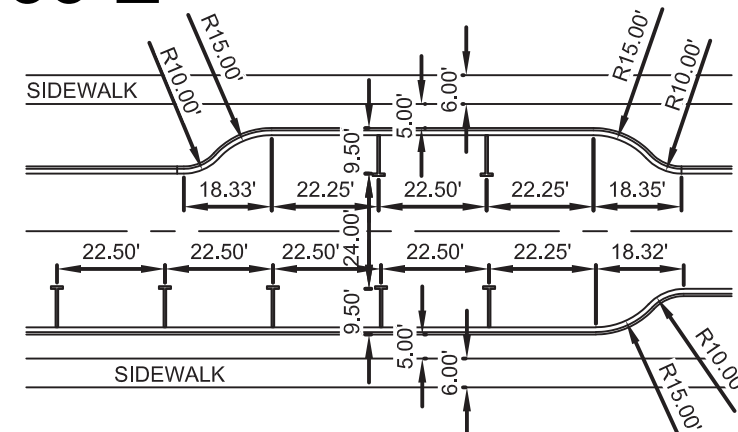
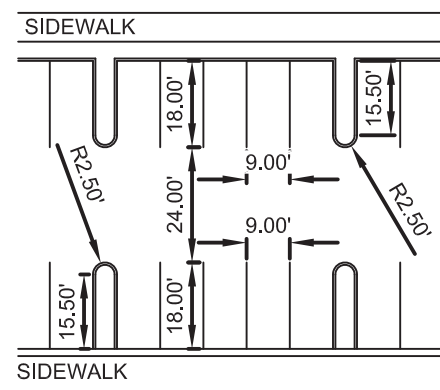


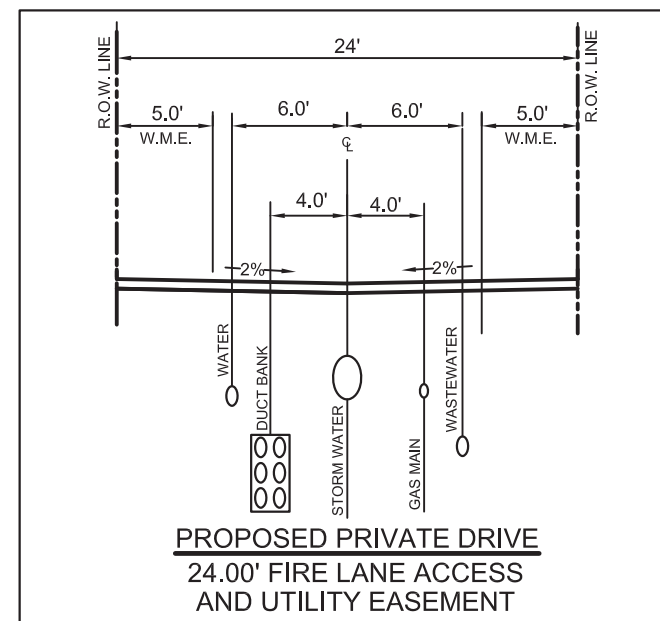
Town Project #:1833-Z

NO FLOODPLAIN EXISTS ON THE SITE

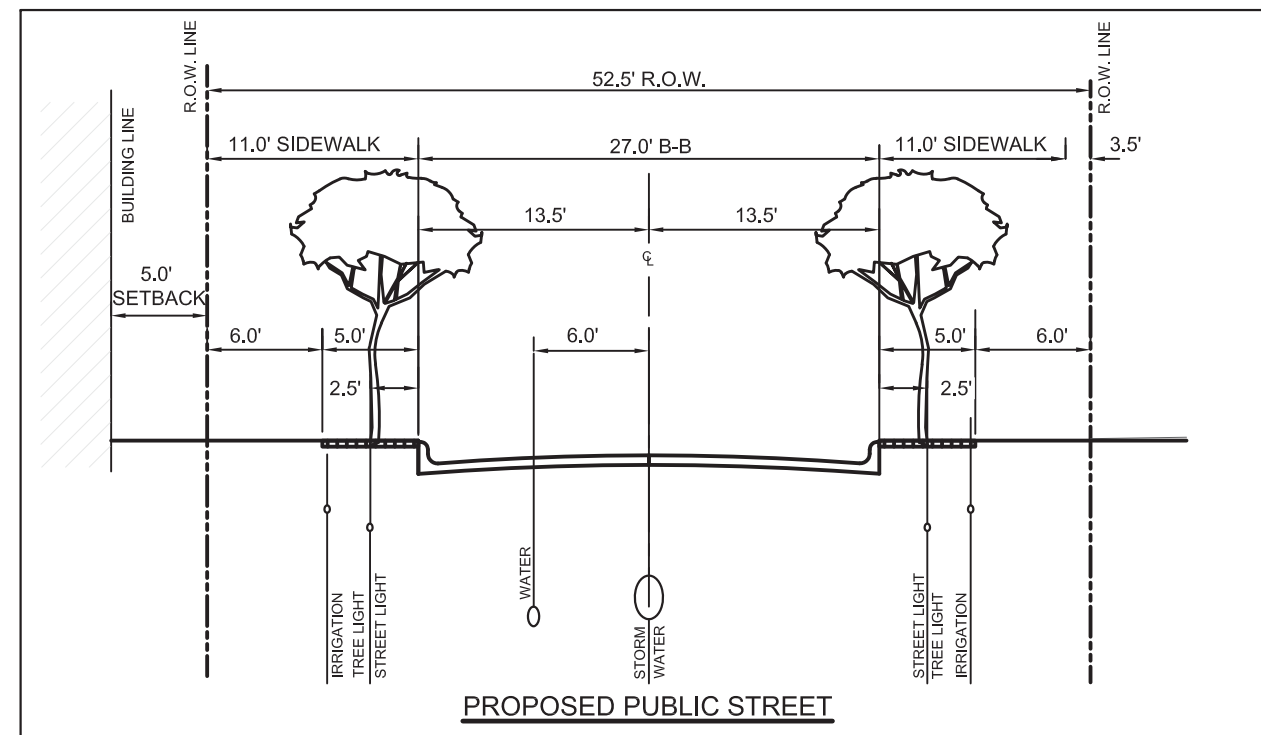


HEAD-IN PARKING
DETAIL (TYPICAL)
SCALE: 1" = 40'

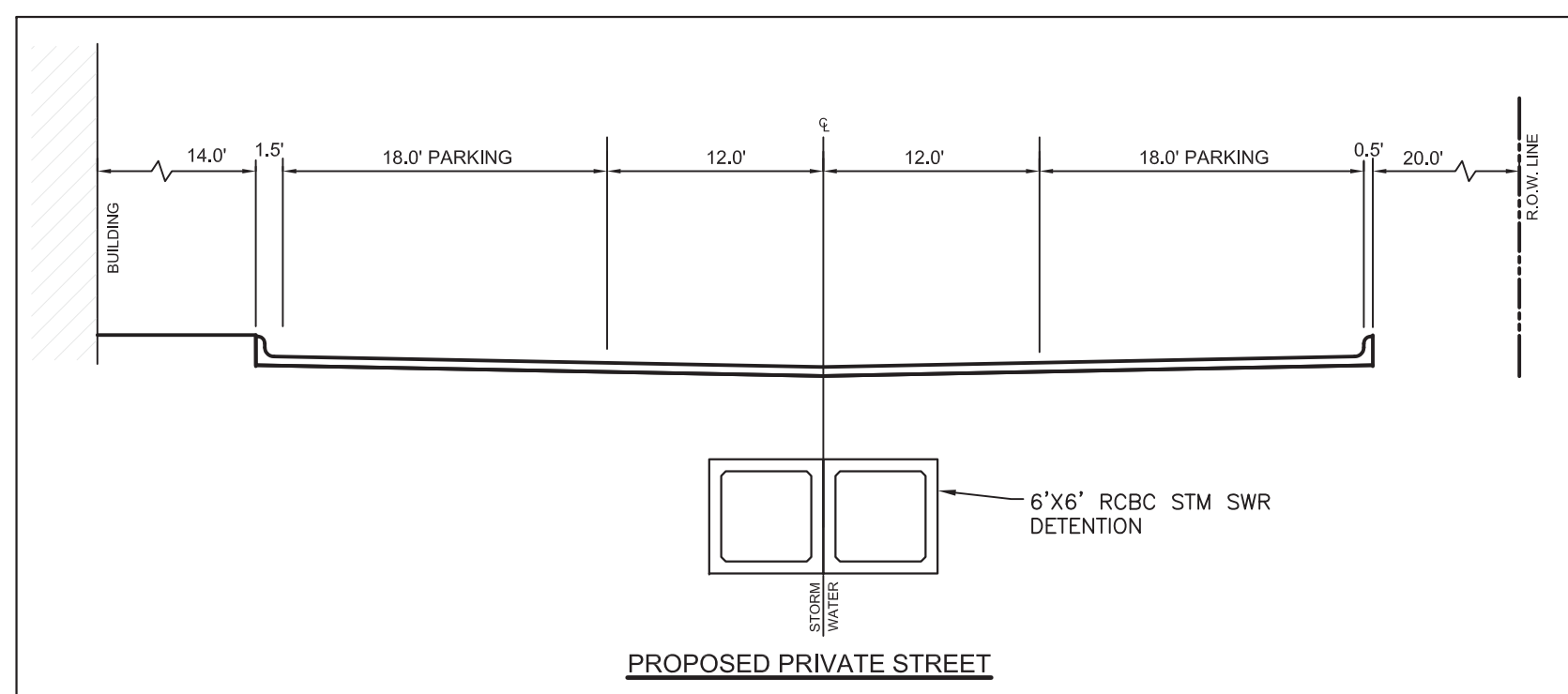
ON-STREET PARKING
DETAIL (TYPICAL)
SCALE: 1" = 40'



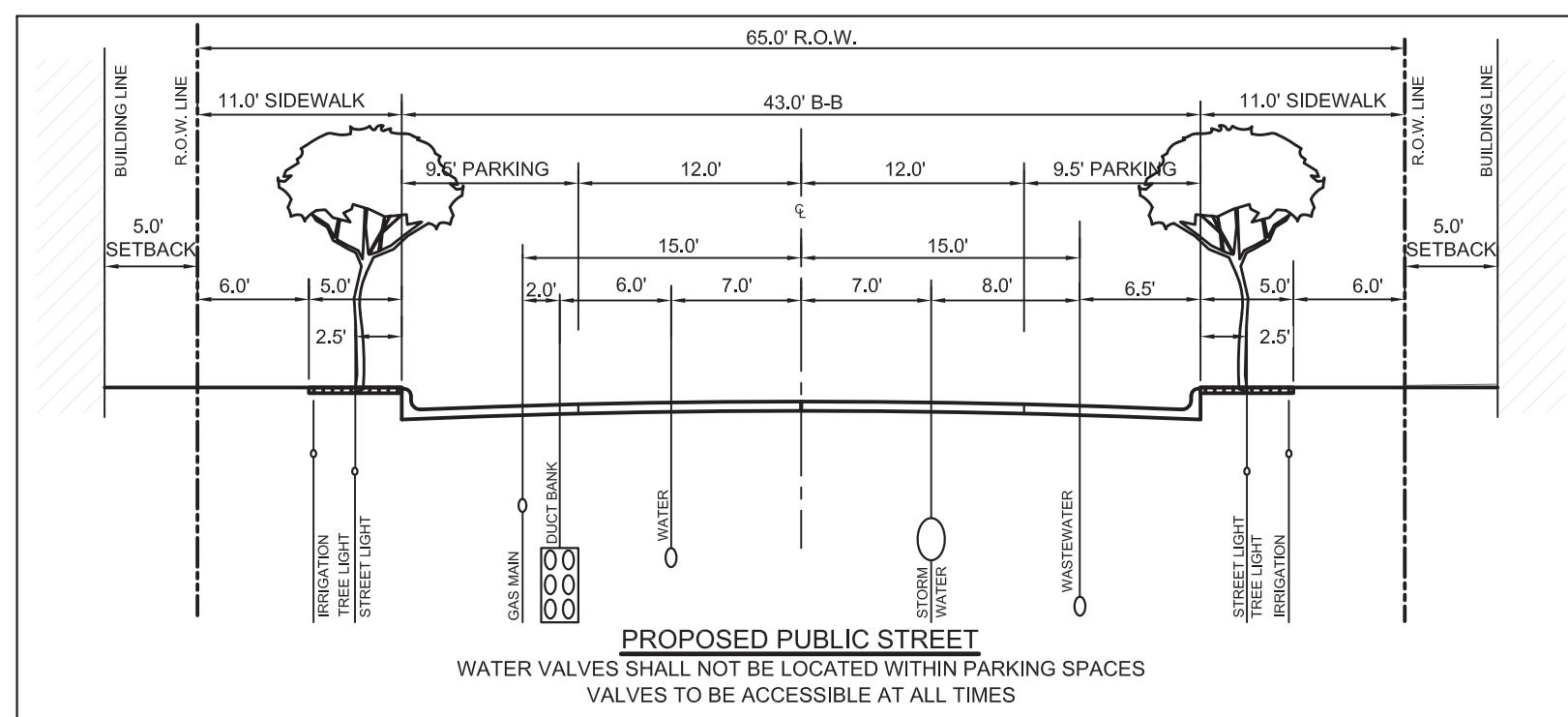
SECTION D-D



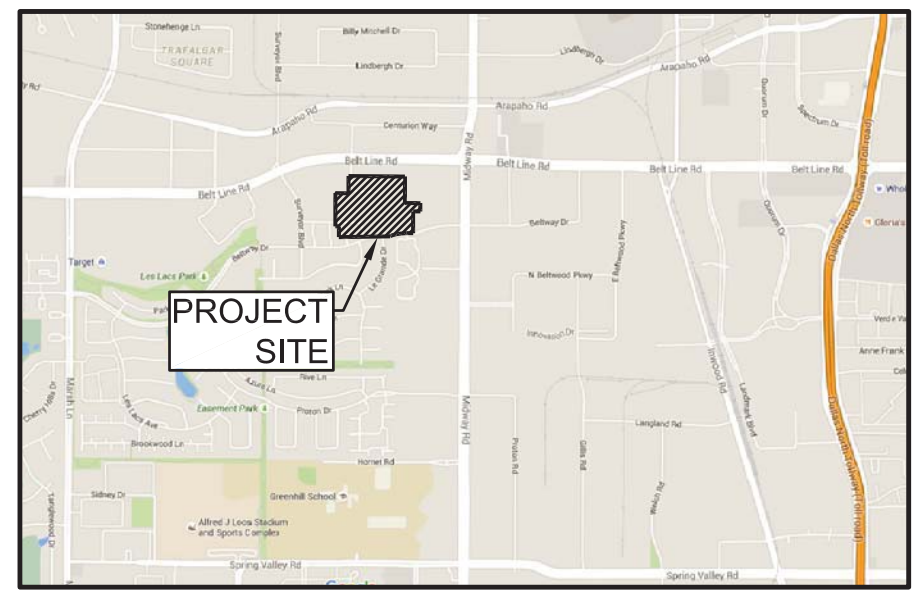
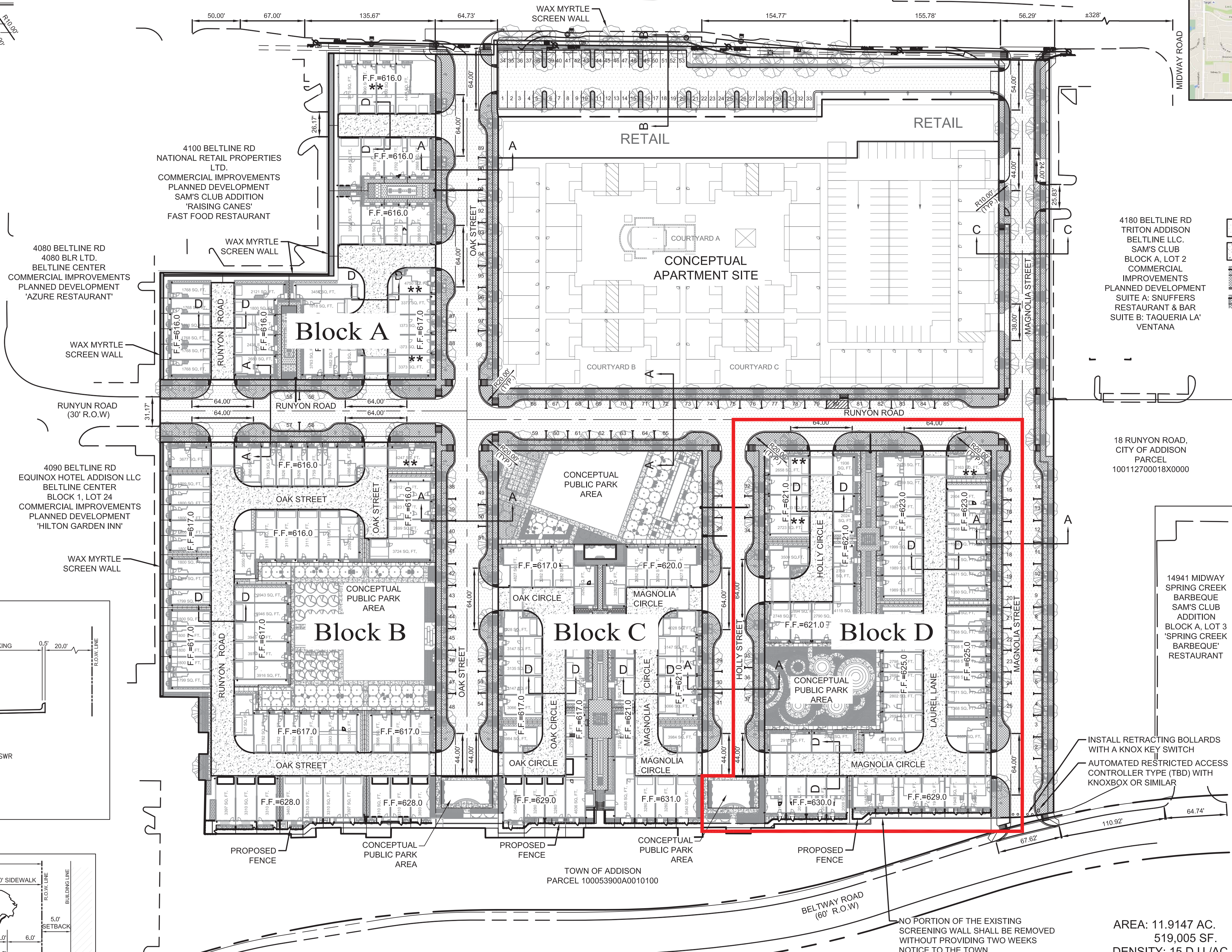
SECTION C-C



SECTION B-B



SECTION A-A

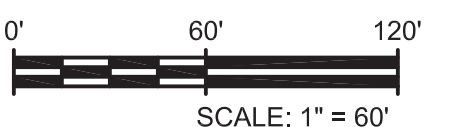


LEGEND

- PROPOSED TREE WELL
- PARKING SPACES (PUBLIC STREETS) W/ 3 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PRIVATE STREET CONCEPTUAL PARKING SPACES W/ 2 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PUBLIC R.O.W. (SECTION B-B, C-C & D-D) FIRE LANE ACCESS
- CONCRETE PRIVATE DRIVE-24.00' FIRE LANE ACCESS AND UTILITY EASEMENT
- SIDEWALK RAMP
- SIDEWALK
- LANDMARK BUILDINGS

4180 BELTLINE RD TRITON ADDISON BELTLINE LLC. SAM'S CLUB BLOCK A, LOT 2 COMMERCIAL IMPROVEMENTS PLANNED DEVELOPMENT SUITE A: SNUFFERS RESTAURANT & BAR SUITE B: TAQUERIA LA VENTANA

14941 MIDWAY SPRING CREEK BARBEQUE ADDITION BLOCK A, LOT 3 'SPRING CREEK BARBEQUE' RESTAURANT



TOWN CASE NUMBER:
1833-Z

SITE PLAN ADDISON GROVE BLOCK D		
SAWYER ENGINEERING, LLC CIVIL ENGINEERING & PLANNING 2410 POLK ST, STE 200, HOUSTON, TX 77003 (713) 961-3877 TBPE FIRM: F-9171		
SCALE: 1" = 60'	PROJ. NO.	
DRAWN BY: JDS	DATE	SHEET
CHK'D BY: JDS	03/09/2022	1 OF 7
APPROVED: CWC		

