION SHOWN ON THIS PLAN IS FROM FACE OF STUD TO FACE OF STUD AT INTERIOR, UNO.
 - GENERAL CONTRACTOR TO COORDINATE ALL FLOOR SINKS AND FLOOR DRAINS WITH EQUIPMENT PLAN PRIOR TO PLACEMENT
 - PROVIDE INTERNAL WALL BLOCKING FOR LADDERS, GRAB BARS, MIRRORS, COUNTERTOPS, CEILING FANCS, AND OVERHEAD SHELVING.
 - COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL DRAWINGS AND SOIL REPORTS.
 - EXTERIOR WALL DIMENSIONS SHOWN FROM FACE OF STUD TO FACE OF STUD, UNO.
 - WALLS SHOWN ON ALIGNMENT ARE IN ALIGNMENT WITH FINISH SURFACE
 - TOP OF FLOOR LEVEL = 100'-0" = 0'-0" IS TOP OF CONCRETE PER ARCHITECTURAL PLAN AND ELEVATION. THIS DOES NOT INCLUDE FLOOR FINISH. REFER TO CIVIL DRAWINGS FOR ACTUAL GRADE LEVEL.



- FLOOR PLAN KEYNOTES**
- SERVICE WINDOW.
 - ADA COMPLIANT THRESHOLD, REFER TO A113
 - PRE-MANUFACTURED WALK IN COOLER BY OWNER.
 - CONCRETE SLAB WITH BROOM FINISH AT PATIO.
 - DASHED LINE INDICATES CANOPY ABOVE.
 - MOP SINK PENETRATION LOCATION, INSTALL PER MANUFACTURER SPECIFICATIONS.
 - NOT USED.
 - NOT USED.
 - PROVIDE IN-WALL BLOCKING TO INSTALL COUNTERTOP SUPPORTS. REFER TO A400
 - ELECTRICAL SERVICE ENTRY AND TELEPHONE SERVICE LOCATION, REFER TO ELECTRICAL.
 - 3200 SERIES KNOXBOX AT 60" A.F.F.
 - WATER HEATER WITH MOP SINK BELOW.
 - NOT USED.
 - ROOF ACCESS LADDER; REFER TO A503
 - ROOF DRAIN LEADERS.
 - 3'-6" GUARD RAIL.
 - RECESSED COVERED HOSE BIB
 - NOT USED.
 - POS MONITOR MOUNTED ON STAINLESS STEEL SHELVES. BY OWNER. SEE EQUIPMENT PLAN, TYP.

SEAL

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FACADE PLAN: 7/07/2022

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS. OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

ISSUE	DATE	DESCRIPTION

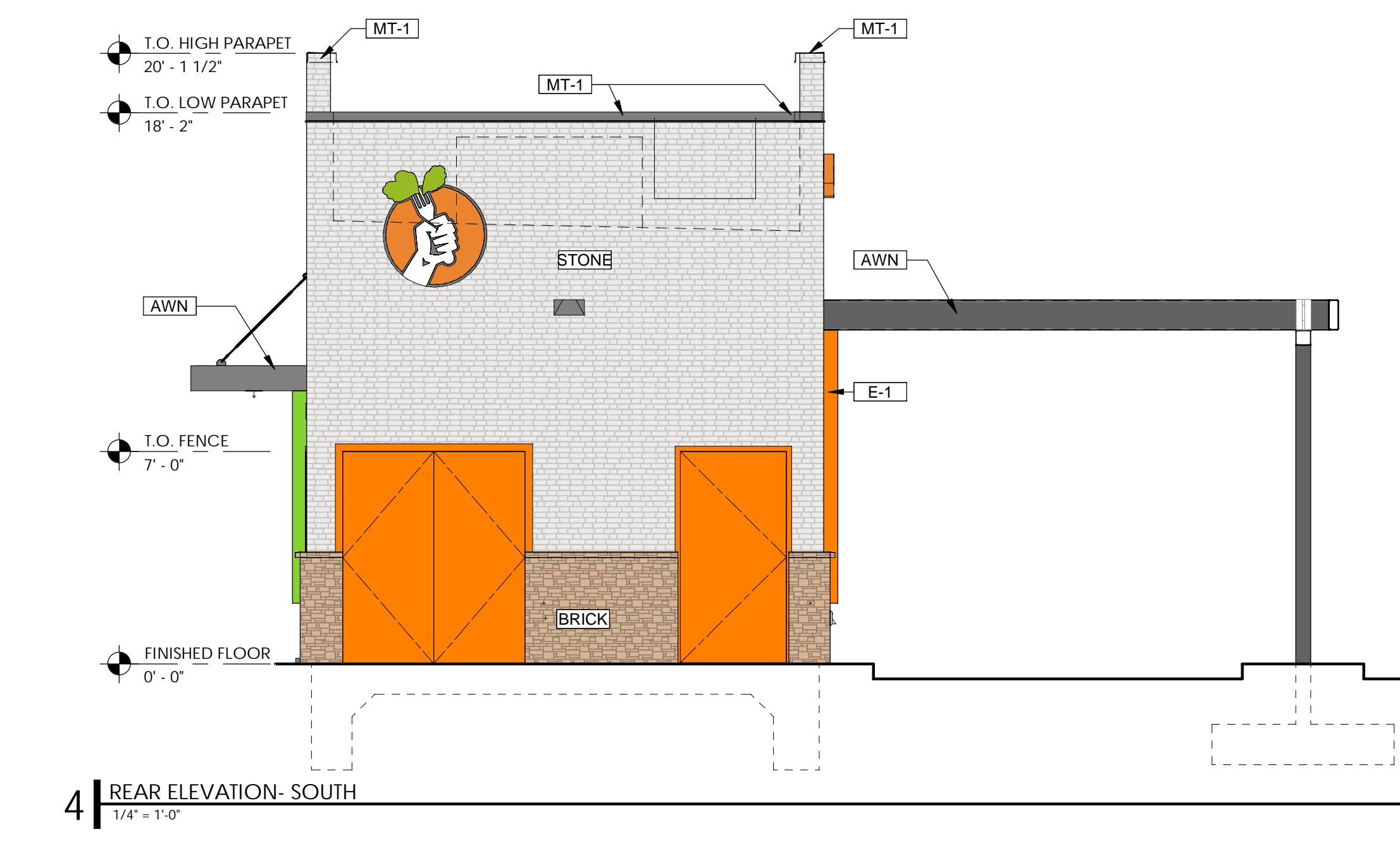
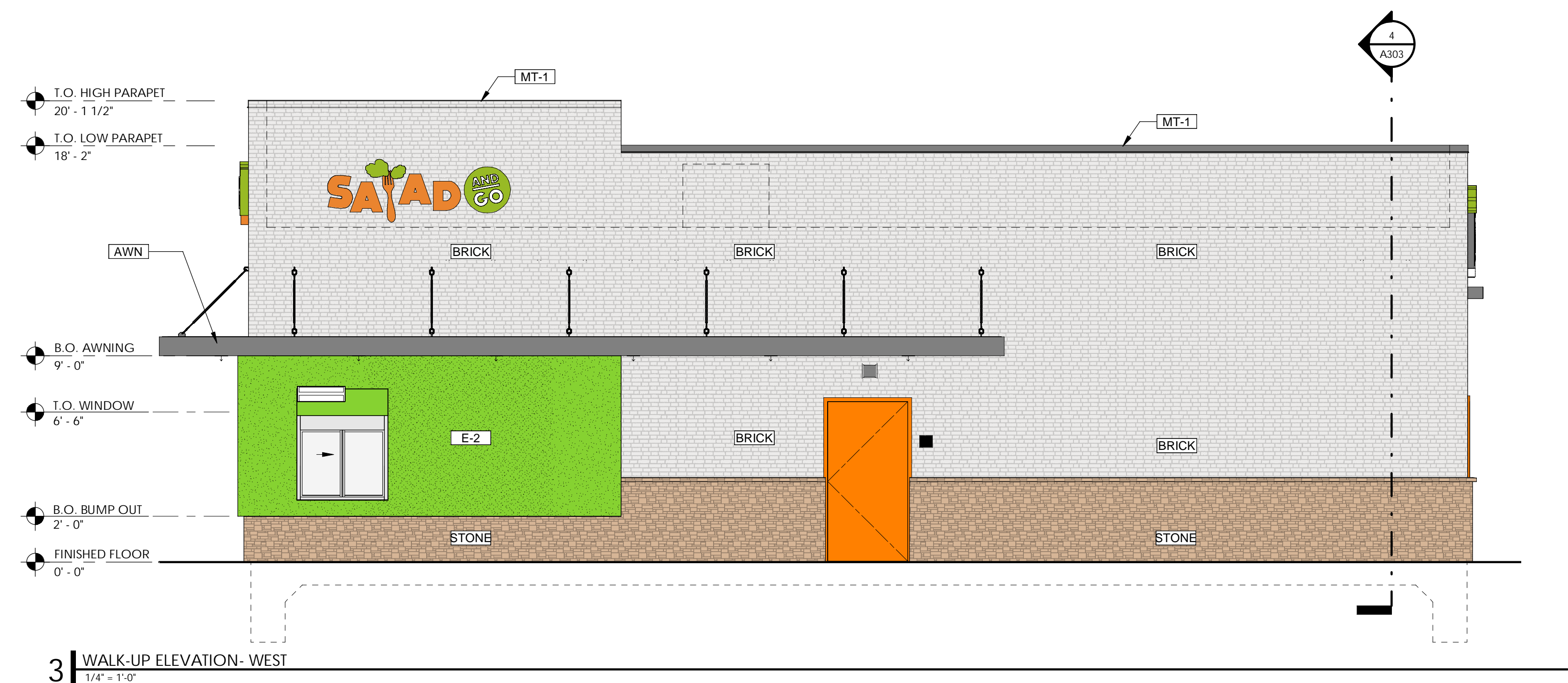
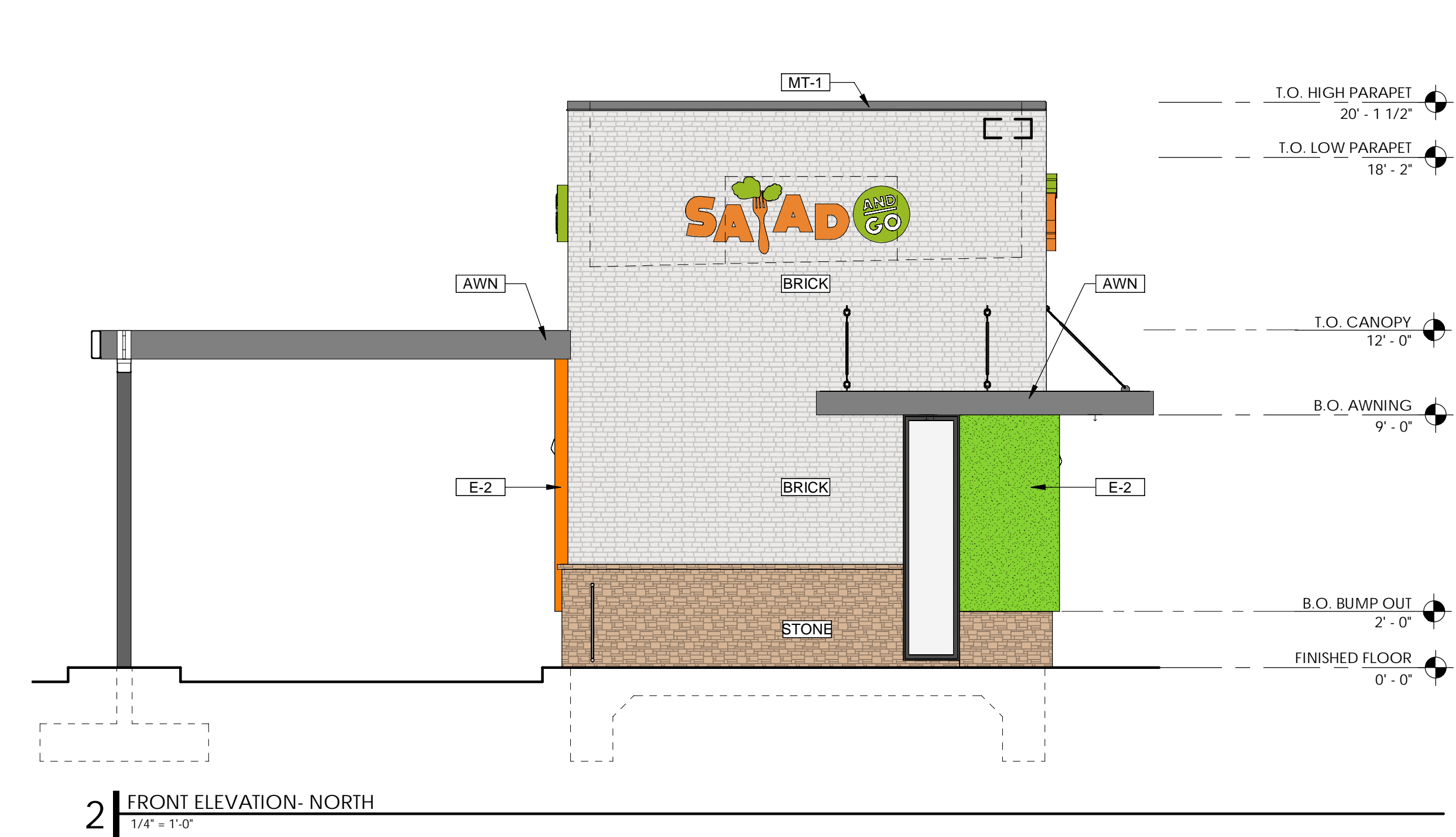