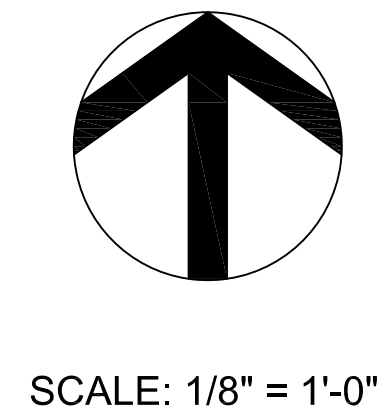
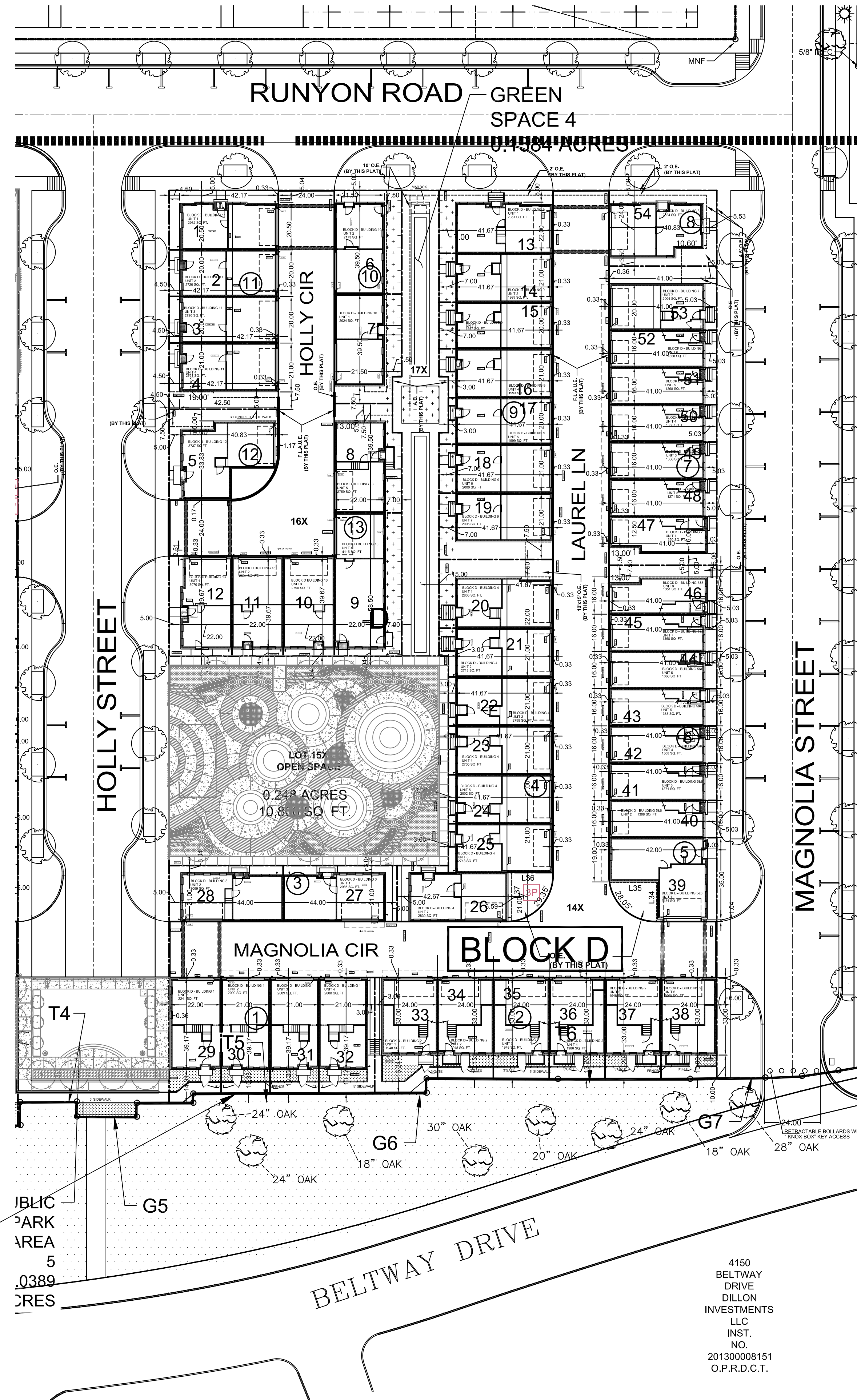
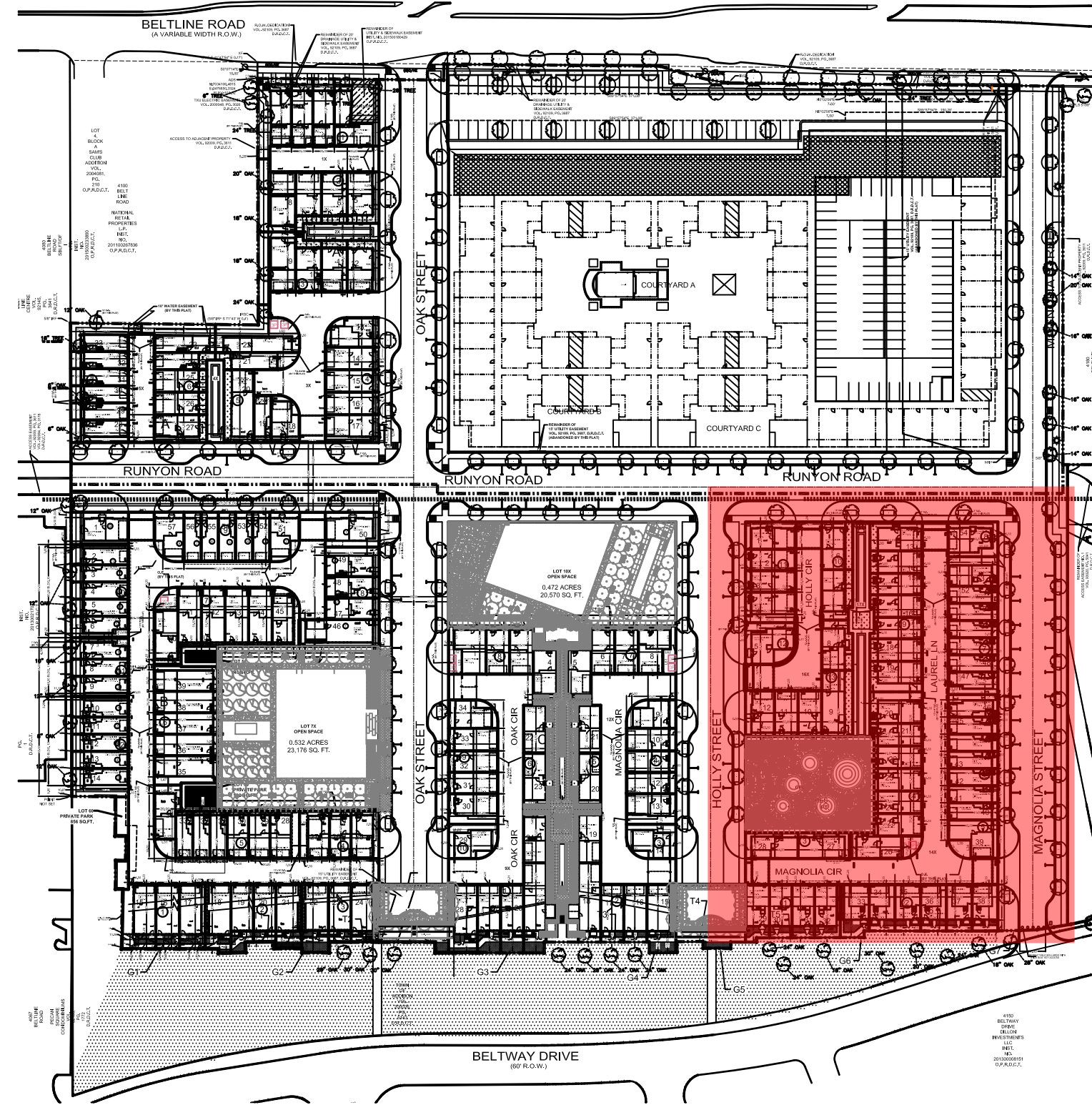
- TOWN OF ADDISON SITE PLAN NOTES:
- ANY REVISIONS TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - OPEN STORAGE, WHERE PERMITTED SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - BUILDINGS WITH AN AGGREGATE SUM OF 500 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL

AREA: 11,9147 AC.
519,005 SF.
DENSITY: 15 D.U./AC.
CONCEPTUAL APARTMENT SITE NOT INCLUDED

ADDISON GROVE SITE PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

NO PORTION OF THE EXISTING SCREENING WALL SHALL BE REMOVED WITHOUT PROVIDING TWO WEEKS NOTICE TO THE TOWN

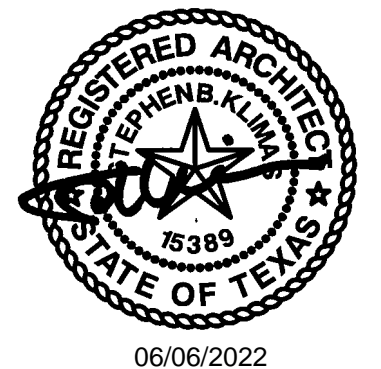


Addison Block D					
Lot No.	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual open Space (S.F.)	Living area (S.F.)	No. of bedroom
1	1198	60	340	2932	4
2	940	47	105	2720	4
3	940	47	105	2720	4
4	1340	67	340	2761	4
5	1747	88	419	3737	4
6	1290	65	432	2173	3
7	1317	66	384	2024	3
8	1313	66	385	2759	4
9	1784	90	500	4115	5
10	946	48	66	2790	4
11	946	48	66	2894	4
12	1161	59	300	3070	4
13	1323	67	399	2351	3
14	1029	52	147	1989	3
15	980	49	147	1987	3
16	993	50	107	1993	3
17	920	46	91	1999	3
18	1029	52	147	2006	3
19	1396	70	392	2006	3
20	1445	73	399	2805	4
21	993	50	126	2713	4
22	945	48	63	2798	4
23	945	48	63	2705	4
24	945	48	66	2802	4
25	945	48	132	2713	4
26	1390	70	278	2830	4
27	1178	59	252	2936	4
28	1178	59	252	3069	4
29	1156	58	405	2241	3
30	1046	53	113	2009	3
31	1044	53	112	2009	3
32	1191	60	360	2008	3
33	1309	66	405	1948	3
34	1042	53	113	1948	3
35	1044	53	114	1948	3
36	1045	53	115	1986	3
37	1045	53	115	1948	3
38	1044	53	355	2060	3
39	1585	80	549	3184	3
40	742	38	312	1368	2
41	742	38	80	1371	2
42	742	38	80	1368	2
43	742	38	80	1368	2
44	742	38	80	1368	2
45	742	38	80	1368	2
46	974	49	312	1351	2
47	974	49	312	1350	2
48	742	38	80	1371	2
49	742	38	80	1368	2
50	742	38	80	1368	2
51	742	38	80	1368	2
52	742	38	80	1368	2
53	1275	64	337	2004	3
54	1506	76	569	2324	3

BUILDINGS 8 & 11 ARE LANDMARK BUILDINGS AND WILL REQUIRE LANDMARK FEATURES

- LEGEND:**
- TOWNHOMES
 - OPEN SPACE
 - PARKING
 - RAMP

ARCHITECT OF RECORD
 Studemont Architects, LLC
 2410 Polk St
 Houston, Texas 77003
 (713) 961-3877
 Firm# BR 3540
 Stephen Klimas
 stephenk@lovetcommercial.com



06/06/2022

ADDISON GROVE BLOCK D

<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 5%;">1.</td><td style="width: 95%;"></td></tr> </table>	1.		<p>URBANTOWN HOMES</p> <p>2410 Polk St, Ste 200 Houston, Tx 77003 (713) 961-3877</p>
1.			
<p>ADDISON</p>	<p>SITE PLAN</p>		
<p>DATE: June 02, 2022 SCALE: 1" = 30'-0" DRAWN BY: _____ CHECKED BY: _____</p>			
<p>PROJECT NUMBER</p>			
<p>T-1</p>			

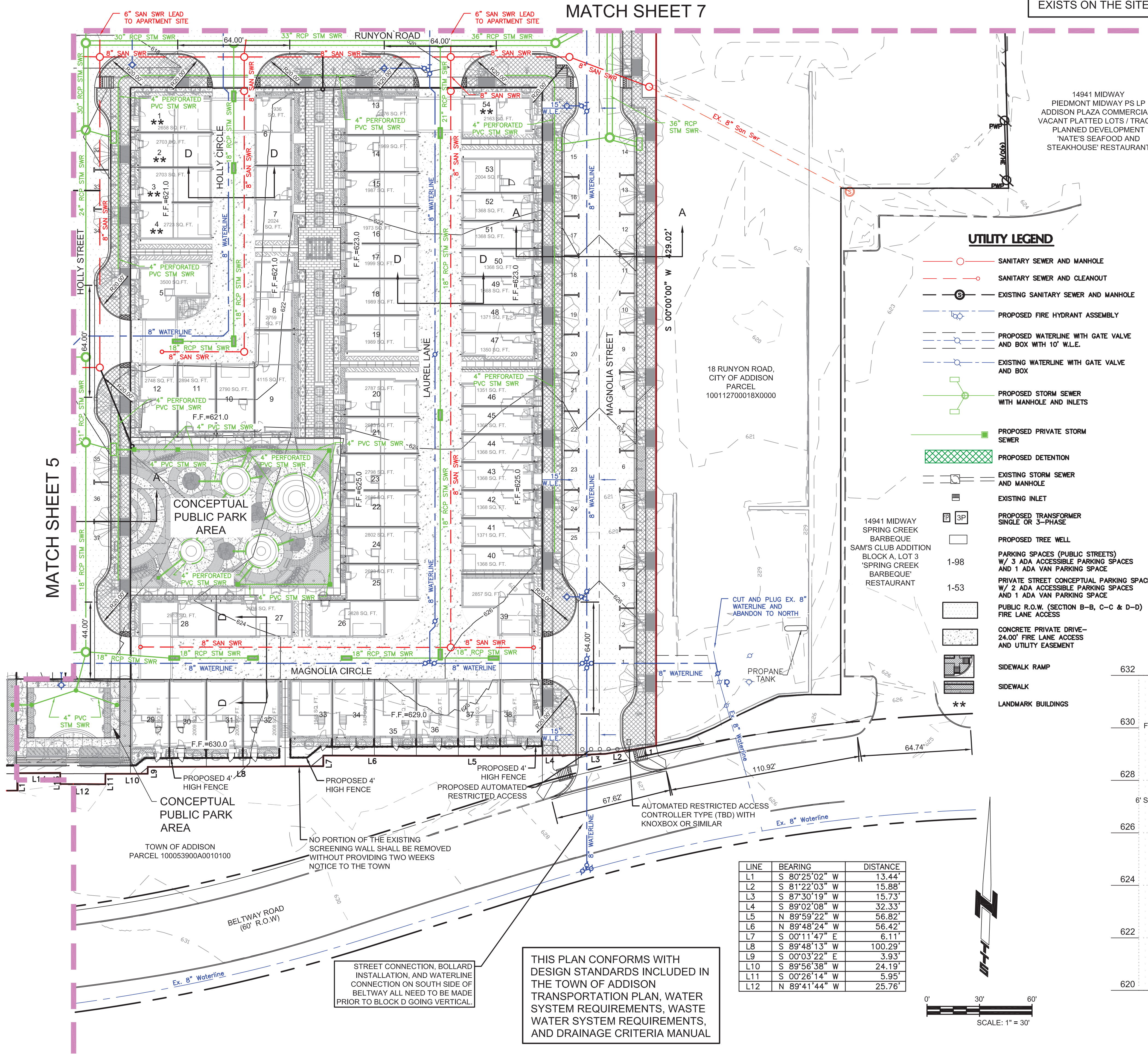
NOTE: NO PORTION OF THE EXISTING SCREENING WALL SHALL BE REMOVED PRIOR TO PROVIDING TWO WEEKS NOTICE TO THE TOWN.

PUBLIC PARK AREA
 5
 0389
 RES

4150 BELTWAY DRIVE
 DILLON INVESTMENTS LLC
 INST. NO. 201300008151
 O.P.R.D.C.T.

MATCH SHEET 7

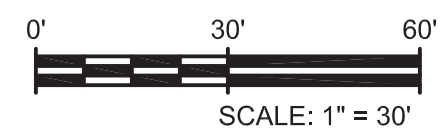
NO FLOODPLAIN EXISTS ON THE SITE



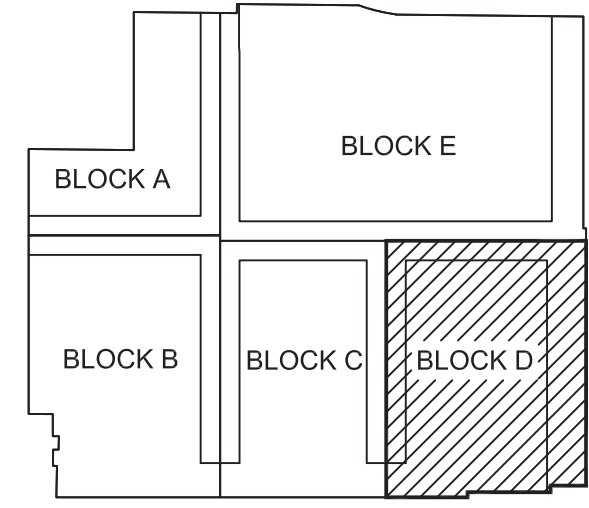
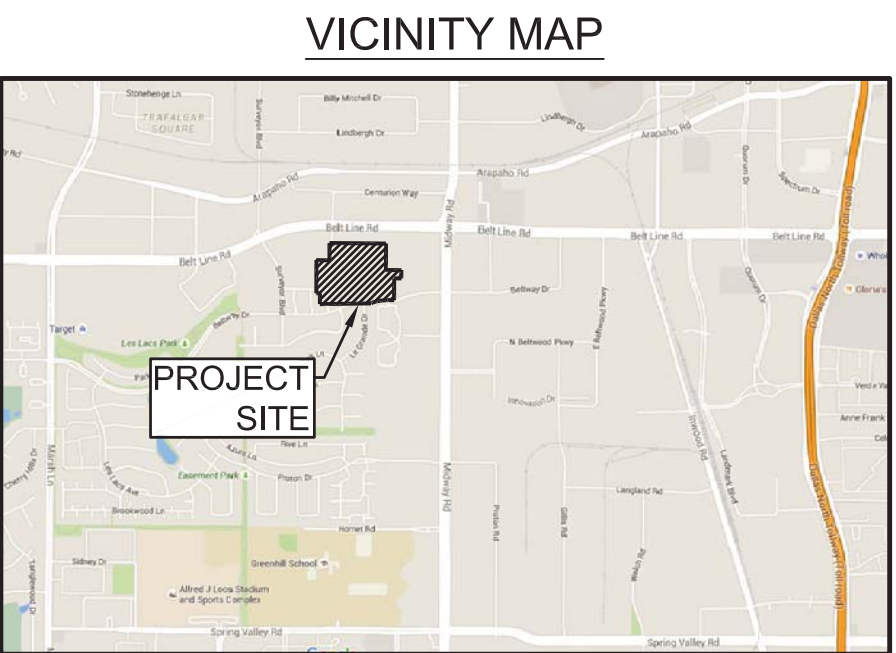
UTILITY LEGEND

- SANITARY SEWER AND MANHOLE
- SANITARY SEWER AND CLEANOUT
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED WATERLINE WITH GATE VALVE AND BOX WITH 10' W.L.E.
- EXISTING WATERLINE WITH GATE VALVE AND BOX
- PROPOSED STORM SEWER WITH MANHOLE AND INLETS
- PROPOSED PRIVATE STORM SEWER
- PROPOSED DETENTION
- EXISTING STORM SEWER AND MANHOLE
- EXISTING INLET
- PROPOSED TRANSFORMER SINGLE OR 3-PHASE
- PROPOSED TREE WELL
- PARKING SPACES (PUBLIC STREETS) W/ 3 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PRIVATE STREET CONCEPTUAL PARKING SPACES W/ 2 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PUBLIC R.O.W. (SECTION B-B, C-C & D-D) FIRE LANE ACCESS
- CONCRETE PRIVATE DRIVE-24.00' FIRE LANE ACCESS AND UTILITY EASEMENT
- SIDEWALK RAMP
- SIDEWALK
- LANDMARK BUILDINGS

LINE	BEARING	DISTANCE
L1	S 80°25'02" W	13.44'
L2	S 81°22'03" W	15.88'
L3	S 87°30'19" W	15.73'
L4	S 89°02'08" W	32.33'
L5	N 89°59'22" W	56.82'
L6	N 89°48'24" W	56.42'
L7	S 00°11'47" E	6.11'
L8	S 89°48'13" W	100.29'
L9	S 00°03'22" E	3.93'
L10	S 89°56'38" W	24.19'
L11	S 00°26'14" W	5.95'
L12	N 89°41'44" W	25.76'



Block D	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual Open Space (S.F.)
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3	940	47	105
4	1340	67	340
5	1747	88	419
6	1290	65	432
7	1317	66	384
8	1313	66	385
9	1784	90	500
10	946	48	66
11	946	48	66
12	1161	59	300
13	1323	67	399
14	1029	52	147
15	980	49	147
16	993	50	107
17	920	46	91
18	1029	52	147
19	1396	70	392
20	1445	73	399
21	993	50	125
22	945	48	63
23	945	48	63
24	945	48	66
25	945	48	132
26	1390	70	278
27	1178	59	252
28	1178	59	252
29	1156	58	405
30	1046	53	113
31	1044	53	112
32	1191	60	360
33	1309	66	405
34	1042	53	113
35	1044	53	114
36	1045	53	115
37	1045	53	115
38	1044	53	355
39	1585	80	549
40	742	38	312
41	742	38	80
42	742	38	80
43	742	38	80
44	742	38	80
45	742	38	80
46	974	49	312
47	974	49	312
48	742	38	80
49	742	38	80
50	742	38	80
51	742	38	80
52	742	38	80
53	1275	64	337
54	1506	76	569



LOCATION MAP



TOWN CASE NUMBER:
1833-Z

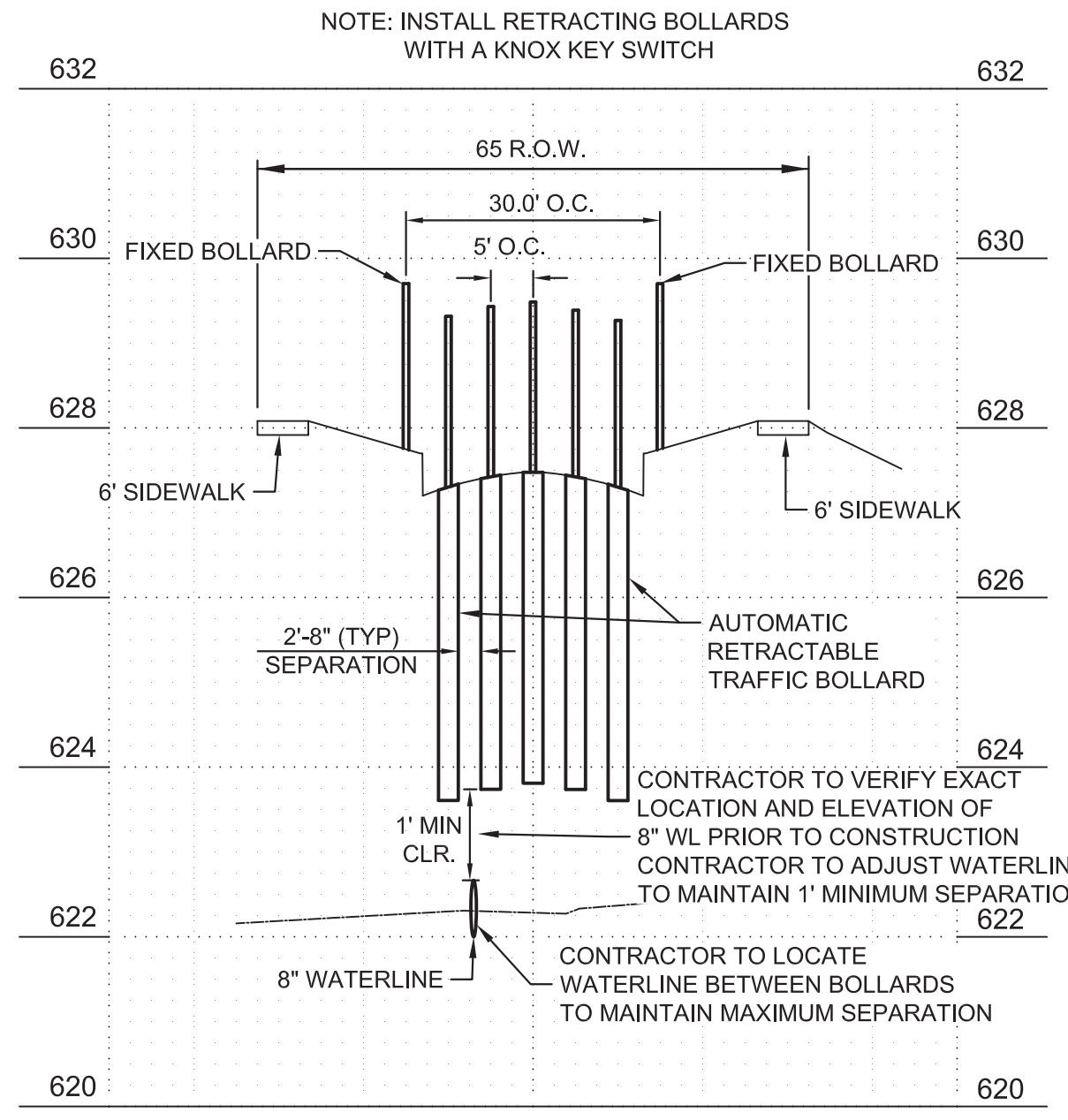
ADDISON GROVE
UTILITY PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

SITE PLAN AND
UTILITY PLAN
BLOCK D

ADDISON GROVE

SAWYER
ENGINEERING, LLC
CIVIL ENGINEERING & PLANNING
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713) 961-3877
TBPE FIRM: F-9171

SCALE: 1" = 30'	PROJ. NO.
DRAWN BY: JDS	DATE
CHK'D BY: CWC	SHEET
APPROVED: CWC	01/24/2022
	5 OF 7



BOLLARD DETAIL

SCALE: 1" = 20' (HORIZ.)
1" = 2' (VERT.)

THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL

STREET CONNECTION, BOLLARD INSTALLATION, AND WATERLINE CONNECTION ON SOUTH SIDE OF BELTWAY ALL NEED TO BE MADE PRIOR TO BLOCK D GOING VERTICAL

TOWN OF ADDISON
PARCEL 100053900A0010100

NO PORTION OF THE EXISTING SCREENING WALL SHALL BE REMOVED WITHOUT PROVIDING TWO WEEKS NOTICE TO THE TOWN

NOTE: INSTALL RETRACTING BOLLARDS WITH A KNOX KEY SWITCH

PROPOSED 4' HIGH FENCE

PROPOSED 4' HIGH FENCE

PROPOSED AUTOMATED RESTRICTED ACCESS

AUTOMATED RESTRICTED ACCESS CONTROLLER TYPE (TBD) WITH KNOXBOX OR SIMILAR

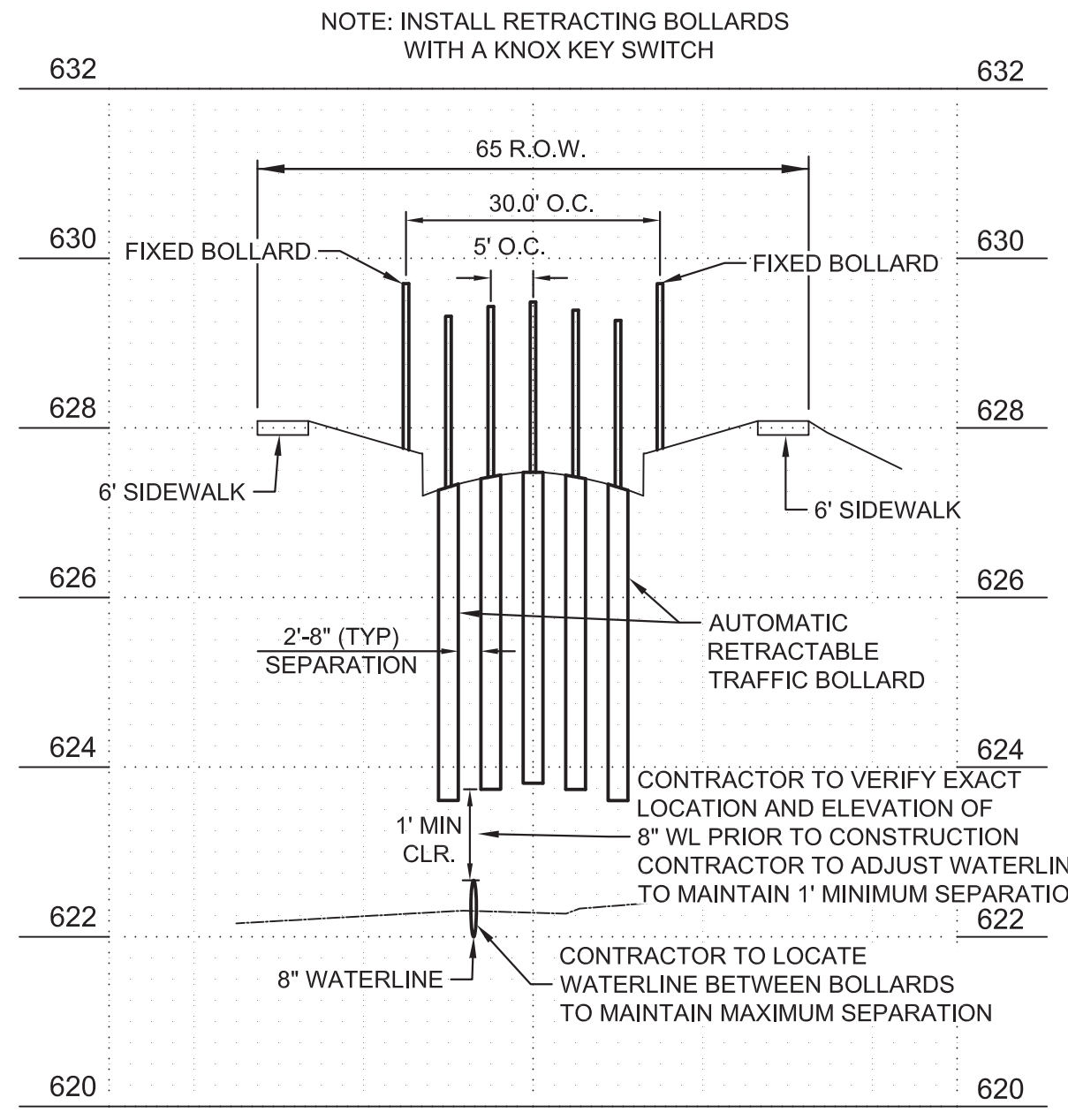
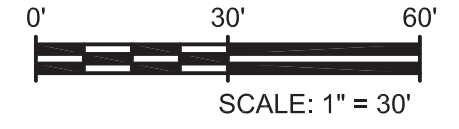
CONCEPTUAL PUBLIC PARK AREA

TOWN OF ADDISON
PARCEL 100053900A0010100

NO PORTION OF THE EXISTING SCREENING WALL SHALL BE REMOVED WITHOUT PROVIDING TWO WEEKS NOTICE TO THE TOWN

NOTE: INSTALL RETRACTING BOLLARDS WITH A KNOX KEY SWITCH

LINE	BEARING	DISTANCE
L1	S 80°25'02" W	13.44'
L2	S 81°22'03" W	15.88'
L3	S 87°30'19" W	15.73'
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BOLLARD DETAIL

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1" = 2' (VERT.)

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TOWN OF ADDISON
PARCEL 100053900A0010100

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PROPOSED 4' HIGH FENCE

PROPOSED 4' HIGH FENCE

PROPOSED AUTOMATED RESTRICTED ACCESS

AUTOMATED RESTRICTED ACCESS CONTROLLER TYPE (TBD) WITH KNOXBOX OR SIMILAR

CONCEPTUAL PUBLIC PARK AREA

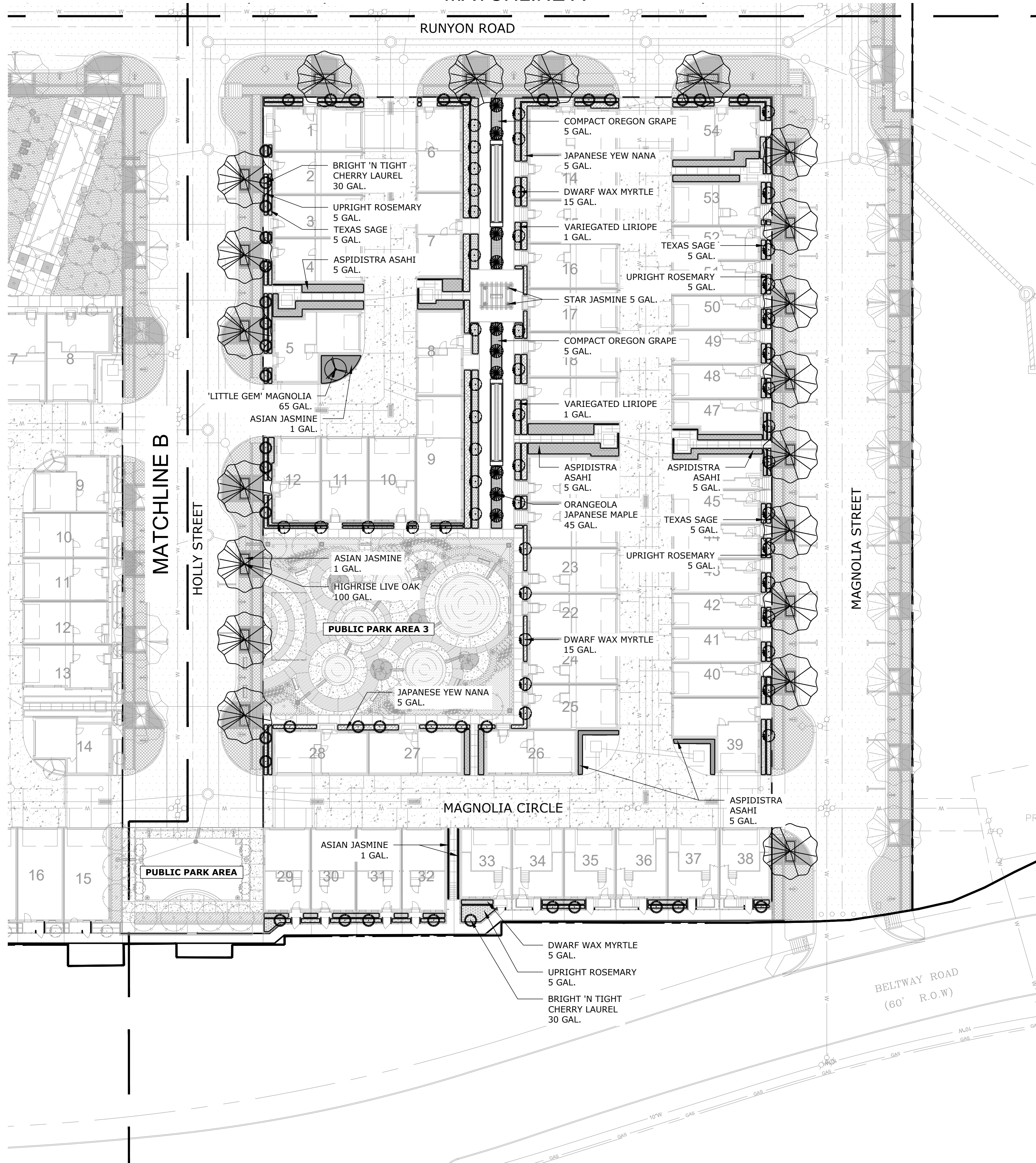
TOWN OF ADDISON
PARCEL 100053900A0010100

NO PORTION OF THE EXISTING SCREENING WALL SHALL BE REMOVED WITHOUT PROVIDING TWO WEEKS NOTICE TO THE TOWN

NOTE: INSTALL RETRACTING BOLLARDS WITH A KNOX KEY SWITCH

SCALE: 1" = 30'	PROJ. NO.
DRAWN BY: JDS	DATE
CHK'D BY: CWC	SHEET
APPROVED: CWC	01/24/2022
	5 OF 7

MATCHLINE A

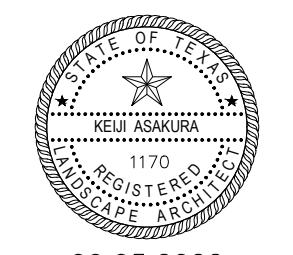


PLANT LEGEND

- HIGHRISE LIVE OAK
100 GAL.
- 'LITTLE GEM' MAGNOLIA
65 GAL.
- ORANGEOLA JAPANESE MAPLE
45 GAL.
- BRIGHT 'N TIGHT CHERRY LAUREL
30 GAL.
- DWARF WAX MYRTLE
15 GAL.
- DWARF WAX MYRTLE
5 GAL.
- JAPANESE YEW NANA
5 GAL.
- TEXAS SAGE
5 GAL.
- UPRIGHT ROSEMARY
5 GAL.
- COMPACT OREGON GRAPE
5 GAL.
- VARIEGATED LIRIOPE
1 GAL.
- ASIAN JASMINE
1 GAL.
- ASPIDISTRA ASAHI
5 GAL.
- STAR JASMINE
5 GAL.

CONTRACTOR IS RESPONSIBLE FOR ENSURING COORDINATION WITH APPROVED CONSTRUCTION DRAWINGS.

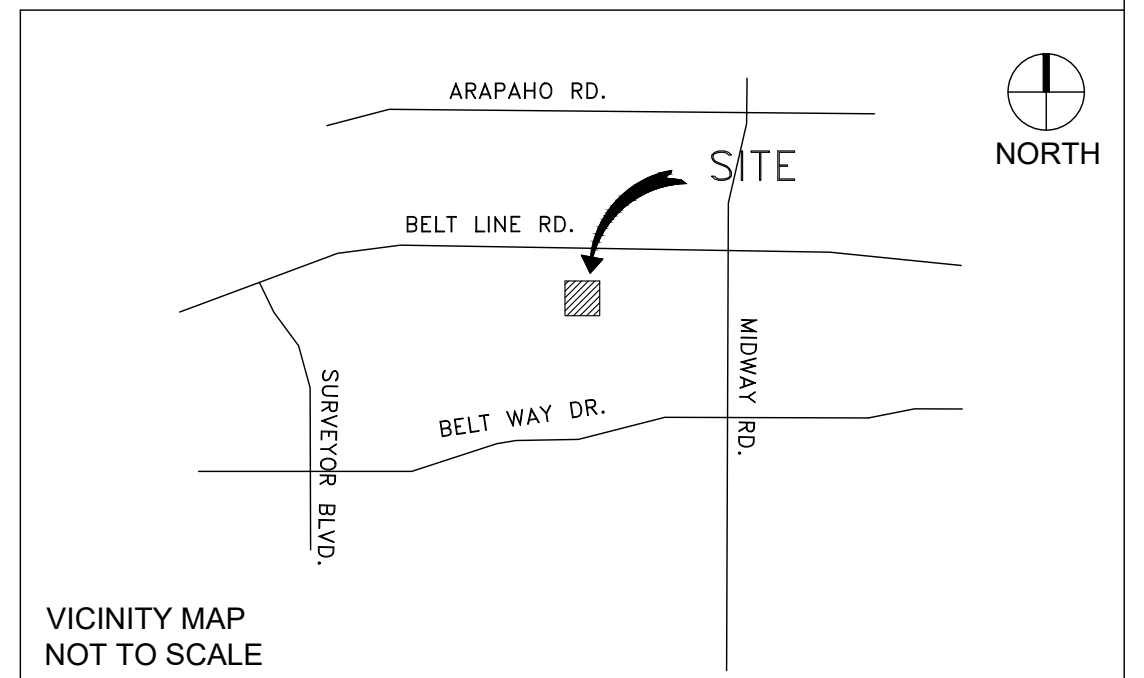
1 LANDSCAPE PLAN SCALE: 1" = 30'-0"



06.03.2022
Issued for PD Submittal
NOT FOR CONSTRUCTION

ASAKURA ROBINSON
2500 Summer Street, Suite 3228
Houston Texas 77007
P: 713.337.5330

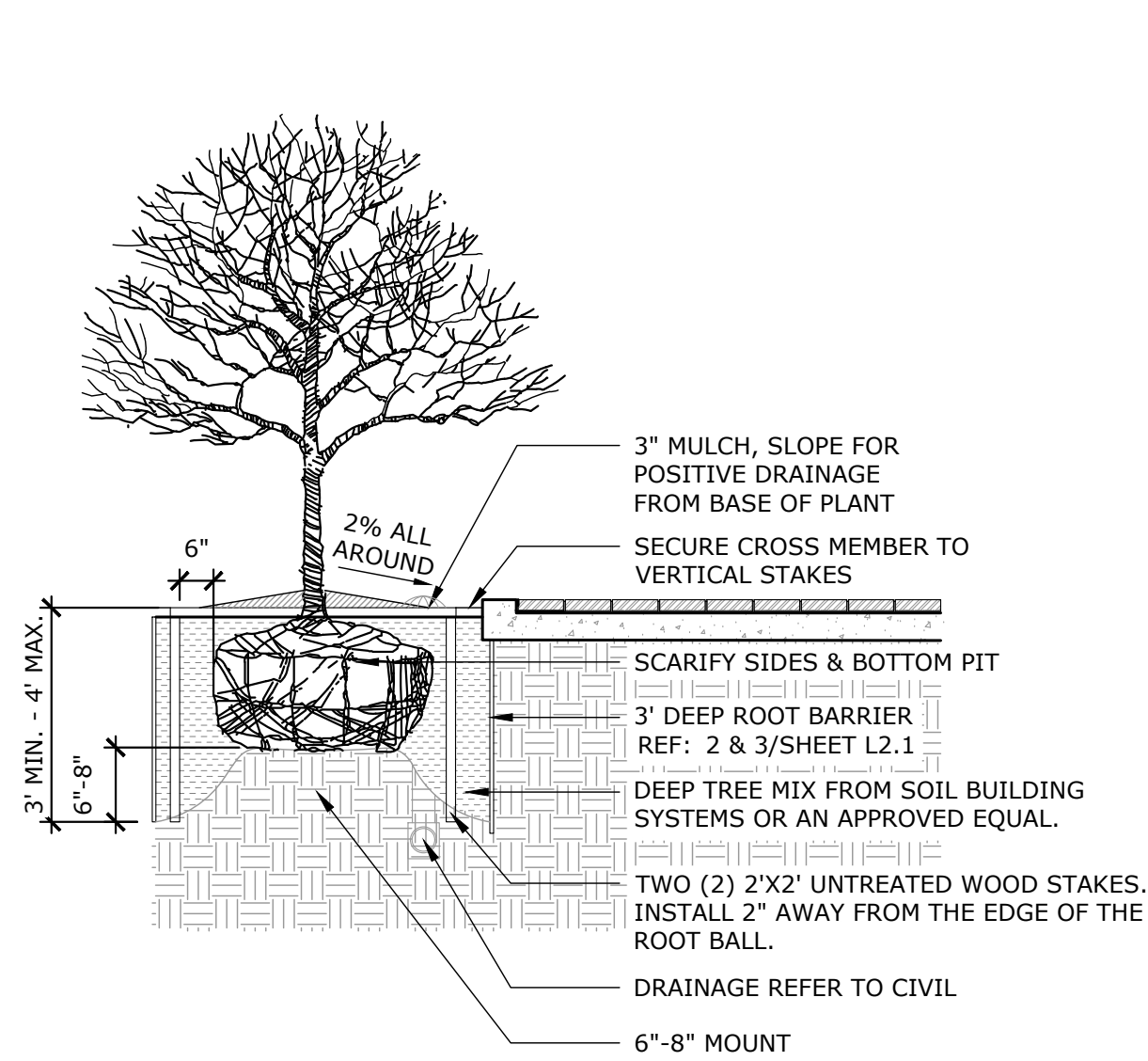
PREPARED BY:
ASAKURA ROBINSON COMPANY
2500 SUMMER STREET, SUITE 3228
HOUSTON, TEXAS 77007
CONTACT: KEIJI ASAKURA
PHONE: 713-337-5830
EMAIL: KEIJI@ASAKURAROBINSON.COM