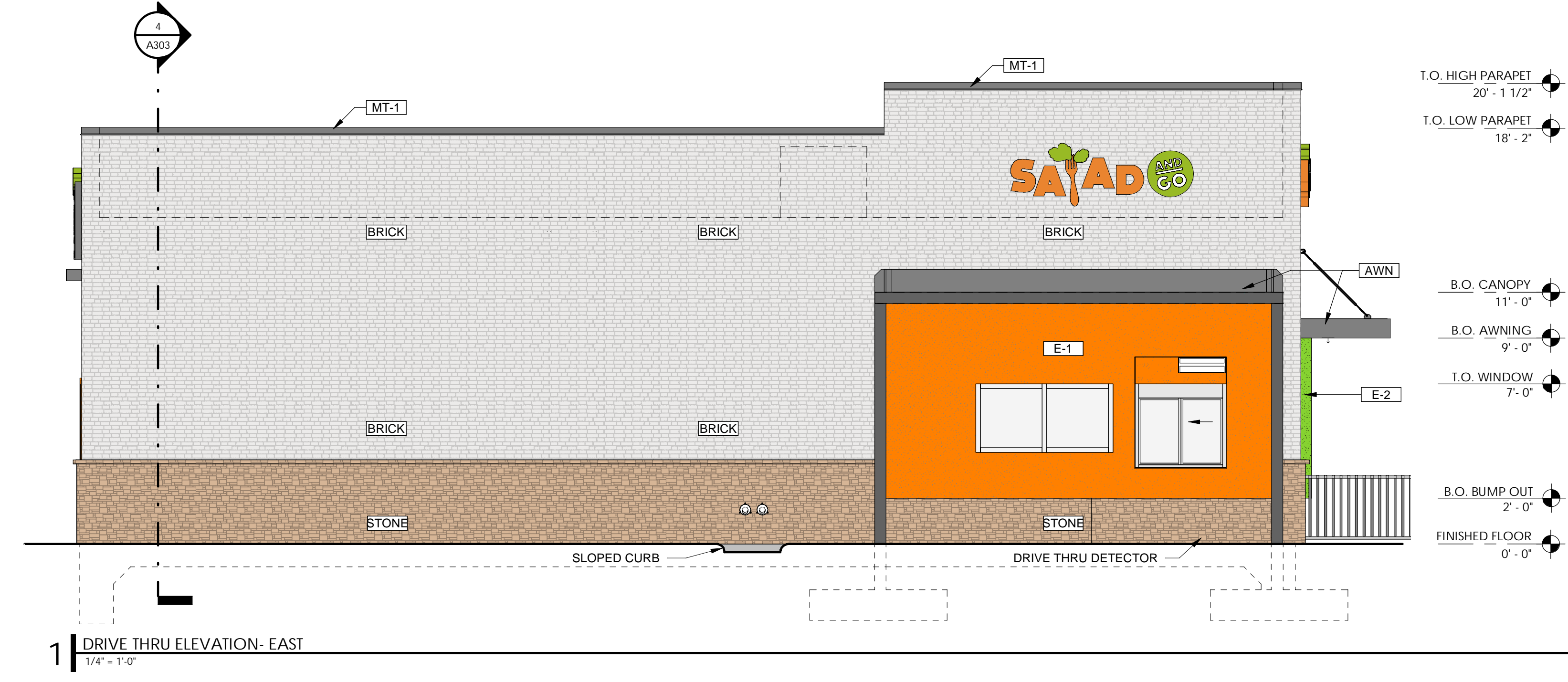
PROJECT INFORMATION	
PROJECT NO:	22-0090
ORIGINAL ISSUE:	6/08/2022
SCALE:	AS NOTED
DRAWN BY:	J. JEFFERY
CHECKED BY:	A. MORELAND