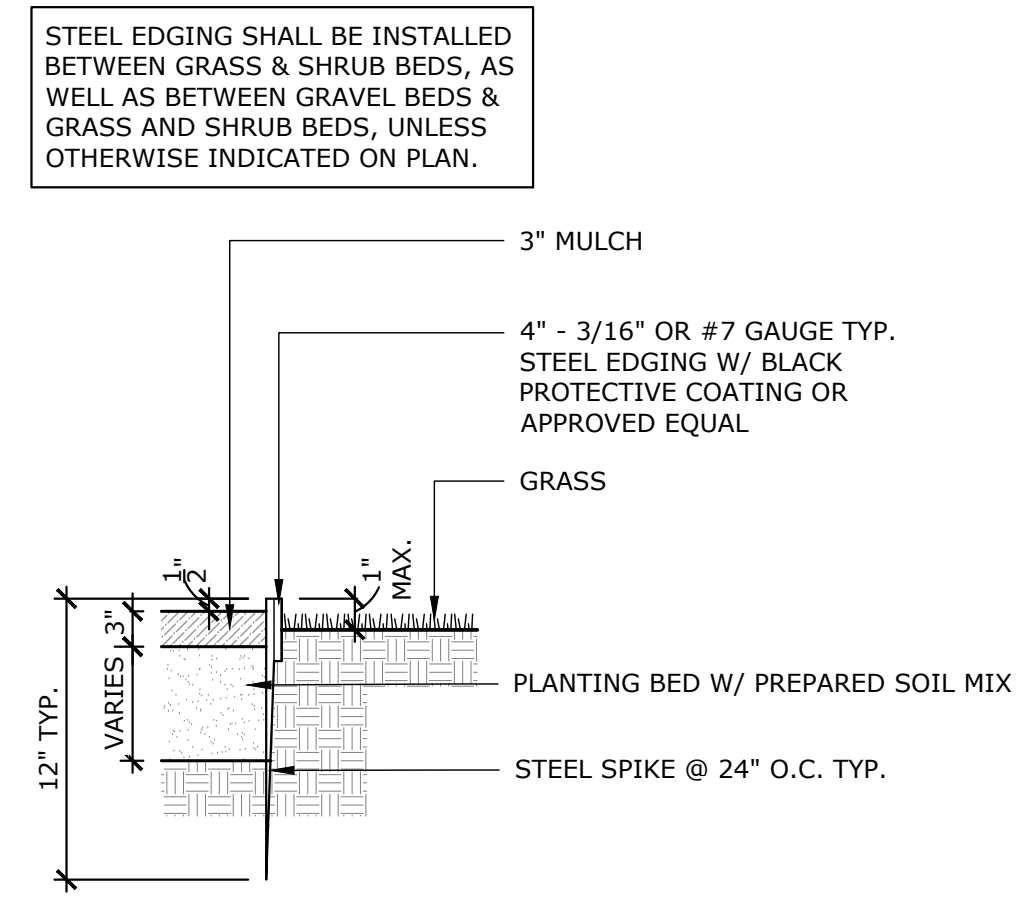
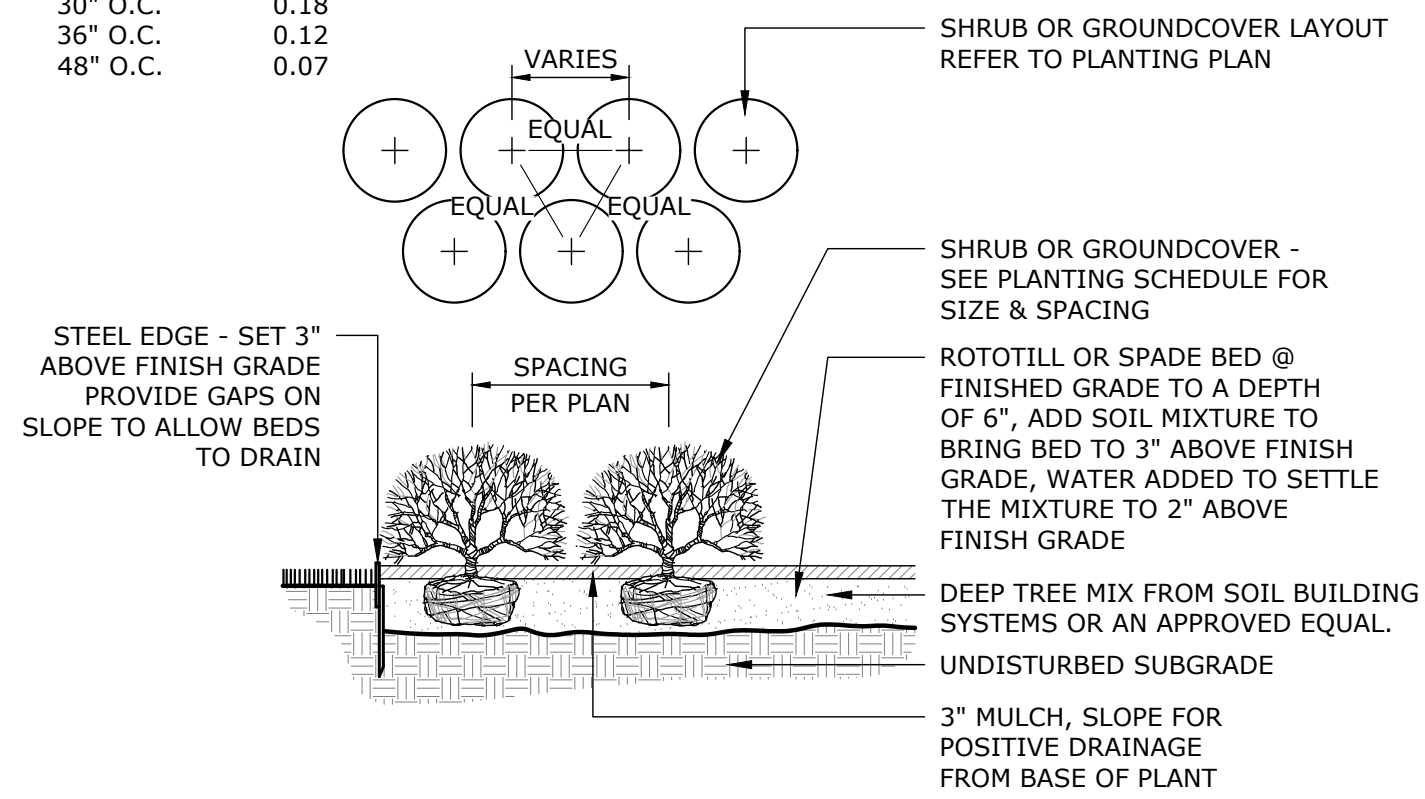
VICINITY MAP
NOT TO SCALE

L4.3 R.O.W. - LANDSCAPE PLAN

ADDISON GROVE
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1833-Z
DATE PREPARED: JUNE 03, 2022



SPACING	PLANTS/SF
6" O.C.	4.61
8" O.C.	2.60
9" O.C.	1.78
10" O.C.	1.66
12" O.C.	1.15
18" O.C.	0.50
24" O.C.	0.28
30" O.C.	0.18
36" O.C.	0.12
48" O.C.	0.07



1 TYP. TREE PLANTING DETAIL IN TREE WELL

N.T.S.

2 TYP. SHRUB / GROUND COVER PLANTING DETAIL & SPACING CHART

N.T.S.

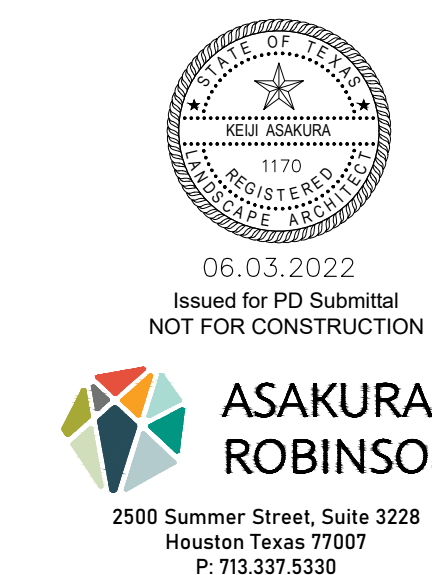
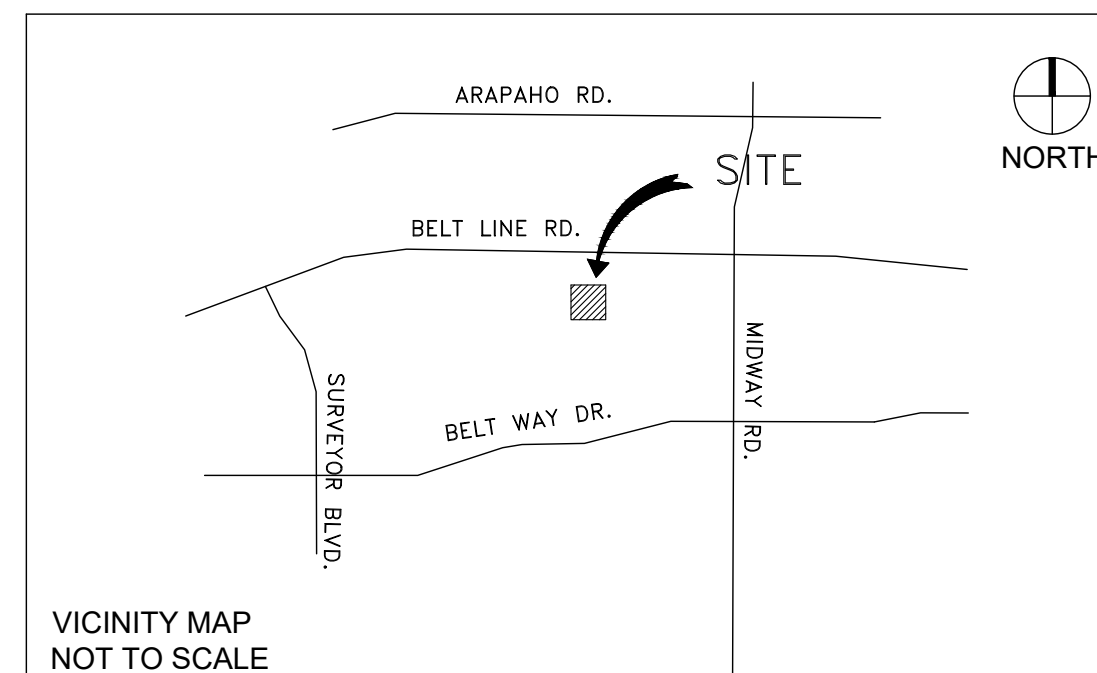
3 TYP. STEEL EDGING DETAIL

N.T.S.

QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE CALIPER	HEIGHT	SPREAD	COMMENTS
CANOPY TREES/ ORNAMENTAL TREES					
20	Highrise Live Oak Quercus virginiana 'Highrise'	4"-5" 100 Gal.	14'-16'	8'-10'	CONTAINER GROWN, FULL & WELL BRANCHED, SINGLE DOMINANT LEADER
1	'Little Gem' Magnolia Magnolia grandiflora 'Little Gem'	4"-5" 100 Gal.	14'-16'	8'-10'	CONTAINER GROWN, FULL & WELL BRANCHED, SINGLE DOMINANT LEADER
10	Orangeola Japanese Maple Acer palmatum 'Orangeola'	2" 45 Gal.	6'-8'	3'-4'	CONTAINER GROWN, FULL & WELL BRANCHED
41	Bright 'N Tight Cherry Laurel Prunus caroliniana 'Monus'	1.5" 30 Gal.	5'-7'	2'-3'	CONTAINER GROWN, FULL & WELL BRANCHED
47	Dwarf Wax Myrtle Myrica pusilla	1" 15 Gal.	34"-38"	24"-30"	CONTAINER GROWN, FULL & WELL BRANCHED
SHRUBS/ GROUND COVER					
250 SF	Dwarf Wax Myrtle Myrica pusilla	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1250 SF	Japanese Yew Nana Taxus cuspidata 'Nana'	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
850 SF	Texas Sage Leucophyllum frutescens	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1150 SF	Upright Rosemary Rosmarinus officinalis	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
500 SF	Compact Oregon Grape Mahonia aquifolium 'Compacta'	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
1000 SF	Variegated Liriope Liriope muscari 'Variegata'	1 Gal.	10"-12"	10"-12"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 18" O.C. TRIANGULAR SPACING
1200 SF	Asian Jasmine Trachelospermum asiaticum	1 Gal.	10"-12"	12"-14"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 12" O.C. TRIANGULAR SPACING
1500 SF	Aspidistra Asahi Aspidistra elatior 'Asahi'	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 24" O.C. TRIANGULAR SPACING
ORNAMENTAL VINES					
12	Star Jasmine Trachelospermum jasminoides	1 Gal.	10'-12"	8"-10"	CONTAINER GROWN, FULL & WELL ROOTED 3 PLANTS PER CONTAINER / 30" O.C. ALONG WALL

PLANTING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
- CONTRACTOR SHOULD NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT UP TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADE TO +0.10. CONTRACTOR SHALL OBTAIN LETTER OF GRADE CERTIFICATION FROM OWNER PRIOR TO PROJECT EXECUTION.
- CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 72 HOURS (WEEKENDS NOT INCLUDED) PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULE.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS ON PLANS OR LAYOUT OF PLANS, CONTRACTOR SHOULD CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIAL.
- PROTECT ALL EXISTING TREES TO REMAIN. CONTRACTOR SHALL REPLACE ANY TREES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE FENCING, IF NECESSARY, AT THE TREE DRIP LINE TO PROTECT TRUNK AND ROOTS AND TO PREVENT COMPACTION FROM VEHICLE TRAFFIC OR MATERIAL STORAGE ON THE SOIL BELOW TREES. CONTRACTOR SHALL PROVIDE FOR THE FEEDING, WATERING AND GENERAL MAINTENANCE OF TREES TO KEEP THEM IN A HEALTHY CONDITION DURING CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT PHOTOS OF REPRESENTATIVE TREES AND SHRUBS WITH SPECIFICATIONS ON THE BACK OF PHOTO INCLUDING HEIGHT, WIDTH AND CALIPER. IF A NURSERY VISIT IS REQUIRED THE CONTRACTOR WILL ARRANGE TO HAVE THE PARTICULAR NURSERIES PREPARED TO SHOW TREES. SHOULD CONTRACTOR INSTALL PLANT MATERIAL INFERIOR TO INDUSTRY STANDARD, IT IS AT HIS OWN RISK. ALL PHOTO SUBMITTALS ARE TO BE APPROVED PRIOR TO PLANTING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIALS FREE OF PESTS AND DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO GUARANTEE ALL PLANT MATERIALS PER THE SPECIFICATIONS.
- CONTRACTOR SHALL STAKE ALL FINAL TREE LOCATIONS AND PLANTING BED LIMITS IN THE FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- STEEL EDGING SHALL BE PLACED BETWEEN ALL SHRUB BEDS AND TURF AREAS, AS WELL AS BETWEEN GRAVEL BED AND PLANTING BEDS.
- UPON INSTALLATION ALL TREE MATERIALS SHALL BE STAKED ACCORDING TO SPECIFICATIONS AND PLANTING DETAILS.
- IF REQUESTED BY OWNER CONTRACTOR SHALL INSTALL DEEP/ROOT BARRIERS AT ALL TREES WITHIN 5'-0" OF CONCRETE WALKWAYS, STRUCTURES, WALLS, CURBS, ETC.
- ALL PLANTS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED.
- ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" OF APPROVED SHREDDED MULCH.
- CONTRACTOR SHALL FINE GRADE ALL DISTURBED AREAS TO PROVIDE FOR PROPER DRAINAGE.
- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)/AMERICAN ASSOCIATION OF NURSERYMEN (AAN): ANSI Z60.1 1-069 "NURSERY STOCK".
- "GRADES AND STANDARDS", LATEST EDITION OF TEXAS ASSOCIATION OF NURSERYMEN SPECIFICATIONS, AUSTIN, TEXAS 78704.
- PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK AND PROVIDE FOR ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE, AND LOCAL AUTHORITIES IN FURNISHING, TRANSPORTING, AND INSTALLING MATERIALS.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1. PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT.
- PLANTING SOIL QUALITY ASSURANCE:
 - IF REQUESTED BY OWNER, ALL SOIL COMPONENTS SHALL BE TESTED BY LOCAL OR STATE TESTING LABORATORY FOR CONFORMITY TO THE SPECIFICATIONS:
 - CONTRACTOR SHALL SUBMIT PROPOSED LABORATORY NAME, ADDRESS, AND TELEPHONE NUMBERS FOR APPROVAL.



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L4.4 R.O.W. - LANDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1833-Z

DATE PREPARED: JUNE 03, 2022

Surround Style Planting with Deeproot Universal Barriers

When selecting the Surround style planting application you will have the greatest success by following these simple steps as illustrated below:

A. Prepare the initial planting hole as illustrated below. This is based upon the combination of desired barrier diameter and depth. Consider if drainage devices or amendments are needed to correct any adverse soil or planting conditions in the backfill area.

B. Assemble the appropriate number of Deeproot Universal Barrier panels. The vertical root deflecting ribs on the panel must face inward, toward the root ball. (This is very important, otherwise the roots will become girdled by traveling around the smooth walled surface.)

C. Next place the barrier in the center of the planting hole, keeping in mind that the double top edge of the barrier should be positioned approximately 1/2" (13mm) above grade. This helps retard potential root overgrowth. Failing to position the top edge above grade can allow root overgrowth which can lead to uprooted hardscapes.

D. Backfill and compact with soil inside the barrier to the level where the bottom of the root ball will be when positioned correctly with the crown of the root ball approximately 1" (26mm) above grade.

E. Remove the tree from its container, or cut away the top portion of burlap and position in the center of the barrier. Complete the backfill of the soil. Distribute evenly to maintain the shape of the barrier and compact the backfill every 4"-6" (10cm-15cm). Roots will die quickly if left exposed to the elements so keep exposure of the roots to a minimum.

F. If staking or guying is required we recommend using the soft, safe and economical alternative to traditional wire and hose, ArborTie (see www.deeproot.com for details)

G. If the tree(s) will be subject to maintenance work such as lawn mowing or weed trimming we strongly recommend the installation of ArborGuard+ Tree Trunk Protectors which are placed around the base of young trees to protect them from damage by weed trimmers, lawn mowers and small rodents. (See www.deeproot.com)

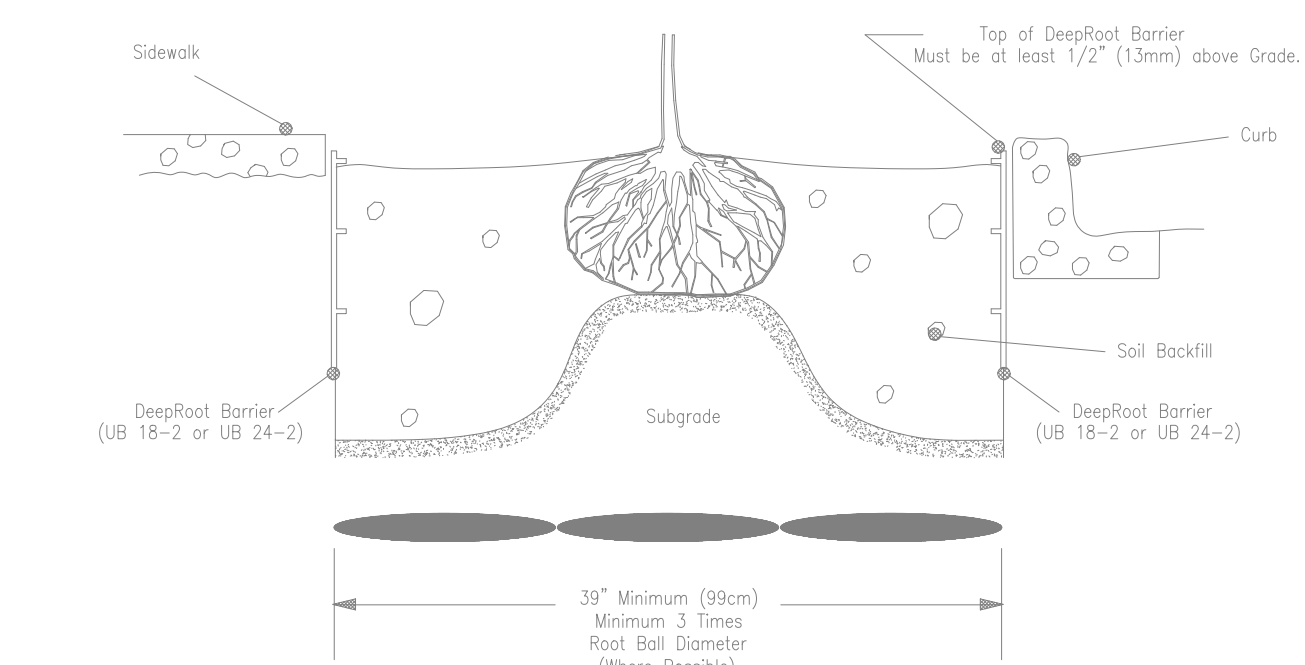
H. Water and follow proper tree maintenance practices.

Trees do require care and nurturing after planting. Consult with your local supplier for proper care procedures for the species you are planting. The planting instructions given here are by no means a comprehensive guide. Rather they are general guidelines to planting with DeepRoot Barriers and a survey of current planting methods. Conditions will vary however and it is recommended that an Arborist be consulted before planting.

For additional information please visit our website at www.deeproot.com

For information regarding distributors please call: 1 800 ILV ROOT (458,7668). For help with drainage or other difficult installation questions please call DeepRoot Technical Support at: 1 800 ROOT TEK (766.8635).

A Typical Surround Planting Installation Using DeepRoot Universal Barrier



1 TYP. ROOT BARRIER DETAIL @ SIDEWALK

N.T.S.

UB 24-2 Specifications 24" DeepRoot® Tree Root Barrier

Specified tree root barrier is a mechanical barrier and root deflector used to prevent tree roots from damaging hardscapes and landscapes. Assembled in 24" (609 mm) long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

A. Materials

1. The contractor shall furnish and install tree root barrier as specified. The tree root barrier shall be either product #UB 24-2 as manufactured by DeepRoot® Green Infrastructure, LLC, 530 Washington Street, San Francisco, CA, www.deeproot.com (800.458.7668).

2. Root barrier shall be recyclable, black, injection molded panels with 0.080" (2.03 mm) wall thickness in modules 24" (609 mm) long and 24" (609 mm) deep.