SHEET TITLE

FACADE PLAN

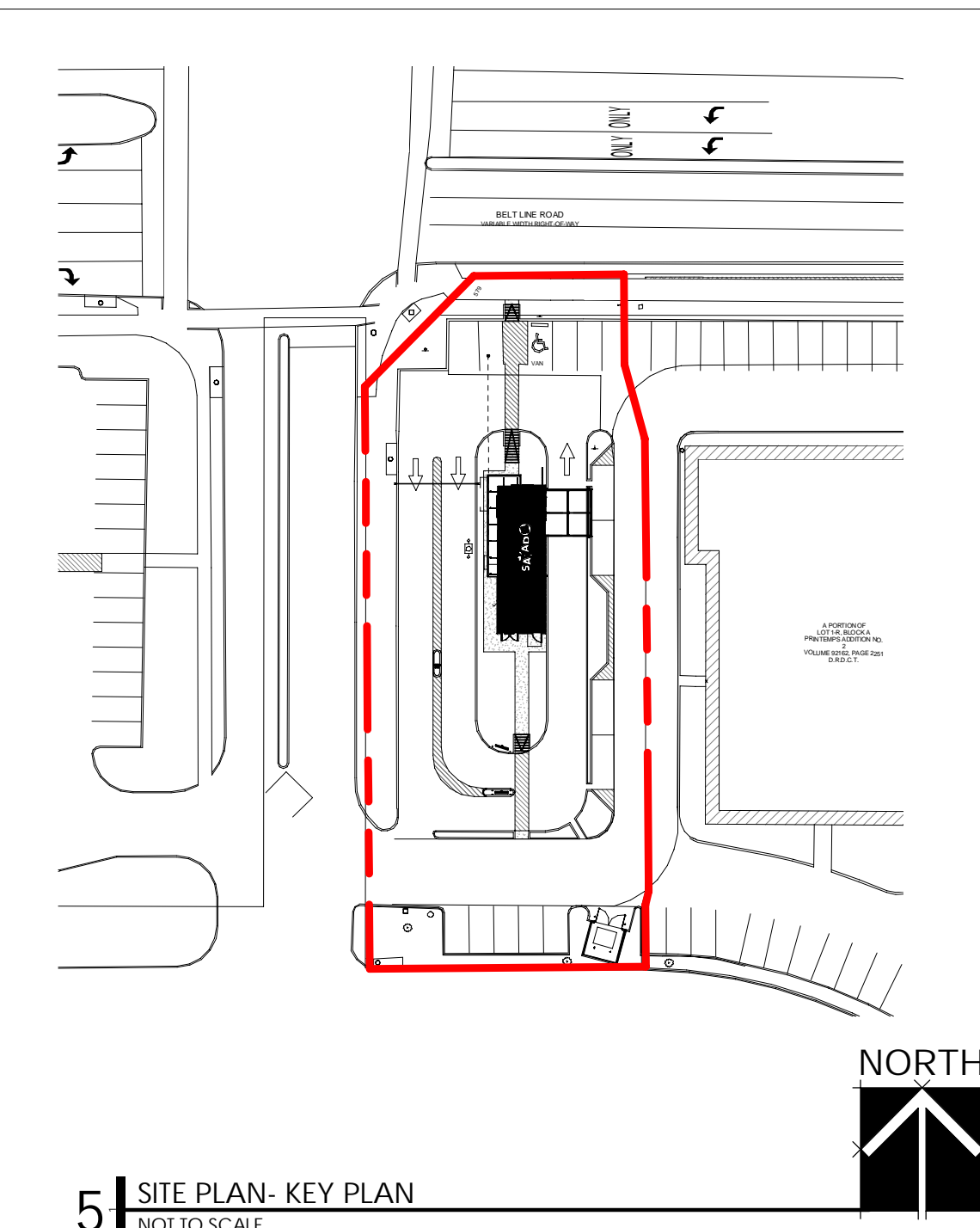
SHEET NUMBER

FP001



EXTERIOR FINISH SCHEDULE			
MARK	MATERIAL	DESCRIPTION	
BR-1	THIN BRICK	CORONADO WIRECUT BRICK COLOR: ICEBERG	
ST-1	STONE	CORONADO FREEDOM STONE COLOR: BUNKER HILL	
E-1	E.I.F.S.	PRODUCT: DRYVIT FINISH: SAND COLOR: MATCH SHERWIN WILLIAMS SW-6887 NAVEL	
E-2	E.I.F.S.	PRODUCT: DRYVIT FINISH: SAND COLOR: TO MATCH SHERWIN WILLIAMS SW-6921 ELECTRIC LIME	
MT-1	METAL COPING	COLOR: SW-7068 GRIZZLE GRAY.	
AWN	AWNING	PRODUCT: GREENHECK FINISH: ALUMINUM COLOR: SW-7068 GRIZZLE GRAY	

MATERIAL	FRONT				DRIVE THRU		WALK UP		REAR		TOTAL	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
TOTAL ELEVATION AREA	341	100	1012	100	1016	100	318	100	2687	100		
NON-GLAZED DOORS AND WINDOWS	0	0	0	0	28	3	74	23	102	4		
GLAZED DOORS AND WINDOWS	13	4	37	4	15	1	0	0	65	2		
TOTAL (GLAZED/NON-GLAZED DOORS AND WINDOWS)	328	100	975	100	973	100	244	100	2520	100		
BRICK	248	73	697	69	705	69	212	67	182	69		
STONE	51	15	168	17	157	15	27	11	403	15		
EIFS (ORANGE)	5	1	110	11	0	0	5	2	120	5		
EIFS (LIME)	24	7	0	0	111	11	0	0	135	4		
TOTAL MASONRY	299	88	865	85	862	85	239	75	2265	84		



FACADE PLAN NOTES

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.

RESTAURANT WITH DRIVE-THRU
ADDISON RETAIL, LLC
LOT 1-R BLOCK A
#SUP-0052

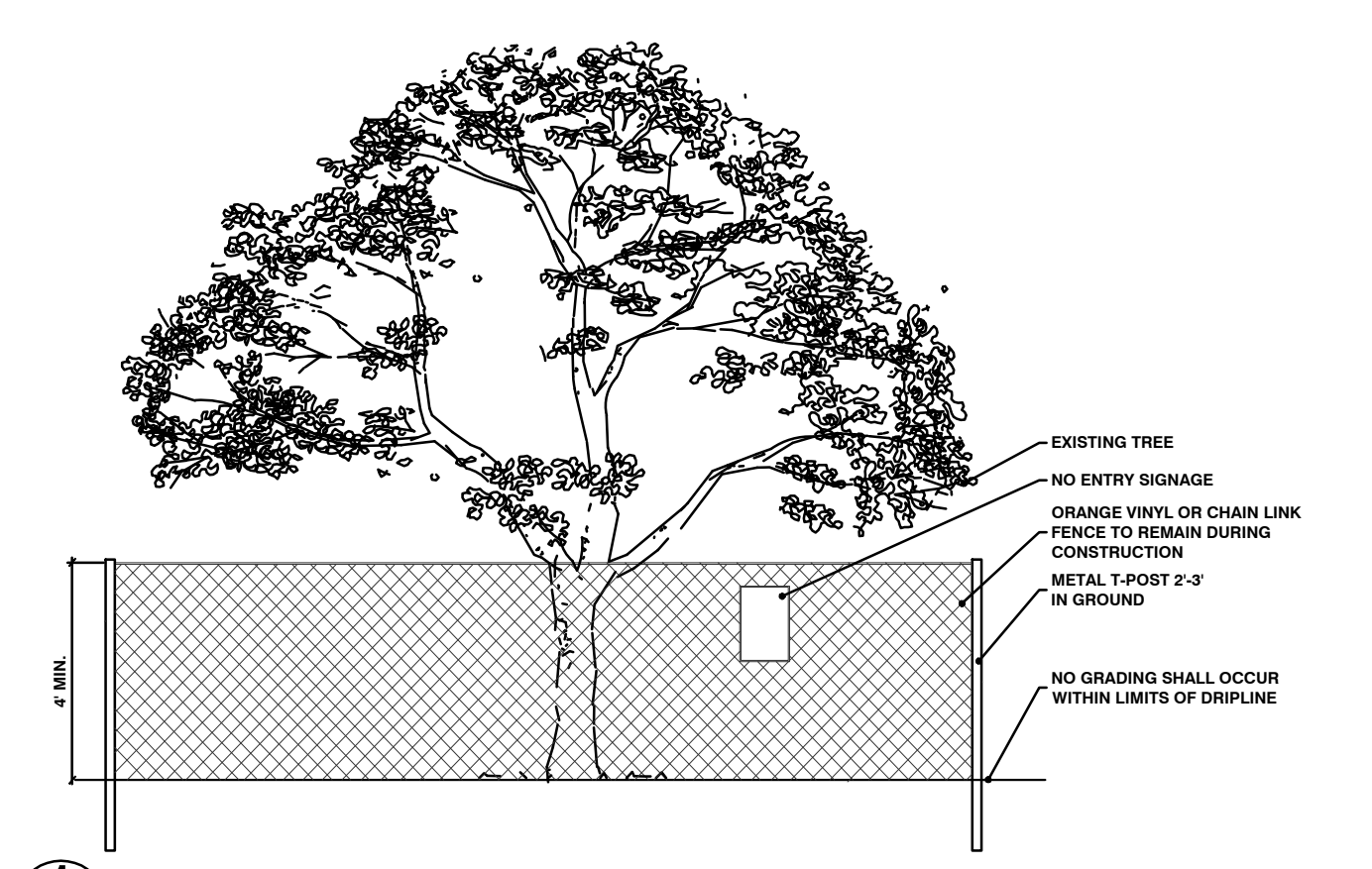
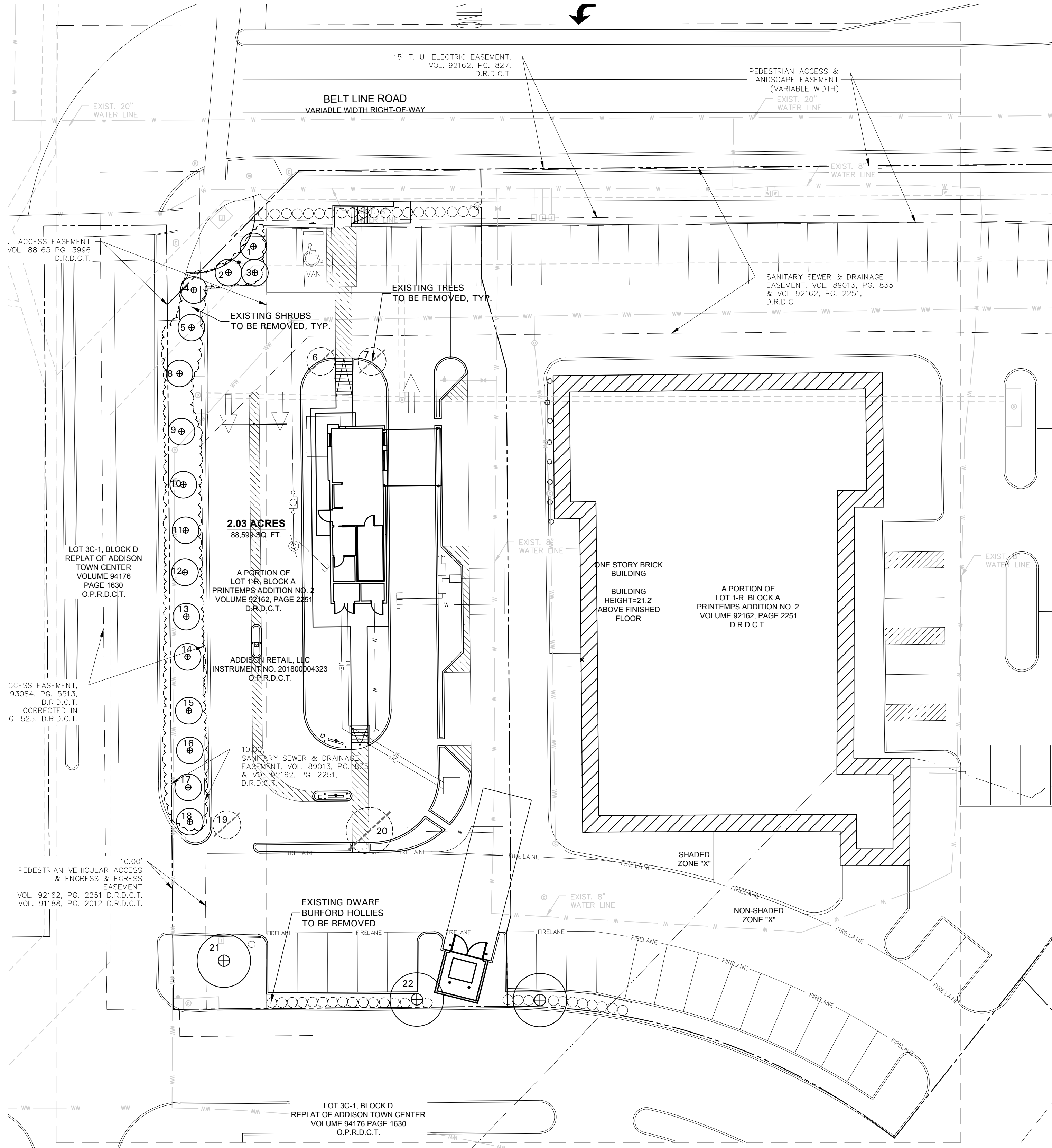
PREPARATION DATE: JULY 07, 2022

ARCHITECT:
ROGUE ARCHITECTS
513 MAIN STREET, STE 300
FORT WORTH, TX 76102
817-820-0433
ASHLEY MORELAND

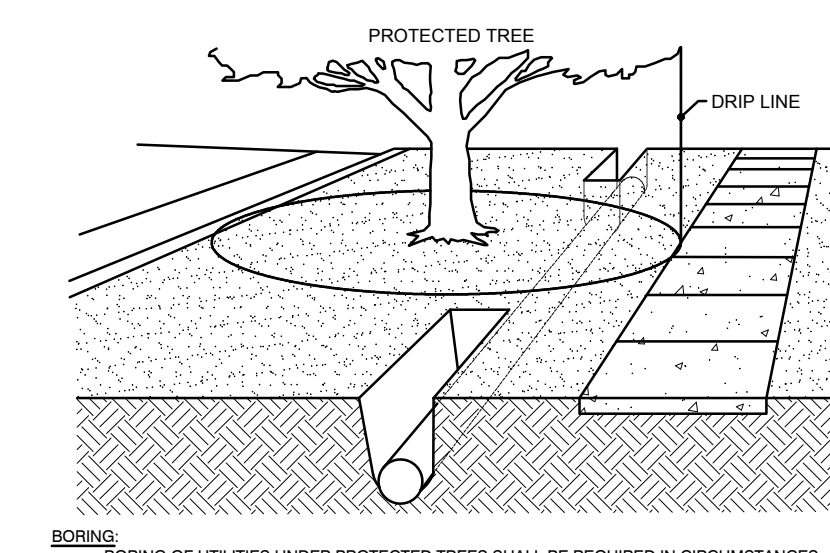
OWNER:
SALAD AND GO
5555 EAST VAN BUREN STREET
PHOENIX, AZ 85008
504-432-3611
ANDY HULSEY