3. Root barrier shall be manufactured with 75% reprocessed polypropylene with added ultraviolet inhibitors.

4. Root barrier shall be comprised of 24" (60.96 cm) panels. Each panel shall have no less than four (4) Molded Integral Vertical Root Directing Ribs of a minimum 0.075" (1.90 mm) thickness, protruding 1/2" (12.7 mm) at 90° from interior of the barrier panel, spaced 6" (152.4 mm) apart. (See Details A & D)

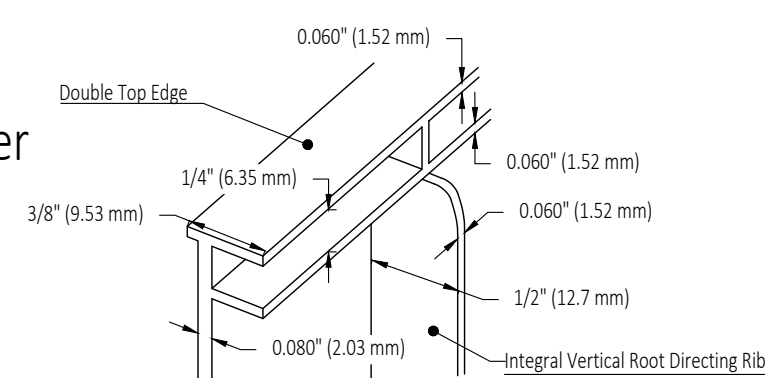
5. Root barrier shall have a Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel at 0.060" (1.52 mm) thickness, 3/8" (9.53 mm) wide and 1/4" (6.35 mm) apart with the lower rib attached to the vertical Root Directing Ribs (See Detail A).

6. Root barrier shall have a minimum of twelve (12) Anti-Lift Ground Lock Tabs consisting of integral horizontal ridges of minimum 0.075" (1.90 mm) thickness in the shape of a segment of an oblong, 2" (50.8 mm) chord of the segment joining the panel wall and the segment, protruding 3/8" (9.53 mm) from the panel. The twelve ground locks on each panel shall be about equally spaced between each of the vertical root directing ribs (Four (4) between each set of ribs, see Details B & D).

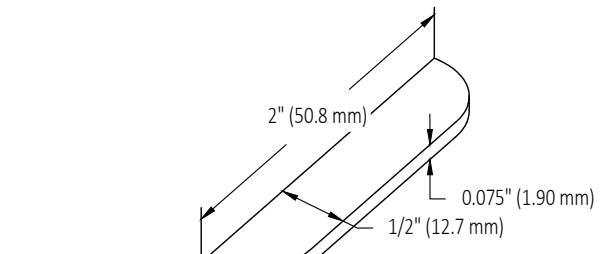
7. Root barrier shall have an integrated Zipper Joining System for assembly by sliding one panel into another (See Detail C).

U.S. Patents: 5,305,549; and 5,528,857. Other Patents Pending.

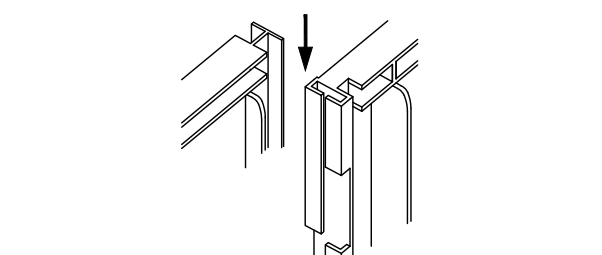
Properties	Typical Value	ASTM Test Method
Tensile strength @ yield - Wall	2,354 PSI	D638
Tensile strength @ yield - Hinge	2,846 PSI	D638
Yield Elongation - Wall	7.44%	D638
Yield Elongation - Hinge	7.01%	D638
Flexural Modulus	119,625 PSI	D790B
Notched Izod Impact - Wall	3.84 (ft-lbs)	D256A
Rockwell Hardness r. scale - Wall	84.4	D785A



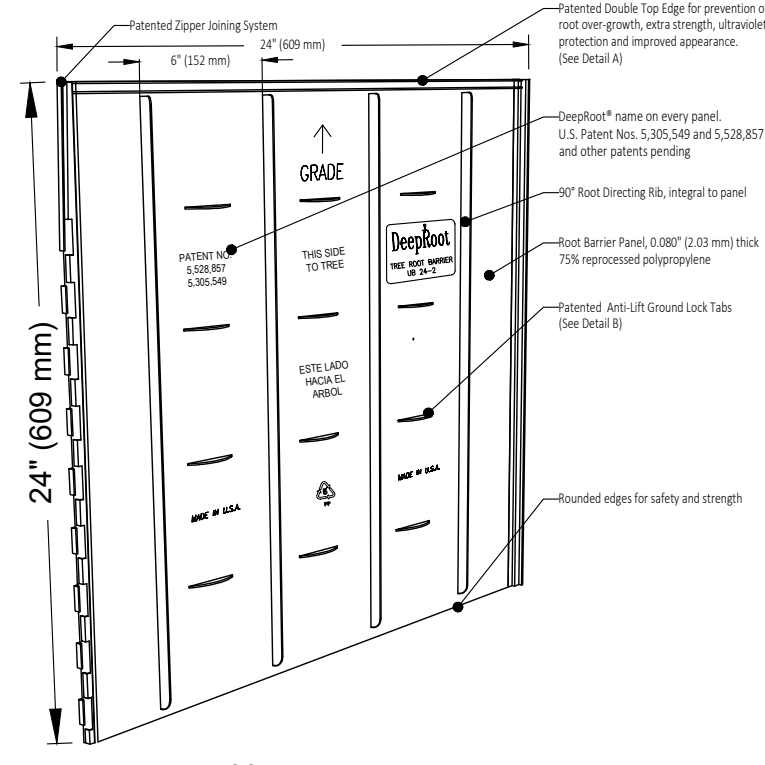
DETAIL A - DOUBLE TOP EDGE AND VERTICAL ROOT DIRECTING RIB



DETAIL B - ANTI-LIFT GROUND LOCK TAB



DETAIL C - ZIPPER JOINING SYSTEM



DETAIL D - TREE ROOT BARRIER PANEL

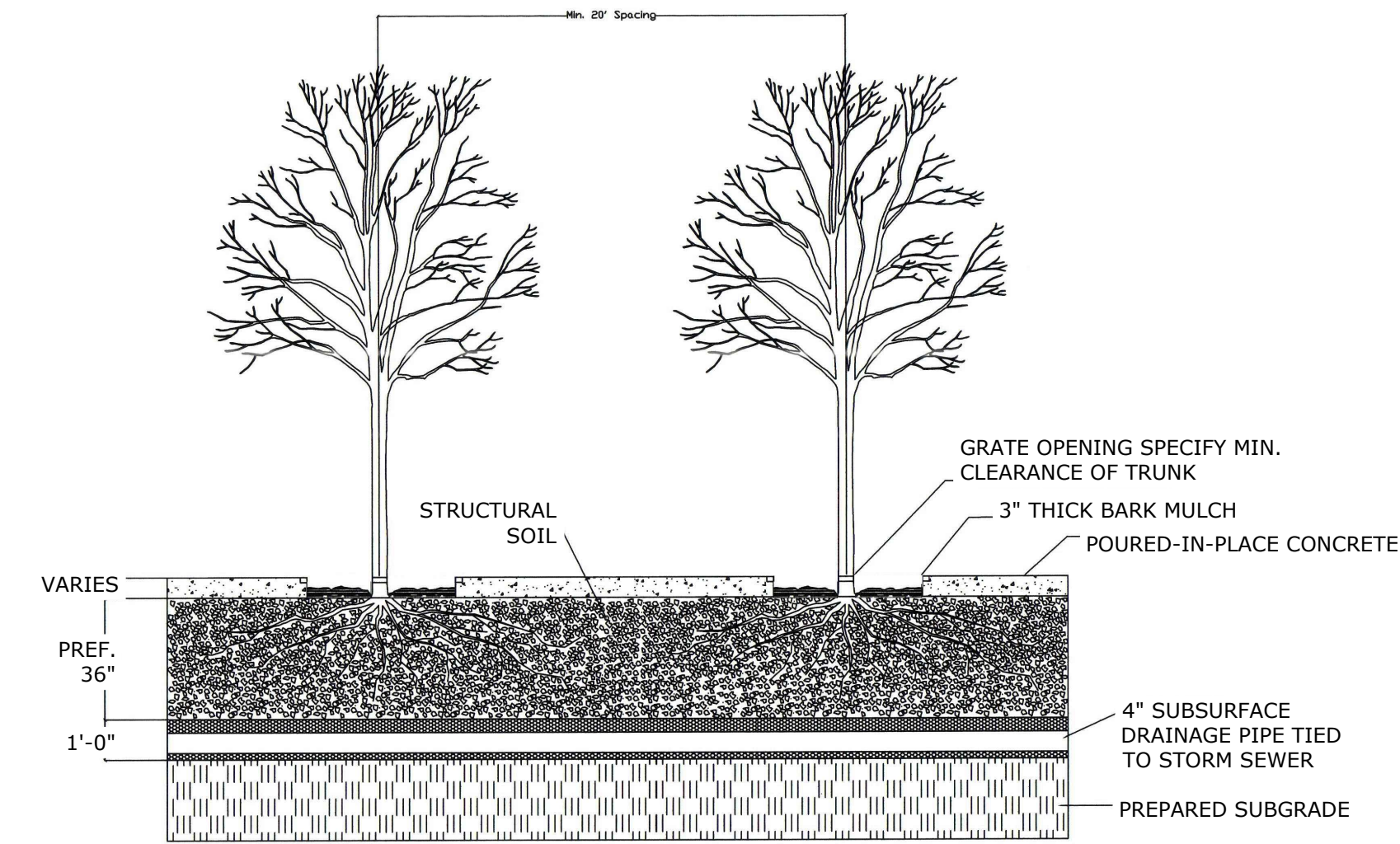
NOTE: CONTRACTOR TO INSTALL DEEPROOT TREE ROOT BARRIER AT ALL SIDES OF EXISTING TREE ROOT. VERIFY WITH DEEPROOT REP FOR EXACT REQUIREMENTS AND SPECIFICATIONS PRIOR TO INSTALLATION.

2 TYP. ROOT BARRIER DETAIL @ SIDEWALK

N.T.S.

3 TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

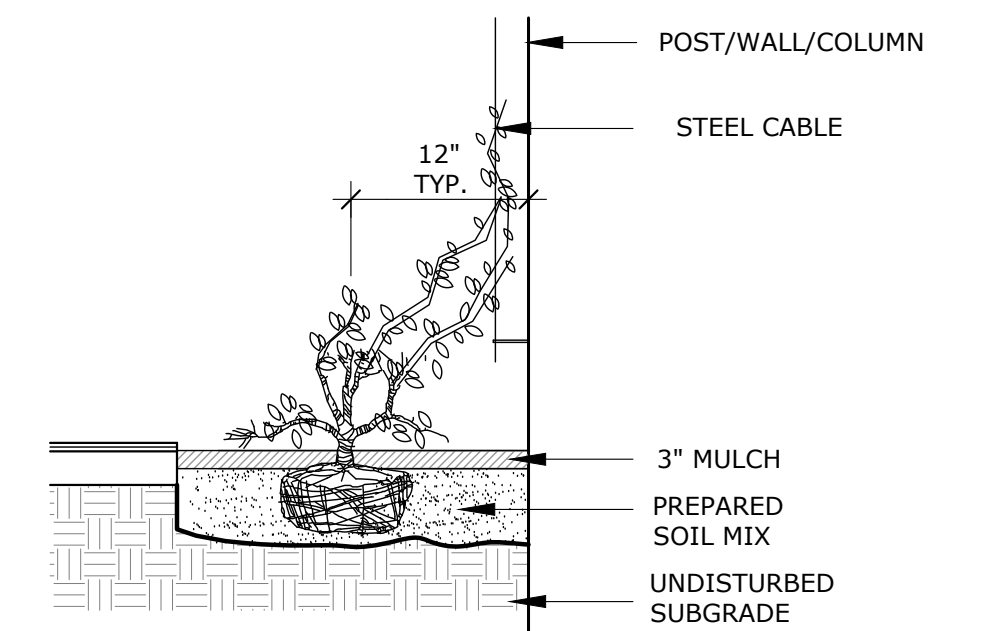
N.T.S.



TYPICAL STREET TREE PLANTING - VIEW 2

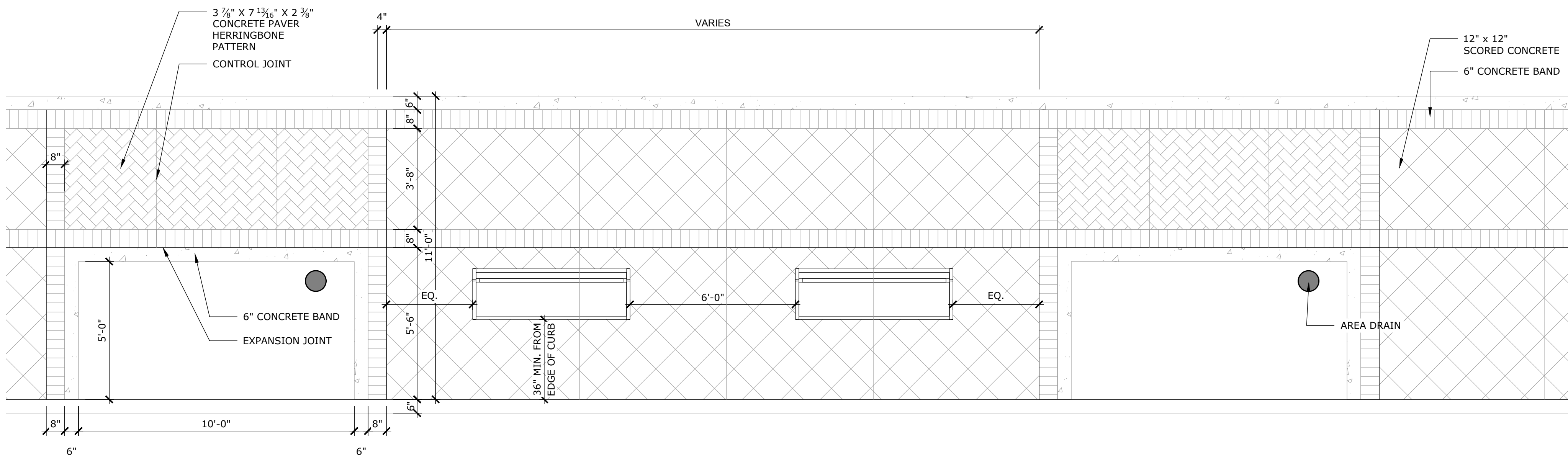
NOTES:

- STRUCTURAL SOIL SHALL BE INSTALLED BETWEEN ALL TREE WELLS TO CREATE A CONTINUOUS 5' WIDE SOIL TRENCH.
- CONTRACTOR TO USE CU-SOIL STRUCTURAL SOIL OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- SOIL MIXTURE SHALL BE COORDINATED WITH THE MANUFACTURER AND APPROVED BY THE CITY.



4 TYP. VINE PLANTING DETAIL

NTS



5 TYPICAL PAVING DETAIL

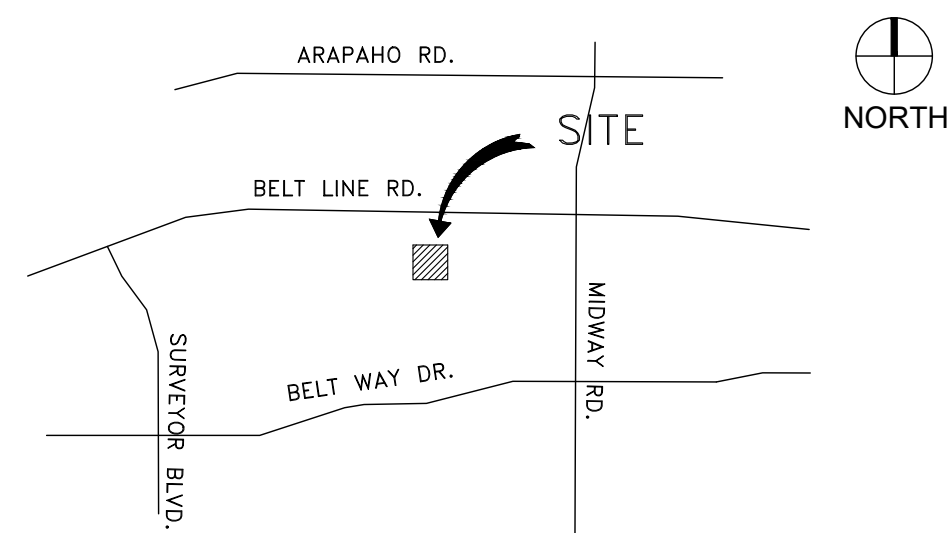
N.T.S.



06.03.2022
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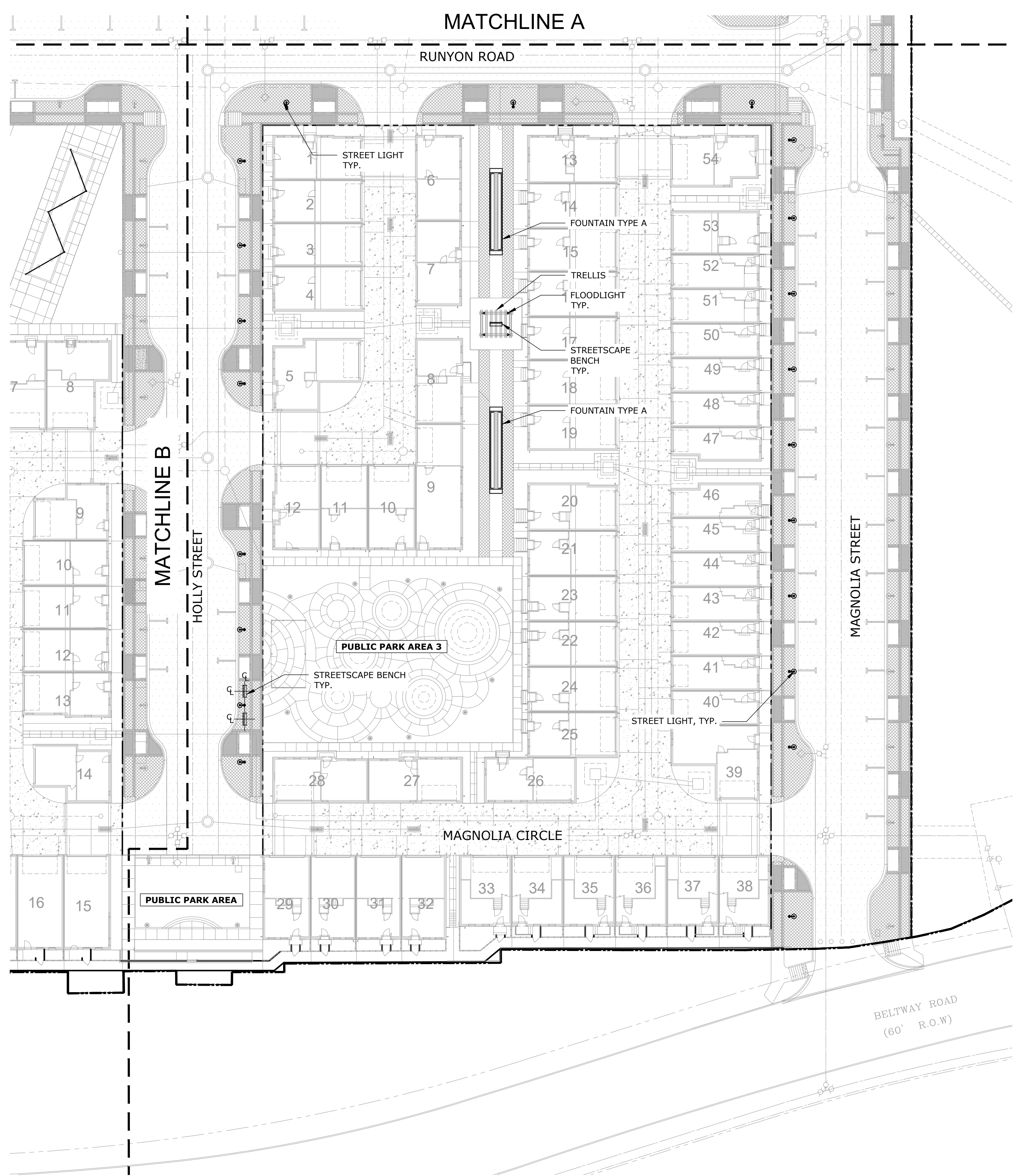
VICINITY MAP
NOT TO SCALE

L4.5 - LANDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1833-Z

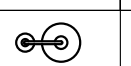


DATE PREPARED: JUNE 03, 2022



LEGEND

-  STREET LIGHTS
-  STREETSCAPE BENCH
-  FLOODLIGHT

SITE FURNISHING SCHEDULE - BLOCK D QUANTITIES ONLY

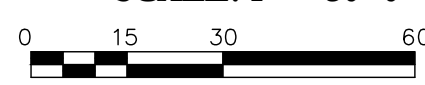
SYM.	QTY.	ITEM	MANUFACTURER	MATERIAL	COLOR	MODEL	NOTES
	21	STREET LIGHTS	ANTIQUE STREET LIGHTS		PER ONCOR REQUIREMENTS	PER ONCOR REQUIREMENTS	
	3	STREETSCAPE BENCH	LANDSCAPE FORMS	STEEL, ALUMINUM BACK	METALLIC SILVER	STAY SA477-13	BACKED, PAVER MOUNT
	4	FLOODLIGHT	BEGA		SELECTED BY OWNER	7604LED.538	

NOTES:

1. ALL SITE FURNISHINGS AND LIGHTS LOCATIONS ARE TO BE FIELD LOCATED PER PLAN FOR APPROVAL OF OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
2. ALL SITE FURNISHINGS AND LIGHTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTOR TO SUBMIT MANUFACTURER'S LITERATURE, DETAILS AND ANY SUPPORT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.