ENGINEER:
JONES|CARTER INC.
4500 MERCENTILE PLAZA DRIVE,
SUITE 210
FORT WORTH, TX 76137
682-268-2207
RYAN J. ALCALA, PE

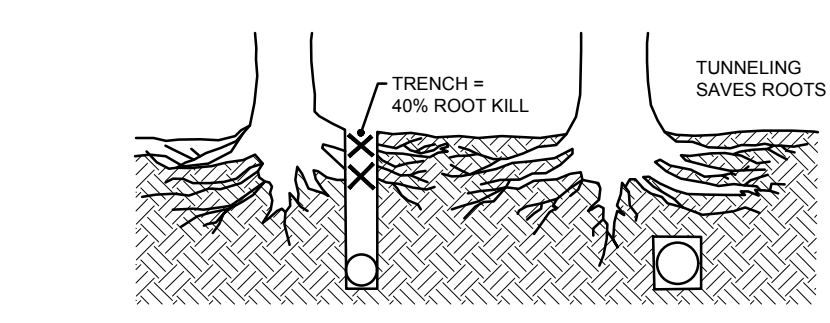
APPLICANT:



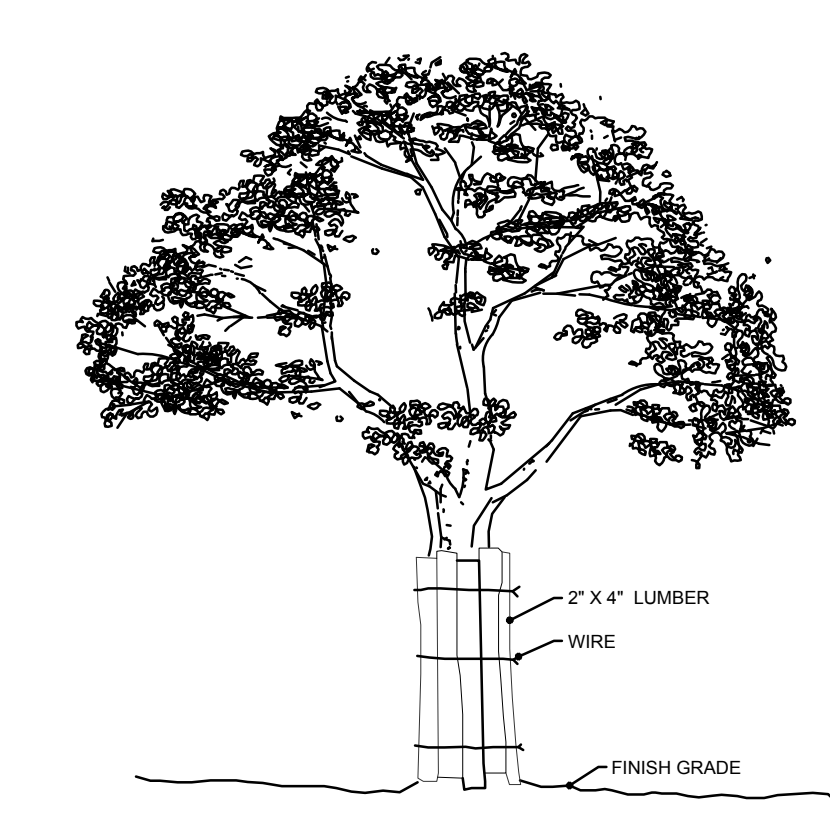
1 TREE PROTECTION FENCING
N.T.S.



2 BORING AND TUNNELING
N.T.S.

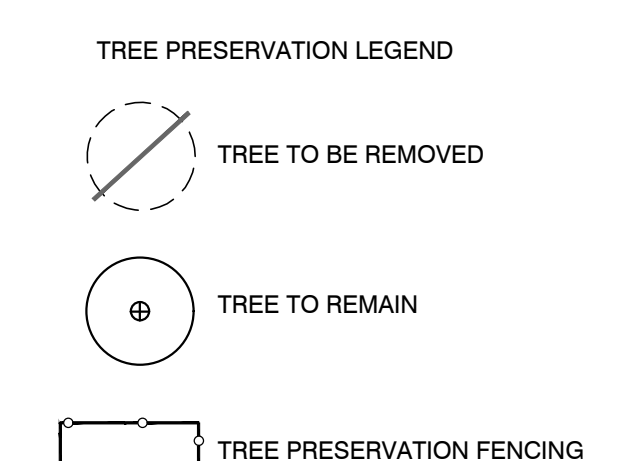


3 BARK PROTECTION
N.T.S.



WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE TREE MAY BE IN DANGER OF BEING DAMAGED BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE WITH 2" X 4" LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE TRUNK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.

3 BARK PROTECTION
N.T.S.



TREE PRESERVATION NOTES

CONSTRUCTION METHODS:

BORING: BORING OF UTILITIES UNDER PROTECTED TREES SHALL BE REQUIRED. WHEN REQUIRED, THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY (40) INCHES.

TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS CRITICAL ROOT ZONES OF ANY PROTECTED TREE. THE PLACEMENT OF UNDERGROUND UTILITY LINES SUCH AS ELECTRIC, PHONE, GAS, ETC. IS ENCOURAGED TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE. TRENCHING FOR IRRIGATION SYSTEMS SHALL BE PLACED OUTSIDE THE CRITICAL ROOT ZONE EXCEPT THE MINIMUM REQUIRED SINGLE HEAD SUPPLY LINE. THIS LINE IS ALLOWED TO EXTEND INTO THE CRITICAL ROOT ZONE PERPENDICULAR TO THE TREE TRUNK WITH THE LEAST POSSIBLE DISTURBANCE.

TREES TO BE REMOVED: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE.

TREES TO REMAIN: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREES DRIP LINE. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.

EXISTING TREES NOTED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE OF TREE.

UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNERS AUTHORIZED REPRESENTATIVE.

PROHIBITED ACTIVITIES IN CRITICAL ROOT ZONE:
THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE AREAS NOTED AS THE CRITICAL ROOT ZONE:

MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION, OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION, SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED, OR OTHER LIQUIDS DEPOSITED OR ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.

TREE ATTACHMENTS: NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

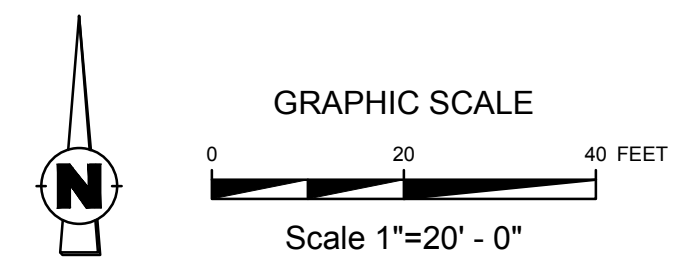
VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT, TRAFFIC, OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT.

GRADE CHANGES: A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.

PROCEDURES REQUIRED PRIOR TO CONSTRUCTION: PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK, AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

BARK PROTECTION: IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSED THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2" X 4" LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE BARK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.

NO.	CALIPER	TREE SPECIES	REMAIN/REMOVE	NOTES
1	5	CREPE MYRTLE		MULTI TRUNK
2	6	CREPE MYRTLE		MULTI TRUNK
3	6	CREPE MYRTLE		MULTI TRUNK
4	5	CREPE MYRTLE		MULTI TRUNK
5	6	CREPE MYRTLE		MULTI TRUNK
6	5	CREPE MYRTLE	TO BE REMOVED	MULTI TRUNK
7	5	CREPE MYRTLE	TO BE REMOVED	MULTI TRUNK
8	6	CREPE MYRTLE		MULTI TRUNK
9	6	CREPE MYRTLE		MULTI TRUNK
10	6	CREPE MYRTLE		MULTI TRUNK
11	6	CREPE MYRTLE		MULTI TRUNK
12	6	CREPE MYRTLE		MULTI TRUNK
13	8	CREPE MYRTLE		MULTI TRUNK
14	8	CREPE MYRTLE		MULTI TRUNK
15	8	CREPE MYRTLE		MULTI TRUNK
16	5	CREPE MYRTLE		MULTI TRUNK
17	5	CREPE MYRTLE		MULTI TRUNK
18	5	CREPE MYRTLE		MULTI TRUNK
19	5	CREPE MYRTLE	TO BE REMOVED	
20	18	BRADFORD PEAR	TO BE REMOVED	NOT PROTECTED
21	14	ELM	TO REMAIN	
22	12	ELM	TO REMAIN	
TOTAL ON SITE				156
TOTAL TO BE REMOVED				33



Case #: SUP-0052

REVISIONS

No.	Date

QUIDDITY
Professional Landscaping and Lawn Care Services, Inc. No. 23500
2401 West Loop West, Suite 300, Dallas, Texas 75244-6246

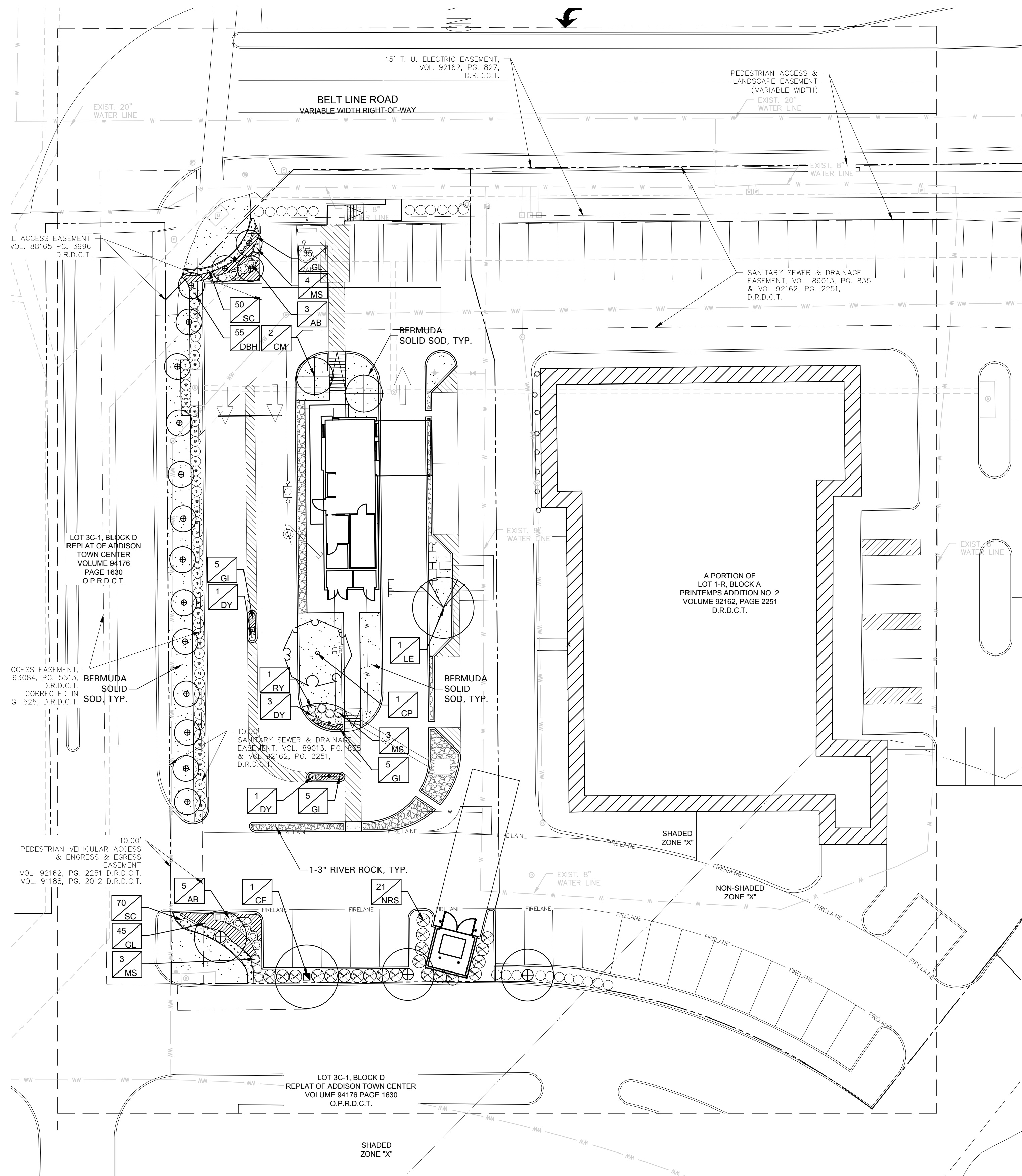
SCALE: AS SHOWN
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DESIGNED BY: _____
CHECKED BY: _____
DRAWN BY: _____