1 SITE FURNISHING AND LIGHTING PLAN

SCALE: 1" = 30'-0"

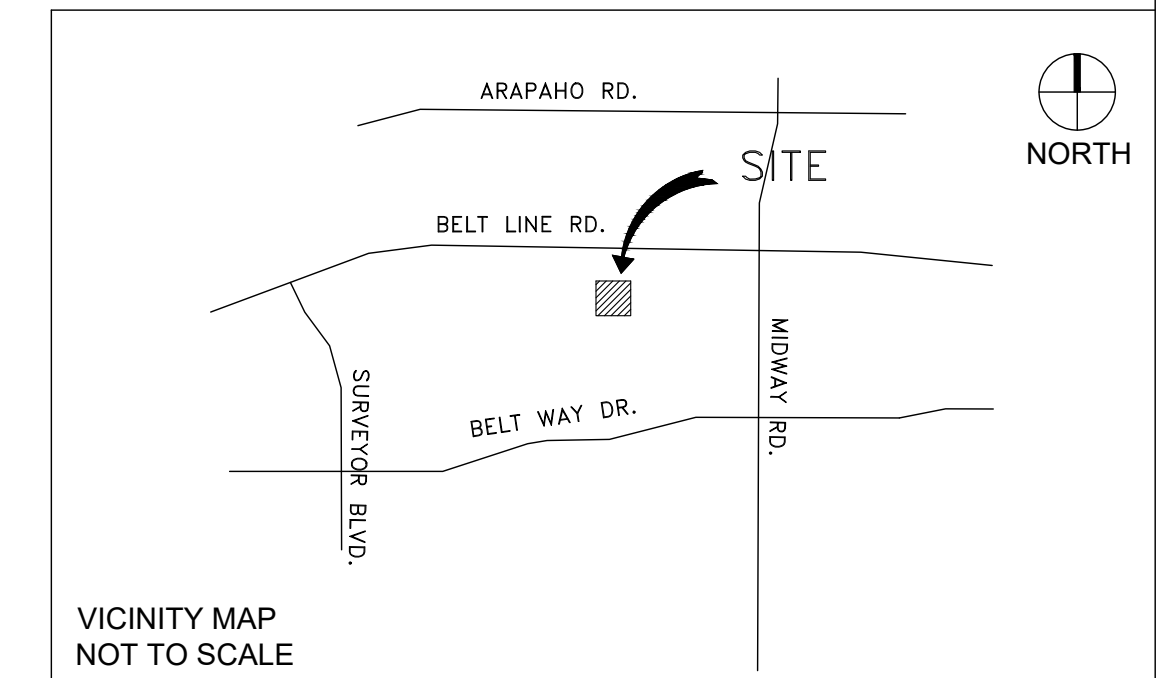



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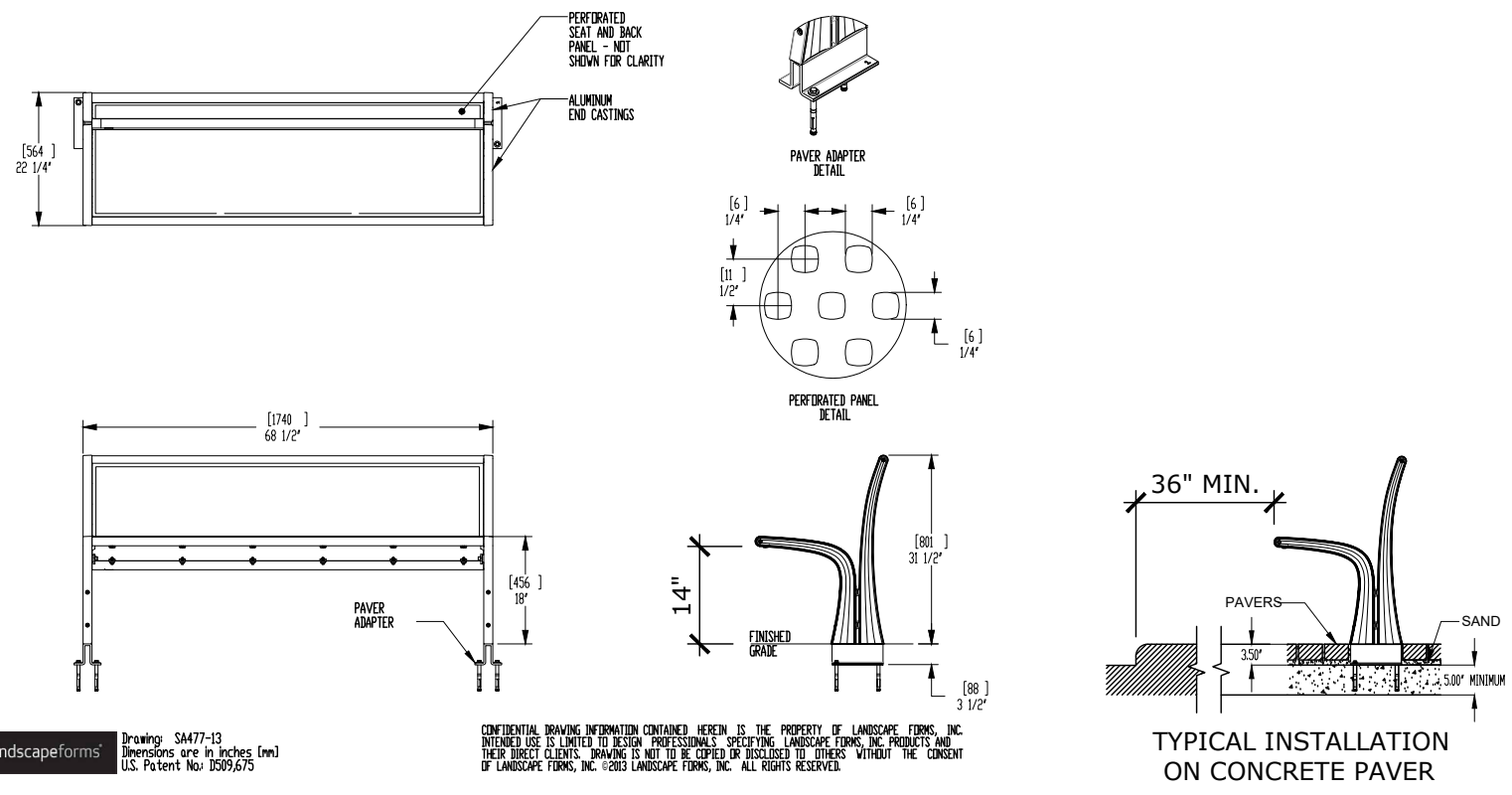
VICINITY MAP
 NOT TO SCALE

L5.3 R.O.W. - SITE FURNISHING AND LIGHTING PLAN

ADDISON GROVE

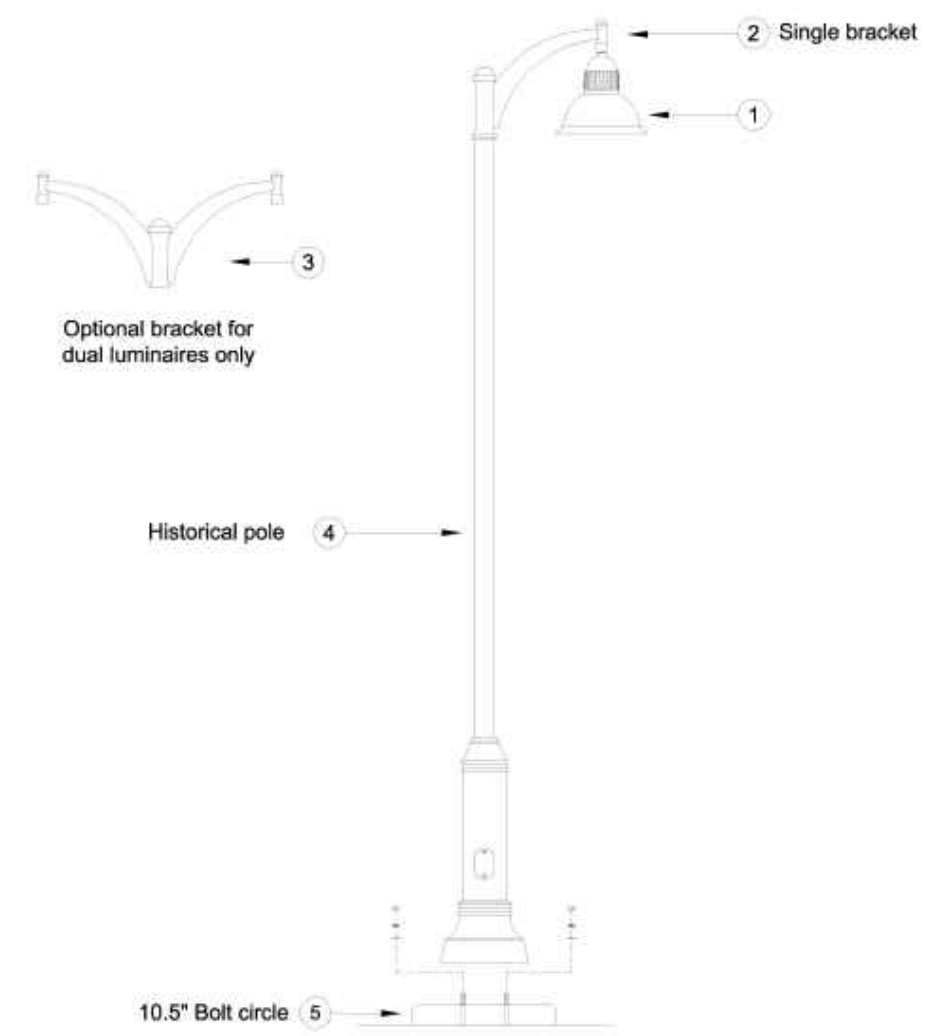
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
 US SURVEYOR 5213
 TOWN PROJECT NUMBER: 1833-Z

DATE PREPARED: JUNE 03, 2022



1 TYP. STREETSCAPE BENCH DETAIL
 NTS

Historical Pendant Luminaire 213 - 135
 02 - 18



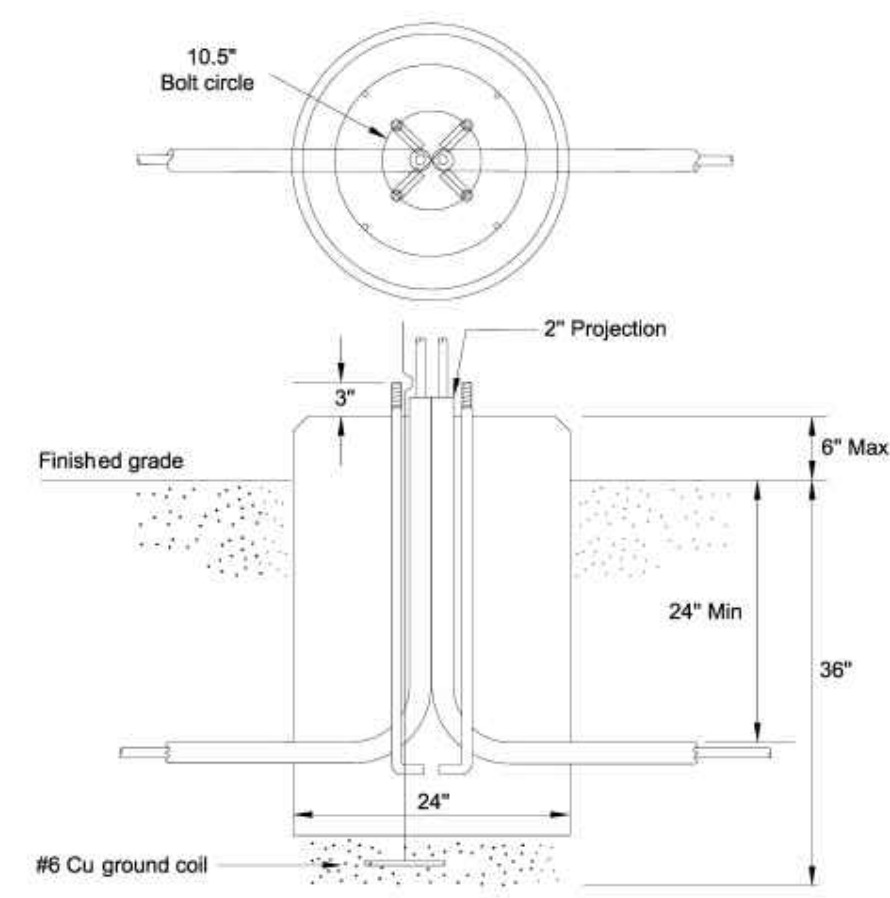
Item	Qty	Description	TSN/Ref	CU
1		LED, Luminaire, Historical, Pendant, 0-55 W, Type III, 120-277 V	902689	LEDHP55
1		LED, Luminaire, Historical, Pendant, 56-100 W, Type III, 120-277 V	902693	LEDHP100
1		High Pressure Sodium, Luminaire, Historical, Pendant, 100 W, Type III, 120 V	479607	LHOV100H31
2		Single Luminaire Bracket	462582	SLBP
3		Double Luminaire Bracket	476309	SLBP2
4		Pole, Decorative, 16 ft., Black, Anchor Base with Mounting Hardware	462580	SLPP16
5		Precast Foundation, 10 in. Bolt Circle, 3/4 in. Anchor Bolts	476487	SLFP12
6		Grounding		
7		Fusing		

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Page 1 of 2

Historical Pendant Luminaire Foundation 213 - 135
 02 - 18



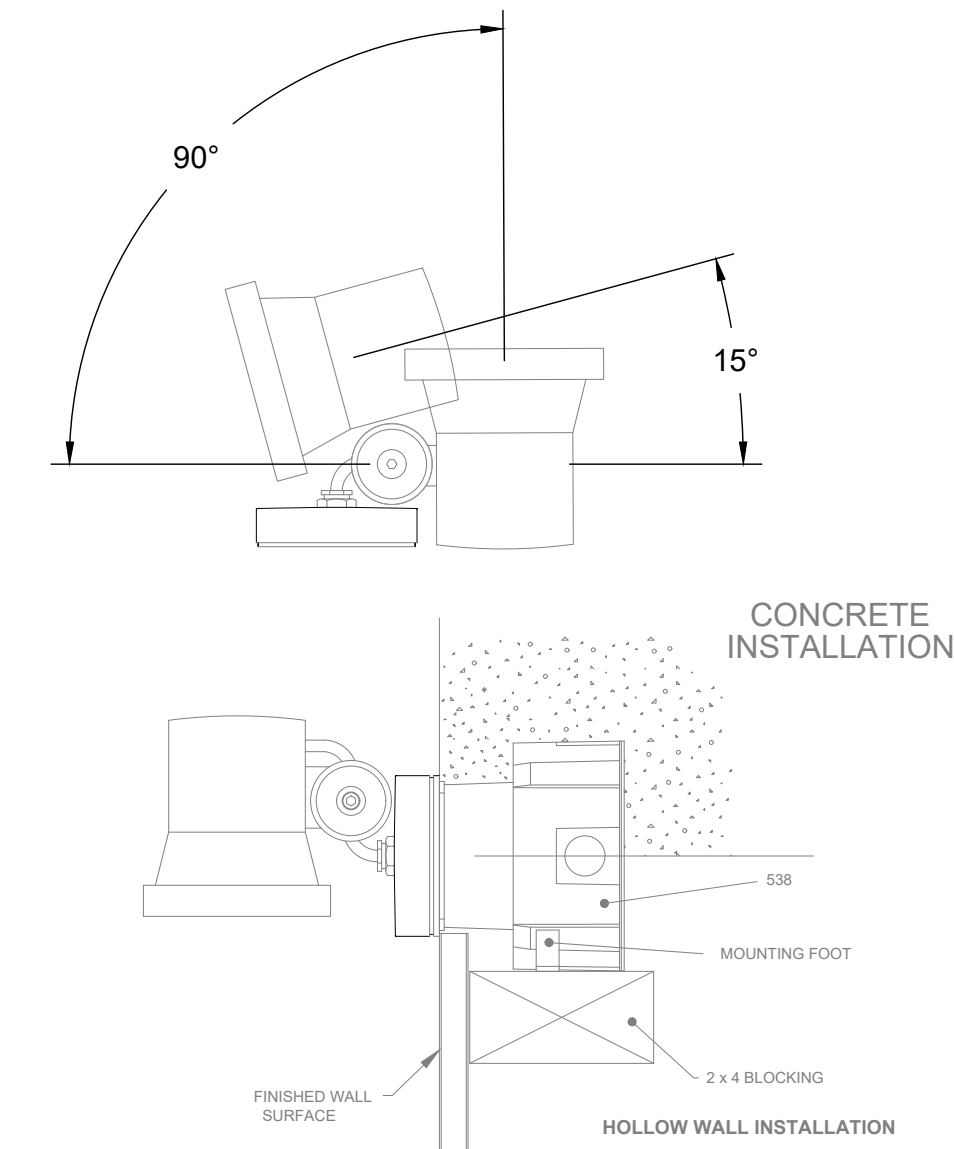
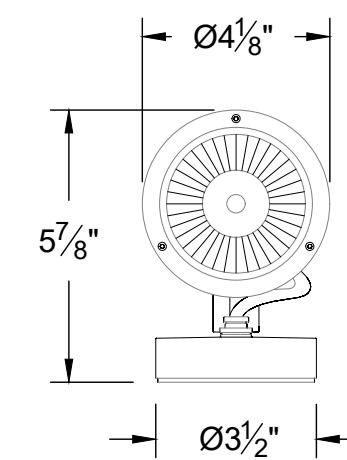
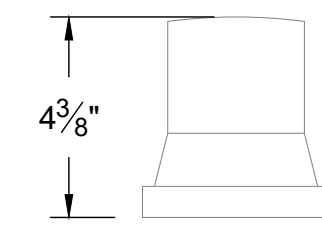
Item	Qty	Description	TSN/Ref	CU
1		Precast Foundation, 10 1/2 in. bolt circle, 3/4 in. anchor bolts	476487	SLFP12
2		Grounding		

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Page 2 of 2

NOTES:
 1. LUMINAIRE # 7604LED.538 - SEE SPECIFICATIONS



BECA
 1000 Brook Way
 Cambridge, CA 95913
 (925) 334-2222
 Catalog No. 7604LED.538
 Title: SMALL SCALE FLOODLIGHT - LED
 Drawn by: KJT Date: 8/4/14 File Name: 7604LED.538
 Scale: NONE - DO NOT SCALE DRAWING

3 TYP. FLOOD LIGHT DETAIL
 NTS

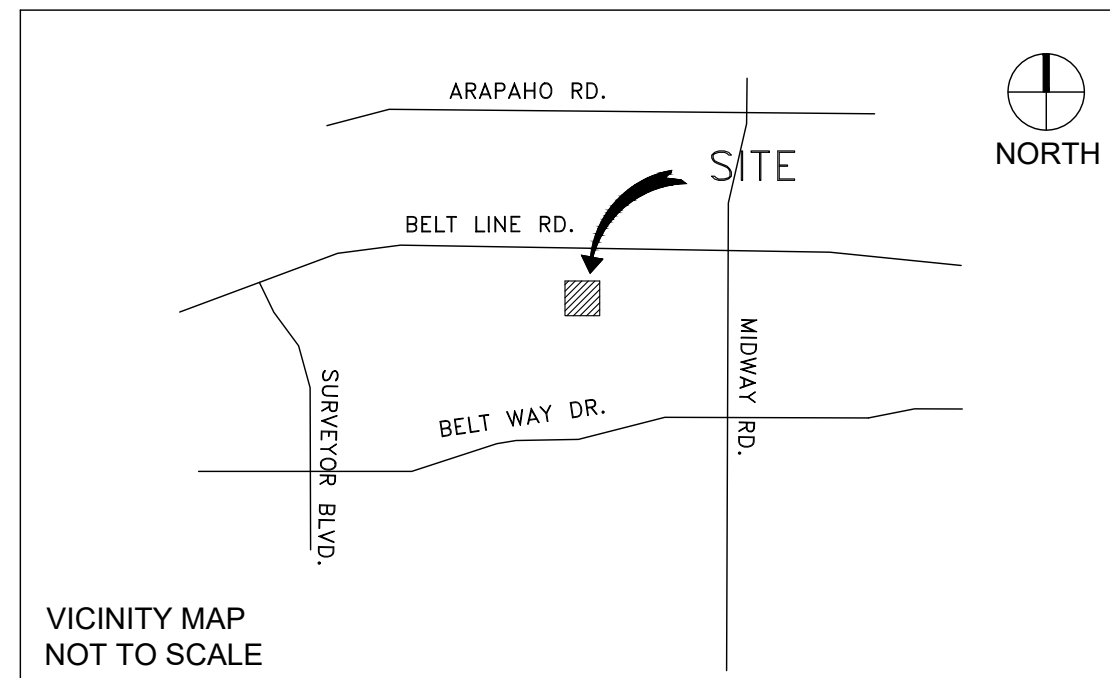
2 TYP. STREET LIGHT FIXTURE DETAIL
 NTS



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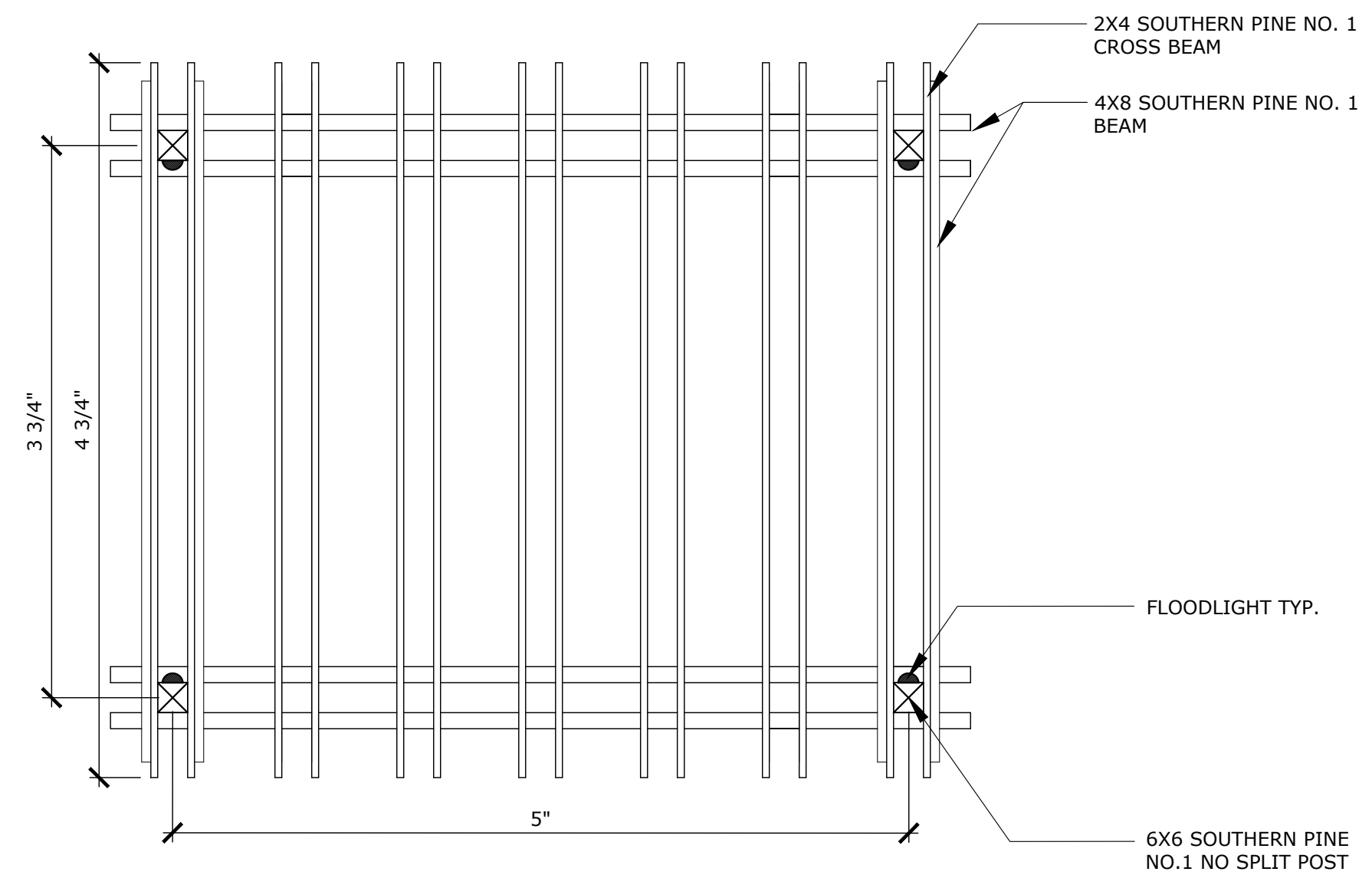


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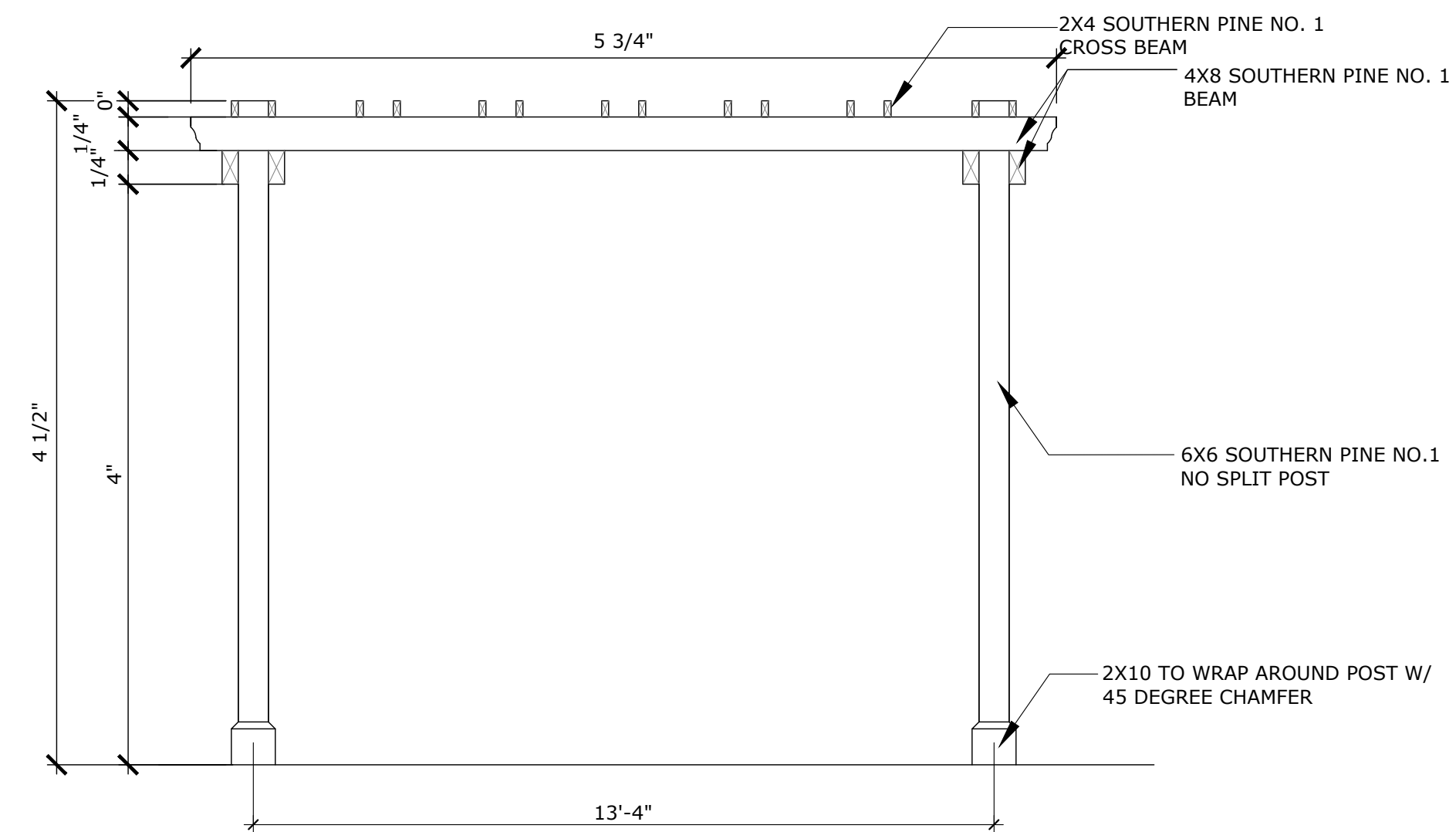


L5.4 R.O.W. - SITE FURNISHING AND LIGHTING DETAILS

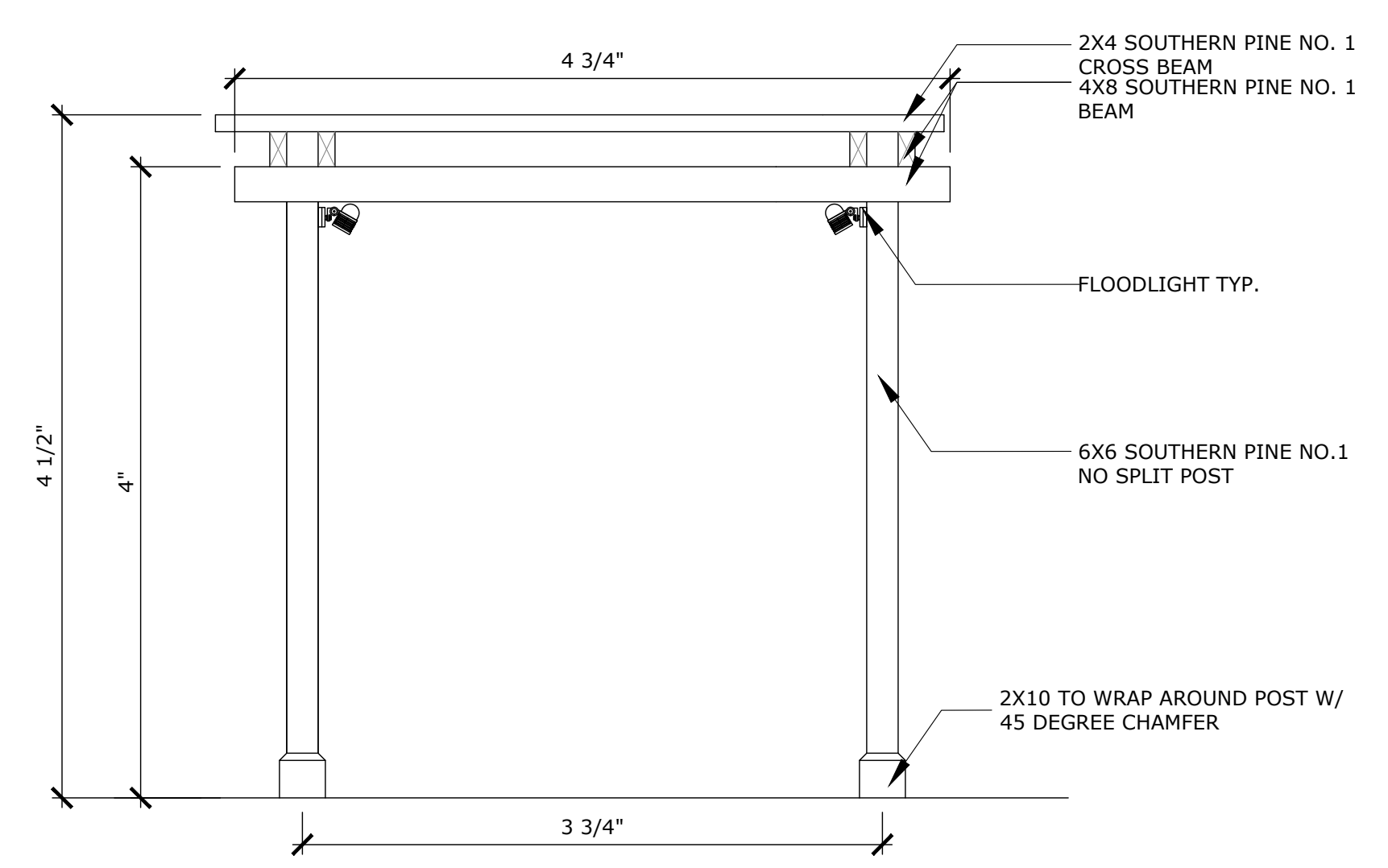
ADDISON GROVE
 BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
 US SURVEYOR 5213
 TOWN PROJECT NUMBER: 1833-Z
 DATE PREPARED: JUNE 03, 2022



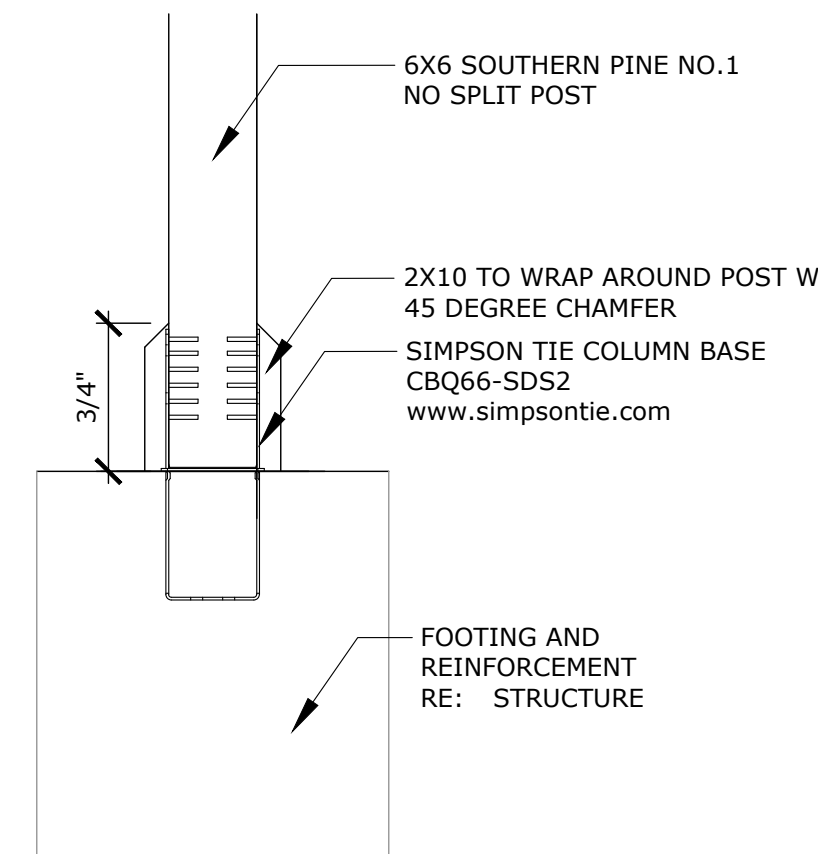
1 TRELLIS LAYOUT PLAN
Scale: 3/8"=1'-0"



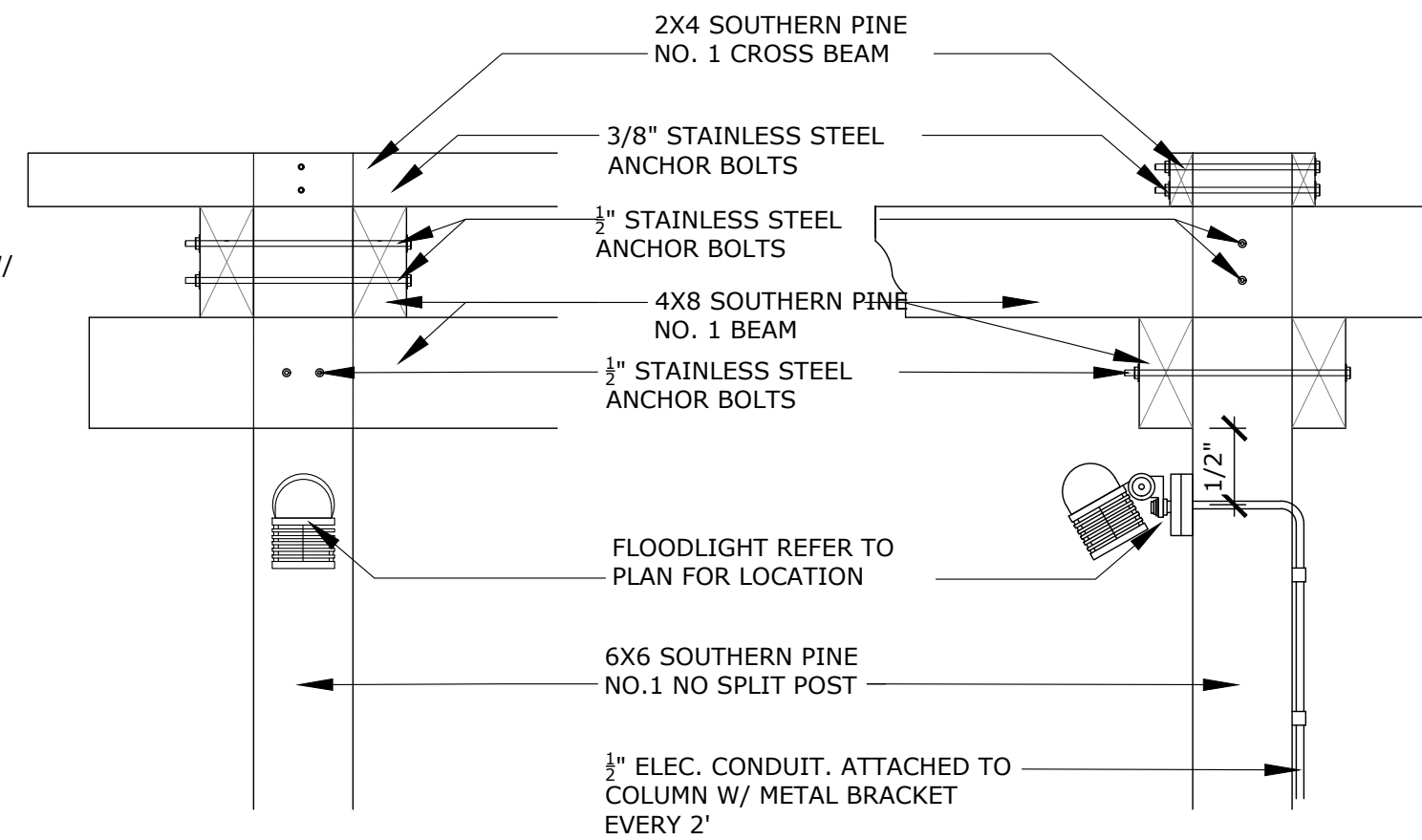
2 TRELLIS FRONT ELEVATION
Scale: 3/8"=1'-0"



3 TRELLIS SIDE ELEVATION
Scale: 3/8"=1'-0"



4 TRELLIS BASE SECTION
Scale: 1"=1'-0"



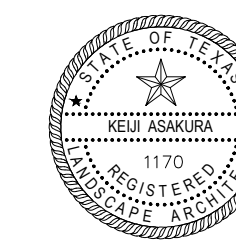
5 TRELLIS UNION DETAILS
Scale: 1"=1'-0"

TRELLIS GENERAL NOTES:

1. ALL METAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY.
2. METAL FASTENERS TO BE HOT-DIP GALVANIZED THAT COMPLY WITH ASTM-A153 EXCEPT WHERE NOTED. DECK NAILS AND SCREWS TO BE 316 STAINLESS STEEL AND COMPLY WITH ASTM F5936. ALL EXPOSED SCREWS ARE TO BE COUNTER-SUNK, FILLED WITH WOOD DOUGH AND SANDED BEFORE PRIMER AND PAINTING OPERATIONS.
3. PILOT HOLES TO BE DRILLED FOR ALL FASTENERS.
4. INSTALLATION OF ALL NAILS AND SCREWS TO BE STRAIGHT, IN-LINE AND PLUMB WITH ALL SURROUNDING FASTENERS.
5. CONDUIT TO BE FASTENED TO COLUMNS WITH BRACKETS EVERY 2', PRIME AND PAINT TO MATCH TRELLIS. ELECTRICIAN CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT FOR CONDUIT LOCATION.
6. TRELLIS WOOD FINISH TBD

WOOD MEMBERS

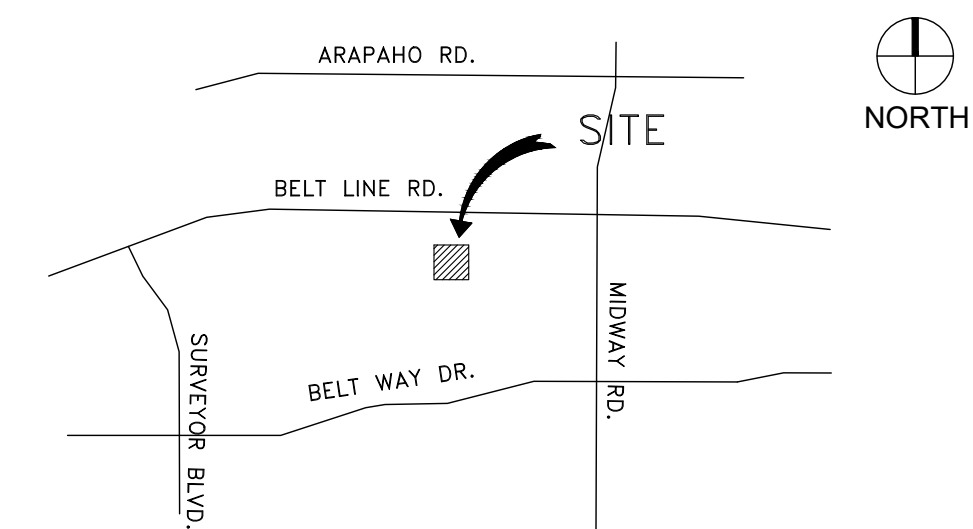
1. ALL WOOD MEMBERS TO BE PRESSURE TREATED, REFER TO DETAILS FOR TYPE OF WOOD.
2. ALL WOOD MEMBERS TO BE STRAIGHT AND TRUE W/TIGHT KNOTS. ALL OTHER WOOD MATERIAL WILL BE REJECTED.
3. ALL LUMBER SHALL BE TREATED WITH ALKALINE COPPER QUATERNARY (ACQ) IN ACCORDANCE WITH AWPA C-18 TO 0.8 POUND PER CUBIC FOOT MIN.
4. ALL LUMBER FOR DECKING, JOIST BEAMS, POST/RAILING AND BALUSTERS SHALL BE IDENTIFIED AS 'ABOVE GROUND'.
5. ALL TIMBER PILES TO BE PRE-DRILLED TO ENSURE THE PRESCRIBED SPACING.
6. TIMBER PILE CONTRACTOR TO PROVIDE PROTECTION AROUND THE BUILDING AREA WHERE HEAVY EQUIPMENT IS TO BE USED TO PREVENT DAMAGE TO FINISH GRADE.
7. CONTRACTOR TO PROTECT/COVER (OFF THE GROUND IN AN AREA THAT WILL NOT FLOOD OR RECEIVE WATER INUNDATION) ALL LUMBER, AT ALL TIMES DURING CONSTRUCTION.
8. NO WOOD MEMBER LEFT OUT OF PROTECTION WILL BE USED ON THE PROJECT.



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VICINITY MAP
NOT TO SCALE

L5.5 BLOCK D - HARDSCAPE DETAILS

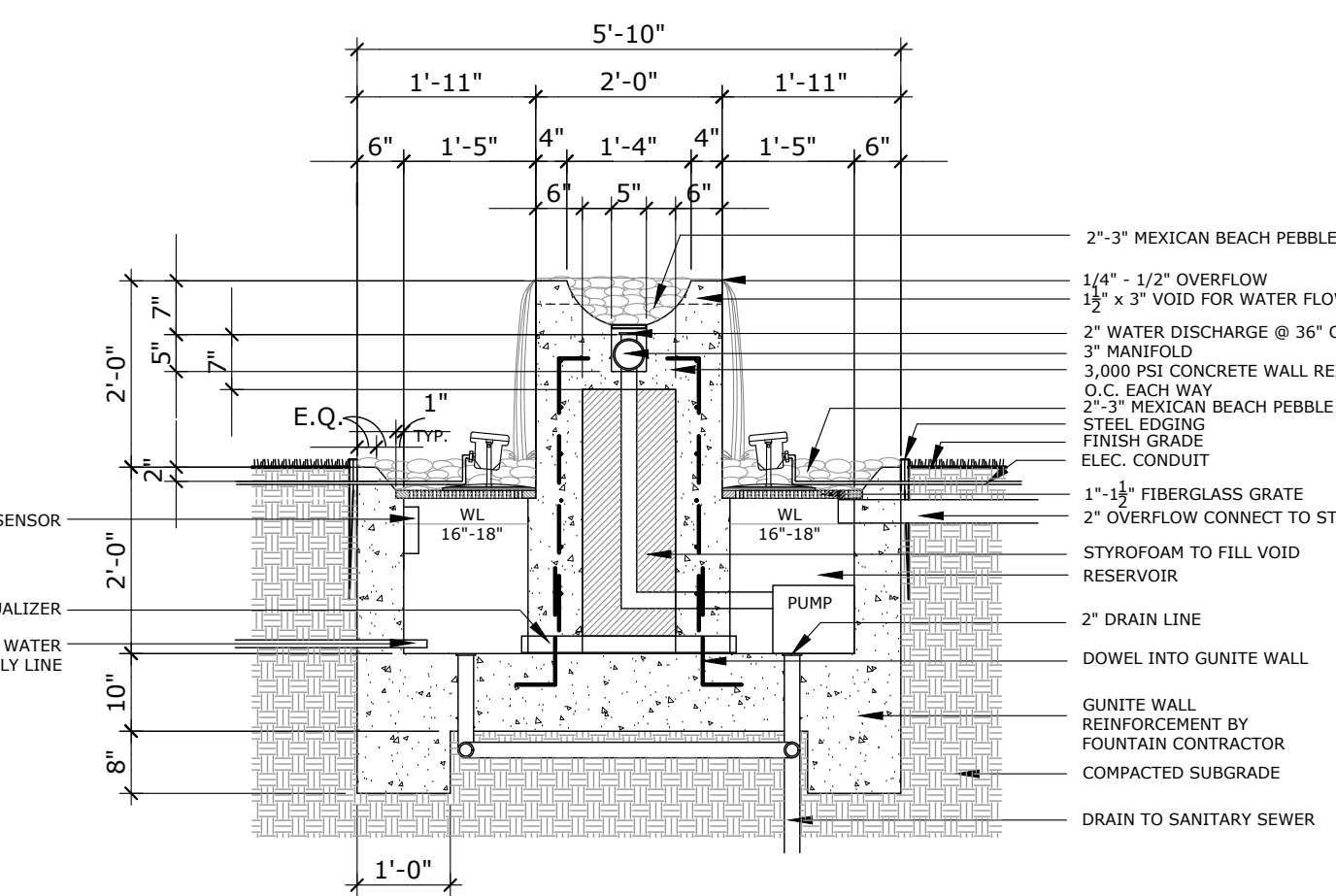
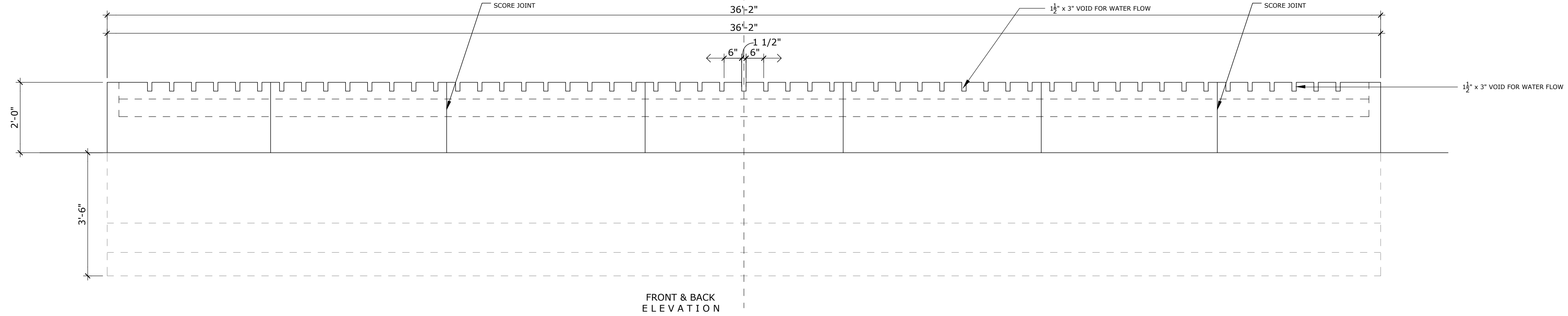
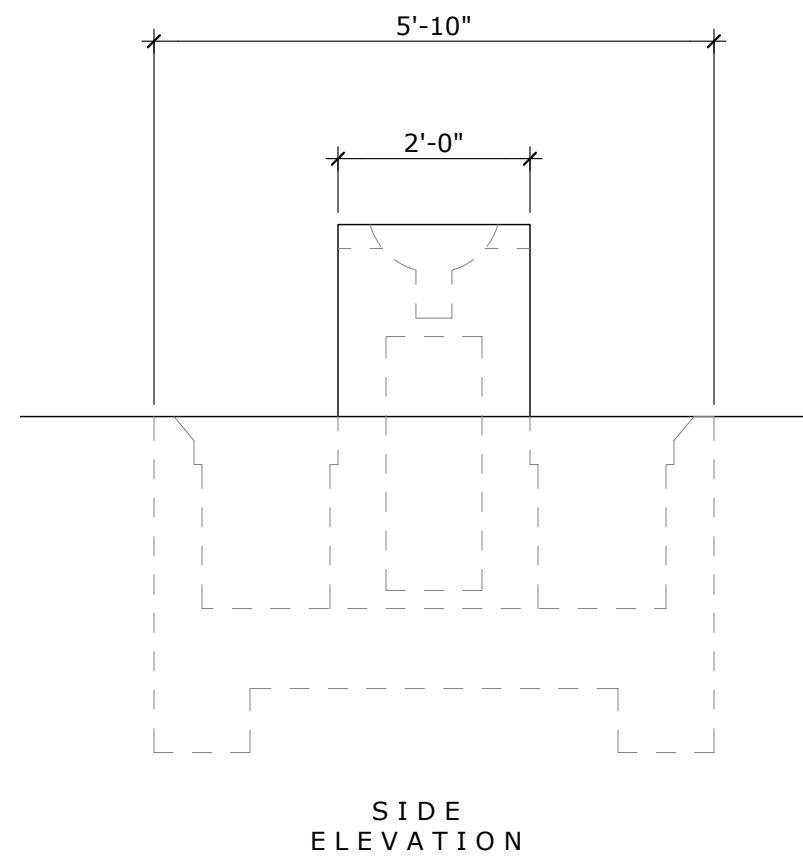
ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER: 1833-Z

DATE PREPARED: JUNE 03, 2022

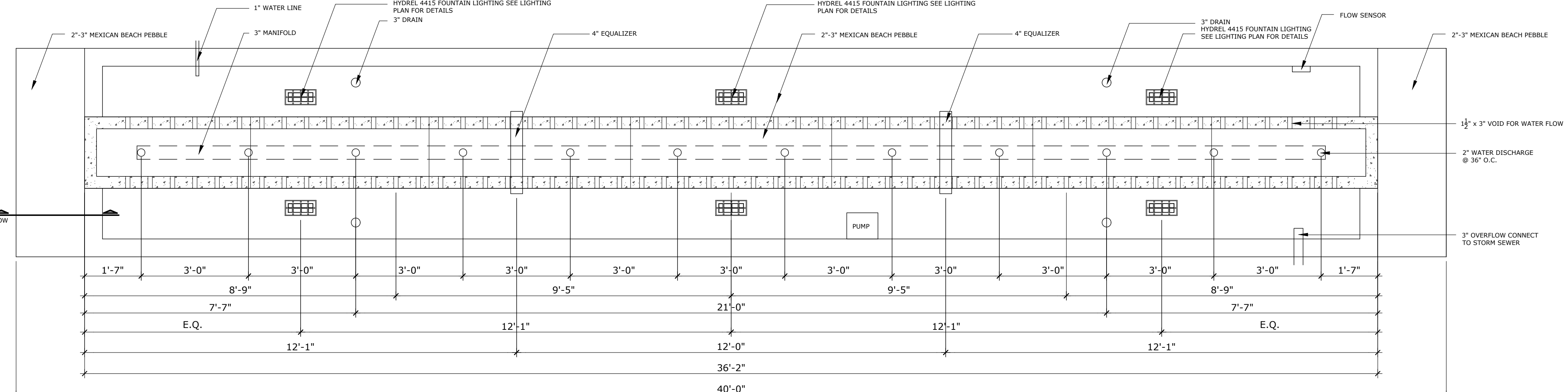
FOUNTAIN A CONSTRUCTION NOTES:

1. THE FOUNTAIN MECHANIC IN THESE DRAWINGS ARE ONLY A CONCEPTUAL GRAPHIC REPRESENTATION. FOUNTAIN CONTRACTOR IS REQUIRED TO PROVIDE TURNKEY DESIGN-BUILT FOUNTAIN SYSTEM. CONTRACTOR ALSO REQUIRED TO SUBMIT DRAWINGS WHICH INCLUDE BUT NOT LIMITED TO ELECTRICAL CONNECTION, DRAINAGE FLOW, SUCTION & DISCHARGE PIPING DIAGRAMS, PUMP MECHANIC & SIZES, FLOW SENSOR LOCATION, OVERFLOW PIPES, WATER & ELECTRICAL REQUIREMENT, AND ALL OTHER SUPPORTING CONSTRUCTION DOCUMENTS & DETAILS FOR APPROVAL PRIOR TO CONSTRUCTION.
2. FOUNTAIN CONTRACTOR IS ALSO RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE FOUNTAIN WALL, RESERVOIR, WALL FOOTING / GRADE BEAM AS WELL AS THE FOUNTAIN MECHANICAL VAULT.
3. LIGHT FIXTURE DETAILS ARE ONLY A GRAPHIC REPRESENTATION. ALL FIXTURES ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO SUBMIT MANUFACTURER'S LITERATURE, DETAILS AND ANY SUPPORT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
4. FOUNTAIN CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS IF REQUIRED BY CODE.



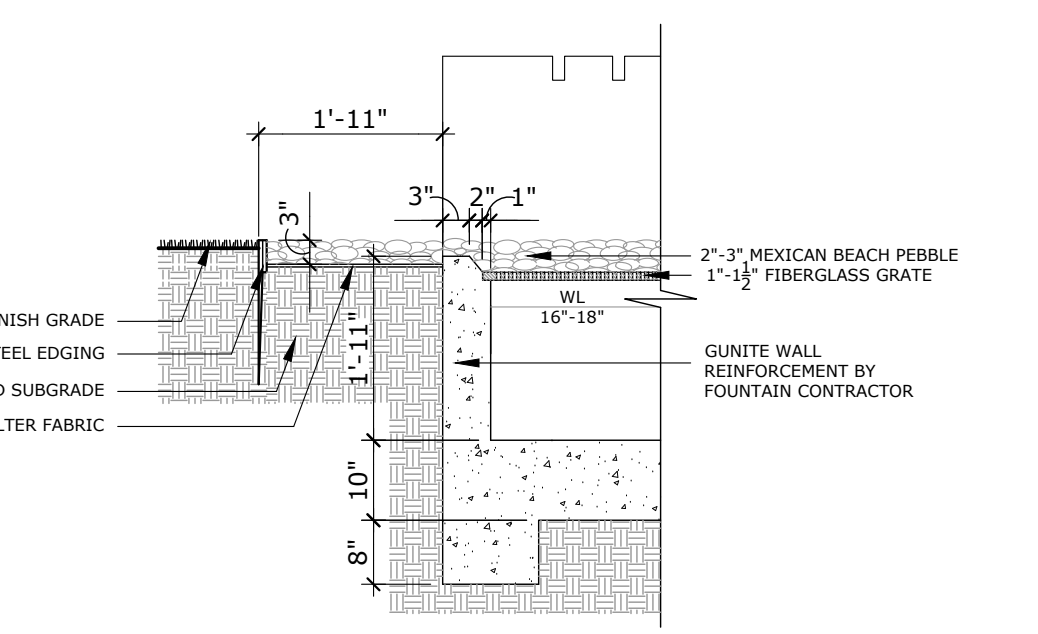
- 2"-3" MEXICAN BEACH PEBBLE
- 1/4" - 1/2" OVERFLOW
- 1 1/2" x 3" VOID FOR WATER FLOW
- 2" WATER DISCHARGE @ 36" O.C.
- 3" MANIFOLD
- 3,000 PSI CONCRETE WALL REINF. WITH #3 @ 16" O.C. EACH WAY
- 2"-3" MEXICAN BEACH PEBBLE
- STEEL EDGING
- FINISH GRADE
- ELEC. CONDUIT
- 1"-1 1/4" FIBERGLASS GRATE
- 2" OVERFLOW CONNECT TO STORM SEWER
- STYROFOAM TO FILL VOID
- RESERVOIR
- 2" DRAIN LINE
- DOWEL INTO GUNITE WALL
- GINITE WALL REINFORCEMENT BY FOUNTAIN CONTRACTOR
- COMPACTED SUBGRADE
- DRAIN TO SANITARY SEWER

POURED CONCRETE WALL FINISH:
 1. STAINED BLACK
 2. POLISHED AND GROUND
 3. CLEAR SEAL
 CONTRACTOR TO PROVIDE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION.



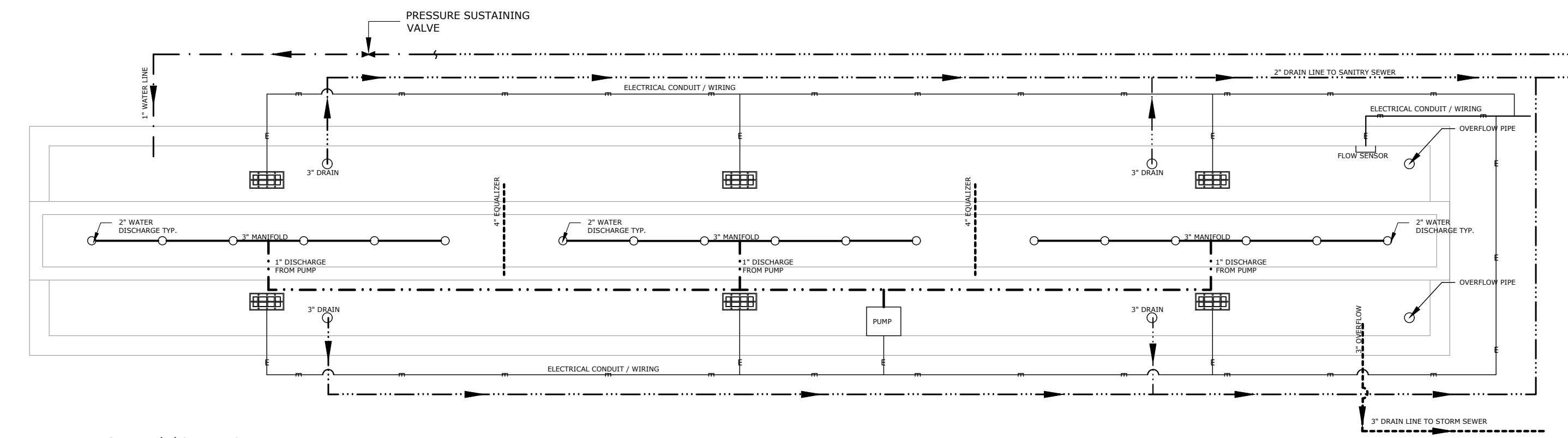
1 FOUNTAIN A TYPICAL SECTION DETAIL
 SCALE: 1/2" = 1'-0"

2 FOUNTAIN A PLAN AND ELEVATION
 SCALE: 1/2" = 1'-0"



3 FOUNTAIN A SECTION A
 SCALE: 1/2" = 1'-0"

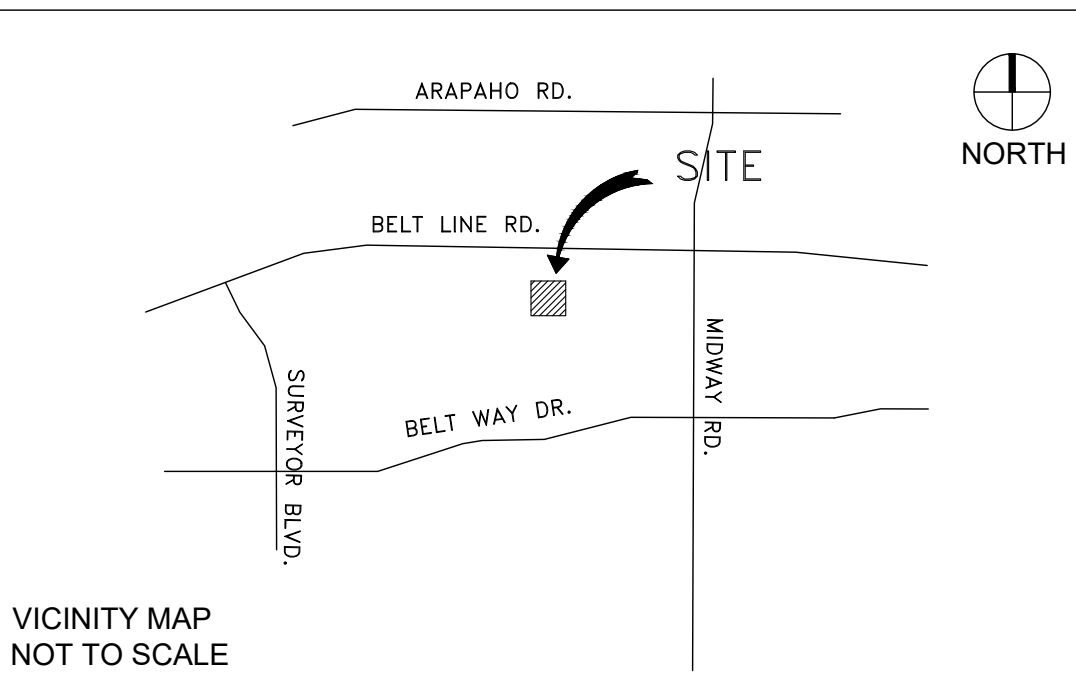
- FOUNTAIN A DESIGN AND OPERATION CRITERIA:**
1. PUMP SYSTEM IN THIS PLAN IS ONLY A GRAPHIC AND CONCEPTUAL REPRESENTATION. THE BASIC DESIGN CRITERIA OF THE PUMP SYSTEM IS TO PROVIDE 1/4"-1/2" OF WATER OVER THE FOUNTAIN TOP.
 2. PROVIDE AND INSTALL ALL PUMPS, VALVES, LIGHTING FIXTURES ELECTRICAL/WIRING, PIPING, CONTROLLER PANEL AND SPECIALTIES AS HEREIN DESCRIBED ON FOUNTAIN PLANS. WORK ALSO INCLUDES DRAIN LINE, WATER LINE, SUPPORT OF PIPING AND EQUIPMENT, INITIAL PUMP/FILTER AND LIGHT FIXTURE ADJUSTMENT TESTING AND STARTUP.
 3. REFERENCE STANDARDS:
 1981 BOCA STANDARD BUILDING CODE
 NEC NATIONAL ELECTRICAL CODE
 APPLICABLE CITY OF ADDISON BUILDING/ELECTRICAL CODES
 4. SUBMITTALS: SUBMIT CATALOG SHEETS OF ALL EQUIPMENT AS SPECIFIED: PUMP, FILTER, VALVES, LIGHTING, ETC. SUBMIT SHOP DRAWINGS OF ALL MECHANICAL PIPING OF PUMP VAULT, DIMENSIONING PIPE PENETRATIONS THROUGH WALLS. IDENTIFY OPERATING, MAINTENANCE CLEARANCES AND SUFFICIENT ENGINEERING DATA COMPLIANCE TO FOUNTAIN DESIGN. IDENTIFY ALL EQUIPMENT CLEARANCES IN PUMP VAULT FROM WALL TO WALL. SUBMIT SHOP DRAWING OF ALL ELECTRICAL EQUIPMENT LAYOUT AND AMP LOADS FOR SPECIFIED CONTROL PANEL.
 5. OPERATING INSTRUCTIONS: AT THE TIME OF COMPLETION, ALLOW NOT LESS THAN EIGHT HOURS OF INSTRUCTING OPERATION AND MAINTENANCE PERSONNEL IN THE OPERATION AND MAINTENANCE OF ALL SYSTEMS. ALL PERSONNEL WILL BE INSTRUCTED AT ONE TIME.
 6. THIRTY DAY OPERATIONS: PRIOR TO ACCEPTANCE OF THE INSTALLATION BY OWNER, DEMONSTRATE A THIRTY (30) DAY, FULLY AUTOMATED, UNINTERRUPTED DAILY OPERATION OF NOT LESS THAN TWELVE (12) HOURS NOR MORE THAN TWENTY (20) HOURS OF ALL SYSTEMS. ELECTRICITY AND WATER WILL BE PROVIDED BY OWNER.
 7. PRODUCTS: PROVIDE ALL NECESSARY AND SPECIAL TOOLS FOR PROPER OPERATIONS AND MAINTENANCE OF PROVIDED EQUIPMENT. FURNISH HARBACK THREE (3) RING BINDER CONTAINING ALL BULLETINS, OPERATING AND MAINTENANCE INSTRUCTIONS, PARTS LISTS AND OTHER PERTINENT INFORMATION FOR EACH AND EVERY PIECE OF EQUIPMENT FURNISHED ON THIS PROJECT. INDEX BINDER INTO SECTIONS, WITH TABS: PUMP, FILTER, ALL VALVES, CONTROL PANEL, ETC.
 8. EXECUTION: INSTALL AND CONNECT ALL EQUIPMENT, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, AS THEY RELATE TO THE COMPLIANCE TO PLANS AND SCHEMATIC LAYOUTS. PROVIDE ALL PIPING, PUMP/VAULT, VALVES, FILTERS, DRAINS, LIGHT FIXTURES AND CONNECTIONS RECOMMENDED BY THE MANUFACTURER FOR PROPER OPERATION.



4 FOUNTAIN A CONCEPTUAL PIPING DIAGRAM
 SCALE: 1/2" = 1'-0"

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L5.6 BLOCK D - HARDSCAPE DETAILS

ADDISON GROVE

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