SALAD AND GO - ADDISON - MARSH LANE AND BELT LINE ROAD
3820 BELT LINE ROAD, ADDISON, TEXAS, 75001

TREE PRESERVATION PLAN

SHEET NO. 11.01



GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL, WITH ON-SITE CONSTRUCTION MANAGER.
- LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
- ALL LAWN AREAS SHALL BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNERS CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER. REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

- SOLID SOD:**
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
 - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH.
 - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
 - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
 - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
 - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDA GRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

LANDSCAPE NOTES

- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
- PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
- QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
- WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFIX 1405 WEED BARRIER OR APPROVED EQUAL.
- CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION:

- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE-RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:

- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:

- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
- RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

PRUNING AND TRIMMING NOTES

- CONTRACTOR SHALL PRUNE ALL EXISTING TREES ON-SITE USING STANDARD GUIDELINES IN THE INDUSTRY.
- ALL TREES SHALL BE TRIMMED SO THAT NATURAL SHAPES OF THE PLANTS ARE RETAINED.
- DO NOT "TOP" OR "HEAD" TREES.
- IF BOLLING OR SHEARING OF TREES HAS OCCURRED IN THE PAST, DISCONTINUE THIS PRACTICE AND ALLOW PLANTS TO GROW INTO NATURAL SHAPE.
- REMOVE SUCKERS, DEAD, DYING, DISEASED, BROKEN AND / OR WEAK BRANCHES FROM ALL TREES ALONG THE MAIN TRUNK STRUCTURE AND WITHIN THE BRANCHING AREA.
- CONTRACTOR SHALL PRUNE EXISTING DECIDUOUS HARDWOOD BY REMOVING LOWER LIMBS TO RAISE THE CANOPY. THE BOTTOM OF THE CANOPY SHALL BE RAISED TO 12'-0" ABOVE GRADE FOR DECIDUOUS HARDWOOD TREES, WHEN POSSIBLE. THE INTEGRITY OF THE CANOPY AND STRUCTURE OF THE TREE SHALL BE MAINTAINED. DO NOT CUT OR PRUNE CENTRAL LEADERS.
- CONTRACTOR SHALL THIN THE CANOPY BY ONE-FOURTH. PRUNE TREE TO EVENLY SPACE BRANCHES WITHIN THE CANOPY WHENEVER POSSIBLE. REMOVE THOSE LIMBS THAT CROSS OTHERS, DOUBLE LEADERS AND THOSE THAT EXCESSIVELY EXTEND BEYOND THE NATURAL CROWN OF THE TREE.
- CONTRACTOR SHALL PROVIDE DEEP ROOT FEEDING AND INOVIGATION OF EXISTING TREES. THIS SHALL BE ORGANIC BASED NUTRIENTS BASED FOR ROOT GROWTH AND LEAF GROWTH STIMULATION.
- CONTRACTOR SHALL BE REQUIRED TO CHIP ALL REMOVED BRANCHES, LEAFS, ETC.

LANDSCAPE TABULATIONS for ADDISON, TEXAS SITE LANDSCAPE

1. 10% of the total site area to be landscaped
 Total Site Area: 24,458 s.f.

REQUIRED	PROVIDED
2,446 (10%)	5,597 s.f. (22.8%)

LANDSCAPE BUFFER

- A 20' landscape buffer is required
 - 1 shade tree, 4 inches in caliper is required per ever 30 linear feet of street frontage
- Beltline - 95 l.f.

REQUIRED	PROVIDED
20' buffer	20' buffer
3 shade trees, 4" cal.	3 trees have been placed elsewhere on property due to easements along Beltline

PARKING LOT PERIMETER LANDSCAPE

- One 4" cal. Tree shall be provided for each 35 l.f. of perimeter and one shrub planted for every 3-3.5' on center.
- | REQUIRED | PROVIDED |
|------------------------|---|
| 5' buffer | 5' buffer |
| 8 shade trees, 4" cal. | existing trees on site, 1 additional shade tree |
| shrubs | shrub screen - 36" height and width |

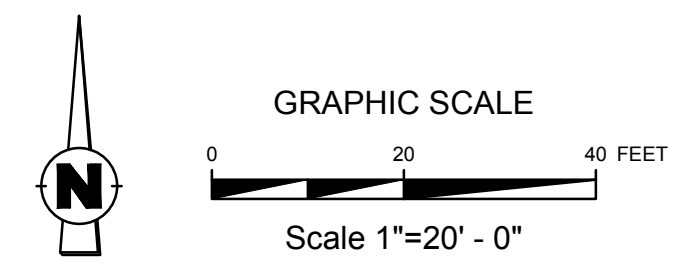
PARKING LOT INTERIOR LANDSCAPE

- 5% of the interior parking lot to be landscaped.
 - One shade tree for each 10 spaces.
- | REQUIRED | PROVIDED |
|------------------------|--|
| 638 s.f. (10%) | 885 s.f. |
| 2 shade trees, 4" cal. | 3 existing crepe myrtles and 1 proposed shade trees, 4" cal. |

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
TREES					
1	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
2	CM	Crepe Myrtle 'Tuscarora'	<i>Lagerstromia indica 'Tuscarora'</i>	30 gal.	8' ht. 3' spread, matching
1	CP	Fruitless Chinese Pistache - Male	<i>Pistachia chinensis 'Keith Davey'</i>	4" cal.	12' ht., 4' spread
1	LE	Lacebark Elm	<i>Ulmus parvifolia 'Sempervirens'</i>	4" cal.	12' ht., 4' spread
SHRUBS					
8	AB	Glossy Abelia	<i>Abelia grandiflora</i>	5 gal.	full, 24" spread, 36" o.c.
55	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	3" ht X 3" wt	full, 3' spread, 36" o.c.
5	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" sprd, 24" o.c.
10	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
21	NRS	Nellie R Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	full, 40" o.c.
1	RY	Red Yucca	<i>Hesperaloe parvifolia</i>	5 gal.	full, 24" sprd, 30" o.c.
GROUND COVER/VINES/GRASS					
15	GL	Giant Liriope	<i>Liriope gigantea</i>	1 gal.	full, 18" o.c.
120	SC	Seasonal Color Bermuda Solid Sod	<i>Cynodon dactylon</i>	4" pots	full, 12" o.c.

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



Case #: SUP-0052



No.	Date	Revisions

QUIDDITY
 4000 West Loop South, Suite 1000, Houston, Texas 77027
 (713) 865-1111
 www.quiddity.com

SCALE: AS SHOWN
 DATE: JULY 2022
 JOB NO.:
 DESIGNED BY:
 CHECKED BY:
 DRAWN BY:

