

TOTAL MATERIAL CALCULATION TABLE		
STUCCO BOARD	126	3.0%
BRICK	3980	96.2%
ACCENT MATERIAL	32	0.8%
TOTAL SURFACE AREA	4138	

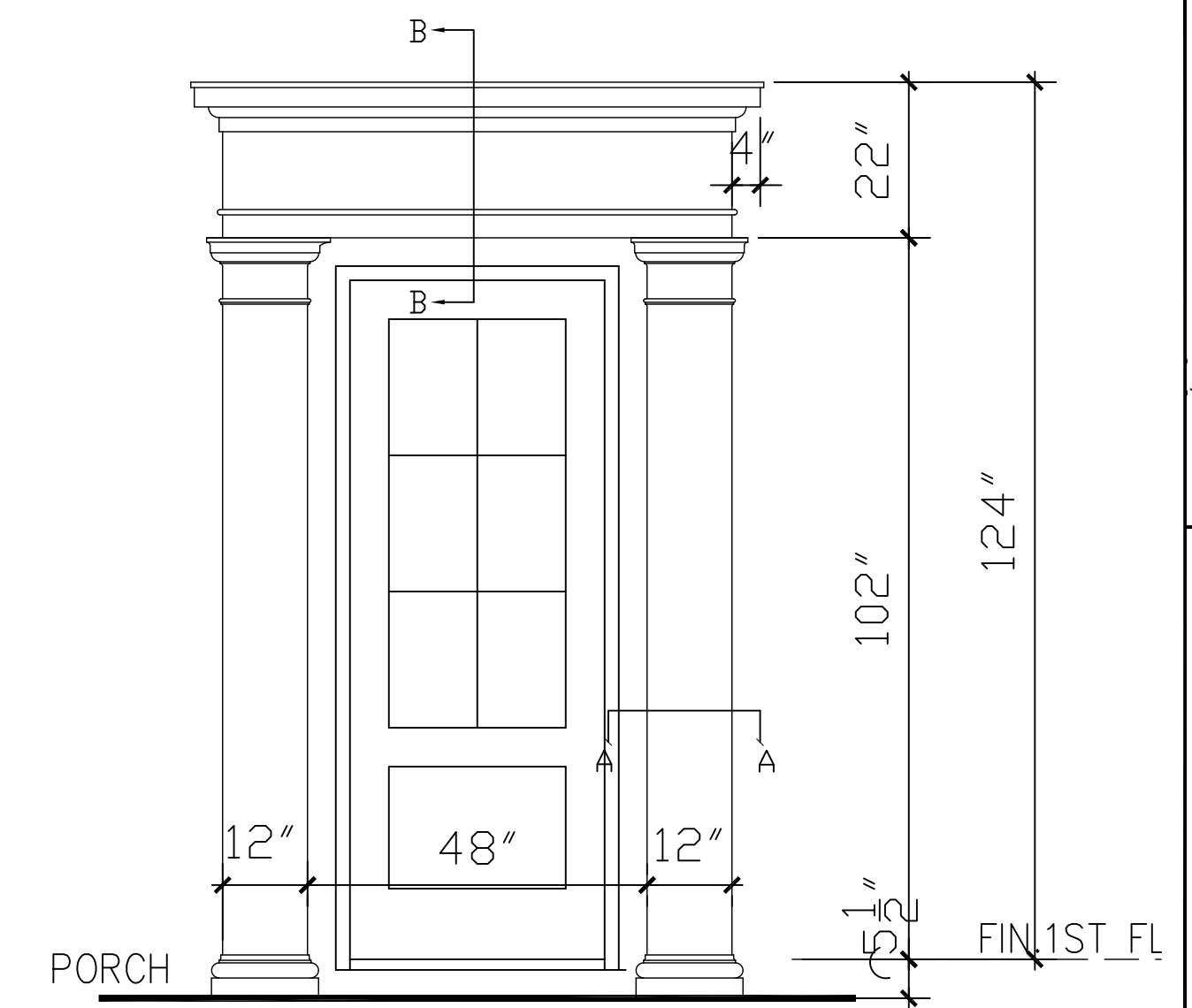
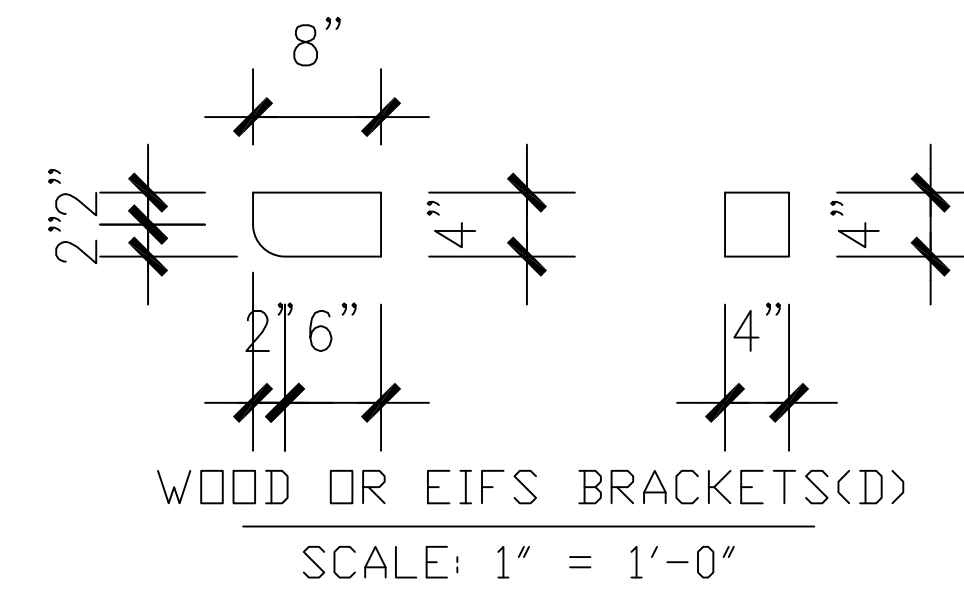
NORTH/FRONT MATERIAL CALCULATION TABLE		
STUCCO BOARD	22	1.6%
BRICK	1312	96.1%
ACCENT MATERIAL	31	2.3%
TOTAL SURFACE AREA	1365	

**FACADE PLAN NOTES**

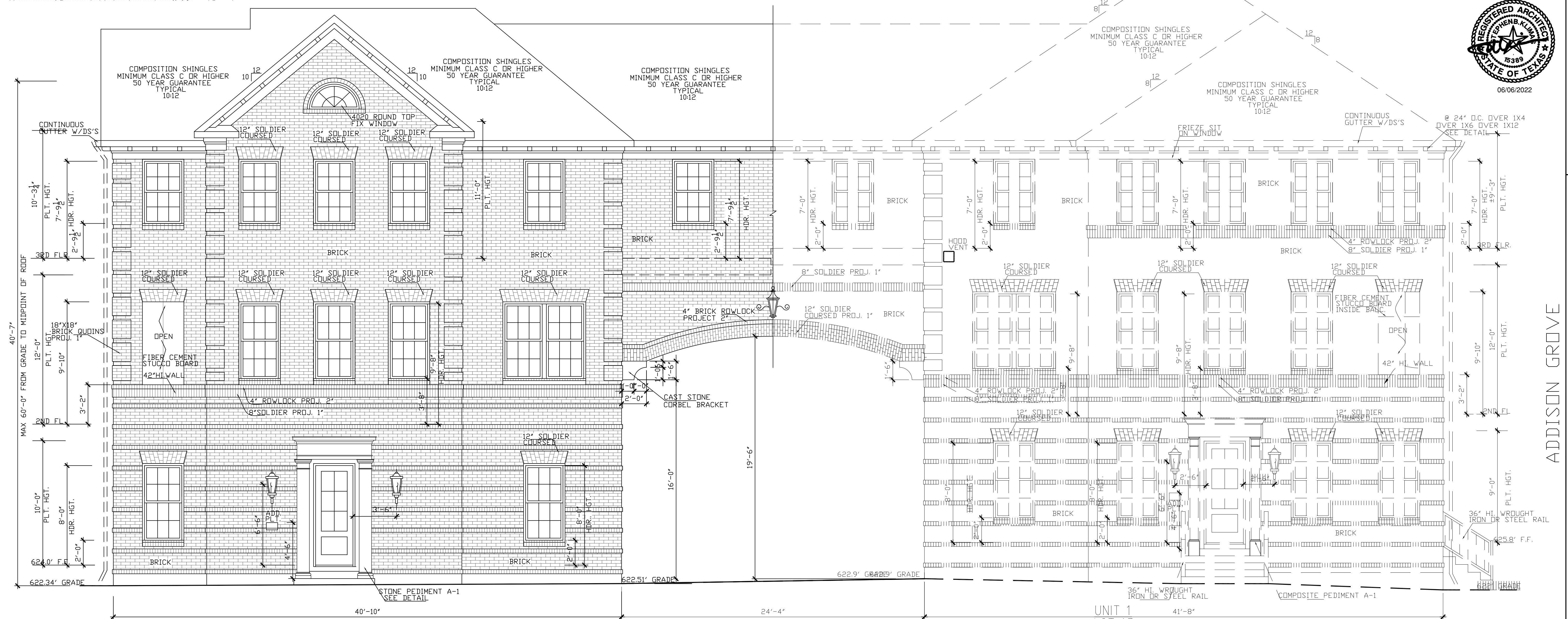
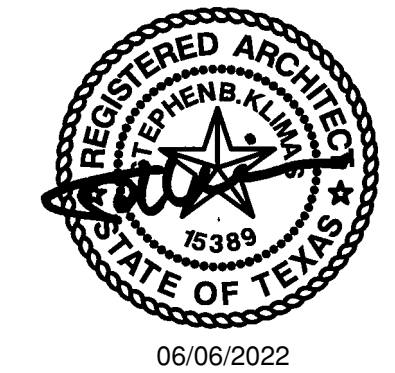
- \* THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
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- \* ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
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- \* THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT

**LEGEND**

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- STONE PEDIMENT (ACCENT MATERIAL)
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)



STONE PEDIMENT A-1  
SCALE: 1/2" = 1'-0"



LOT 54  
BUILDING 8  
north/front(RUNYON RD) elevation  
SCALE: 1/4" = 1'-0"

UNIT 1  
LOT 13  
BUILDING 9  
north/left(RUNYON ROAD) elevation  
SCALE: 3/16" = 1'-0"

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

URBAN INTOWN HOMES, Ltd.

ADDISON GROVE - BLOCK B - BUILDING 8

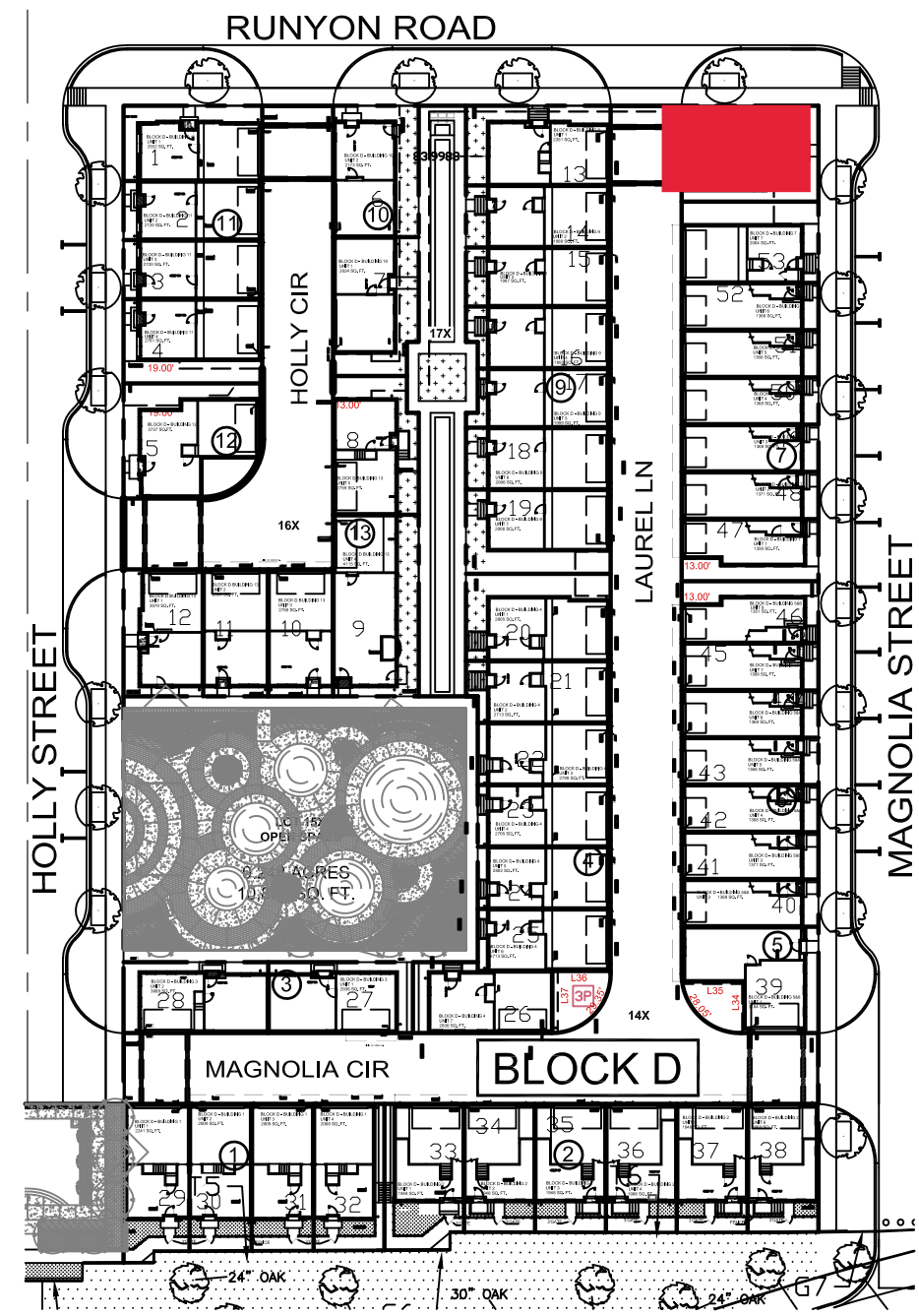
NORTH/FRONT ELEVATION

PLAN NO.  
2324

SHEET NO.  
A-37

Drawn By/Checked By: S.S./F.M.  
Original Date Issued: 06/11/2021  
Scale: 1/4" = 1'-0"  
Last Updated: 06/03/2022

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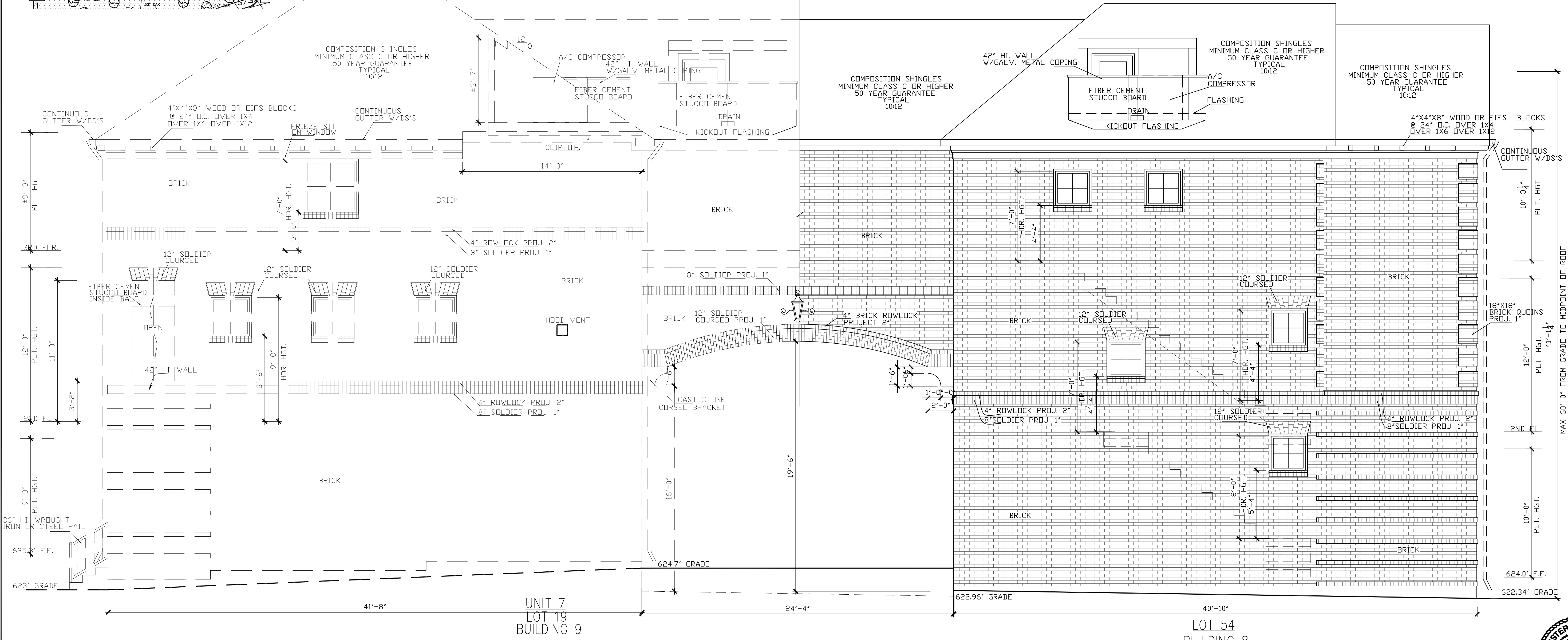


Material	Quantity	Percentage
STUCCO BOARD	51	3.3%
BRICK	1508	96.7%
ACCENT MATERIAL	0	0.0%
TOTAL SURFACE AREA	1559	

- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

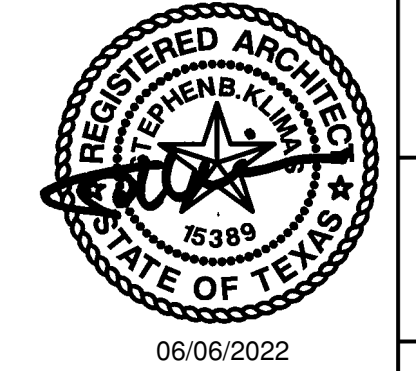
**FACADE PLAN NOTES**

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south/right(easement) elevation  
SCALE: 3/16" = 1'-0"  
0 4' 8'

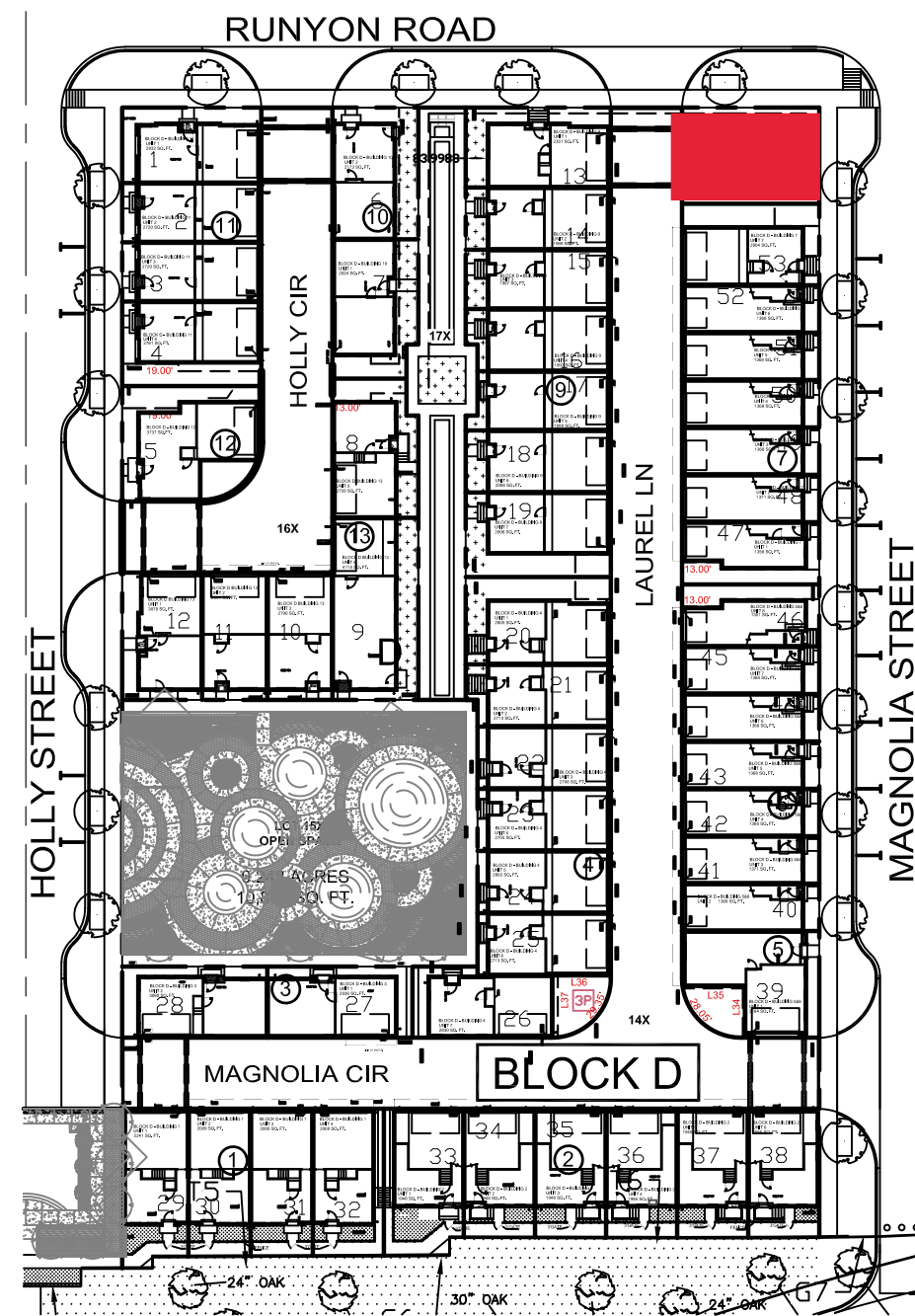
south/rear(neighbor) elevation  
SCALE: 1/4" = 1'-0"  
0 4' 8'



Drawn By/Checked By: S.S./F.M.  
 Original Date Issued: 06/11/2021  
 Scale: 1/4" = 1'-0"  
 Last Updated: 06/03/2022

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ADDISON GROVE - BLOCK B - BUILDING 8  
 SOUTH / REAR ELEVATION  
 PLAN NO. 2324  
 SHEET NO. **A-38**



LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

EAST/LEFT MATERIAL CALCULATION TABLE		
STUCCO BOARD	46	6.3%
BRICK	685	93.6%
ACCENT MATERIAL	1	0.1%
TOTAL SURFACE AREA	732	

FACADE PLAN NOTES

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Drawn By/Checked By: S.S./E.M.  
 Original Date Issued: 06/11/2021  
 Scale: 1/4" = 1'-0"  
 Last Updated: 06/03/2022

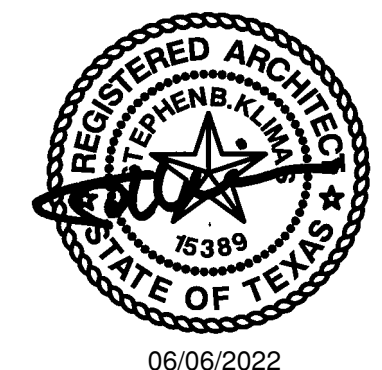
**URBAN INTOWN HOMES, Ltd.**

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 (713)961-3877 TEL (713)961-4270 FAX

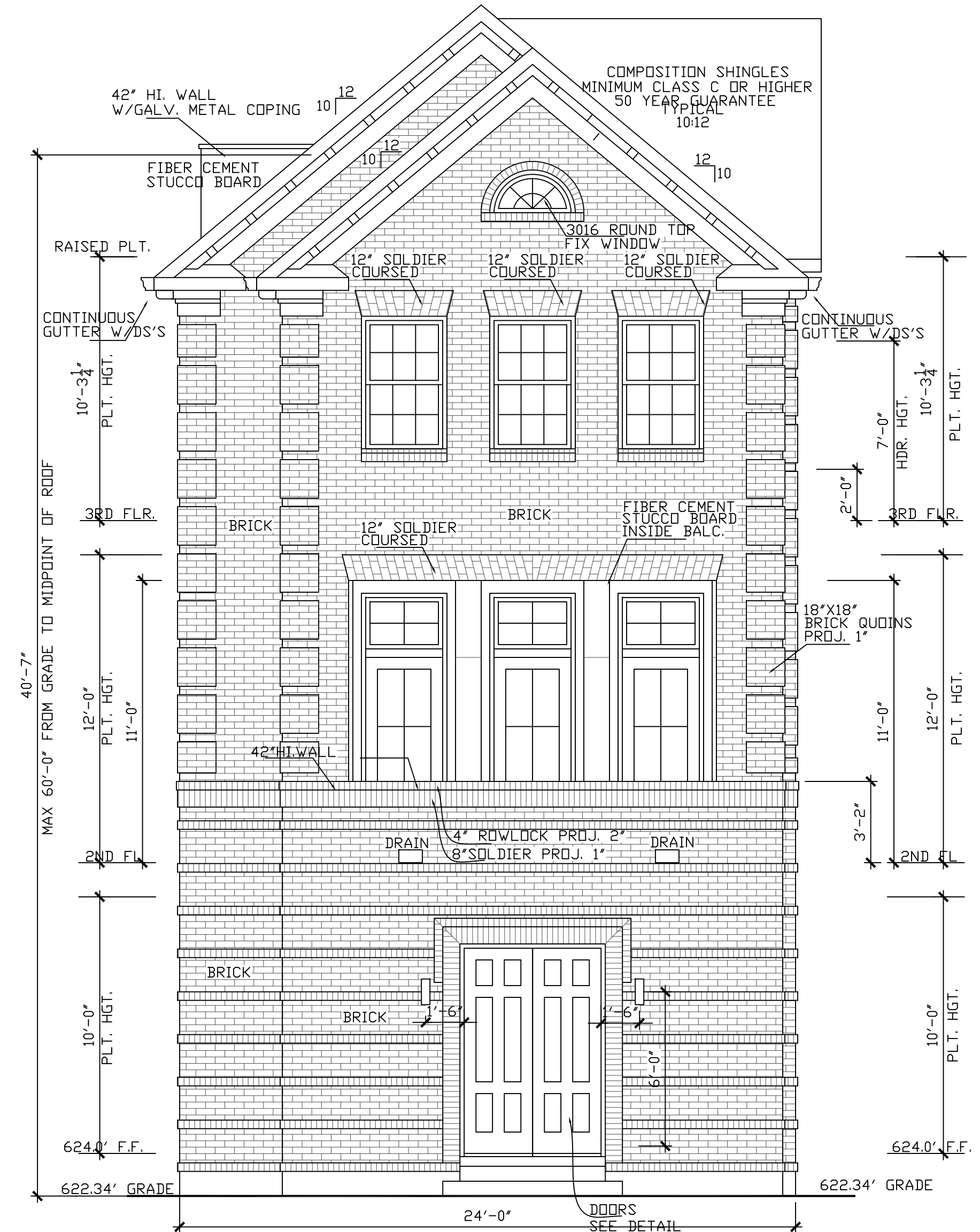
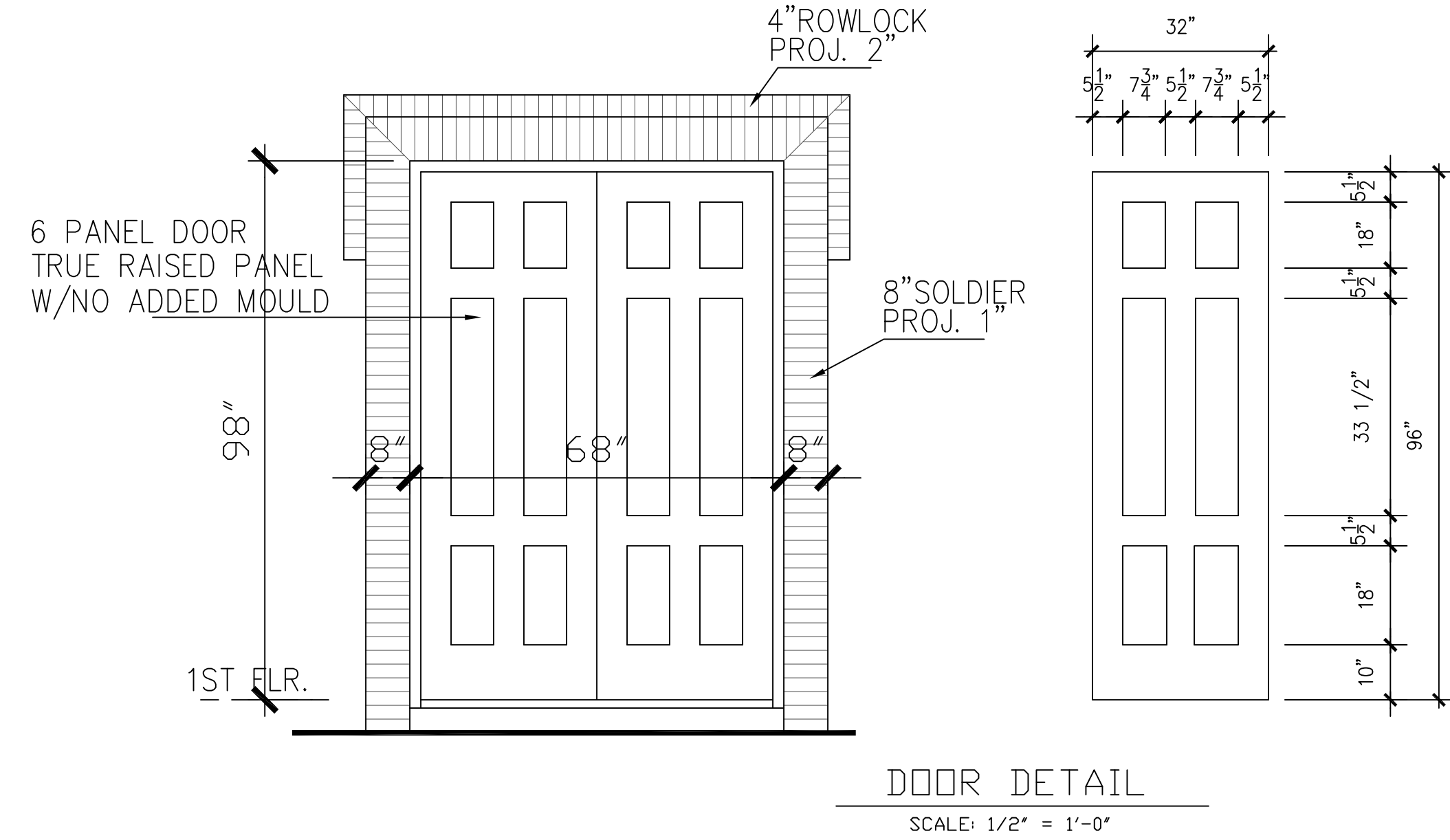
**ADDISON GROVE - BLOCK B - BUILDING 8**

**EAST/LEFT ELEVATIONS**

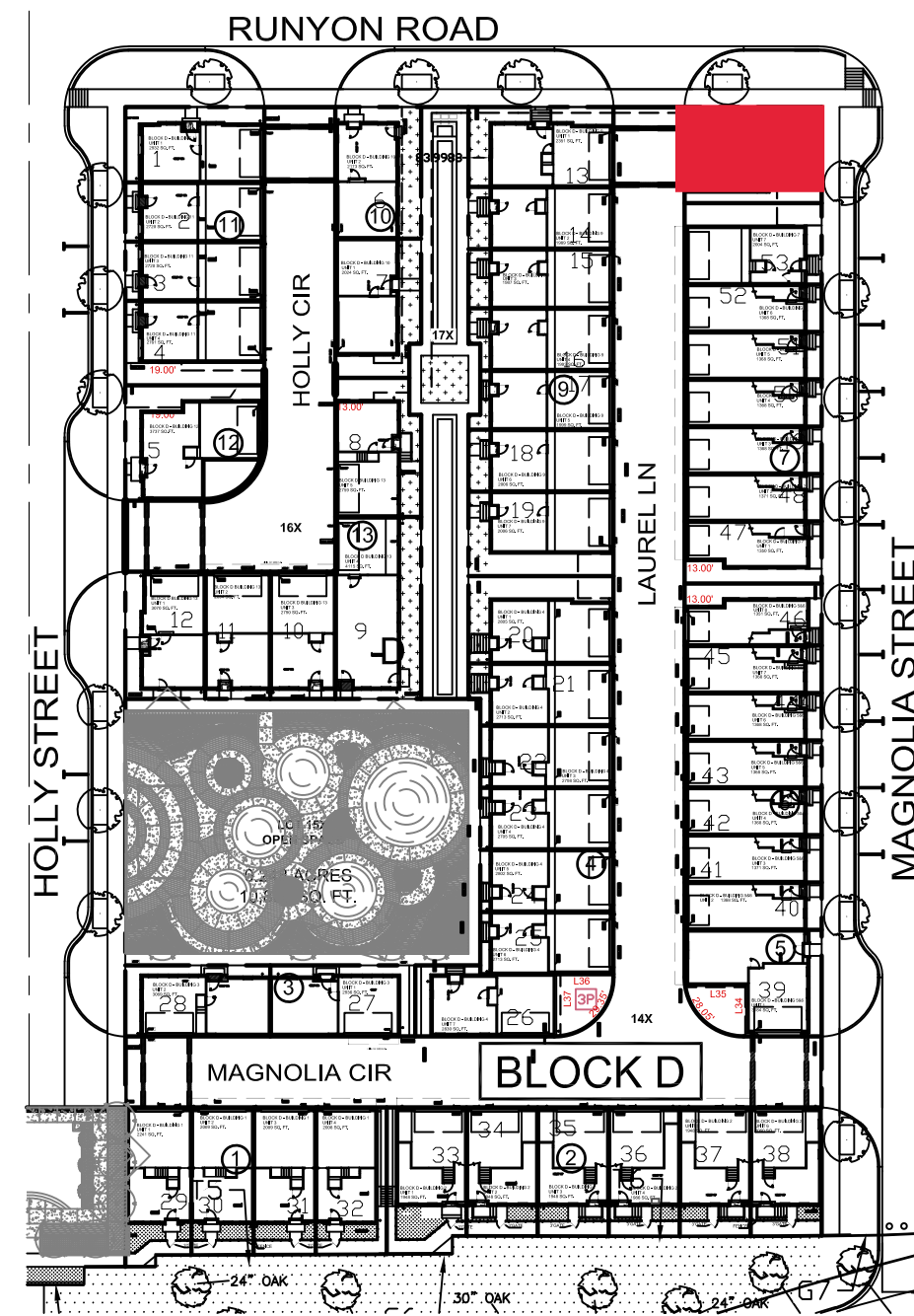
ADDISON GROVE



PLAN NO. 2324  
 SHEET NO. **A-39**



LOT 54  
 east/left (MAGNOLIA ST)elevation  
 SCALE: 1/4" = 1'-0"  
 0 4' 8'



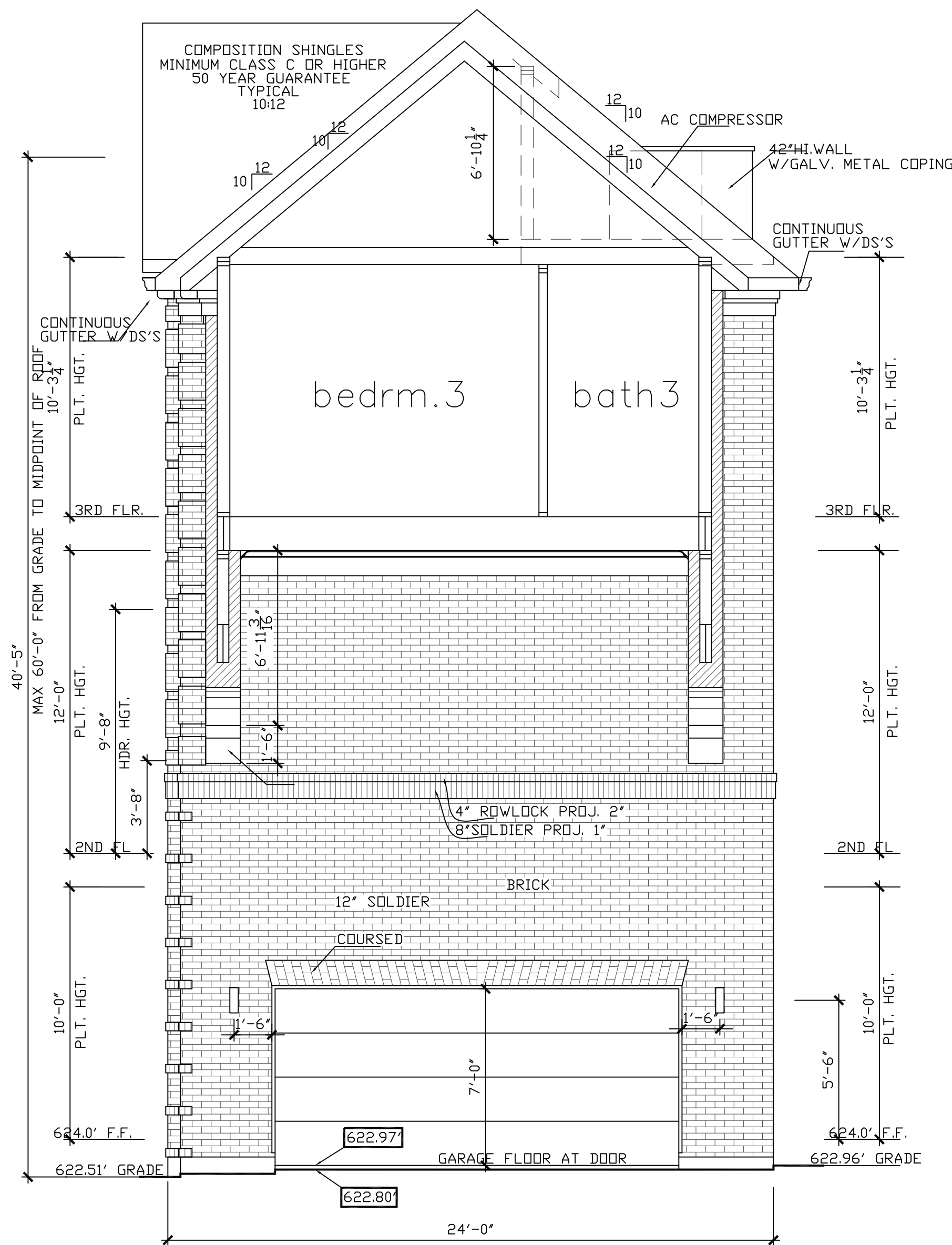
**FACADE PLAN NOTES**

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**LEGEND**

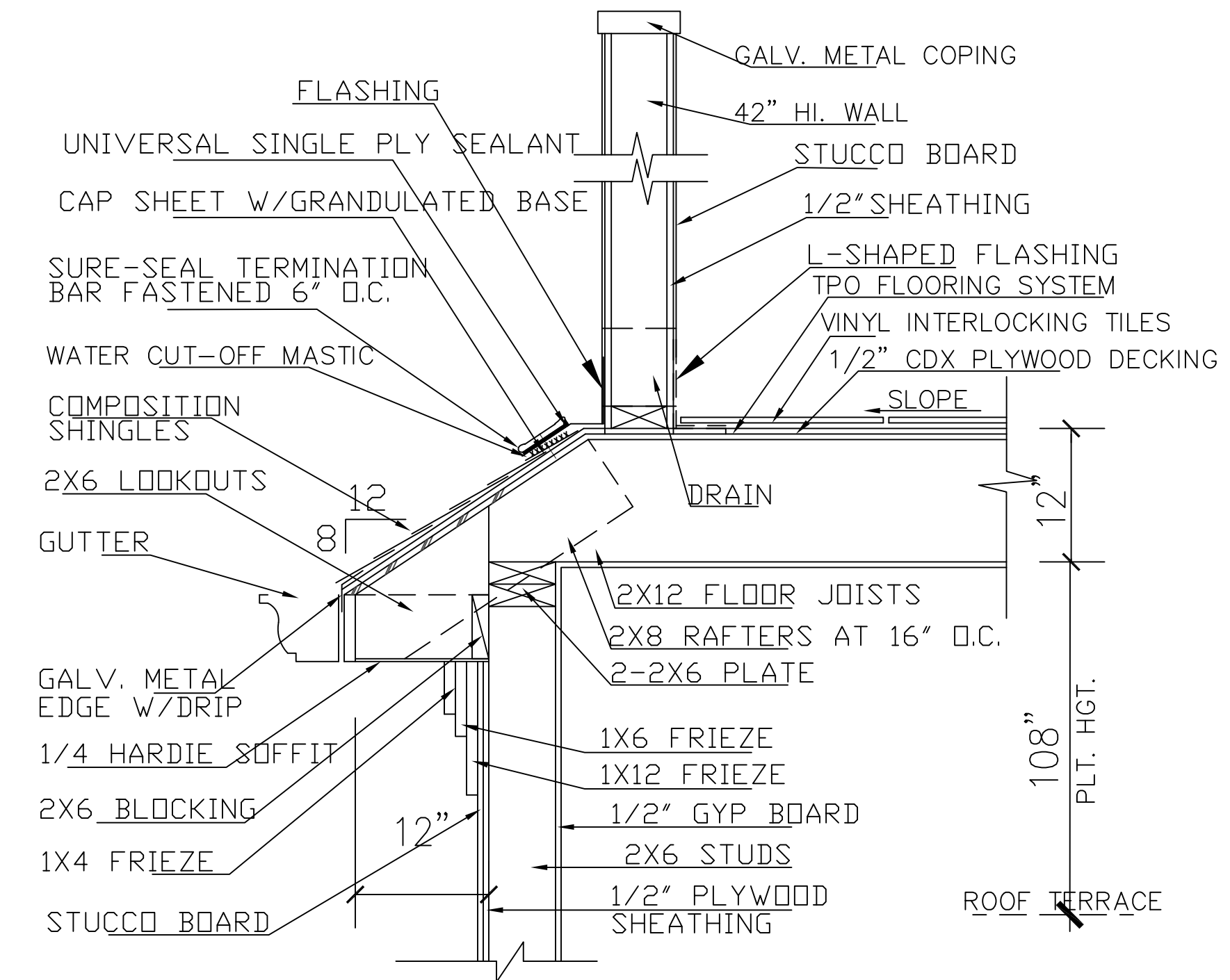
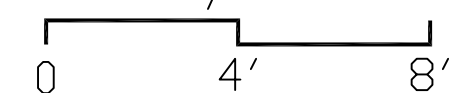
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL

WEST/RIGHT MATERIAL CALCULATION TABLE		
STUCCO BOARD	7	1.5%
BRICK	475	98.5%
ACCENT MATERIAL	0	0.0%
TOTAL SURFACE AREA	482	

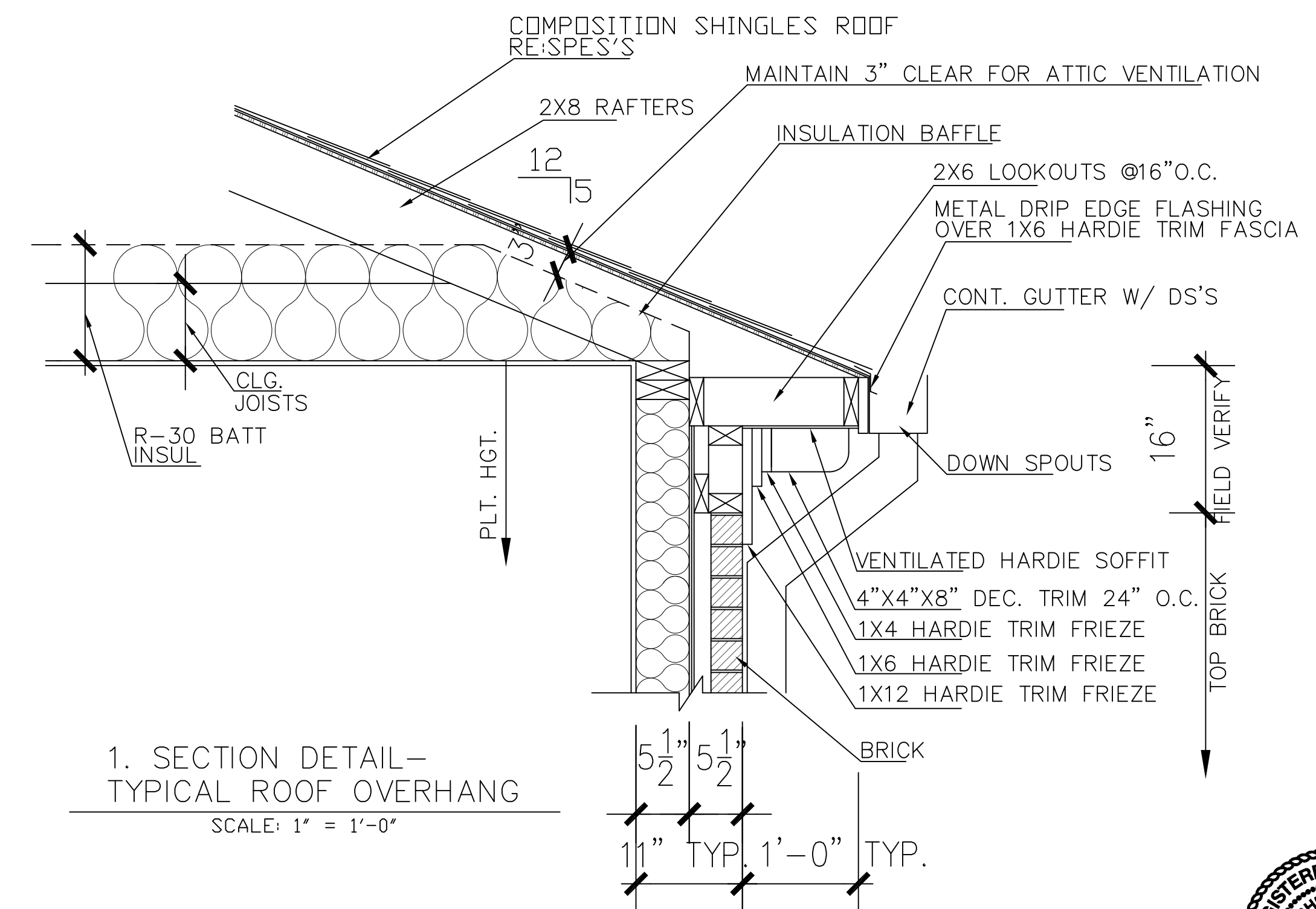


west/right(LAUREL LN) elevation

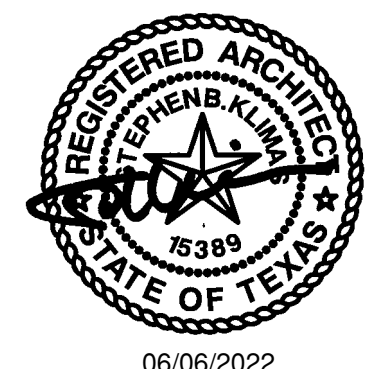
SCALE: 1/4" = 1'-0"



2. SECTION DETAIL - A/C COMPRESSOR LOCATION AT ROOF  
SCALE: 1" = 1'-0"



1. SECTION DETAIL - TYPICAL ROOF OVERHANG  
SCALE: 1" = 1'-0"



ADDISON GROVE

ADDISON GROVE - BLOCK B - BUILDING 8

URBANINTOWNHOMES, Ltd.

Drawn By/Checked By: S.S./E.M.  
Original Date Issued: 06/11/2021

Scale: 1/4" = 1'-0"

Last Updated: 06/03/2022

2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX

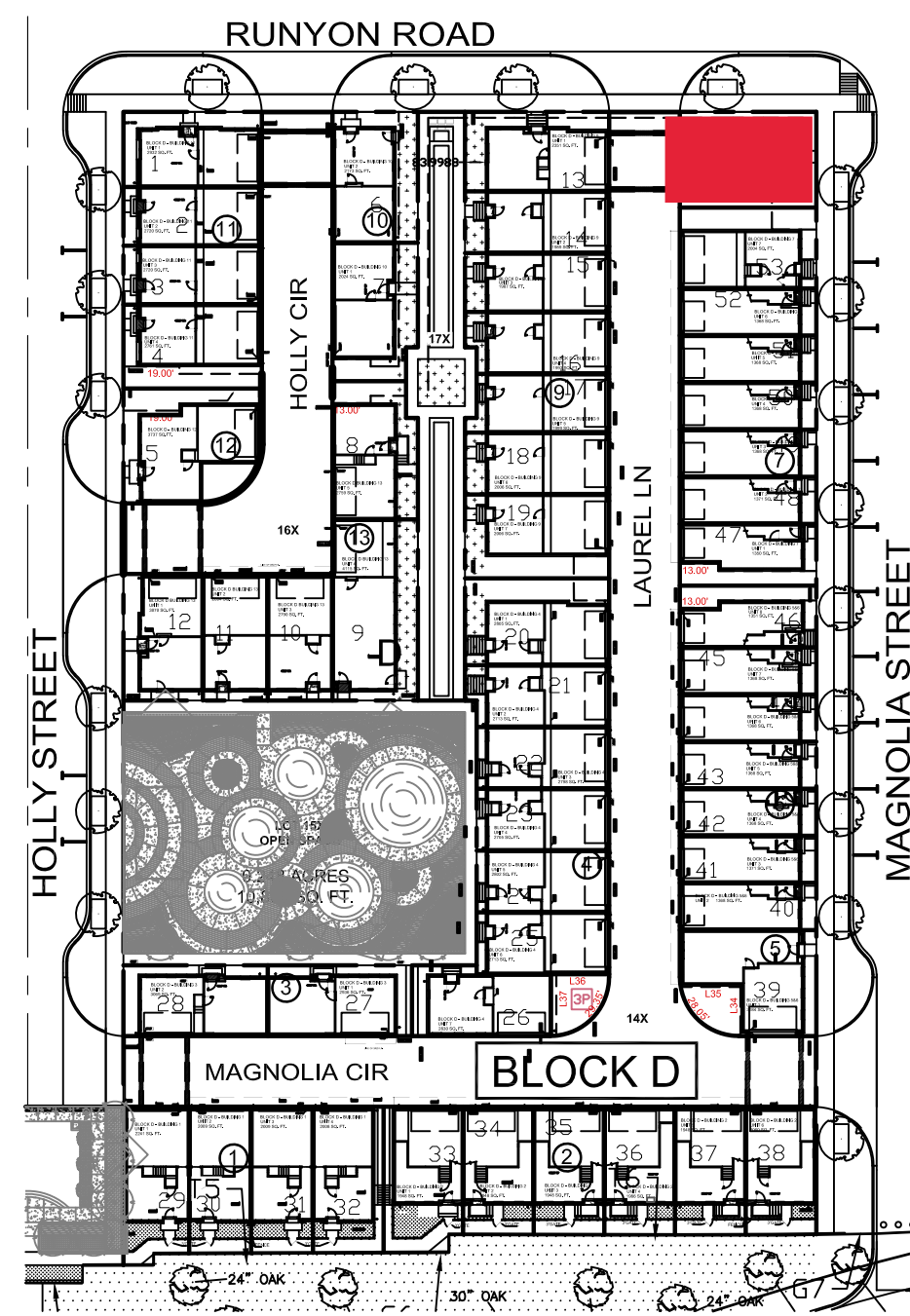
WEST/RIGHT ELEVATIONS

PLAN NO. 2324

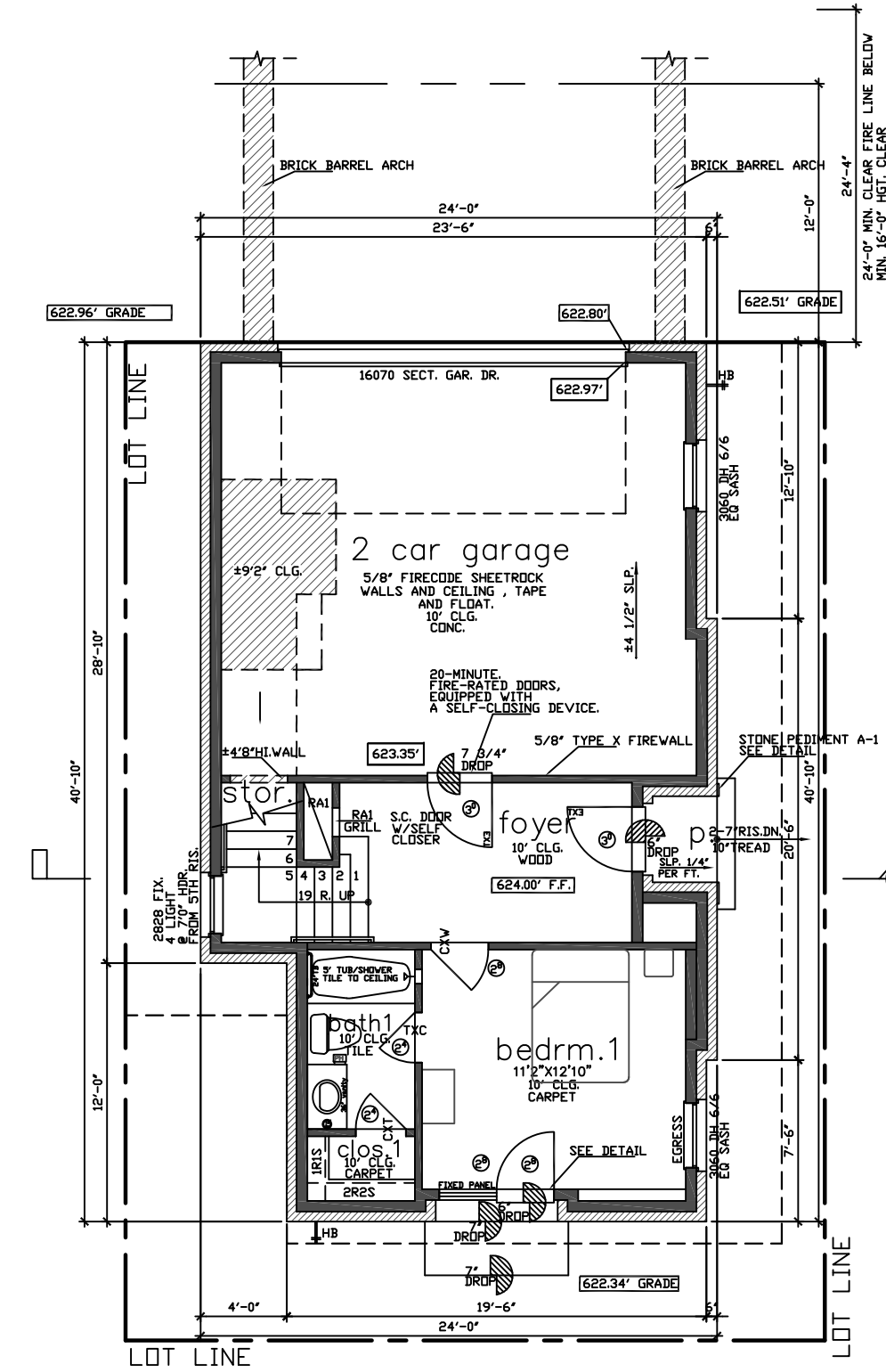
SHEET NO.

A-40

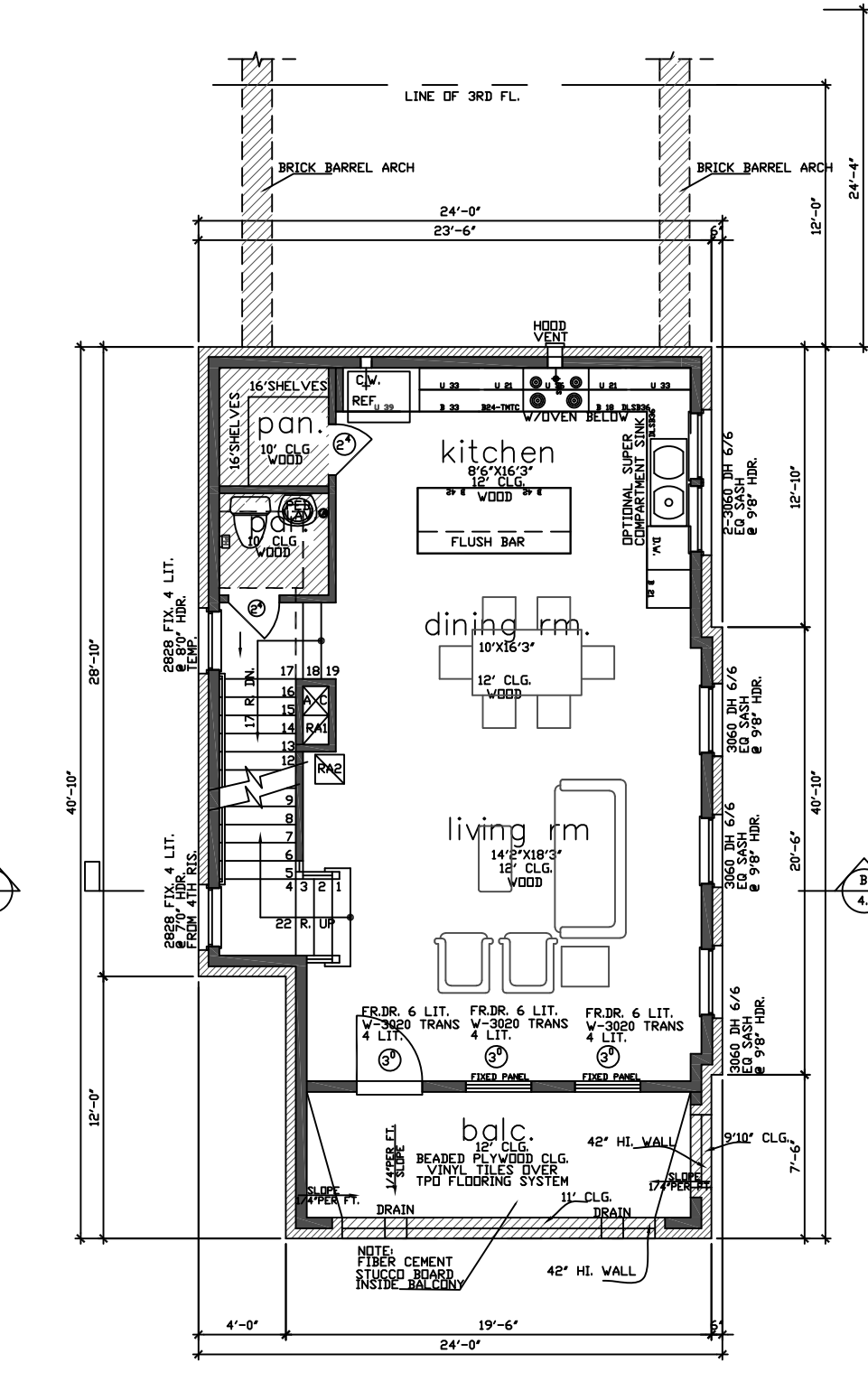
URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877



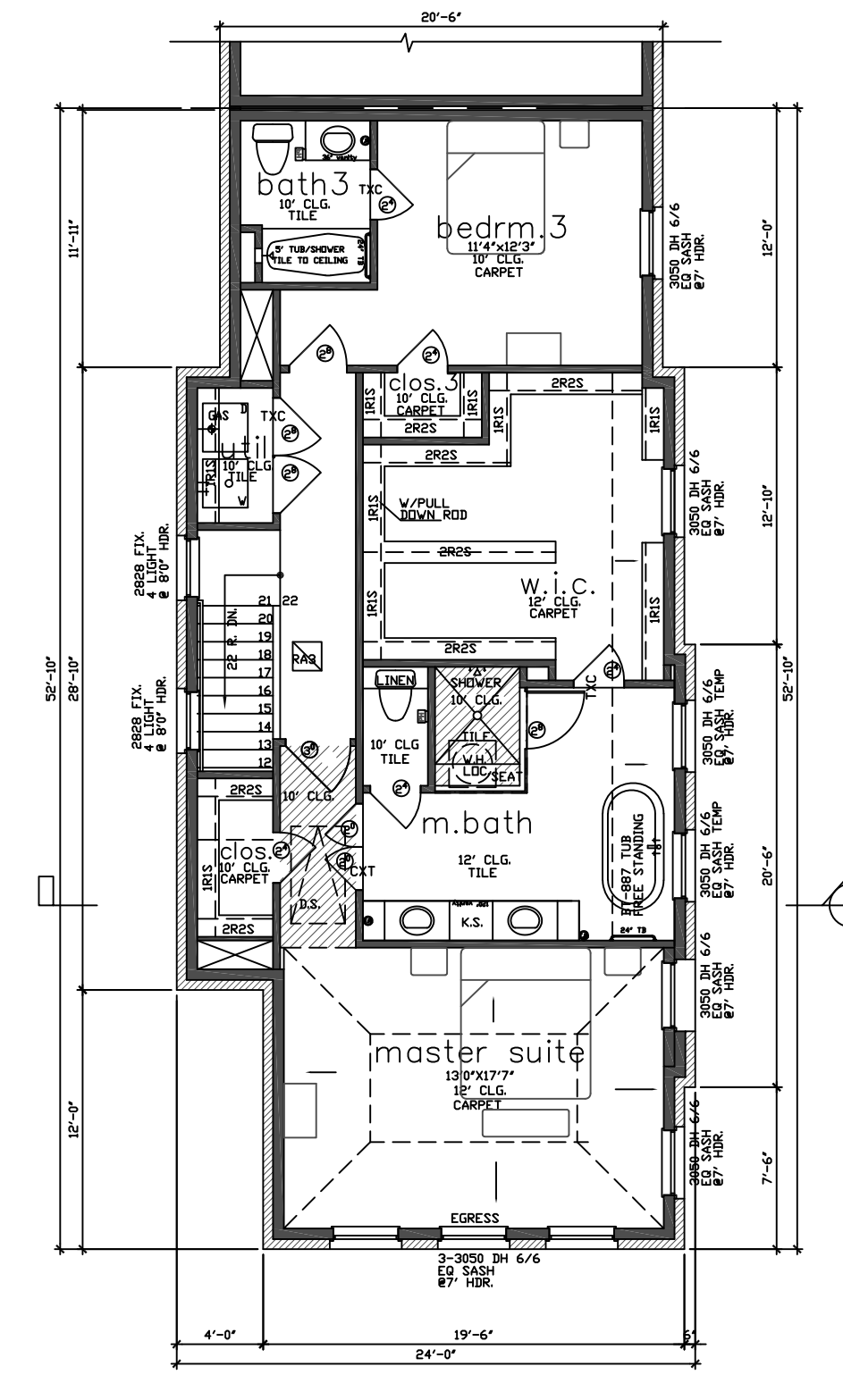
LIVING AREA(SQ. FT.)	BEDROOM
2324	3



**first floor**  
SCALE: 1/8" = 1'-0"  
NOTE: ALL EXTERIOR WALLS TO BE CMU FRAMED RESTRUCTURAL PLANE.



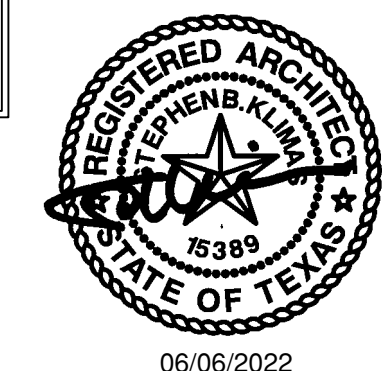
**second floor**  
SCALE: 1/8" = 1'-0"  
NOTE: ALL EXTERIOR WALLS TO BE CMU FRAMED RESTRUCTURAL PLANE.



**third floor**  
SCALE: 1/8" = 1'-0"  
NOTE: ALL EXTERIOR WALLS TO BE CMU FRAMED RESTRUCTURAL PLANE.

square footage	
FIRST FLOOR	416
SECOND FLOOR	791
THIRD FLOOR	1117
TOTAL LIVING AREA	2324
PORCH	12
GARAGE	479
BALCONY	131
UNCOVERED AC DECK	80
TOTAL SLAB AREA	926

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.



ADDISON GROVE - BLOCK B - BUILDING 8

URBAN INTOWN HOMES, L.t.d.

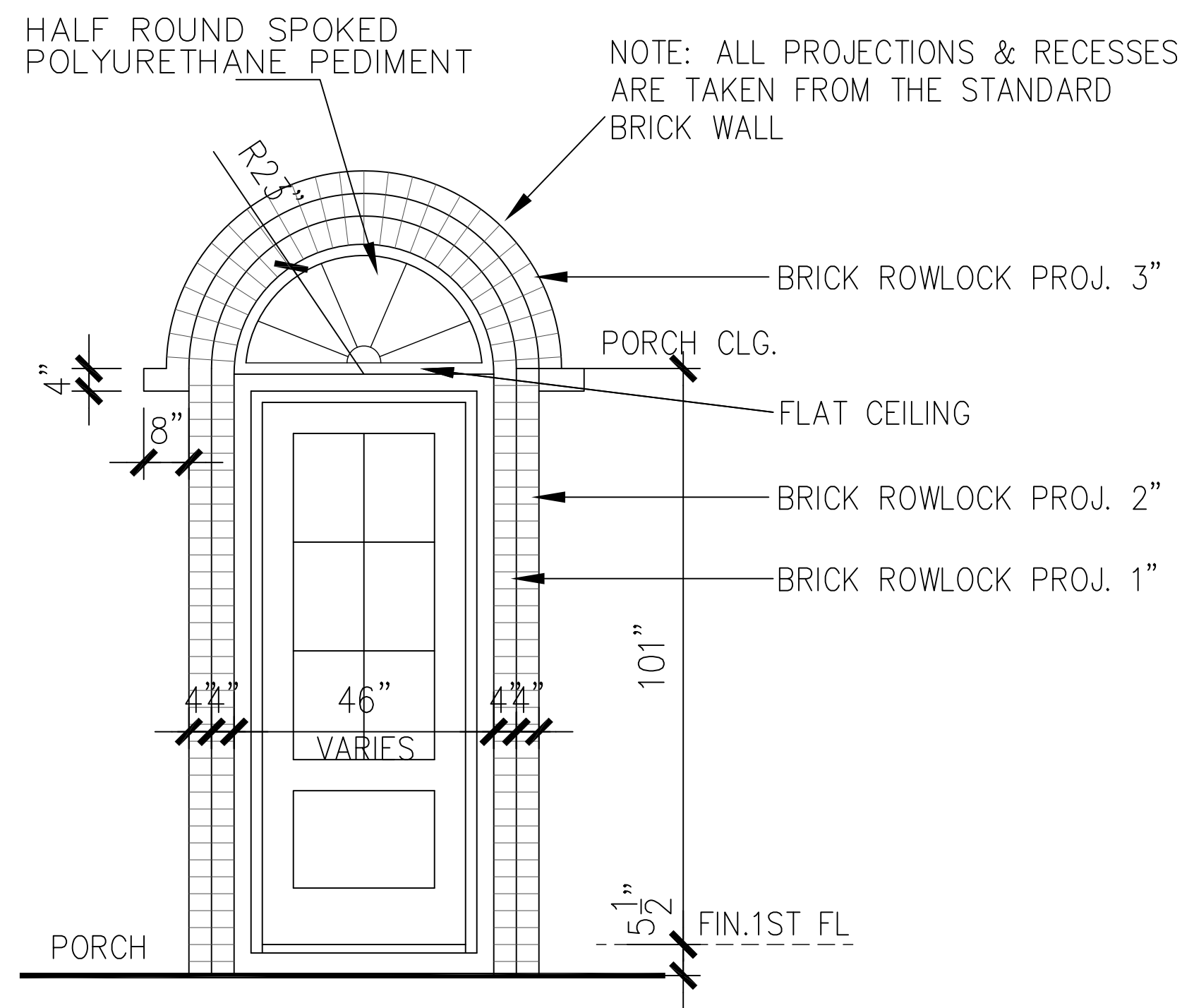
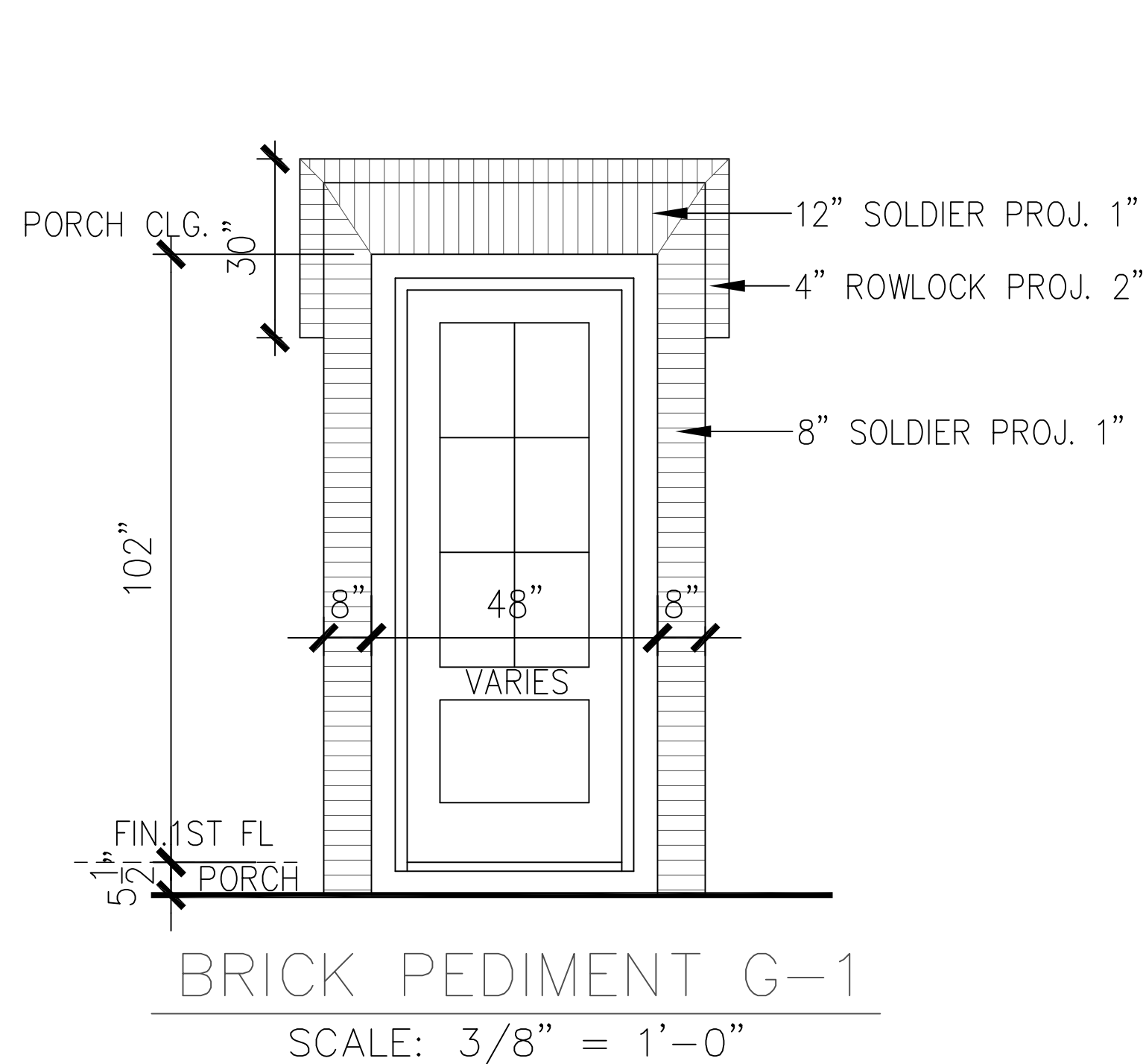
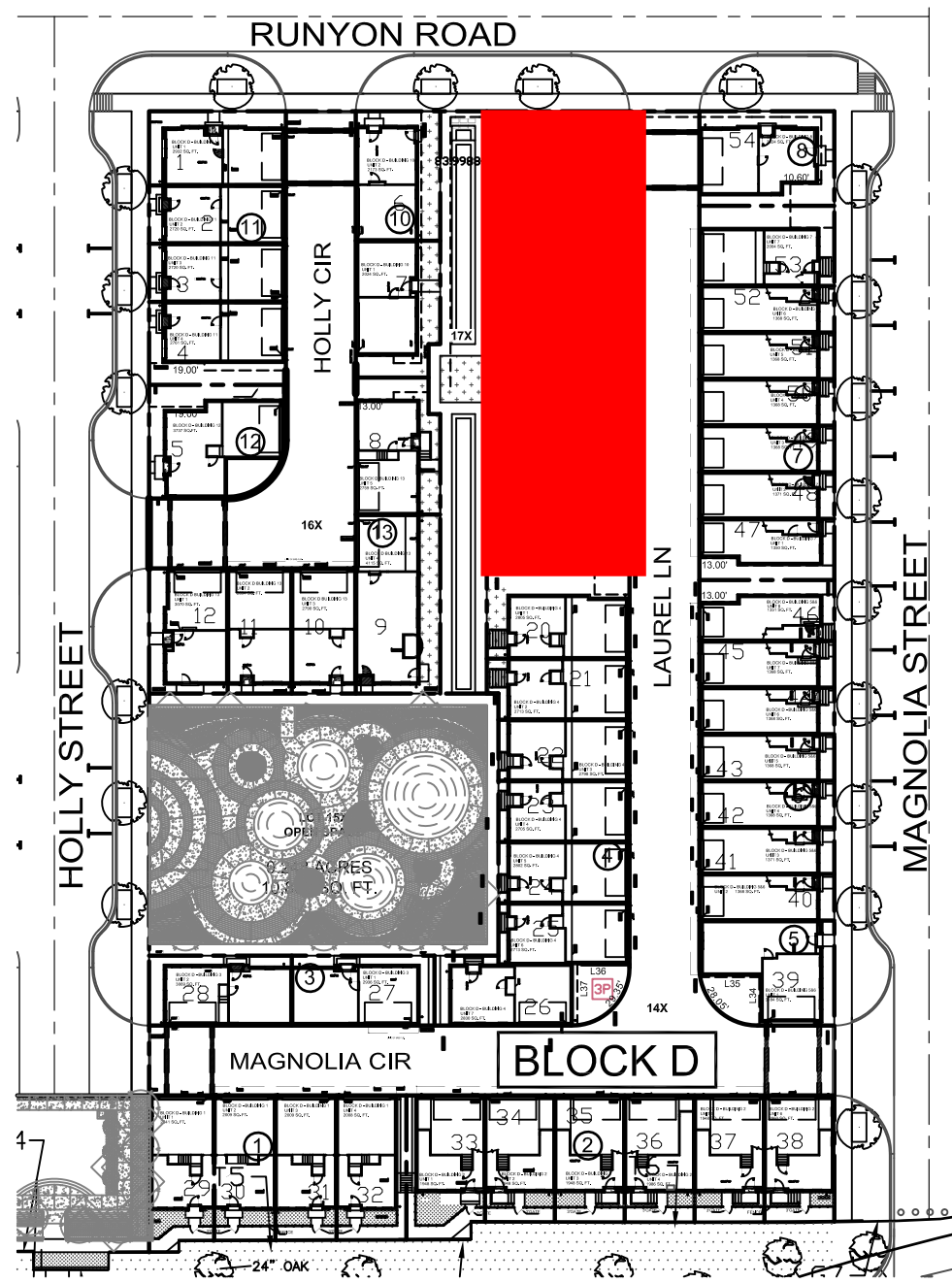
PLAN NO. 2324

SHEET NO. A-41

2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: S.S./F.M.  
Original Date Issued: 06/11/2021  
Scale: 1/8" = 1'-0"  
Last Updated: 06/03/2022

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877



LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

TOTAL MATERIAL CALCULATION TABLE

STUCCO BOARD	481	4.8%
BRICK	9369	94.6%
ACCENT MATERIAL	58	0.6%
TOTAL SURFACE AREA	9908	

WEST/FRONT MATERIAL CALCULATION TABLE

STUCCO BOARD	100	2.9%
BRICK	3306	96.4%
ACCENT MATERIAL	24	0.7%
TOTAL SURFACE AREA	3430	

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west/front elevation  
SCALE: 3/16" = 1'-0"

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877



ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 9

WEST/FRONT ELEVATION

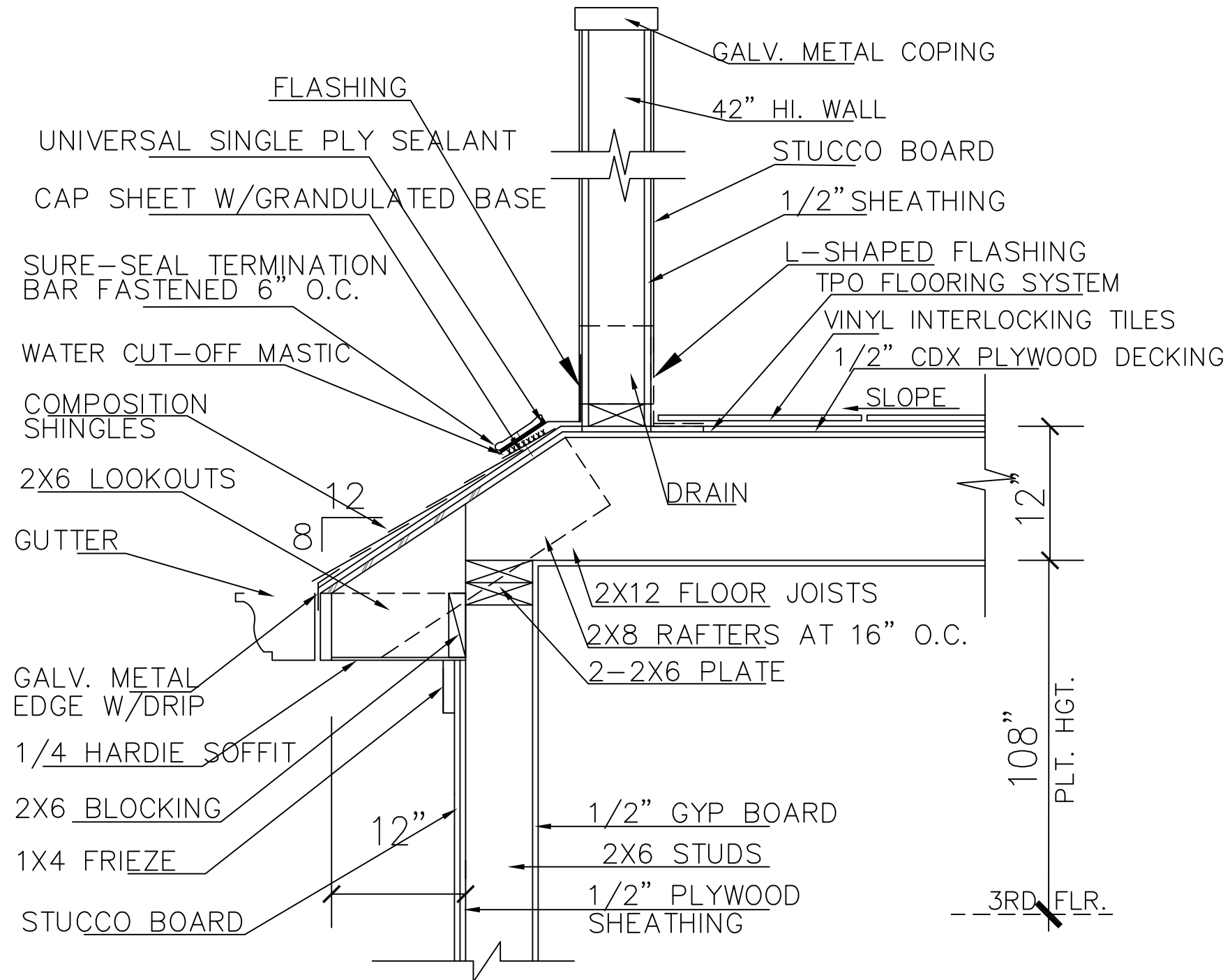
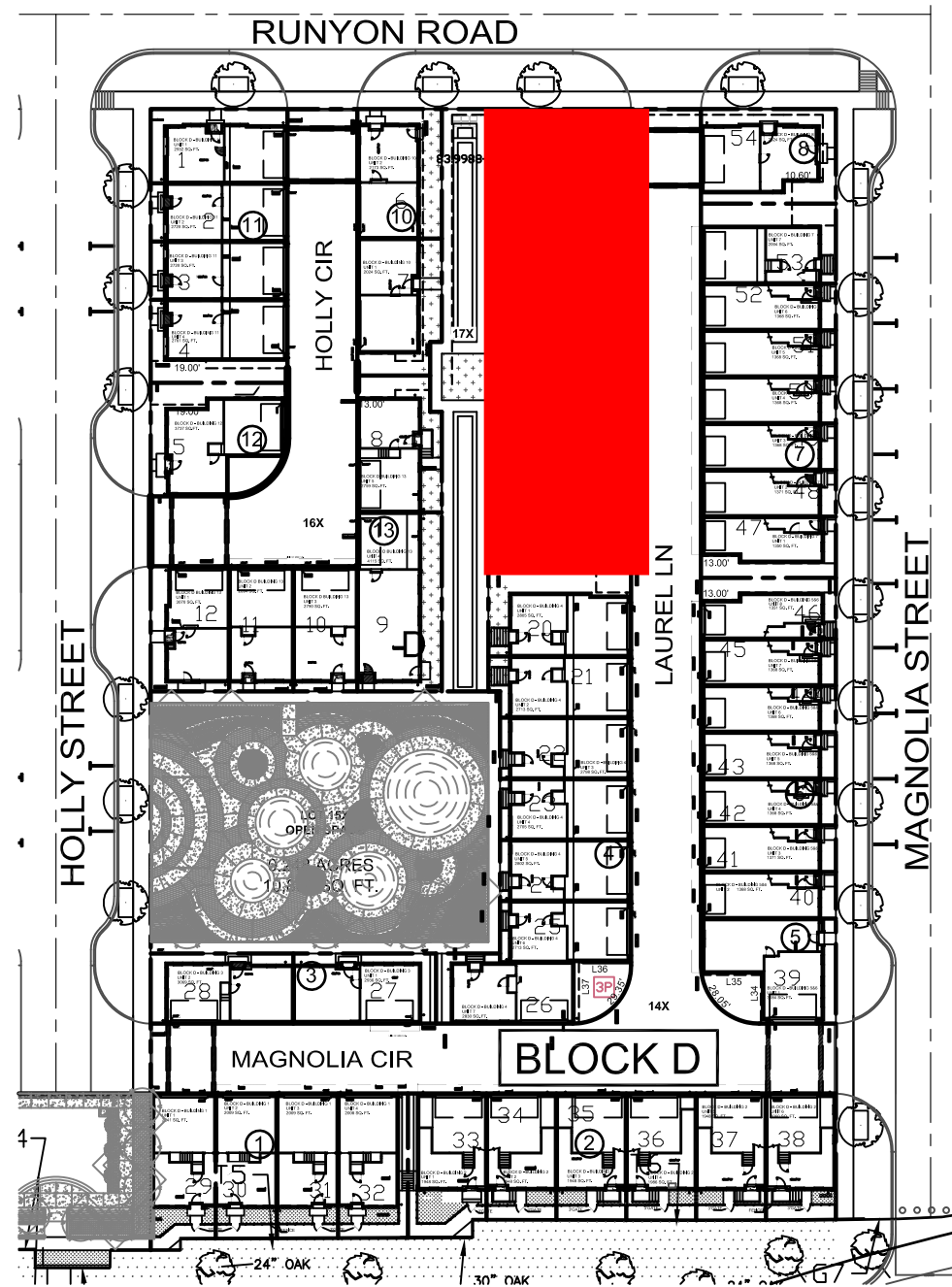
PLAN NO.

UNIT 1	1987
UNIT 2	1988
UNIT 3	1987
UNIT 4	1989
UNIT 5	1989
UNIT 6	2006
UNIT 7	2006

SHEET NO.  
**A-42**

Drawn/Checked By: E.Z./E.M.  
Original Date Issued: 05/20/2021  
Scale: 3/16" = 1'-0"  
Last Updated: 06/03/2022

**URBANINTOWNHOMES**  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX



2. SECTION DETAIL-  
A/C COMPRESSOR LOCATION AT ROOF  
SCALE: 1" = 1'-0"

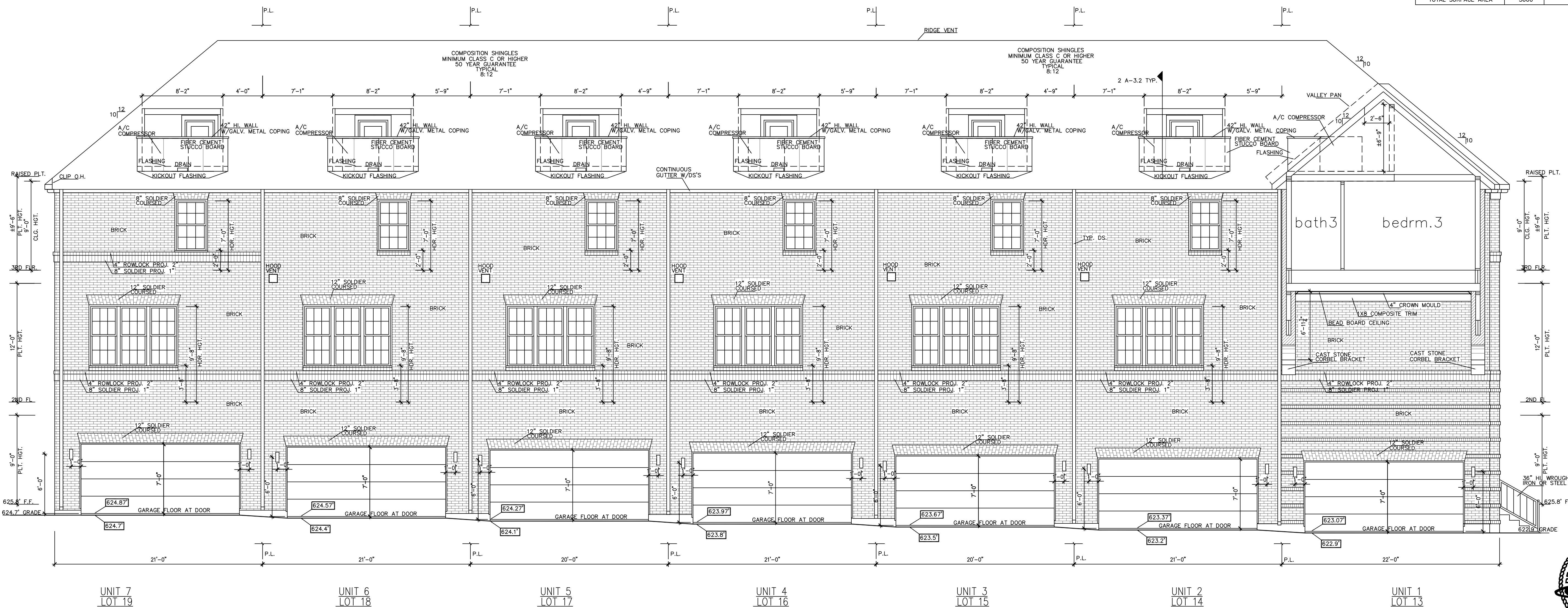
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LEGEND

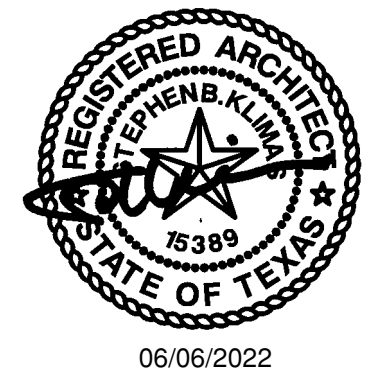
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL

EAST/REAR MATERIAL CALCULATION TABLE		
STUCCO BOARD	271	7.4%
BRICK	3395	92.6%
ACCENT MATERIAL	0	0.0%
TOTAL SURFACE AREA	3666	



east/rear(LAUREL LN) elevation  
SCALE: 3/16" = 1'-0"

URBAN INTOWN HOMES  
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PHONE: 713-961-3877



ADDISON GROVE

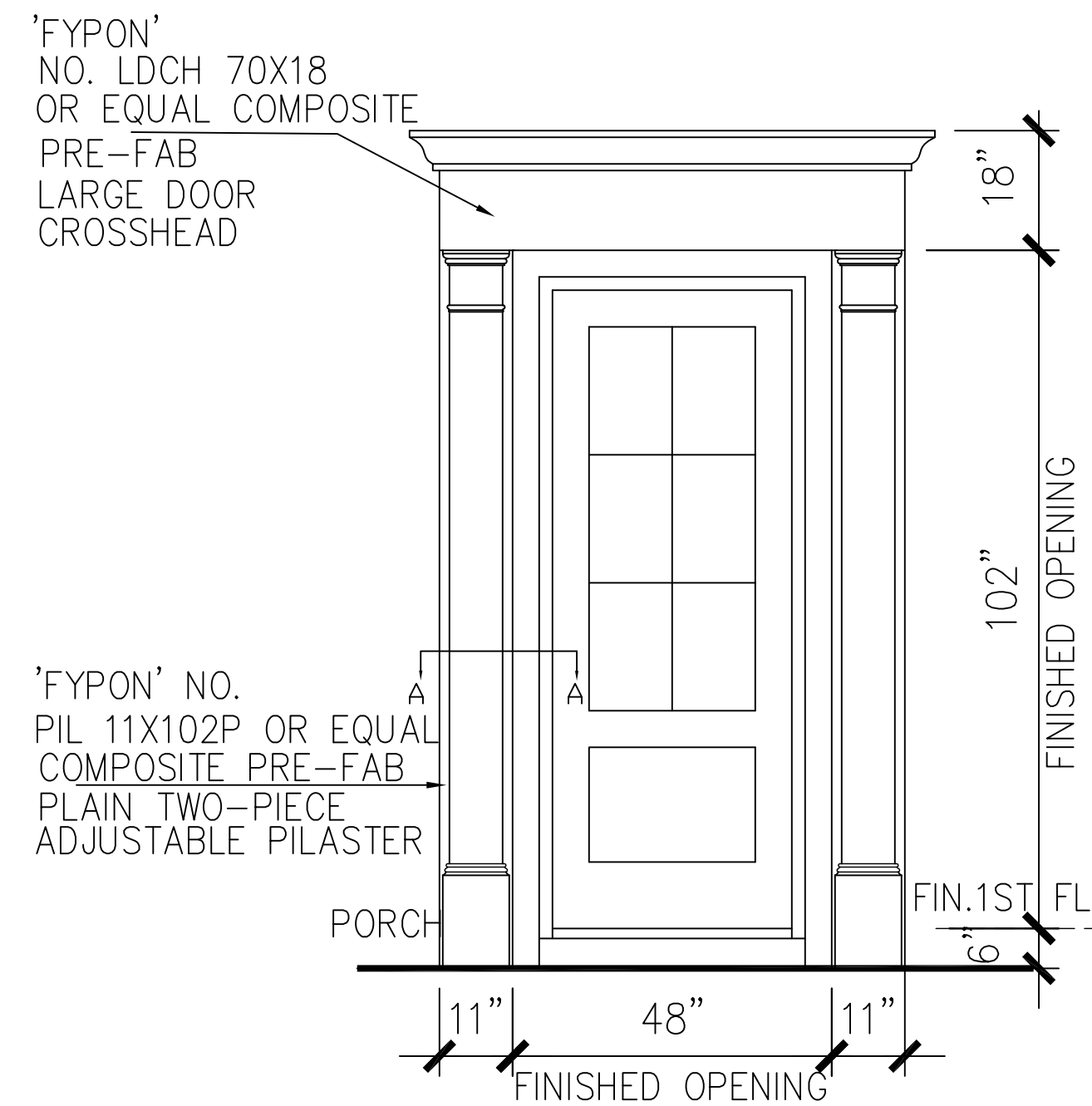
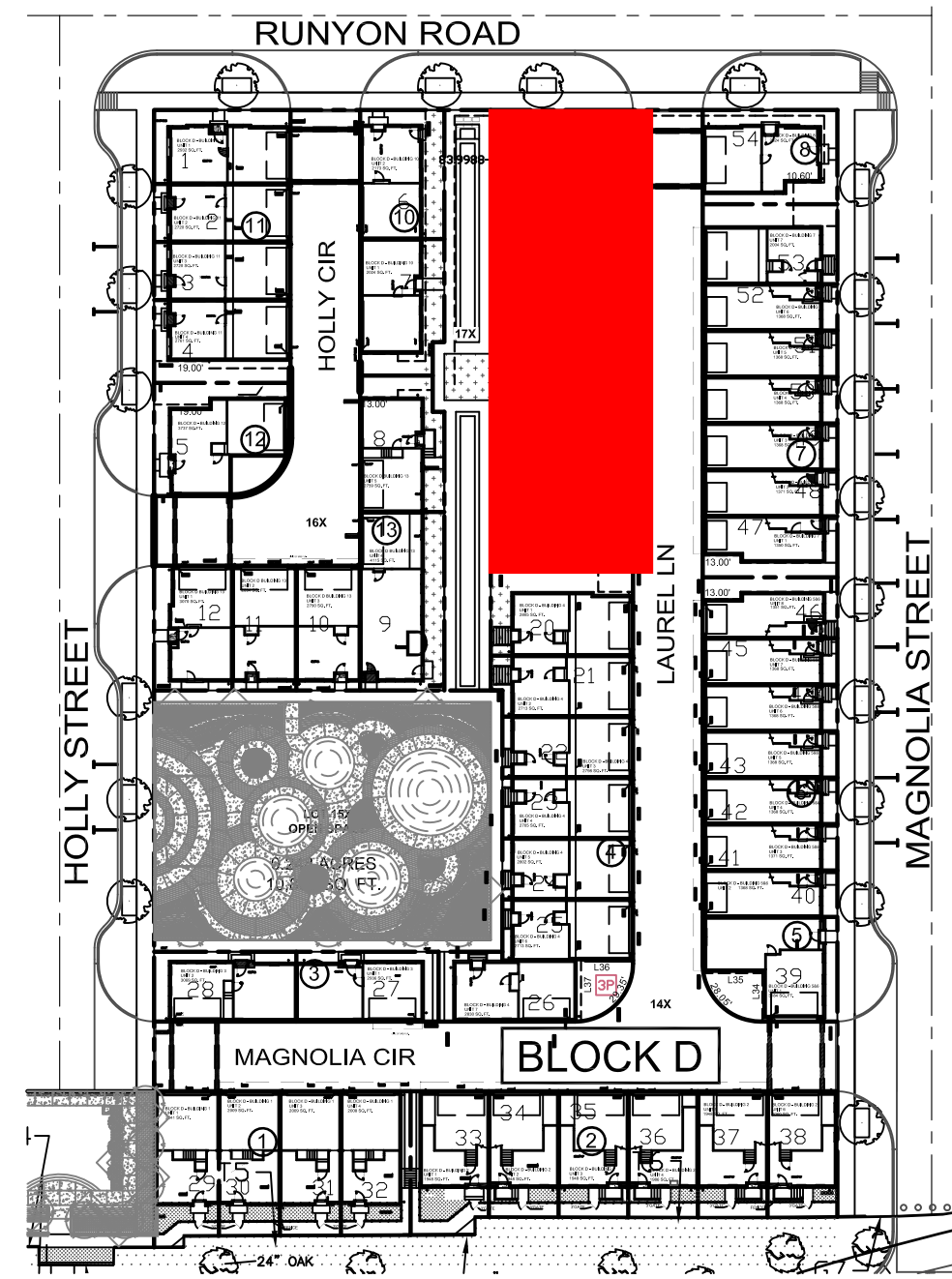
URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 9

EAST/REAR ELEVATION

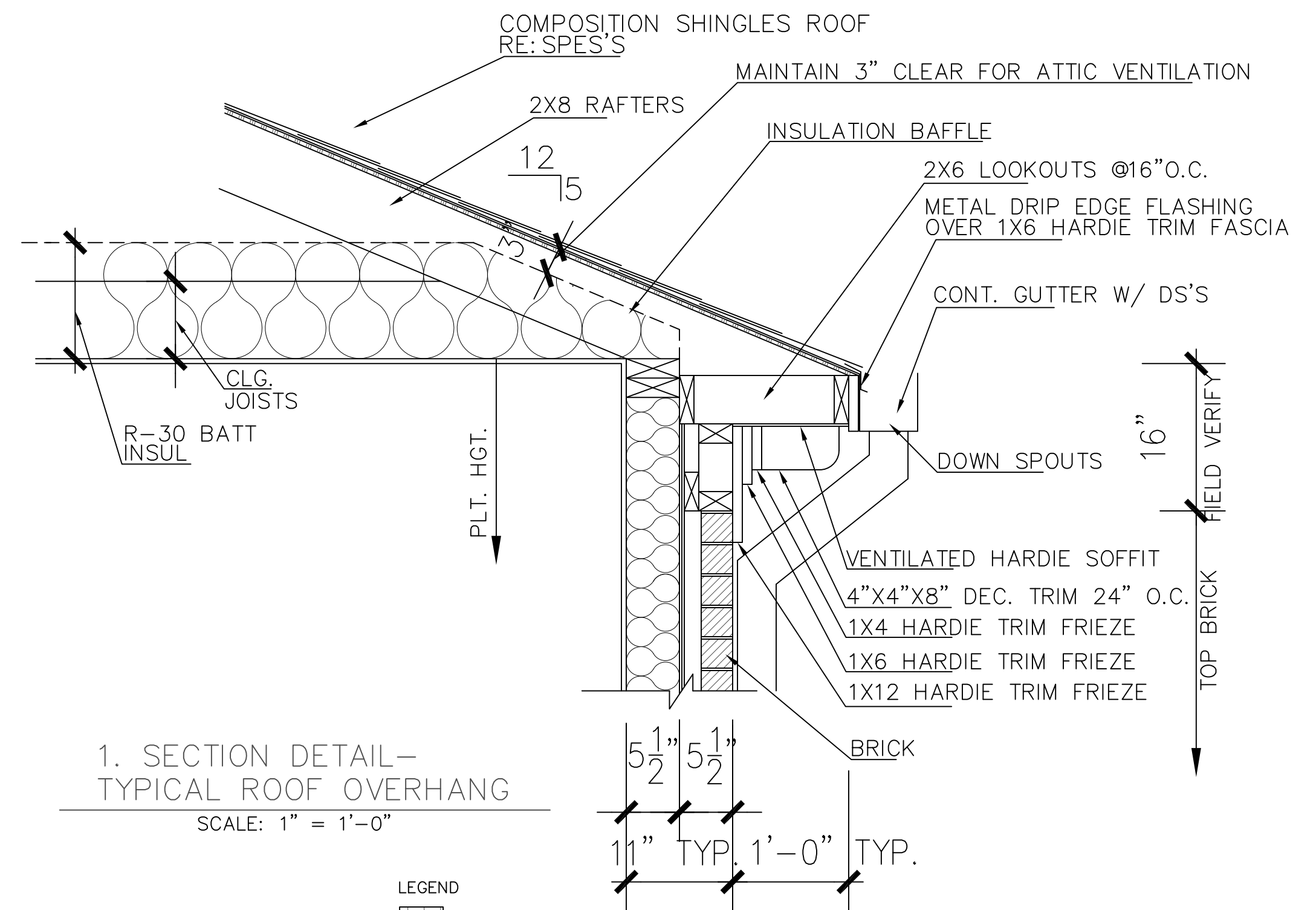
PLAN NO.	DATE
UNIT 1	235.1
UNIT 2	1989
UNIT 3	1987
UNIT 4	1983
UNIT 5	1989
UNIT 6	2006
UNIT 7	2006

SHEET NO. A-43



COMPOSITE PEDIMENT A-1  
SCALE: 1/2" = 1'-0"

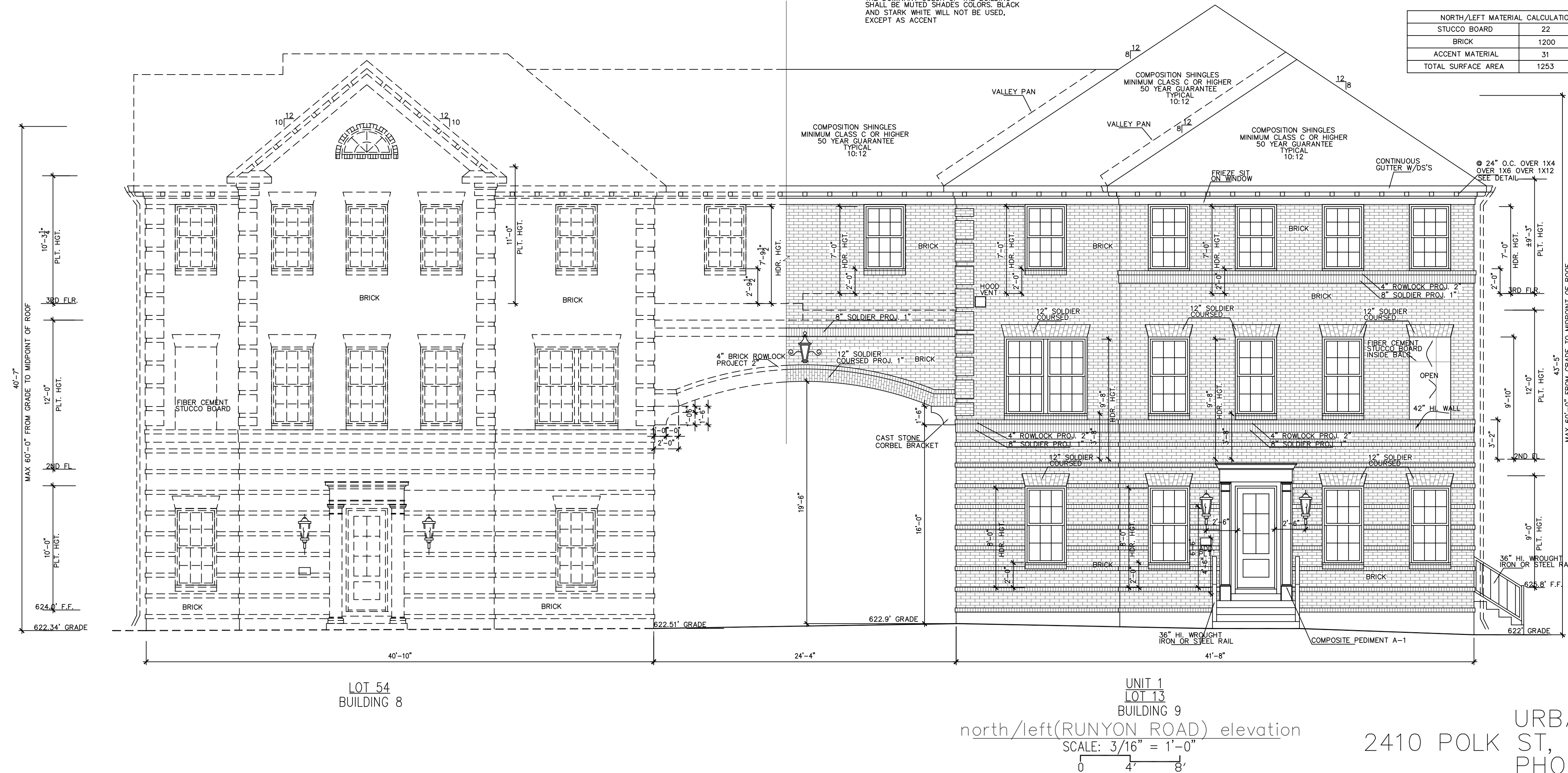
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1. SECTION DETAIL - TYPICAL ROOF OVERHANG  
SCALE: 1" = 1'-0"

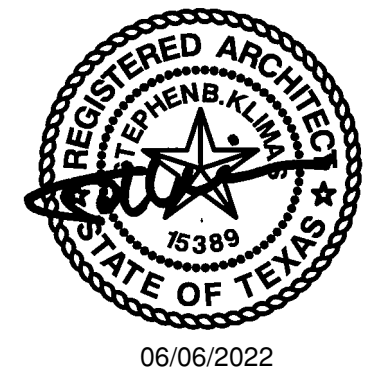
- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - COMPOSITE PEDIMENT (ACCENT MATERIAL)
  - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
  - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

NORTH/LEFT MATERIAL CALCULATION TABLE		
STUCCO BOARD	22	1.8%
BRICK	1200	96%
ACCENT MATERIAL	31	2.2%
TOTAL SURFACE AREA	1253	



LOT 54 BUILDING 8  
UNIT 1 LOT 13 BUILDING 9  
north/left(RUNYON ROAD) elevation  
SCALE: 3/16" = 1'-0"

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877



06/06/2022

ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 9

NORTH/LEFT ELEVATIONS

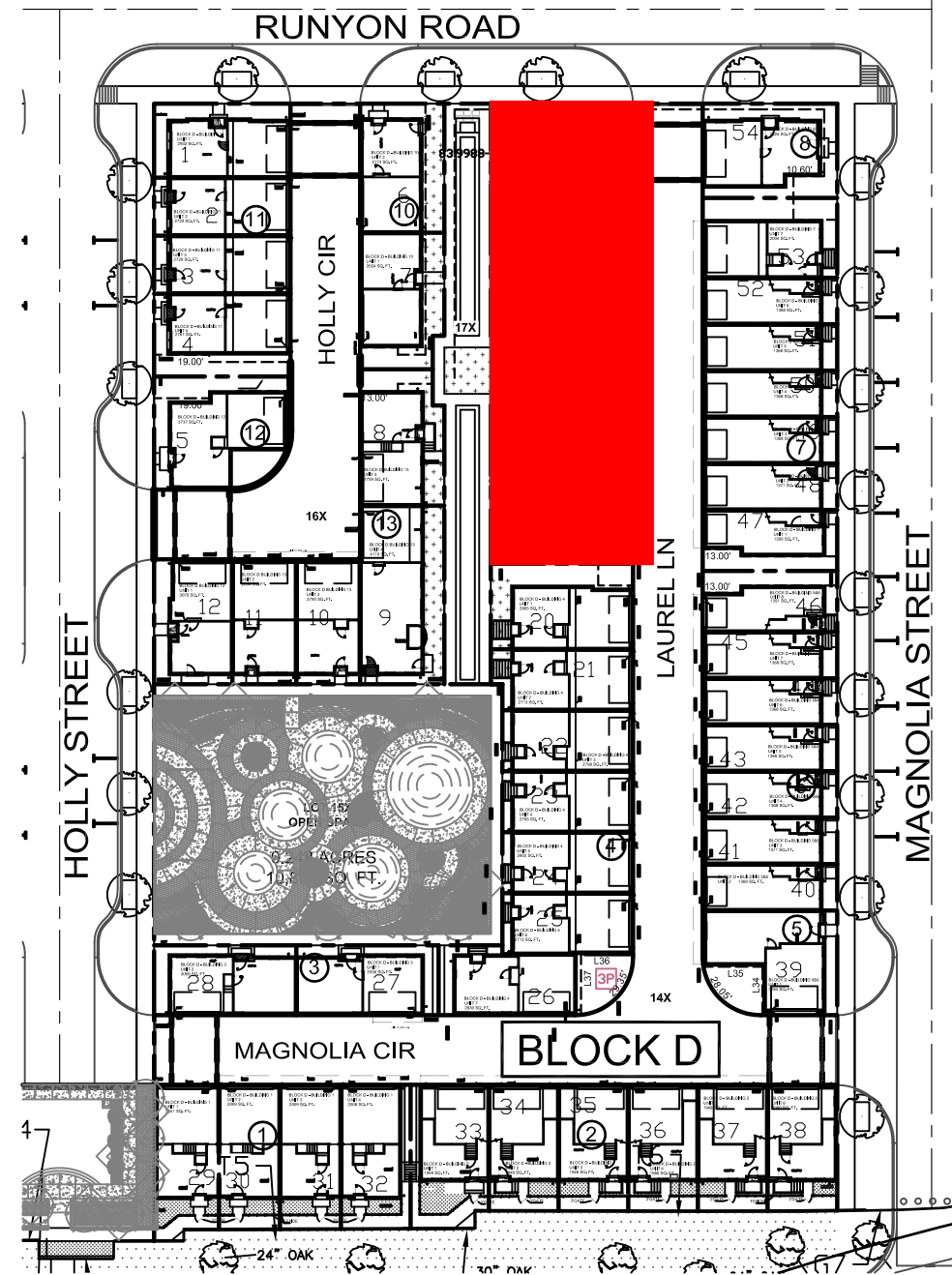
PLAN NO. - 2351  
UNIT 1 - 1989  
UNIT 2 - 1989  
UNIT 3 - 1989  
UNIT 4 - 1989  
UNIT 5 - 1989  
UNIT 6 - 2006  
UNIT 7 - 2006

SHEET NO.  
**A-44**

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: E.Z./F.M.  
Original Date Issued: 05/20/2021  
Scale: 3/16" = 1'-0"  
Last Updated: 06/03/2022





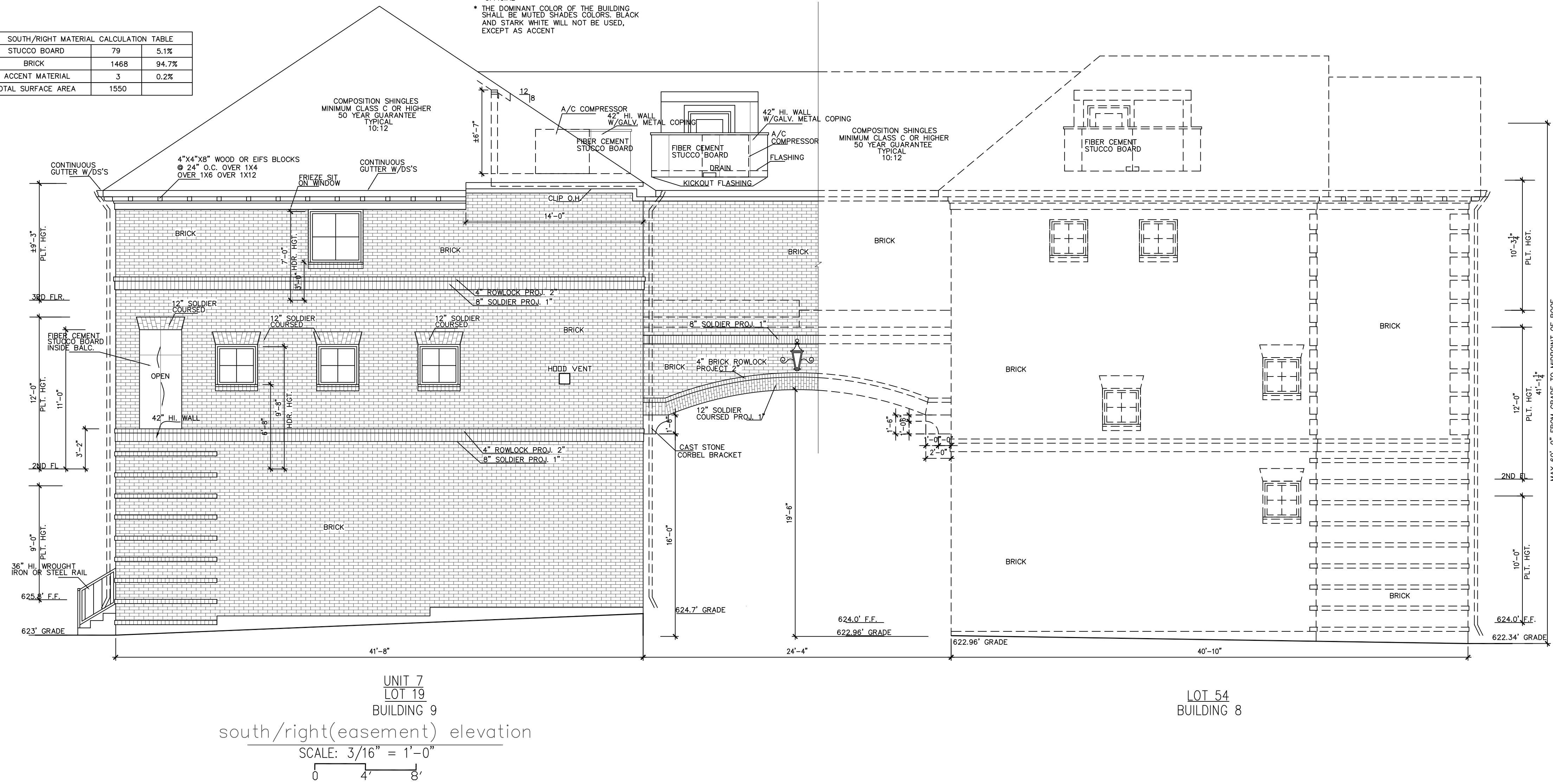
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

SOUTH/RIGHT MATERIAL CALCULATION TABLE		
STUCCO BOARD	79	5.1%
BRICK	1468	94.7%
ACCENT MATERIAL	3	0.2%
TOTAL SURFACE AREA	1550	

ELEVATION NOTES

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- \* THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS: BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT.



UNIT 7  
LOT 19  
BUILDING 9  
south/right(easement) elevation  
SCALE: 3/16" = 1'-0"  
0 4 8

ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 9

SOUTH/RIGHT ELEVATIONS

Drawn By/Checked By: E.Z./F.M.  
Original Date Issued: 05/20/2021  
Scale: 3/16" = 1'-0"  
Last Updated: 06/03/2022

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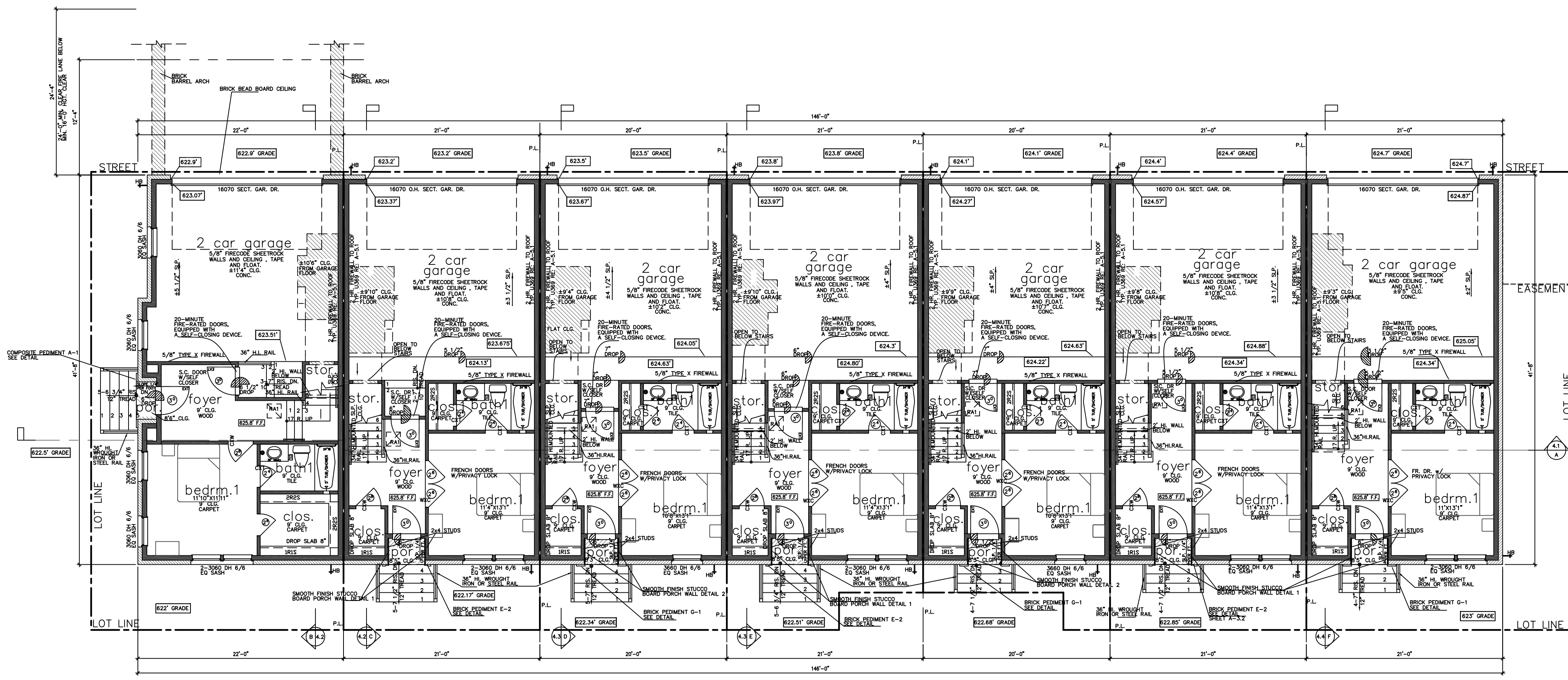
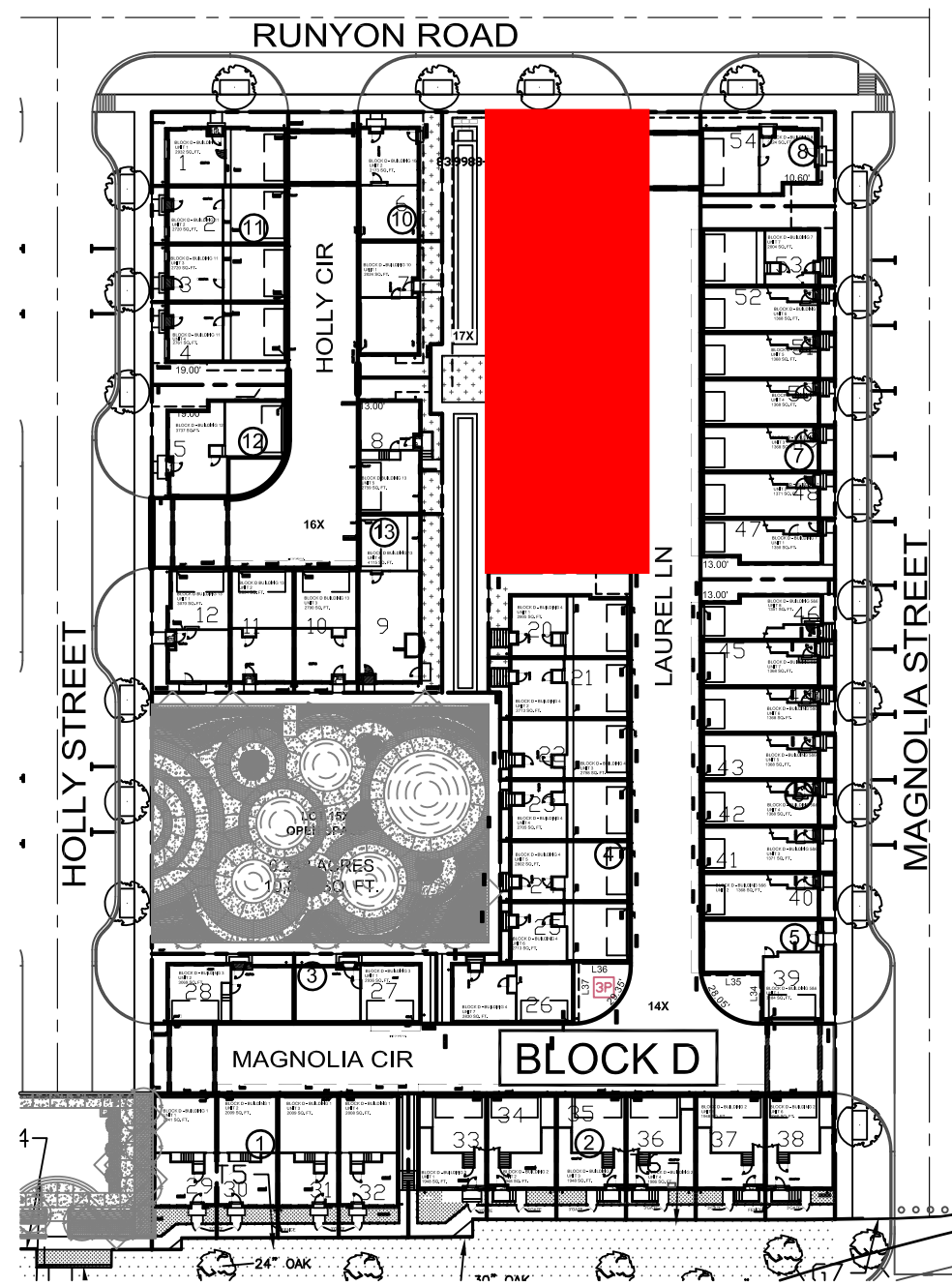
06/06/2022

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

PLAN NO.	DATE
UNIT 1	2351
UNIT 2	1989
UNIT 3	1987
UNIT 4	1983
UNIT 5	1989
UNIT 6	2006
UNIT 7	2006

SHEET NO.

A-45



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2351	3
UNIT 2	1989	3
UNIT 3	1987	3
UNIT 4	1993	3
UNIT 5	1999	3
UNIT 6	2006	3
UNIT 7	2006	3

Unit 1 square footage		Unit 2 square footage	
FIRST FLOOR	443	FIRST FLOOR	394
SECOND FLOOR	889	SECOND FLOOR	796
THIRD FLOOR	1103	THIRD FLOOR	681
TOTAL LIVING AREA	2435	TOTAL LIVING AREA	1971
PORCH	11	PORCH	11
GARAGE	478	GARAGE	478
BALCONY	93	BALCONY	93
AC DECK	93	AC DECK	93
TOTAL SQA. AREA	3207	TOTAL SQA. AREA	2831

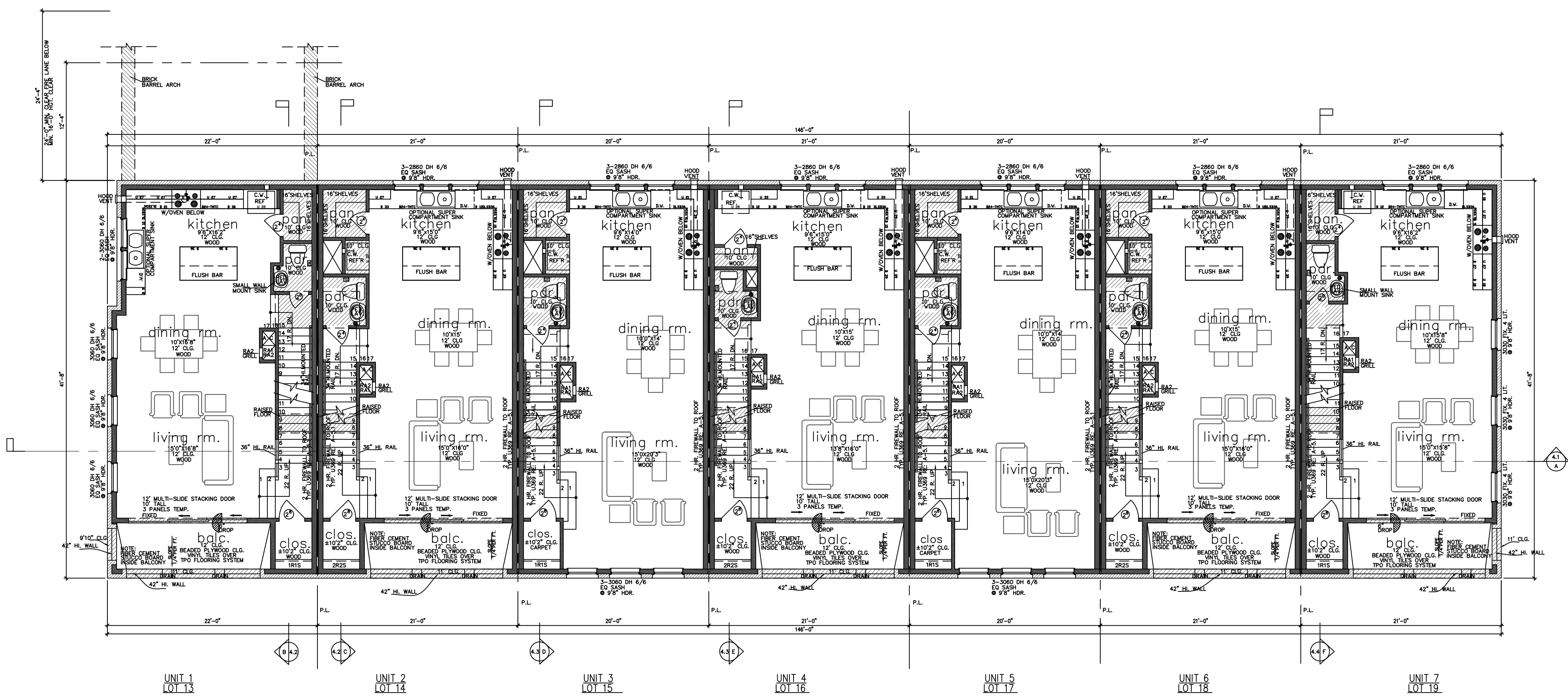
  

Unit 3 square footage		Unit 4 square footage	
FIRST FLOOR	372	FIRST FLOOR	396
SECOND FLOOR	823	SECOND FLOOR	796
THIRD FLOOR	792	THIRD FLOOR	681
TOTAL LIVING AREA	1987	TOTAL LIVING AREA	1973
PORCH	11	PORCH	11
GARAGE	491	GARAGE	474
BALCONY	4	BALCONY	93
AC DECK	82	AC DECK	82
TOTAL SQA. AREA	3222	TOTAL SQA. AREA	2830

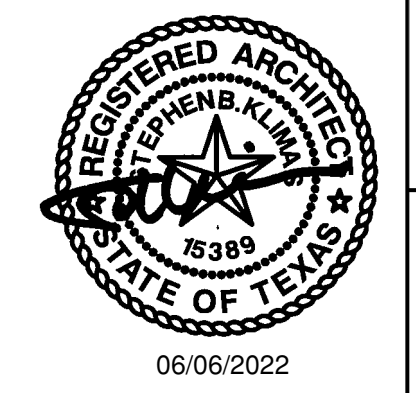
Unit 5 square footage		Unit 6 & 7 square footage	
FIRST FLOOR	364	FIRST FLOOR	423
SECOND FLOOR	823	SECOND FLOOR	796
THIRD FLOOR	792	THIRD FLOOR	681
TOTAL LIVING AREA	1979	TOTAL LIVING AREA	2000
PORCH	11	PORCH	11
GARAGE	491	GARAGE	474
BALCONY	4	BALCONY	93
AC DECK	82	AC DECK	82
TOTAL SQA. AREA	3222	TOTAL SQA. AREA	2830

First Floor Plan  
 SCALE: 1/8" = 1'-0"  
 NORTH



Second Floor Plan  
 SCALE: 1/8" = 1'-0"  
 NORTH

ADDISON GROVE



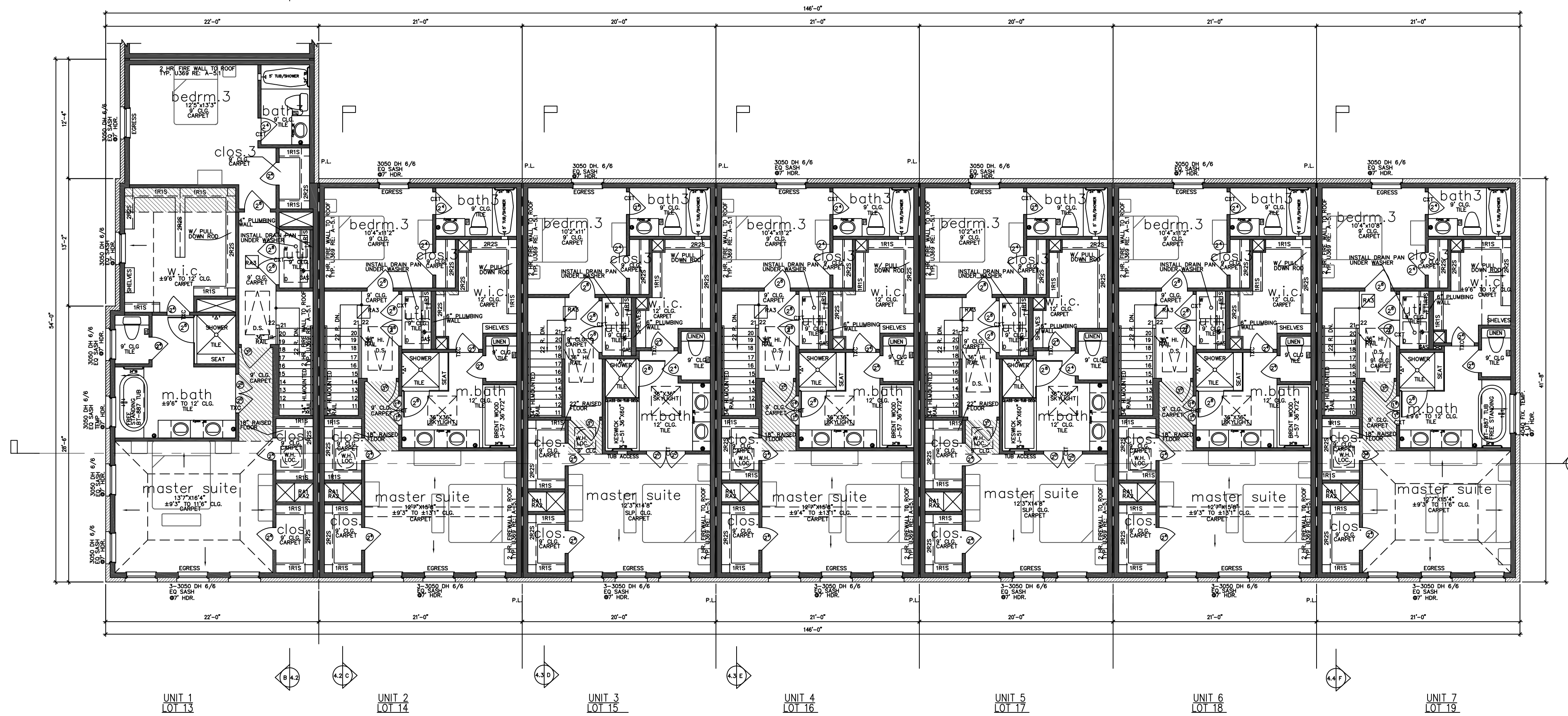
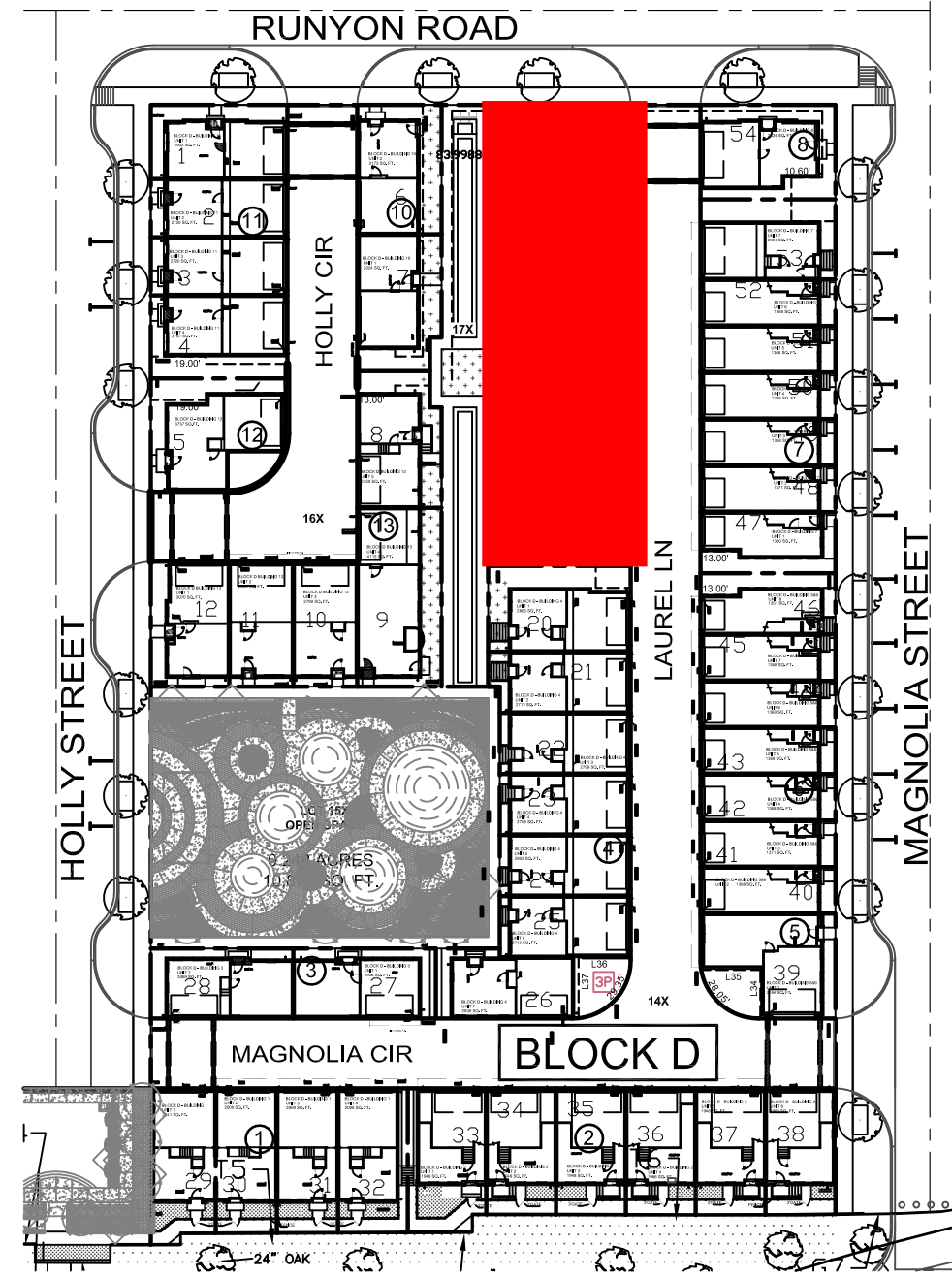
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 2410 POLK ST, STE 200, HOUSTON, TX 77003  
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ADDISON GROVE - BLOCK D - BUILDING 9  
 FLOOR PLAN

PLAN NO.	DATE
UNIT 1 - 2351	
UNIT 2 - 1989	
UNIT 3 - 1987	
UNIT 4 - 1993	
UNIT 5 - 1999	
UNIT 6 - 2006	
UNIT 7 - 2006	

SHEET NO. **A-46**

URBAN INTOWN HOMES  
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 PHONE: 713-961-3877



Third Floor Plan  
 SCALE: 1/8" = 1'-0"  
 0 4 8

NOTE: ALL EXTERIOR WALLS TO BE ONE FRAMED PER STRUCTURAL PLANS

ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 9

FLOOR PLAN

PLAN NO.	UNIT 1	22511
	UNIT 2	19889
	UNIT 3	19887
	UNIT 4	19883
	UNIT 5	19889
	UNIT 6	20006
	UNIT 7	20006

SHEET NO.

A-47

2410 POLK ST, STE 200, HOUSTON, TX 77003  
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Drawn By/Checked By:

E.Z./F.M.

Original Date Issued:

05/20/2021

Scale:

3/16" = 1'-0"

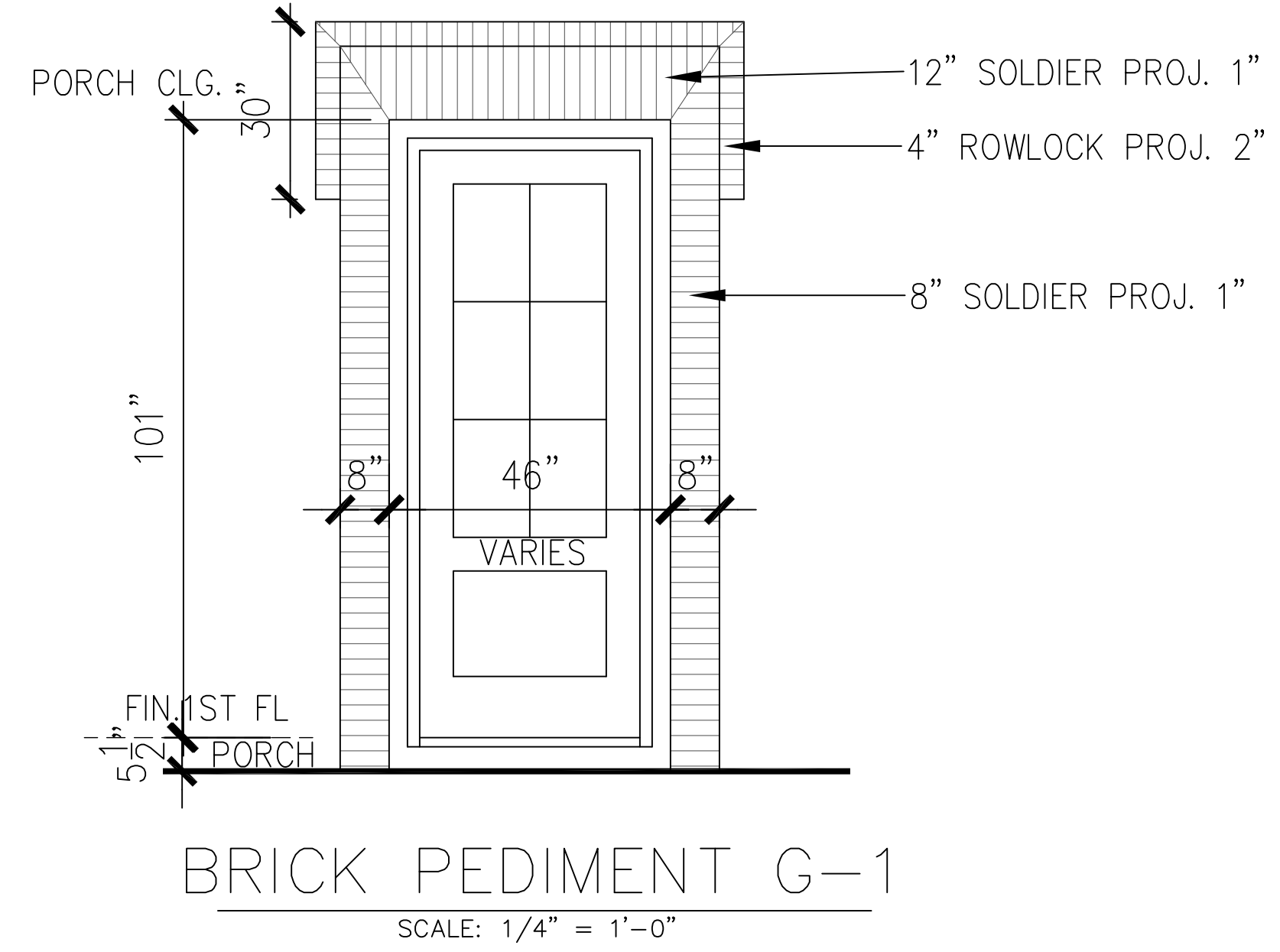
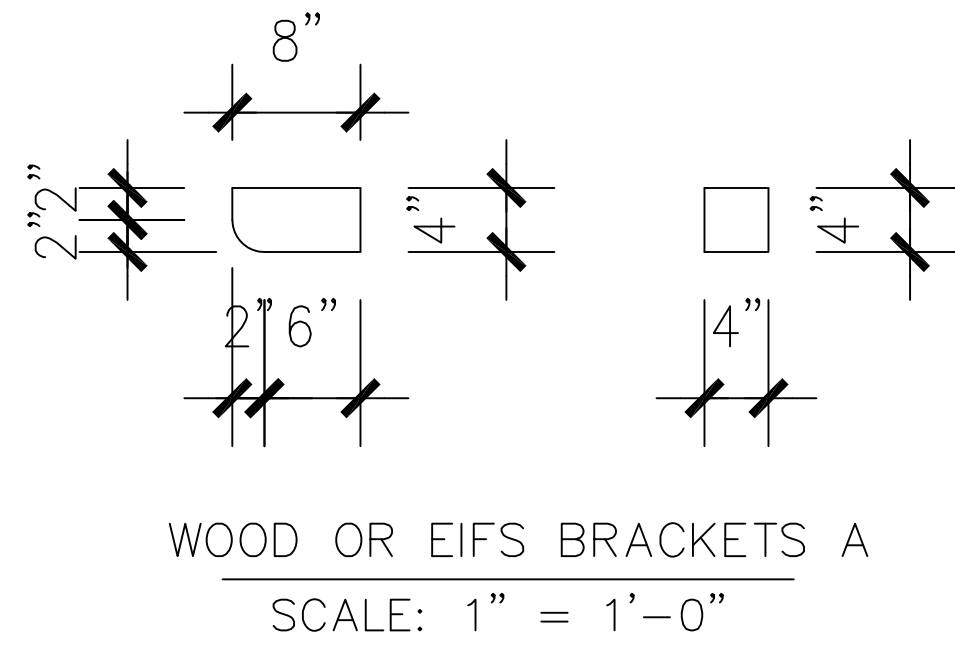
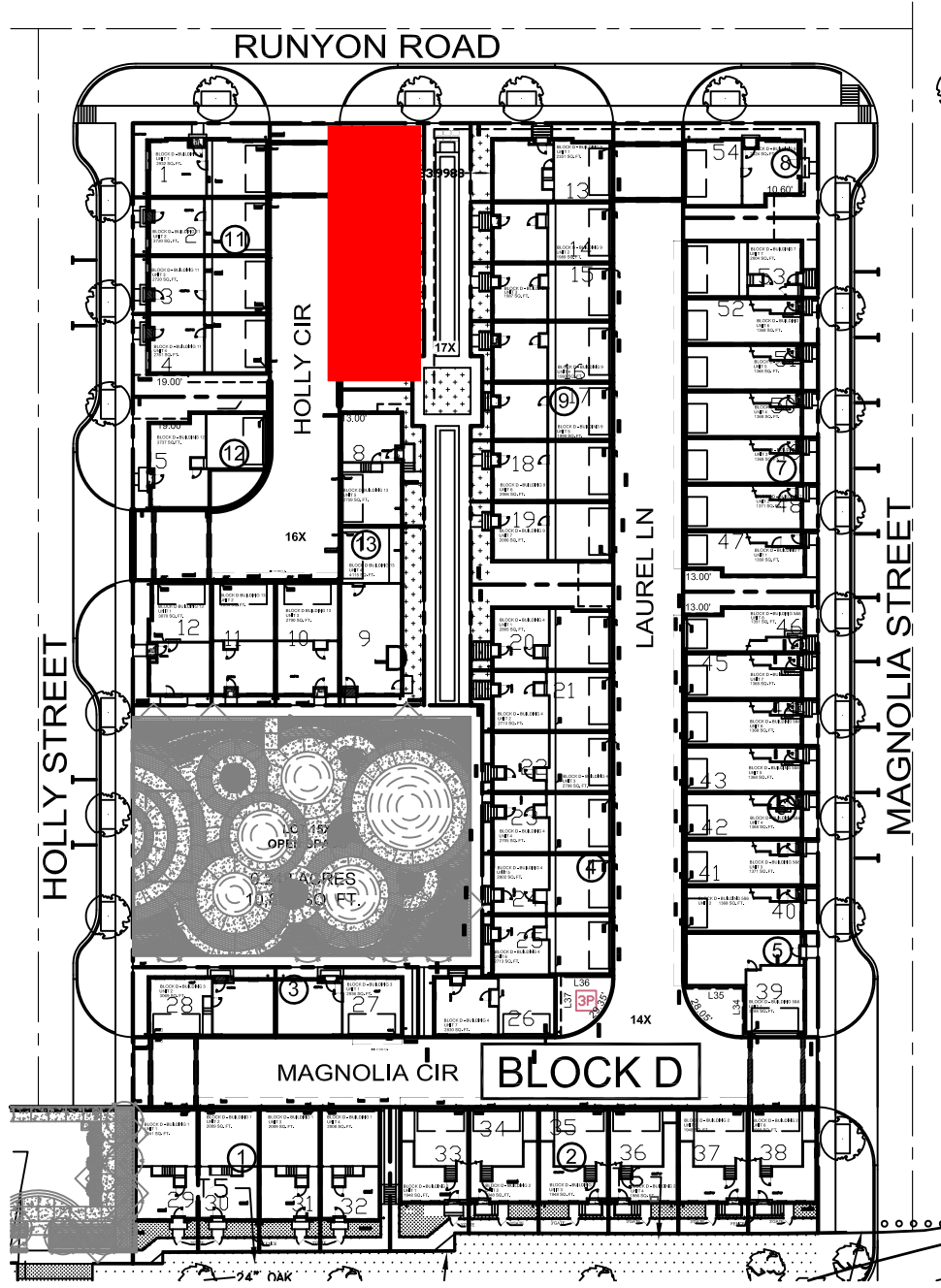
Last Updated:

06/03/2022



06/06/2022

URBAN INTOWN HOMES  
 2410 POLK ST, STE 200, HOUSTON, TX 77003  
 PHONE: 713-961-3877



- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

TOTAL MATERIAL CALCULATION TABLE		
BRICK	5171	95.8%
STUCCO BOARD	197	3.6%
ACCENT MATERIAL	31	0.57%
<b>TOTAL SURFACE AREA</b>	<b>5399</b>	

EAST/FRONT MATERIAL CALCULATION TABLE		
BRICK	2104	98.8%
STUCCO BOARD	22	1.0%
ACCENT MATERIAL	4	0.2%
<b>TOTAL SURFACE AREA</b>	<b>2130</b>	

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east/front(green space) elevation  
SCALE: 1/4" = 1'-0"

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2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877



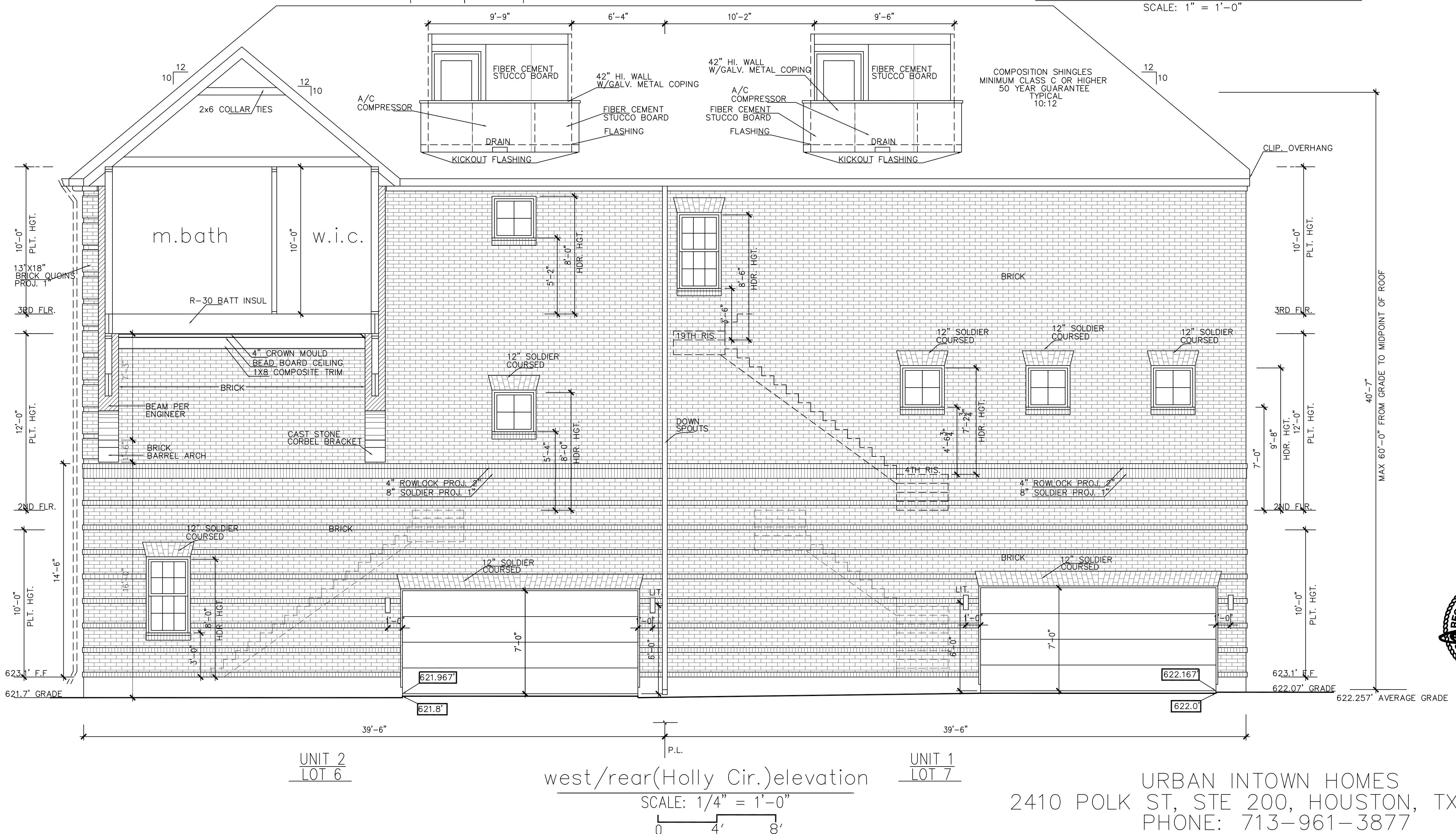
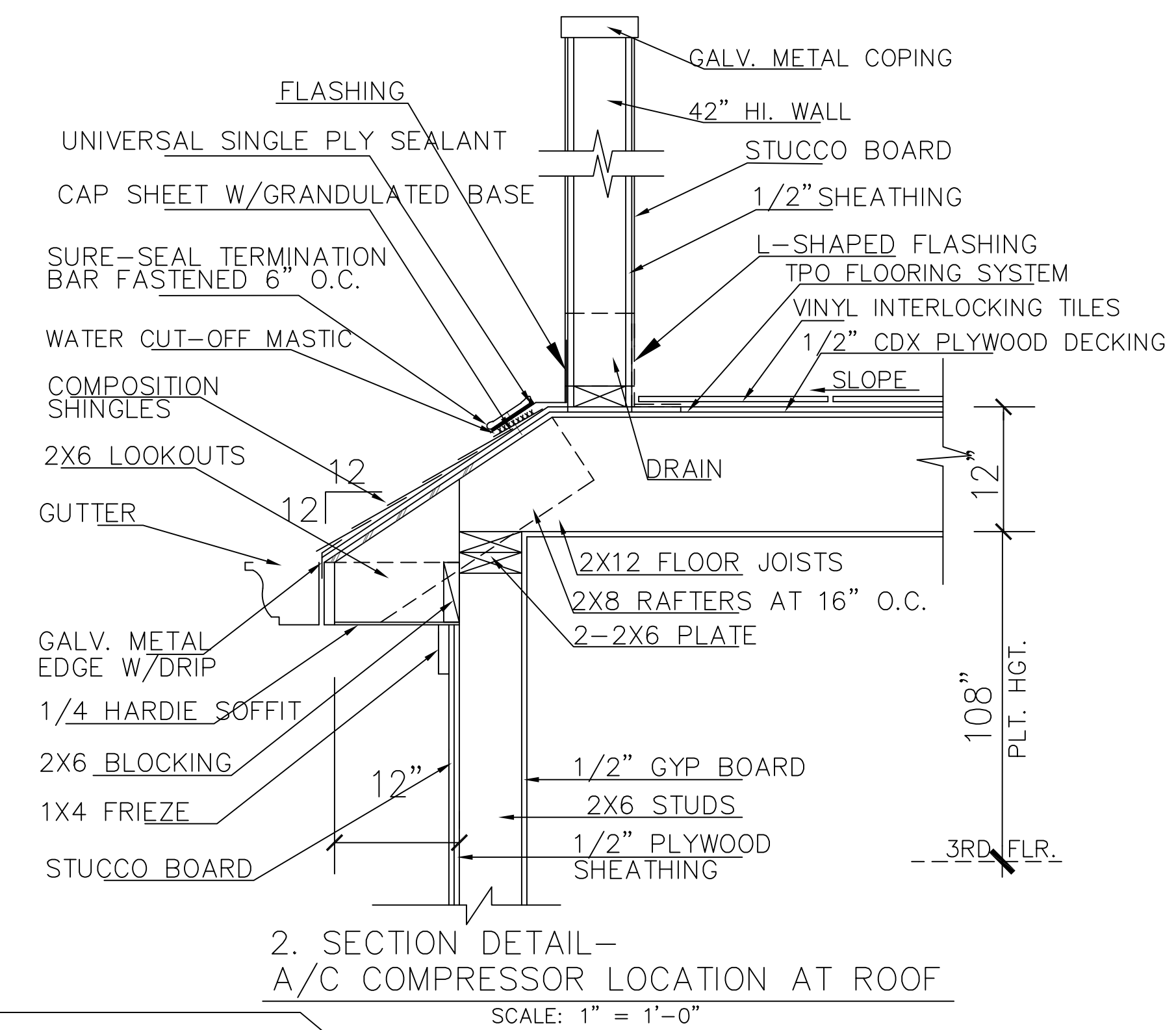
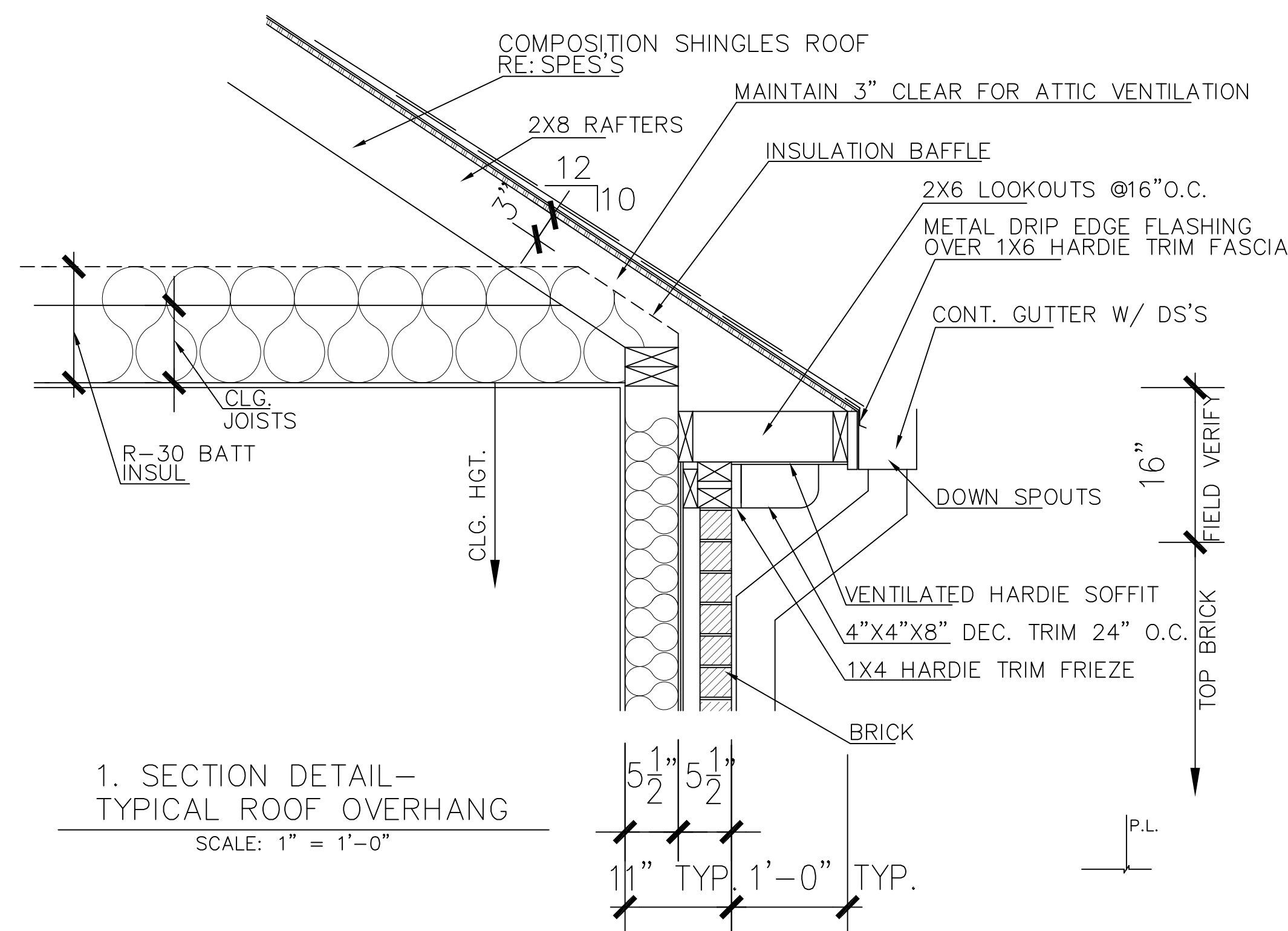
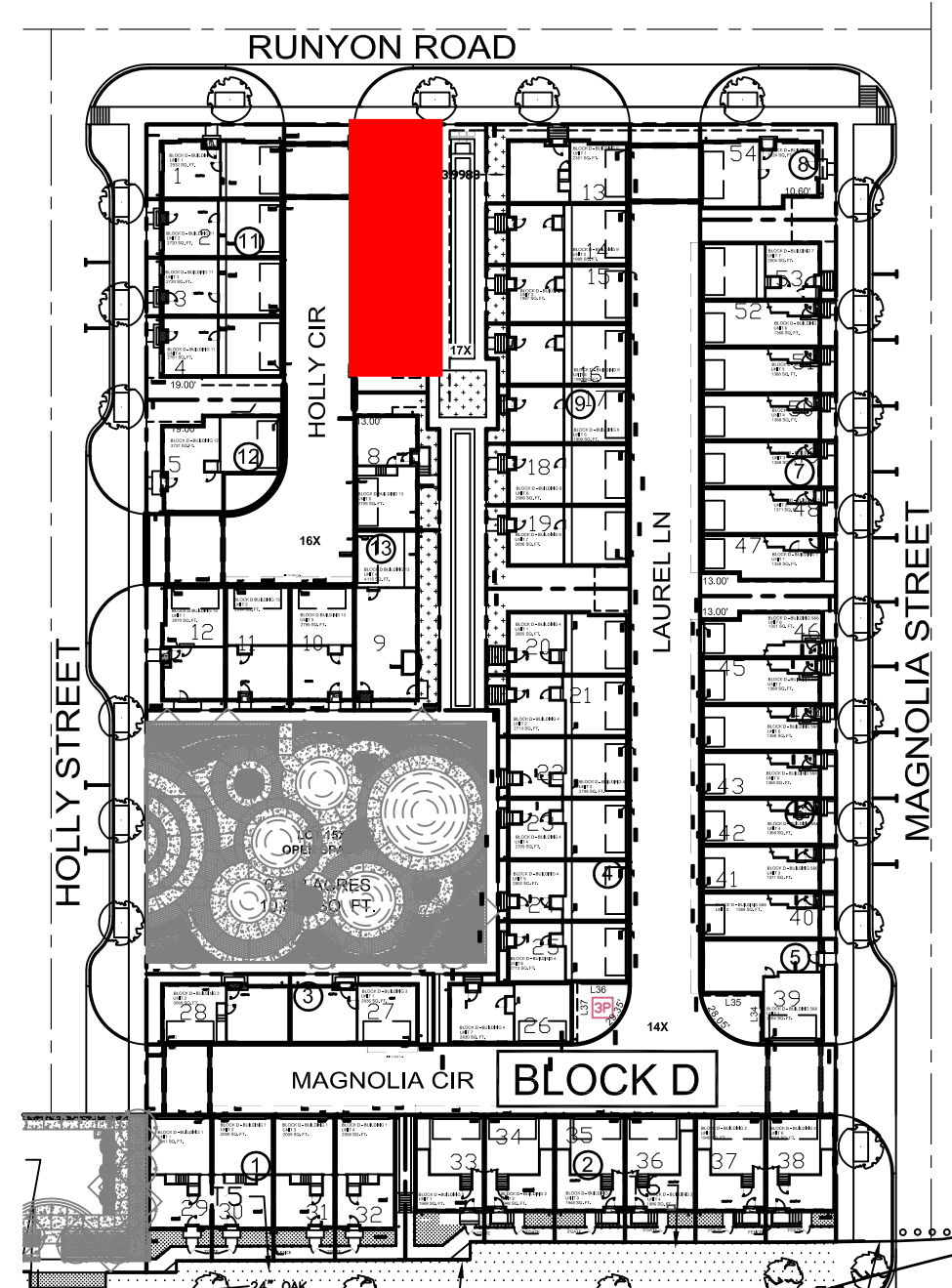
Drawn By/Checked By: J.C./F.M.  
Original Date Issued: 06/15/2021  
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Last Updated: 06/03/2022

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(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 10  
ADDISON GROVE  
EAST/FRONT ELEVATION

PLAN NO.  
UNIT 1 - 2024  
UNIT 2 - 2173

SHEET NO.  
**A-48**



- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

**WEST/REAR MATERIAL CALCULATION TABLE**

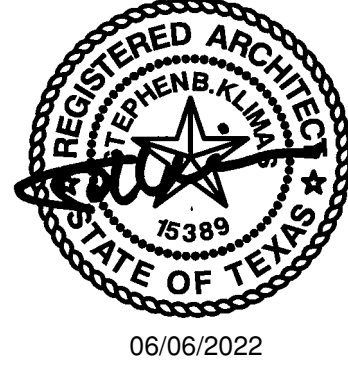
BRICK	2140	94.3%
STUCCO BOARD	124	5.5%
ACCENT MATERIAL	4	0.2%
<b>TOTAL SURFACE AREA</b>	<b>2268</b>	

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Drawn By/Checked By: J.C./F.M.  
Original Date Issued: 06/15/2021  
Scale: 1/4" = 1'-0"  
Last Updated: 06/03/2022

**URBANINTOWNHOMES,Ltd.**  
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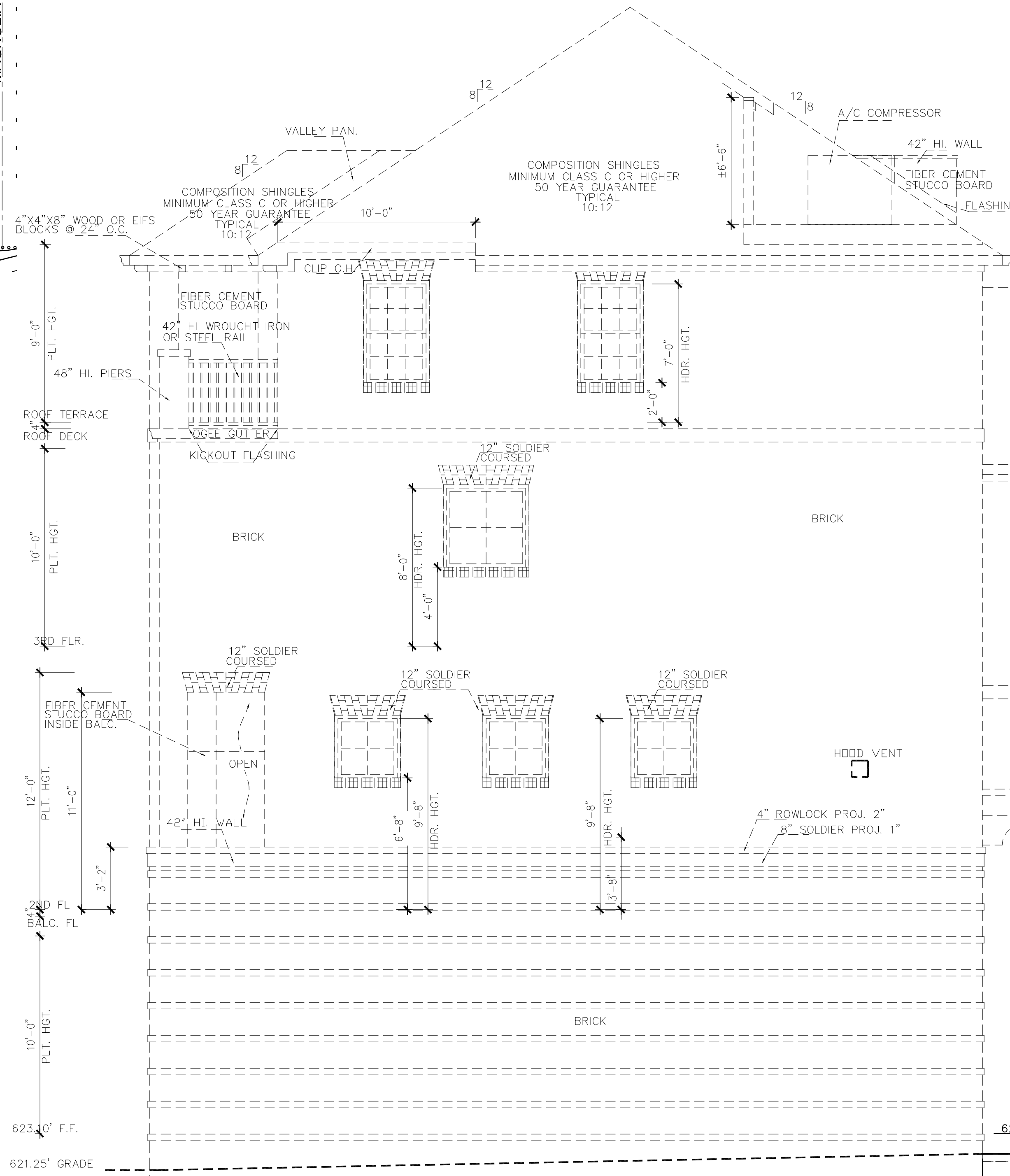
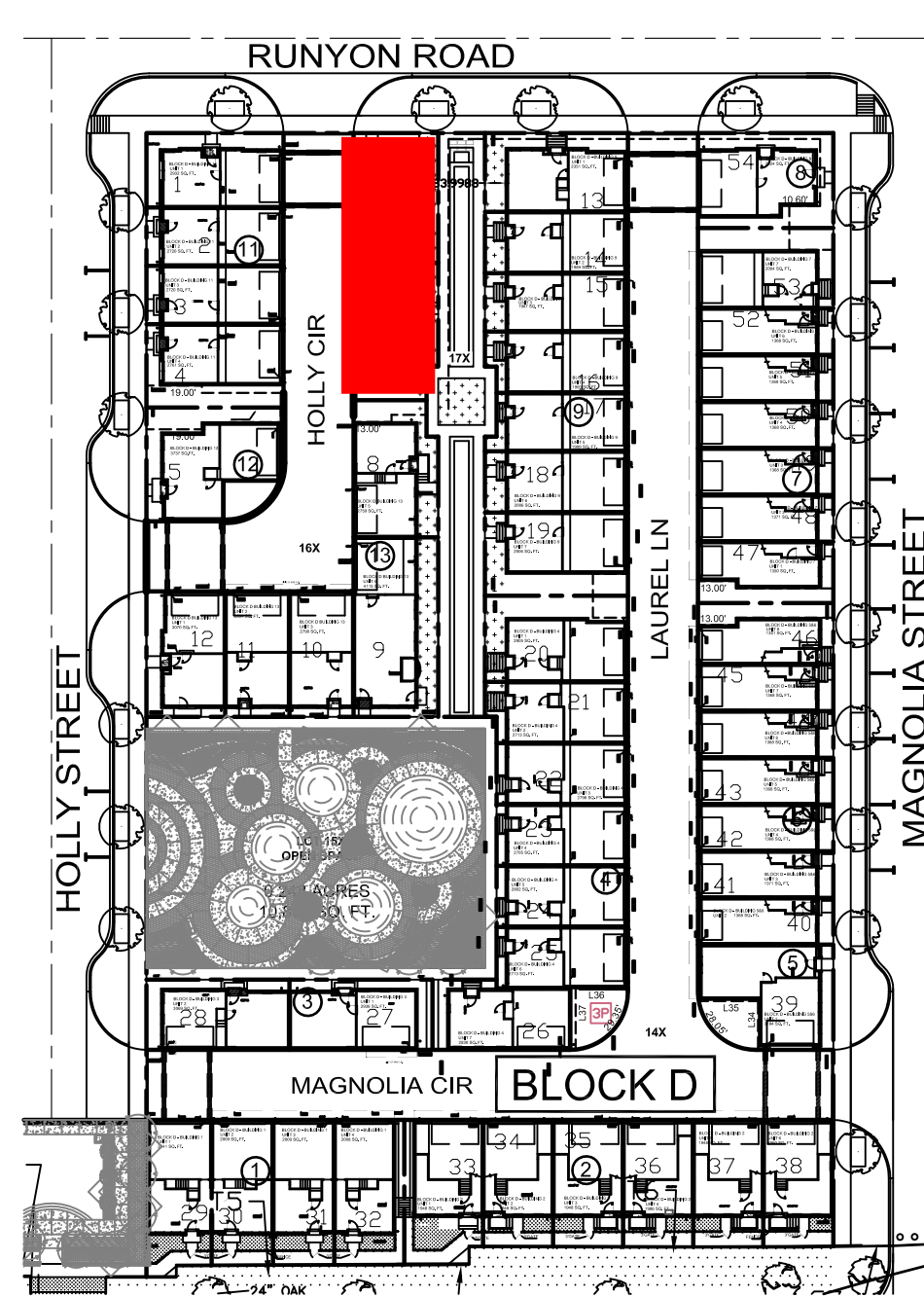
**ADDISON GROVE - BLOCK D - BUILDING 10**  
**WEST/REAR ELEVATION**



PLAN NO.  
UNIT 1 - 2024  
UNIT 2 - 2173

SHEET NO.  
**A-49**

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877



UNIT 4  
LOT 4  
BUILDING 11  
south/right(neighbor) elevation  
SCALE: 1/4" = 1'-0"  
0 4 8'

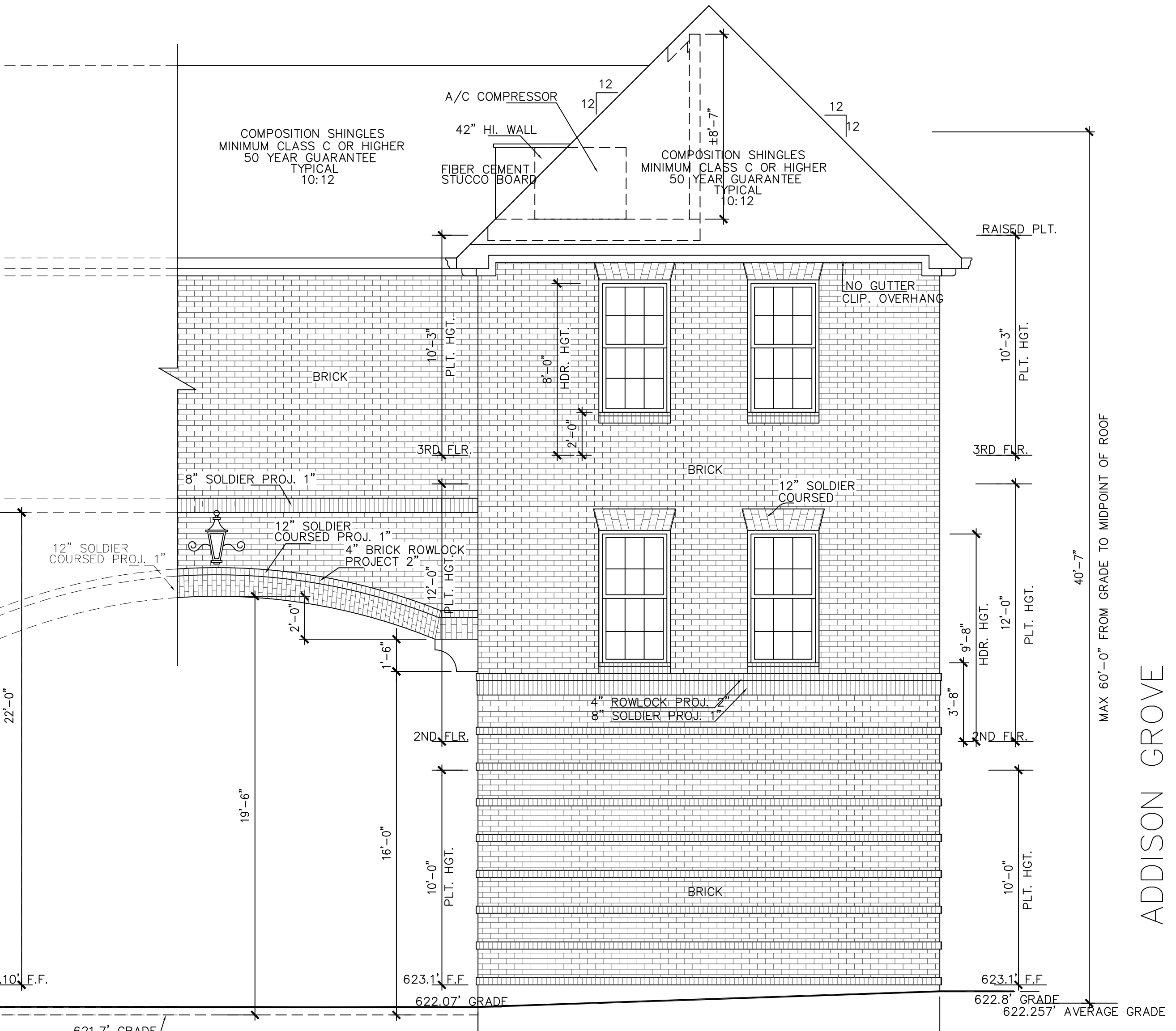
**LEGEND**

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

**SOUTH/LEFT MATERIAL CALCULATION TABLE**

BRICK	833	99.0%
STUCCO BOARD	6	0.7%
ACCENT MATERIAL	2	0.3%
TOTAL SURFACE AREA	841	

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UNIT 1  
LOT 7  
BUILDING 10  
south/left(neighbor) elevation  
SCALE: 1/4" = 1'-0"  
0 4 8'



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PHONE: 713-961-3877

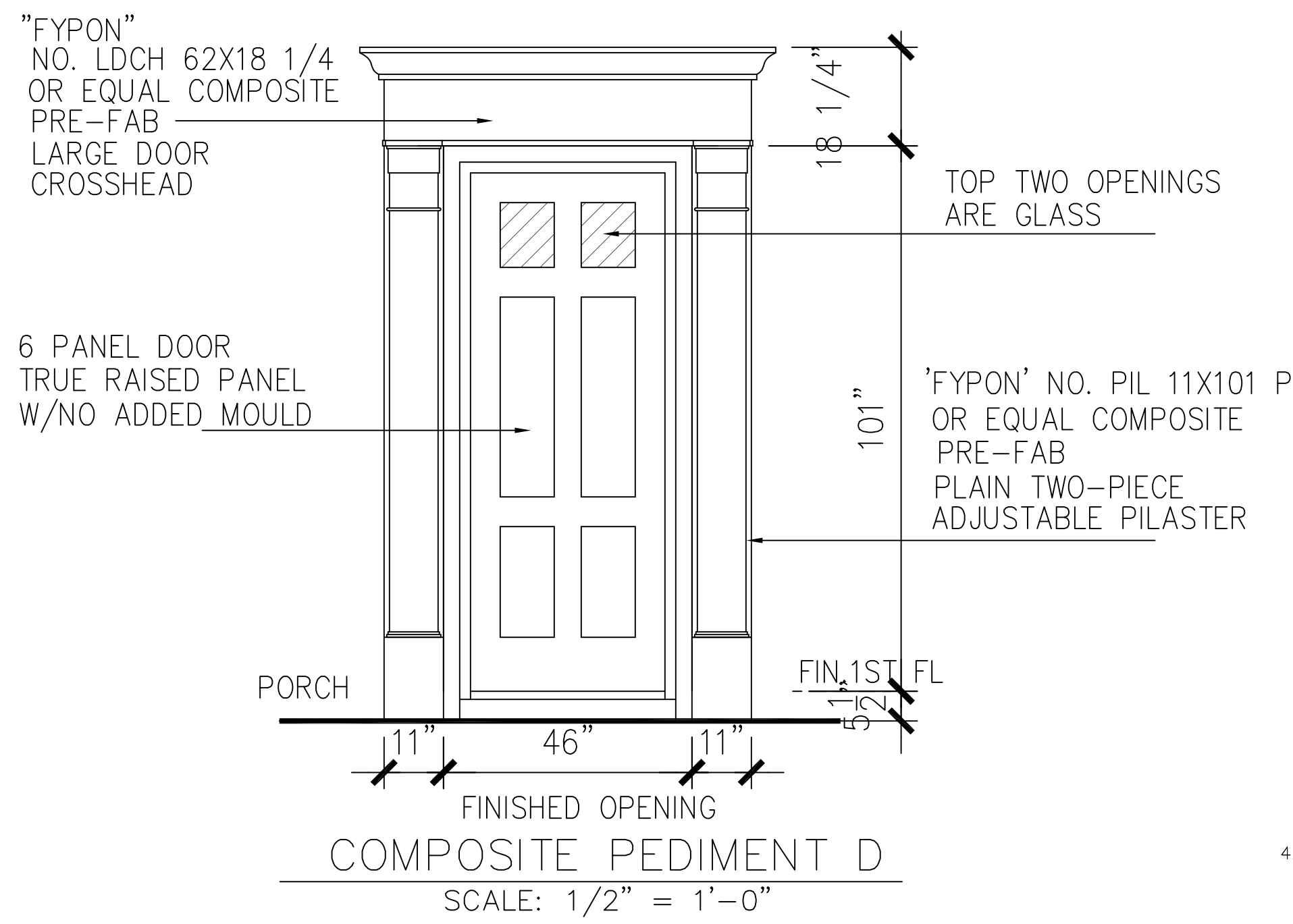
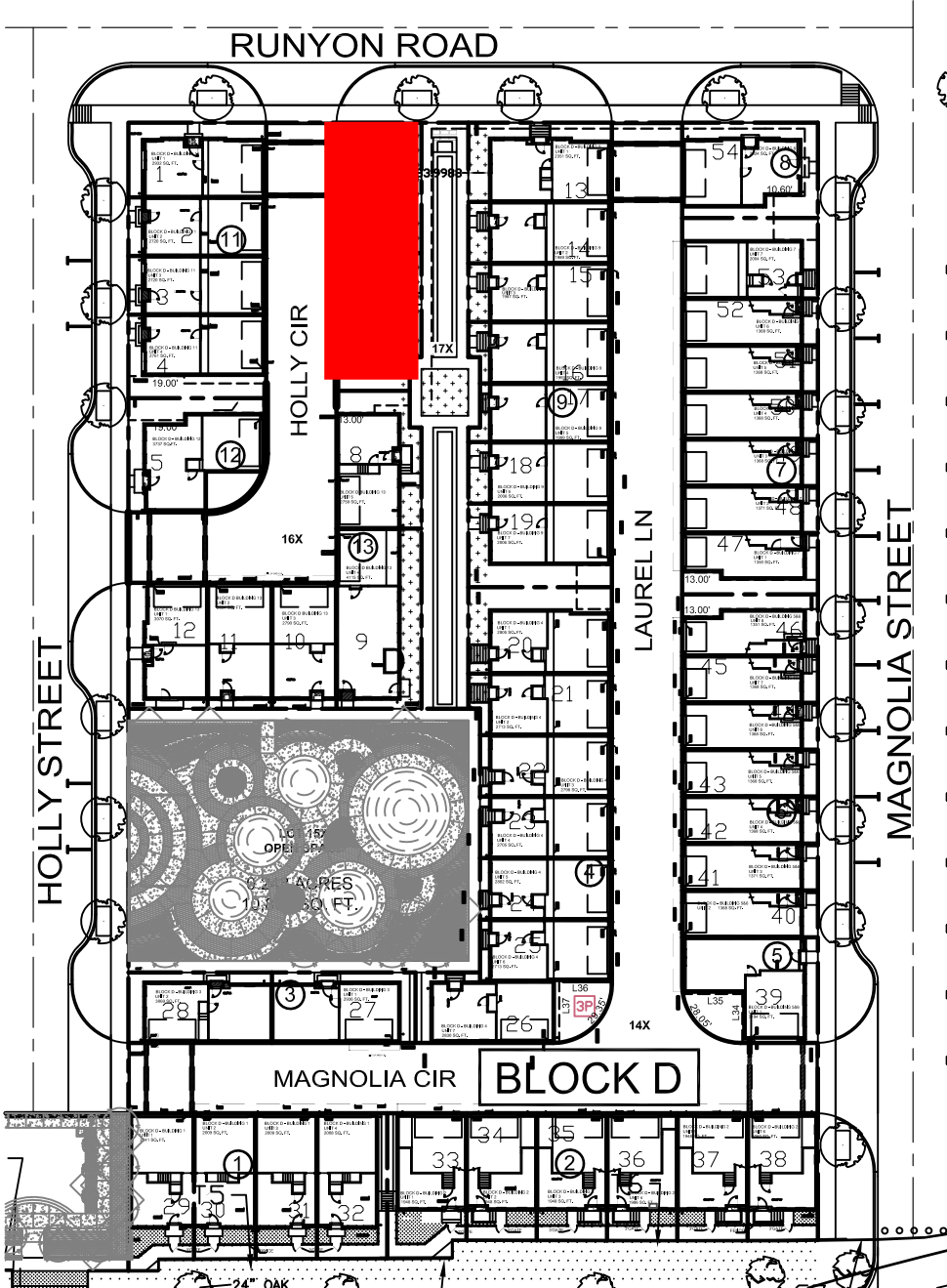
Drawn By/Checked By: J.C./F.M.  
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**ADDISON GROVE - BLOCK D - BUILDING 10**  
**SOUTH / LEFT ELEVATIONS**

PLAN NO.  
UNIT 1 - 2024  
UNIT 2 - 2173

SHEET NO.  
**A-50**

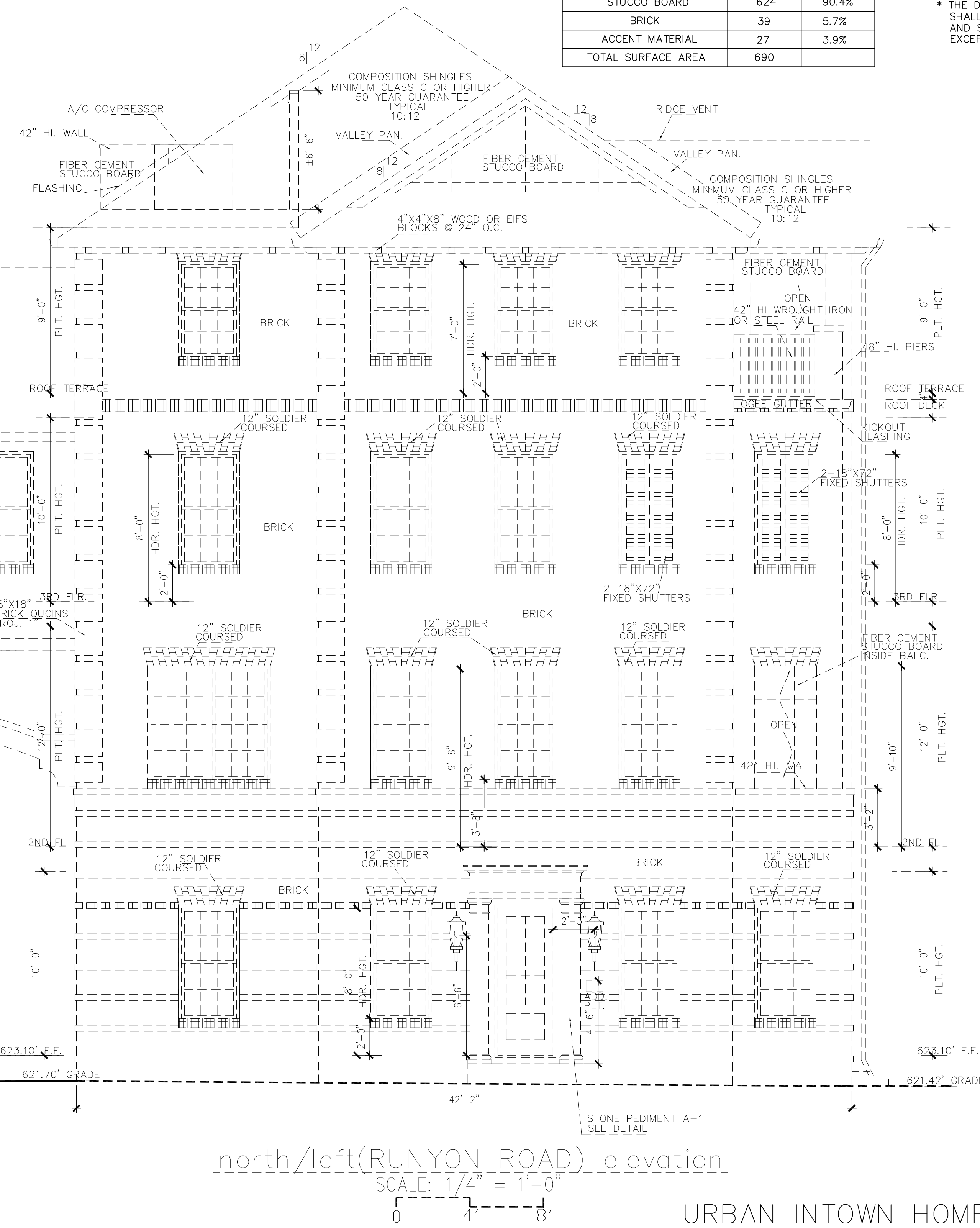
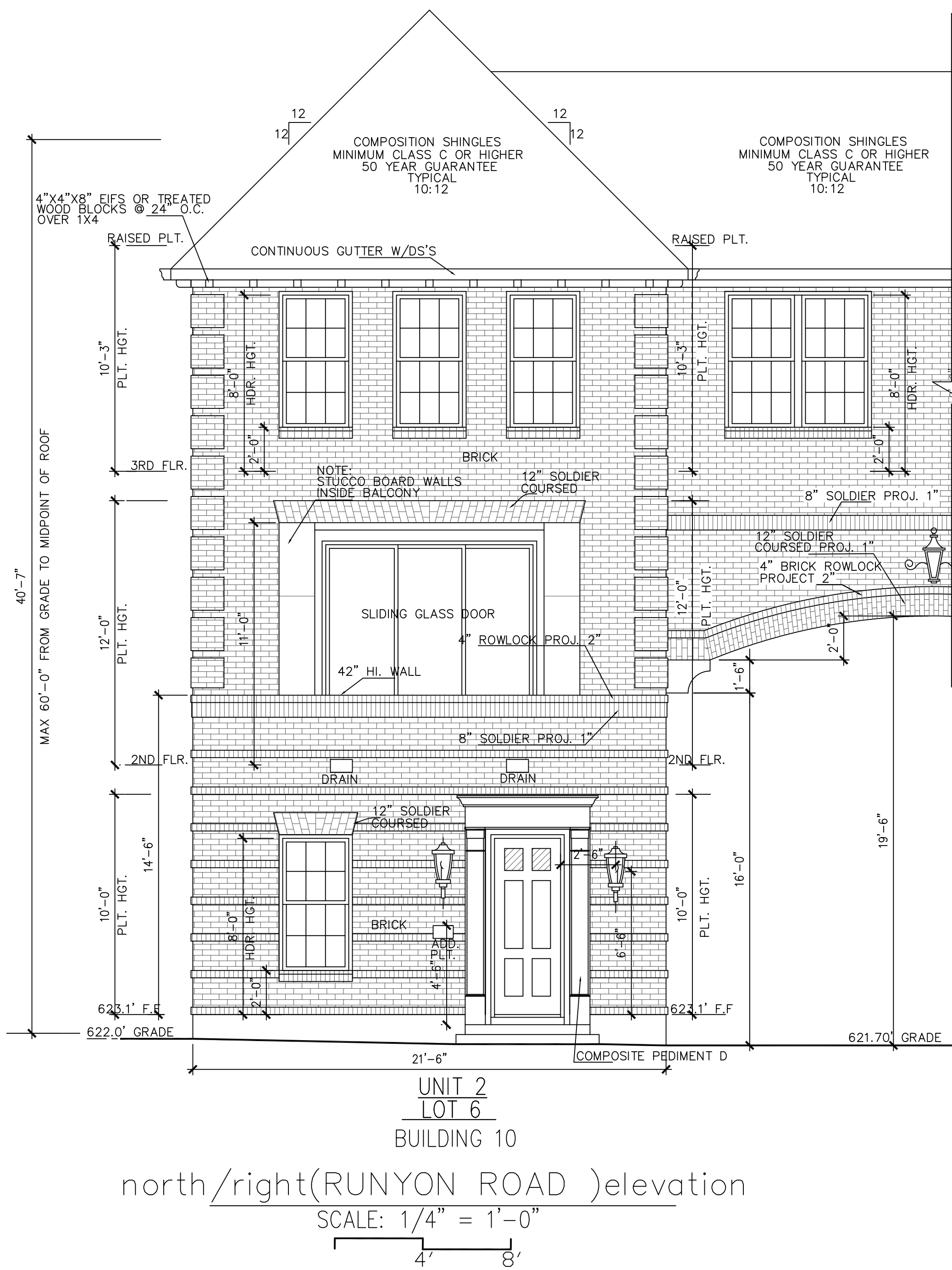


- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - COMPOSITE PEDIMENT (ACCENT MATERIAL)
  - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
  - CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

**NORTH/RIGHT MATERIAL CALCULATION TABLE**

STUCCO BOARD	624	90.4%
BRICK	39	5.7%
ACCENT MATERIAL	27	3.9%
<b>TOTAL SURFACE AREA</b>	<b>690</b>	

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UNIT 2  
LOT 6  
BUILDING 10  
north/right(RUNYON ROAD) elevation  
SCALE: 1/4" = 1'-0"

north/left(RUNYON ROAD) elevation  
SCALE: 1/4" = 1'-0"

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

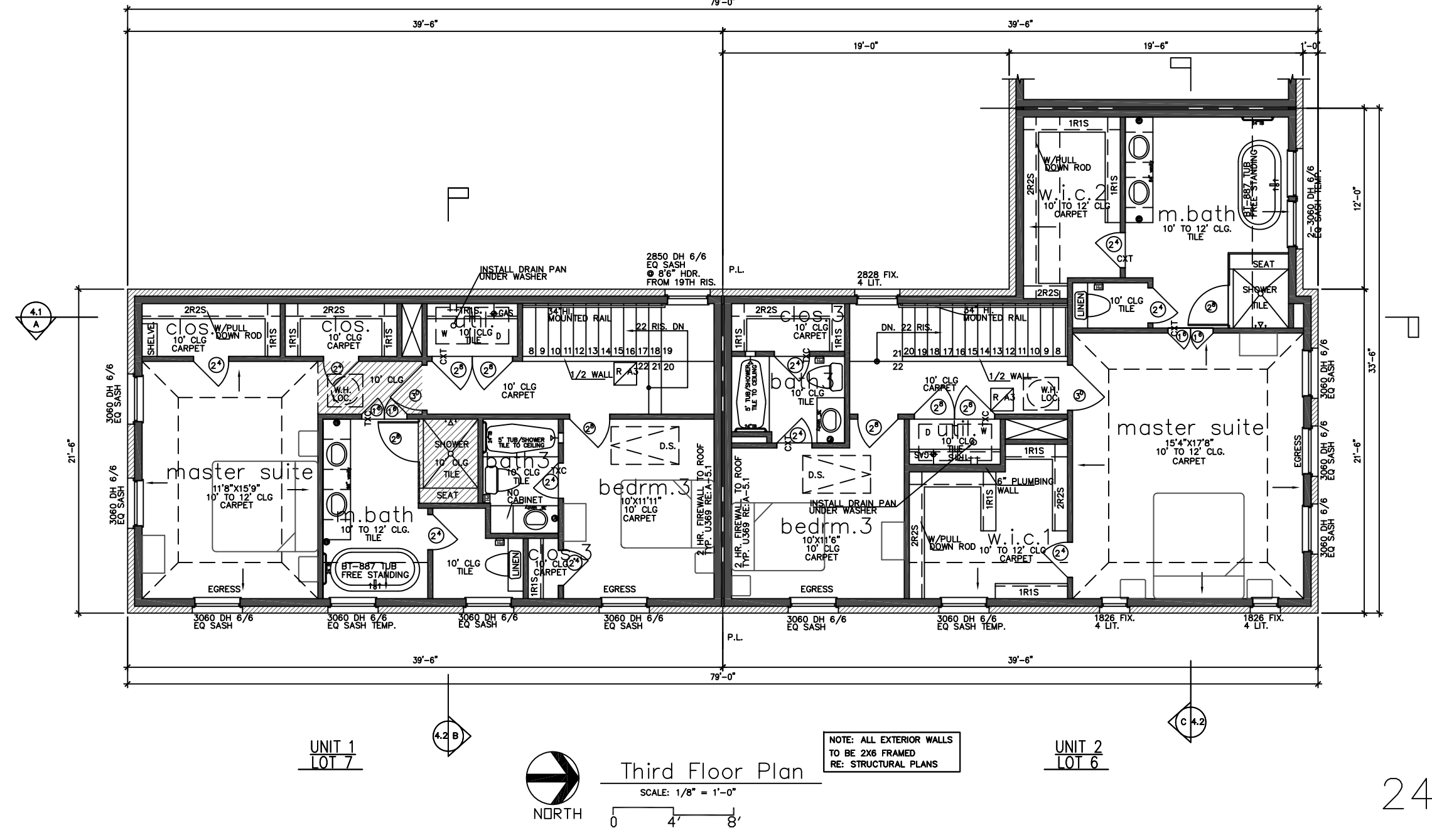
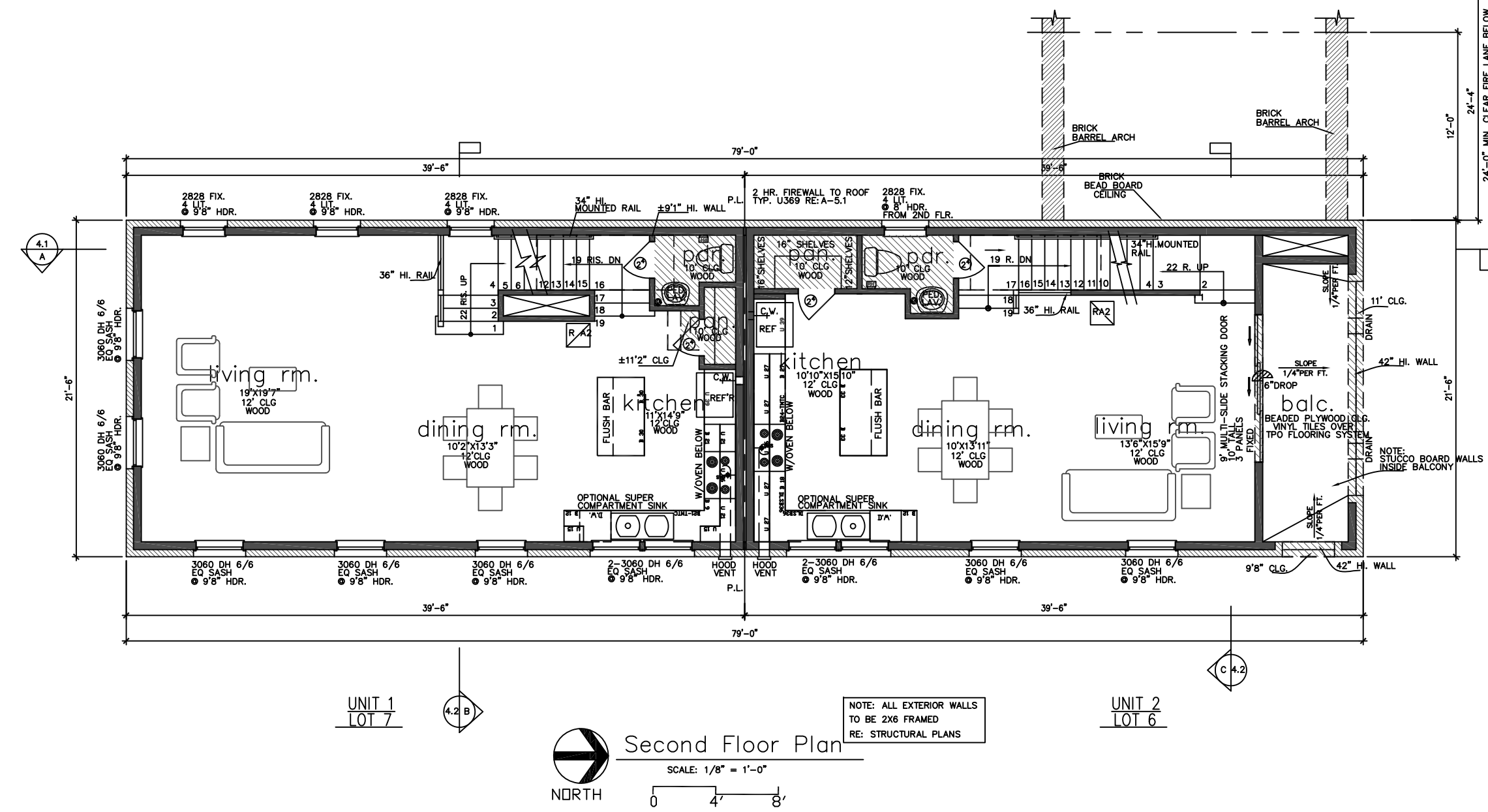
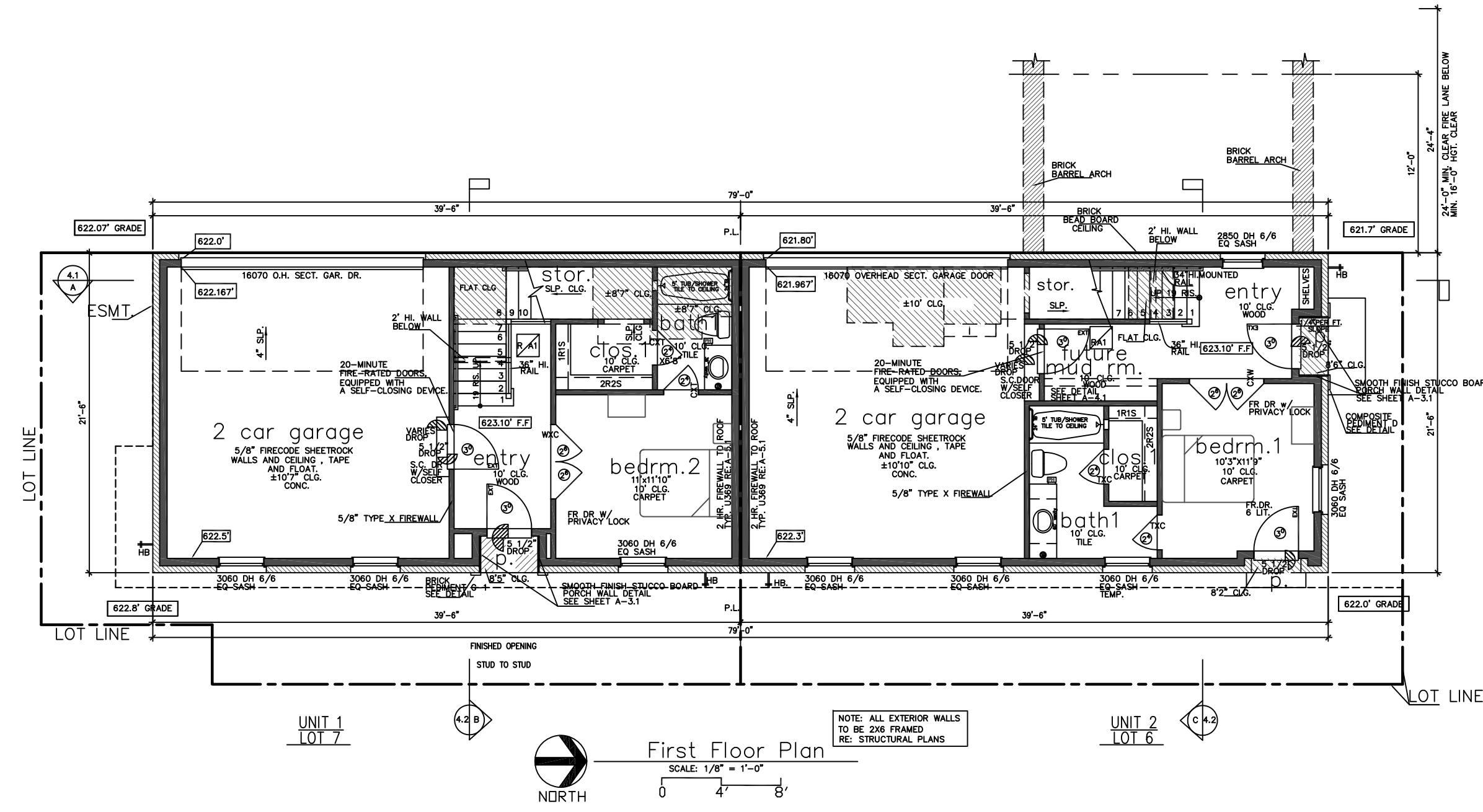
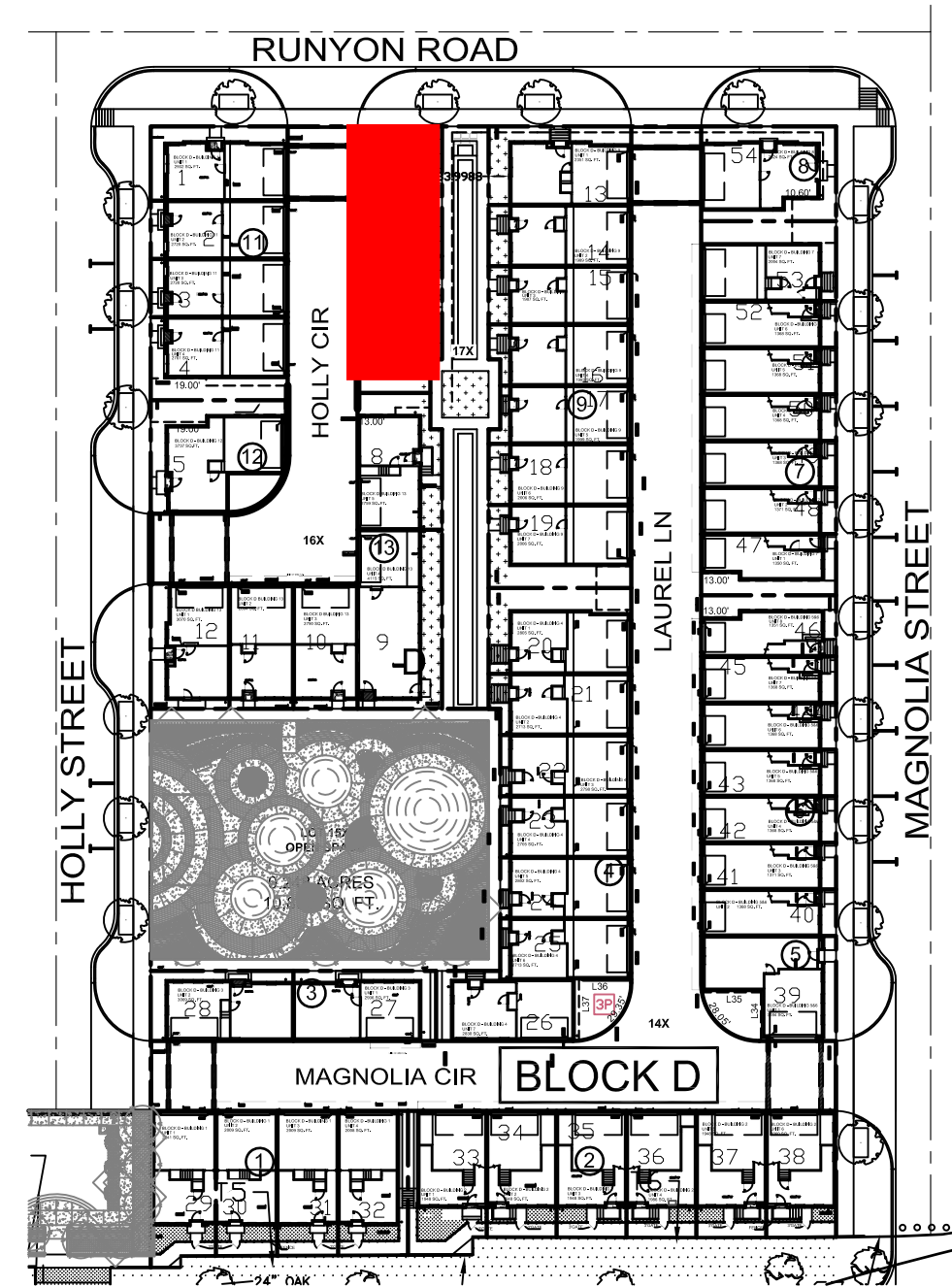


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ADDISON GROVE -BLOCK D - BUILDING 10  
 NORTH/RIGHT ELEVATION

PLAN NO.  
 UNIT 1 - 2024  
 UNIT 2 - 2173  
 SHEET NO.  
**A-51**



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2024	3
UNIT 2	2173	3

NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE USED THEY SHALL BE LISTED LABELED IN ACCORDANCE WITH UL 203 AS REQUIRED BY THE IRC SECTION 309.4

NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

**Unit 1 square footage**

FIRST FLOOR	484
SECOND FLOOR	849
THIRD FLOOR	773
TOTAL LIVING AREA	2106
PORCH	4
BALCONY	8
UNCOVERED AT BOOK	84
TOTAL SLAB AREA	84

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE PRESENT DIMENSIONS IN GENERAL. FOOTING MAY VARY. ACTUAL SQUARE FOOTAGE MAY VARY.

**Unit 2 square footage**

FIRST FLOOR	483
SECOND FLOOR	729
THIRD FLOOR	882
TOTAL LIVING AREA	2104
PORCH	4
BALCONY	8
UNCOVERED AT BOOK	84
TOTAL SLAB AREA	84

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE PRESENT DIMENSIONS IN GENERAL. FOOTING MAY VARY. ACTUAL SQUARE FOOTAGE MAY VARY.

**total all 2 units**

FIRST FLOOR	967
SECOND FLOOR	1578
THIRD FLOOR	1655
TOTAL LIVING AREA	3210
PORCH	8
BALCONY	16
UNCOVERED AT BOOK	168
TOTAL SLAB AREA	168

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE PRESENT DIMENSIONS IN GENERAL. FOOTING MAY VARY. ACTUAL SQUARE FOOTAGE MAY VARY.

ADDISON GROVE



Drawn By/Checked By: J.O./F.M.  
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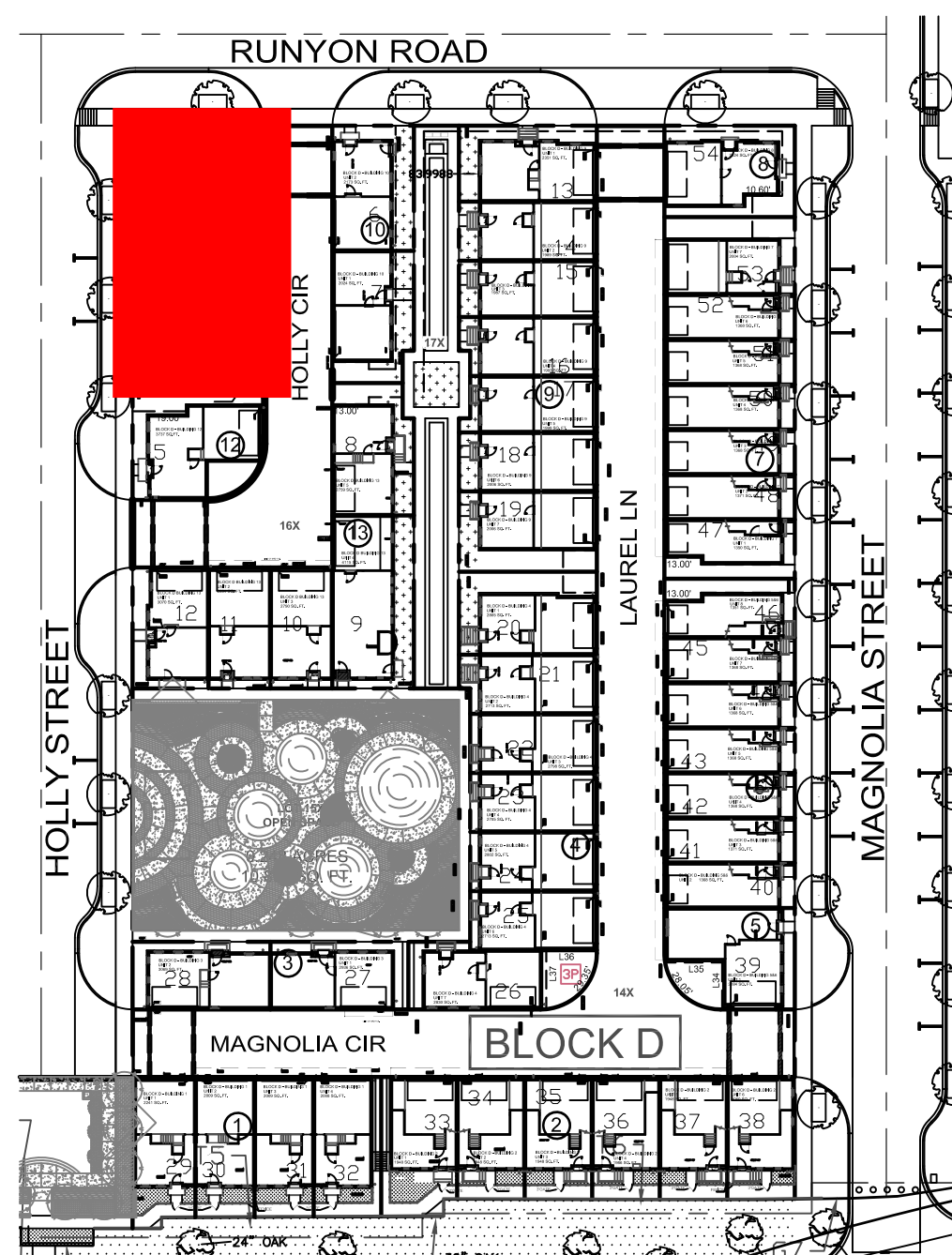
**ADDISON GROVE - BLOCK D - BUILDING 10**  
**FLOOR PLANS**

PLAN NO.  
 UNIT 1 - 2024  
 UNIT 2 - 2173

SHEET NO.  
**A-52**

URBAN INTOWN HOMES  
 2410 POLK ST, STE 200, HOUSTON, TX 77003  
 PHONE: 713-961-3877





TOTAL MATERIAL CALCULATION TABLE		
BRICK	8228	90.5%
FIBER CEMENT STUCCO BOARD	448	4.9%
ACCENT MATERIAL	457	5.6%
TOTAL SURFACE AREA	9089	

WEST/FRONT MATERIAL CALCULATION TABLE		
BRICK	2254	82.4%
FIBER CEMENT STUCCO BOARD	133	4.9%
ACCENT MATERIAL	348	12.7%
TOTAL SURFACE AREA	2735	

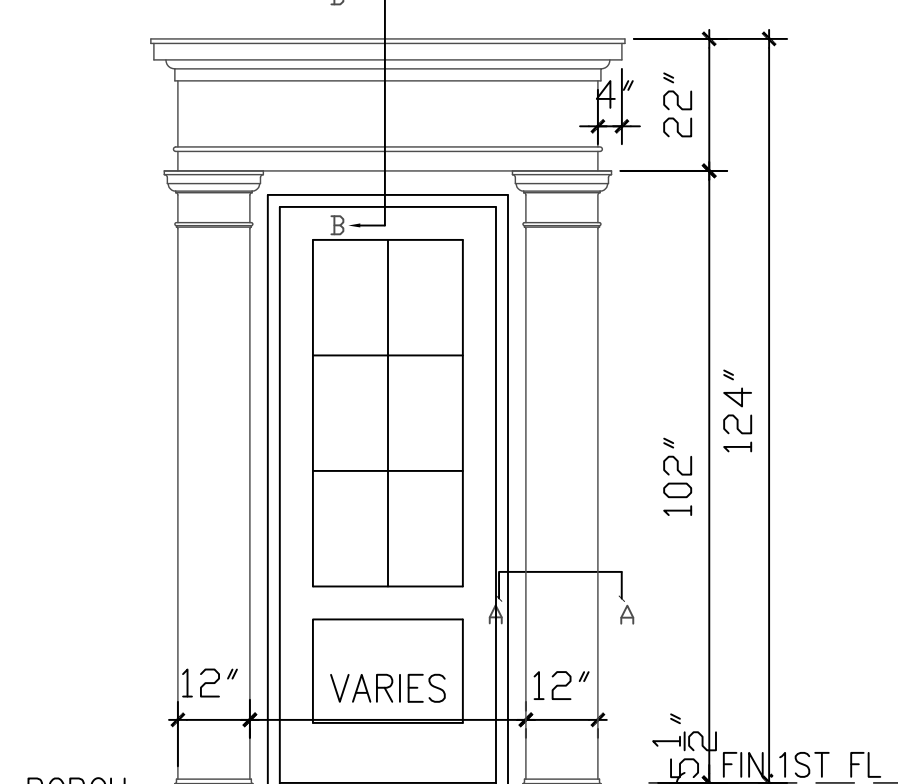
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- STONE PEDIMENT (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- FIX. SHUTTER (ACCENT MATERIAL)
- HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

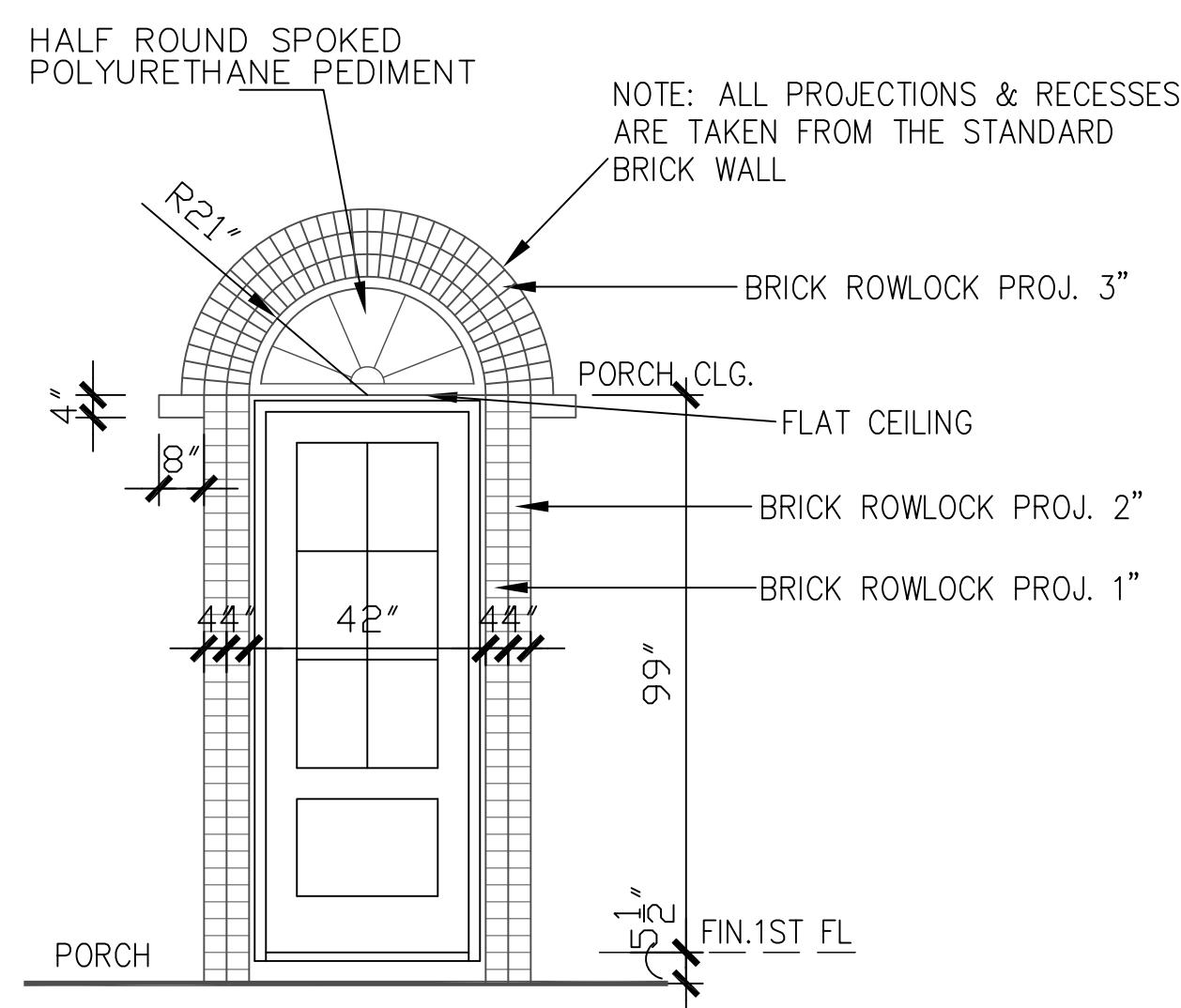
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- \* THE DOMINANT COLOR OF THE BUILDING SHALL BE Muted SHADES COLORS, BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT

NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.

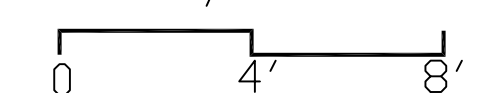


STONE PEDIMENT A-1  
SCALE: 1/2" = 1'-0"



BRICK PEDIMENT E-2  
SCALE: 3/8" = 1'-0"

west/front (HOLLY STREET) elevation  
SCALE: 1/4" = 1'-0"



URBANINTOWNHOMES, L.td.  
 ADDISON GROVE-BLOCK D-BUILDING 11  
 WEST/FRONT ELEVATION  
 ADDISON GROVE

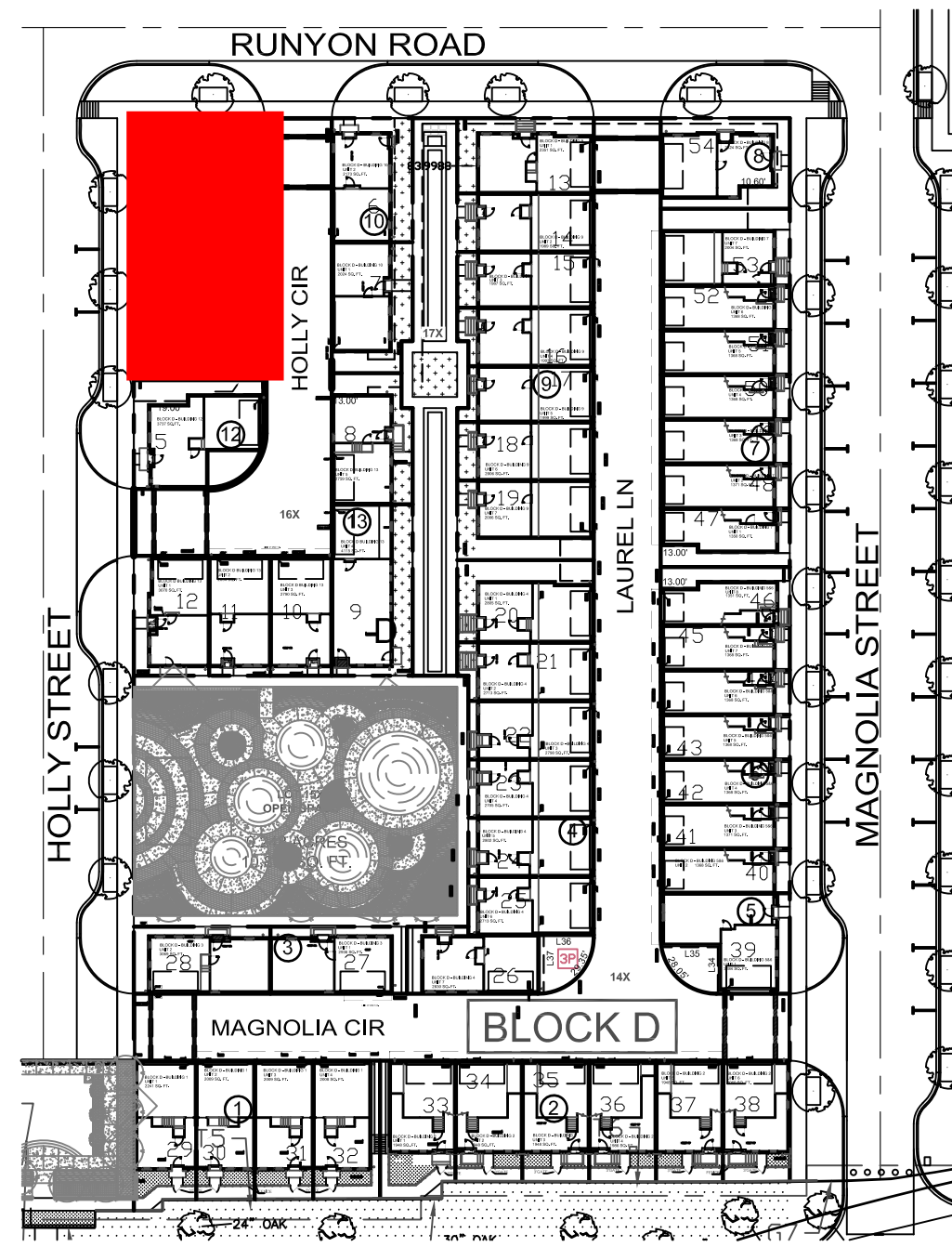
PLAN NO.	DESCRIPTION
UNIT 1	2932
UNIT 2	2720
UNIT 3	2720
UNIT 4	2761

SHEET NO.

A-53



URBAN INTOWN HOMES  
 2410 POLK ST, STE 200, HOUSTON, TX 77003  
 PHONE: 713-961-3877



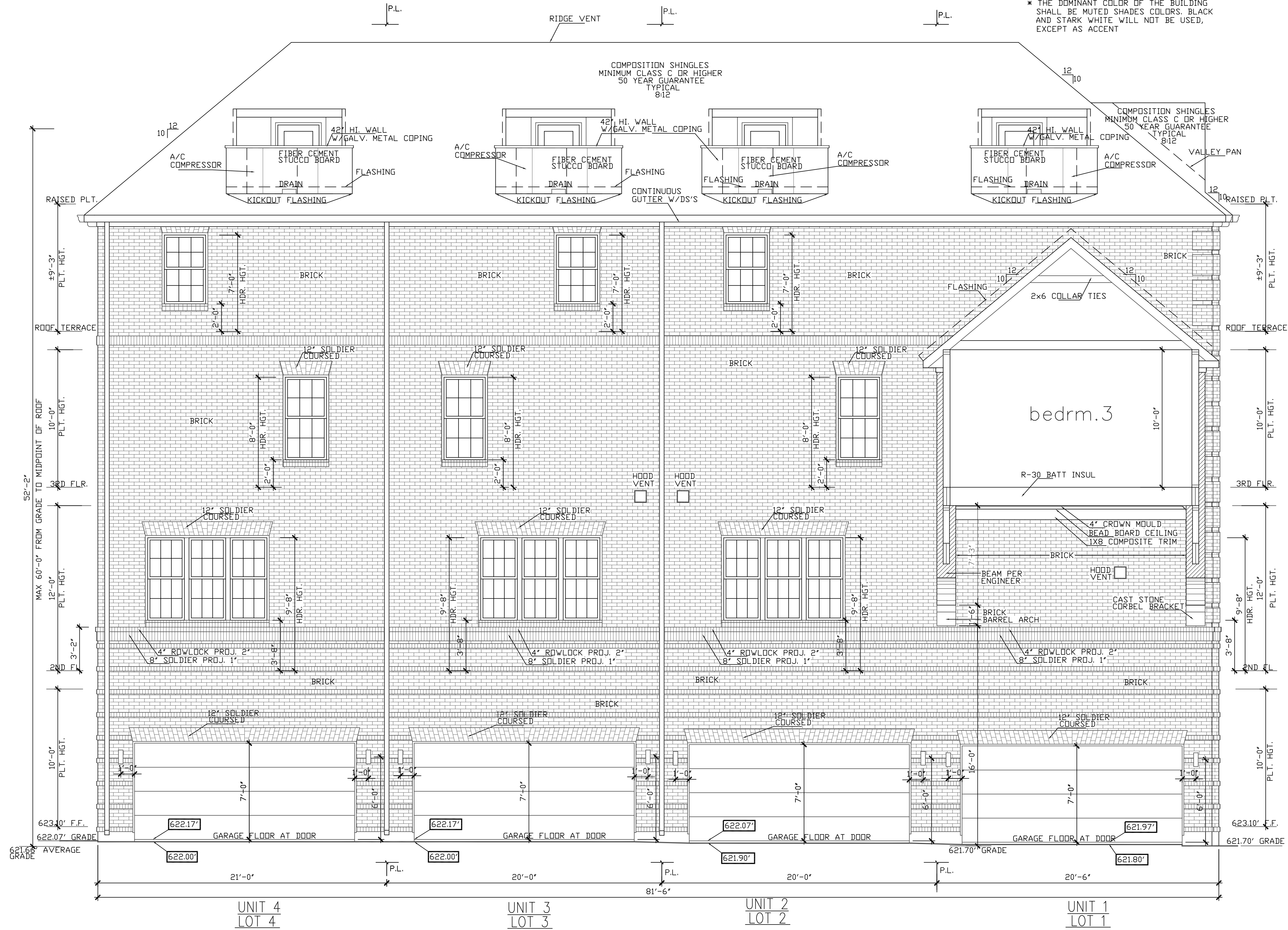
- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL

**EAST/REAR MATERIAL CALCULATION TABLE**

BRICK	2550	93.8%
FIBER CEMENT STUCCO BOARD	168	6.2%
ACCENT MATERIAL	0	0%
TOTAL SURFACE AREA	2718	

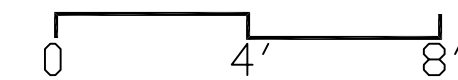
**FACADE PLAN NOTES**

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east/rear(HOLLY CIR) elevation

SCALE: 1/4" = 1'-0"



URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

ADDISON GROVE

ADDISON GROVE-BLOCK D-BUILDING 11  
EAST / REAR ELEVATION

PLAN NO.

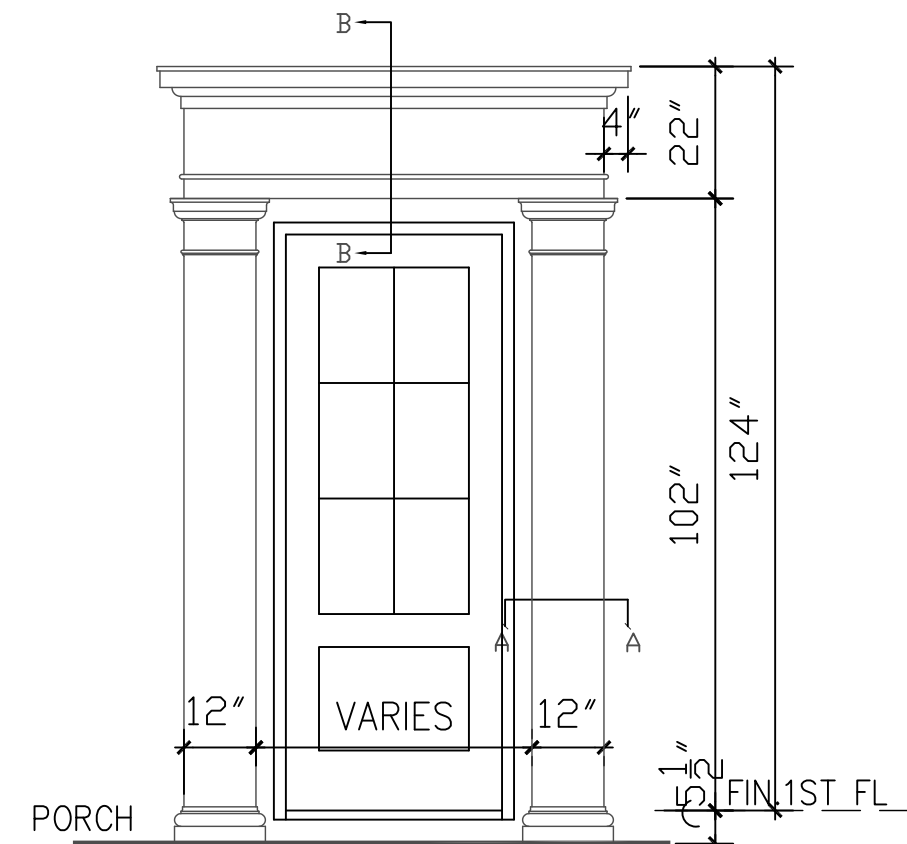
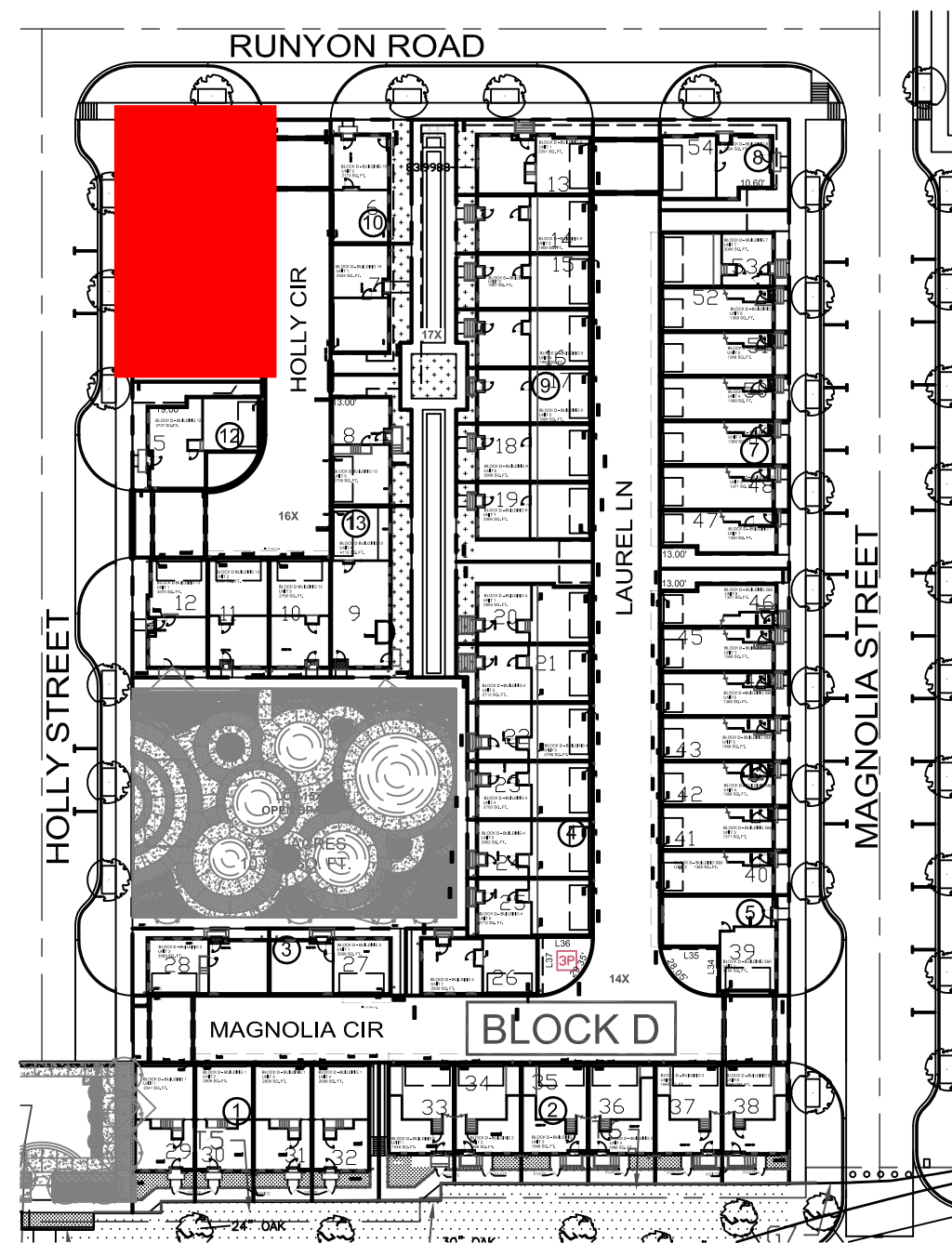
UNIT 1	2932
UNIT 2	2720
UNIT 3	2720
UNIT 4	2761

SHEET NO.  
**A-54**

URBAN INTOWN HOMES, Ltd.

2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: B.M./F.M.  
Original Date Issued: 06/08/2021  
Scale: 1/4" = 1'-0"  
Last Updated: 06/03/2022



STONE PEDIMENT A-1  
SCALE: 1/2" = 1'-0"

NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.

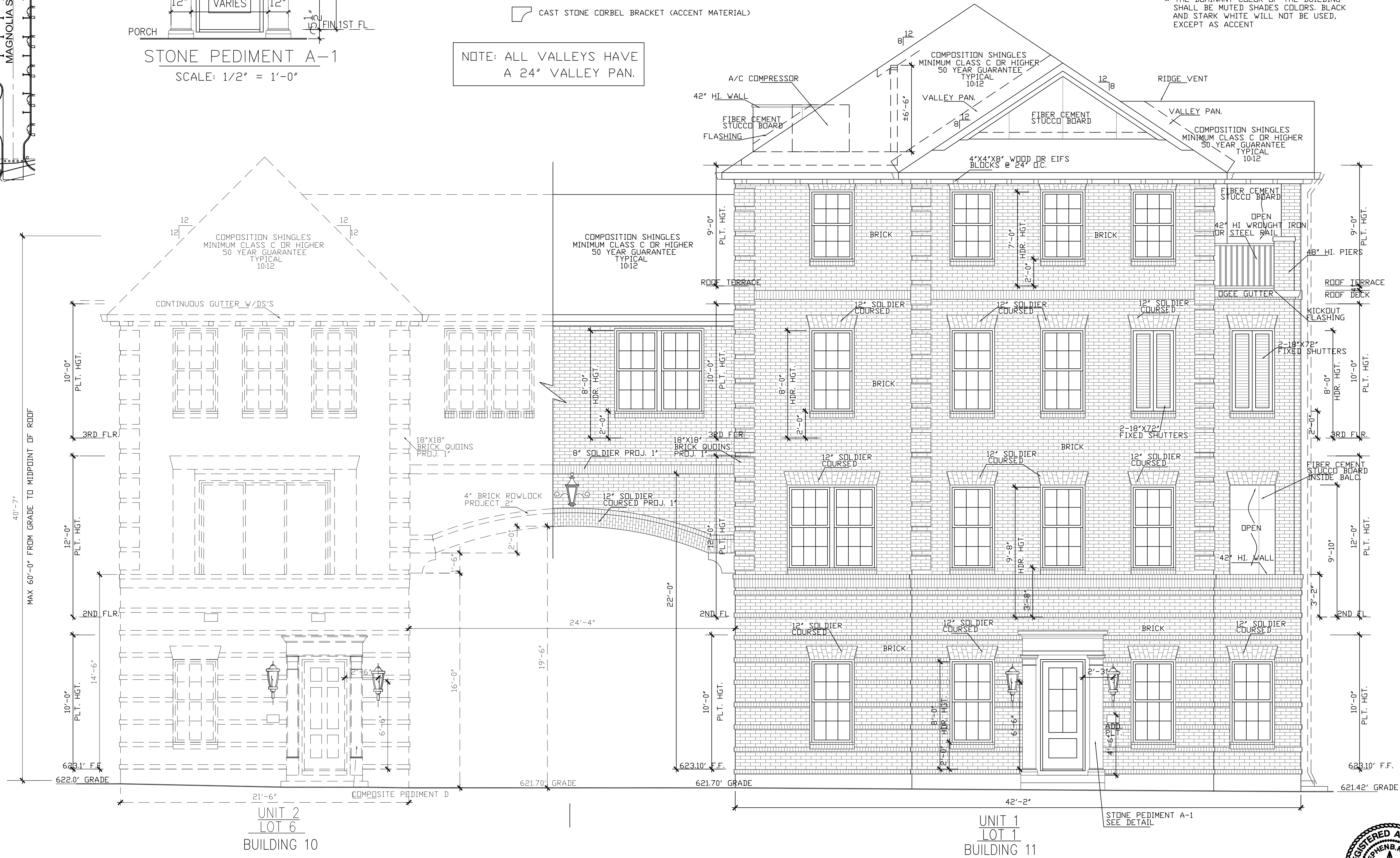
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- STONE PEDIMENT (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- FIX. SHUTTER (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

NDRTH/LEFT MATERIAL CALCULATION TABLE		
BRICK	1522	89.6%
FIBER CEMENT STUCCO BOARD	86	5.1%
ACCENT MATERIAL	91	5.3%
TOTAL SURFACE AREA	1699	

FACADE PLAN NOTES

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north/right(RUNYON ROAD) elevation

SCALE: 1/4" = 1'-0"

north/left(RUNYON ROAD) elevation

SCALE: 1/4" = 1'-0"

ADDISON GROVE

**URBANINTOWNHOMES, Ltd.**

ADDISON GROVE-BLOCK D-BUILDING 11

NORTH / LEFT ELEVATION

PLAN NO.	NO.
UNIT 1	2932
UNIT 2	2720
UNIT 3	2720
UNIT 4	2761

SHEET NO.

**A-55**

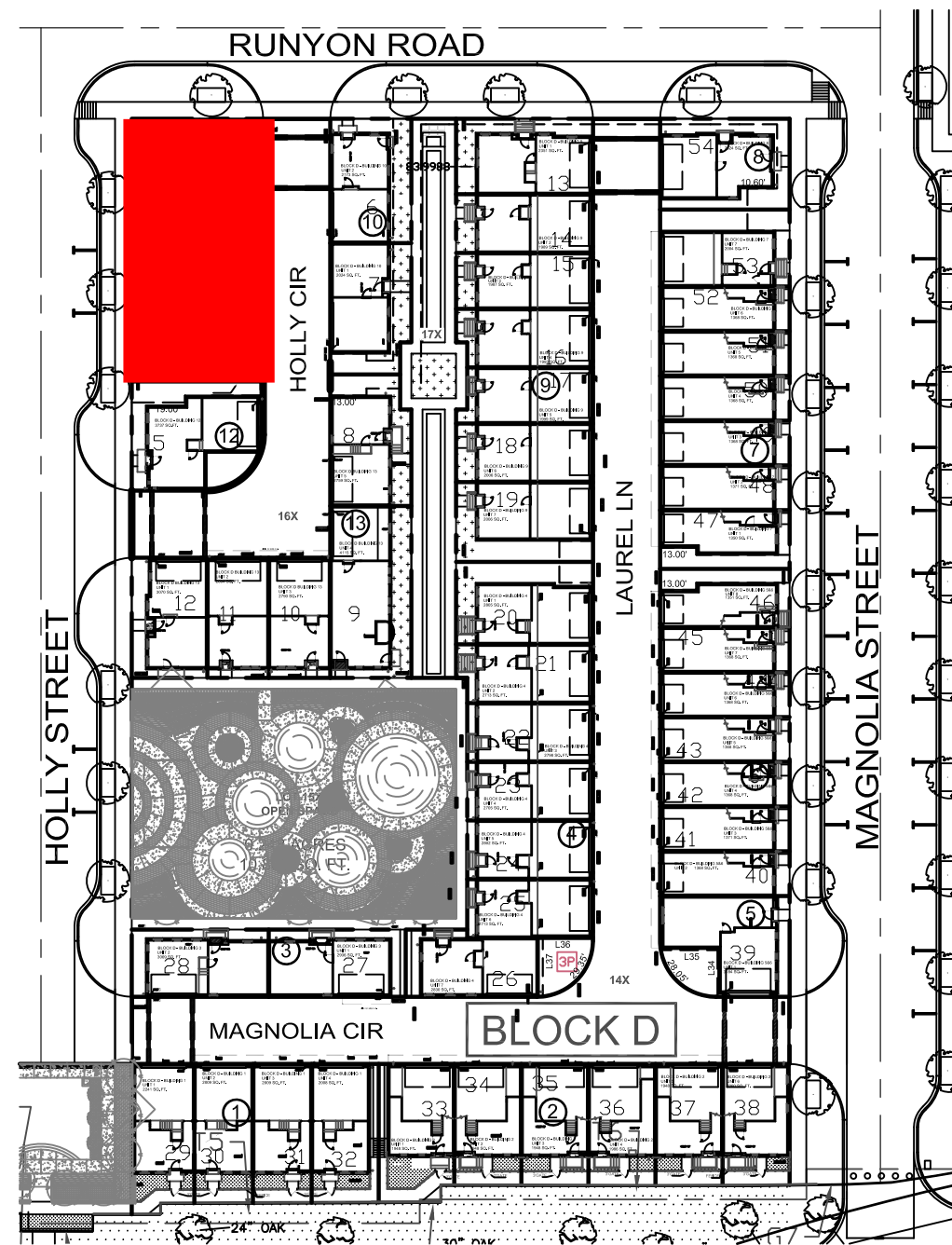


06/06/2022

Drawn By/Checked By: B.M./F.M.  
Original Date/Revised: 06/08/2021  
Scale: 1/4" = 1'-0"  
Last Updated: 06/03/2022

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(713)961-3877 TEL (713)961-4270 FAX

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877



Material	Quantity	Percentage
BRICK	1902	96.0%
FIBER CEMENT STUCCO BOARD	61	3.1%
ACCENT MATERIAL	18	0.9%
TOTAL SURFACE AREA	1981	

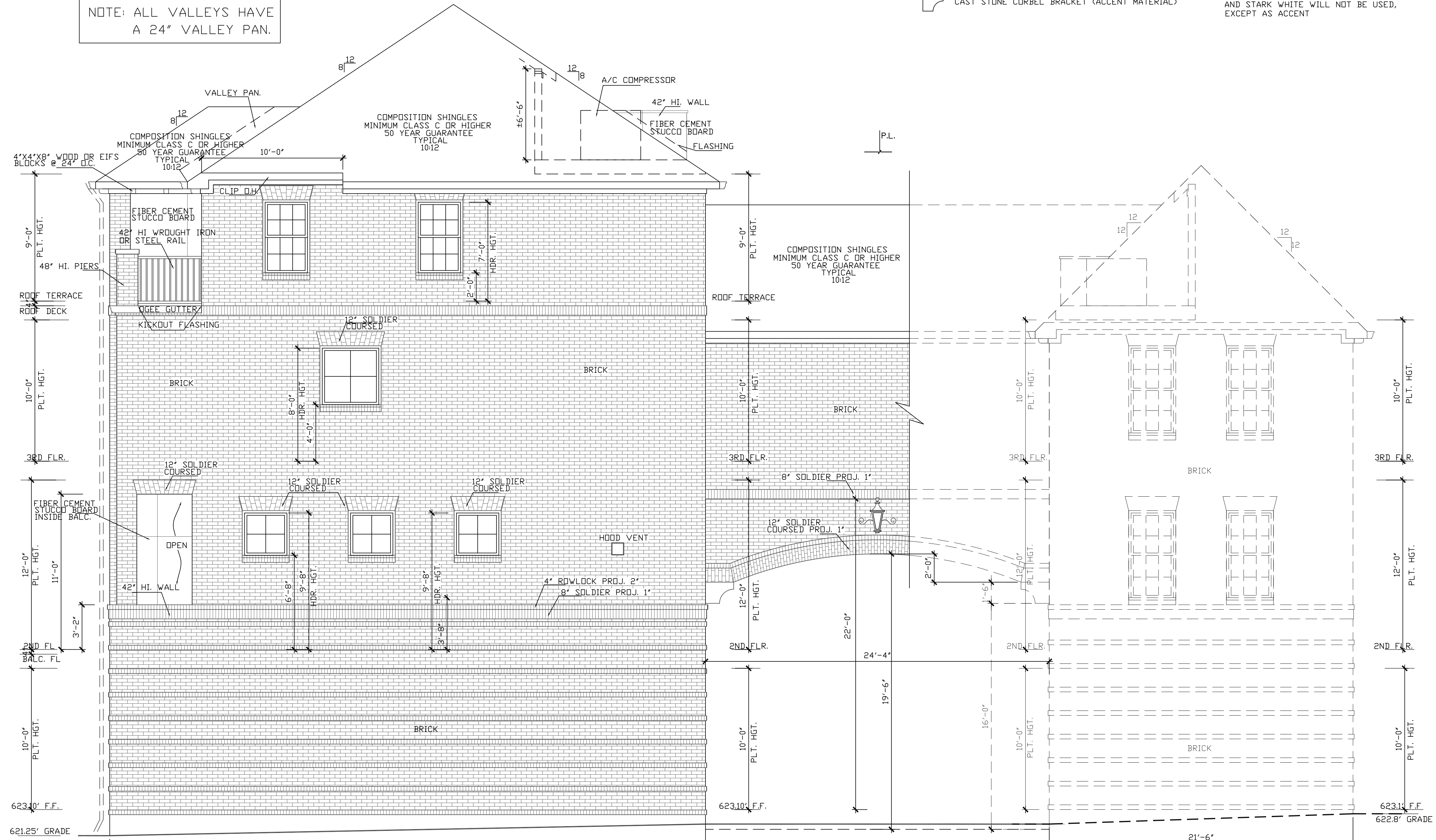
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

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NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.



UNIT 4  
LOT 4  
BUILDING 11  
south/right(neighbor) elevation  
SCALE: 1/4" = 1'-0"  
0 4' 8'

UNIT 1  
LOT 7  
BUILDING 10  
south/left(alley)elevation  
SCALE: 1/4" = 1'-0"  
0 4' 8'

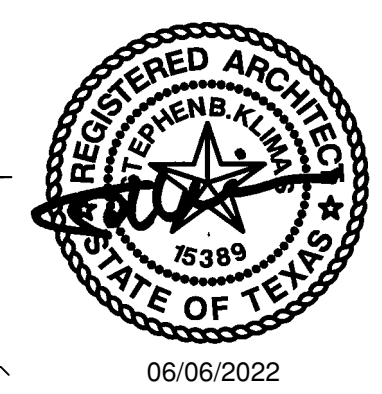
ADDISON GROVE

**URBANINTOWNHOMES, Ltd.**  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX

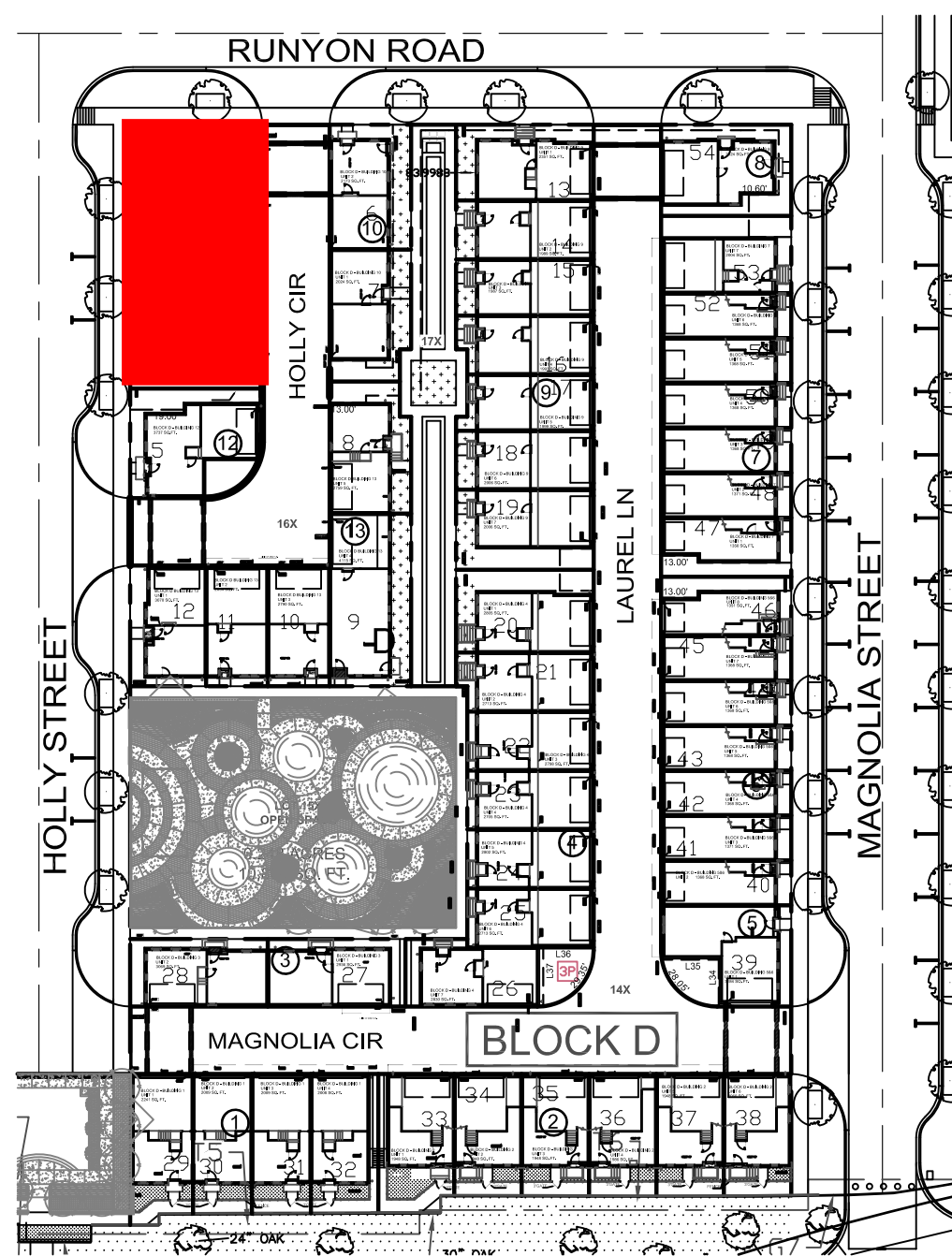
**ADDISON GROVE-BLOCK D-BUILDING 11**  
**SOUTH / RIGHT ELEVATION**

PLAN NO.	UNIT	NO.
UNIT 1	2932	
UNIT 2	2720	
UNIT 3	2720	
UNIT 4	2761	

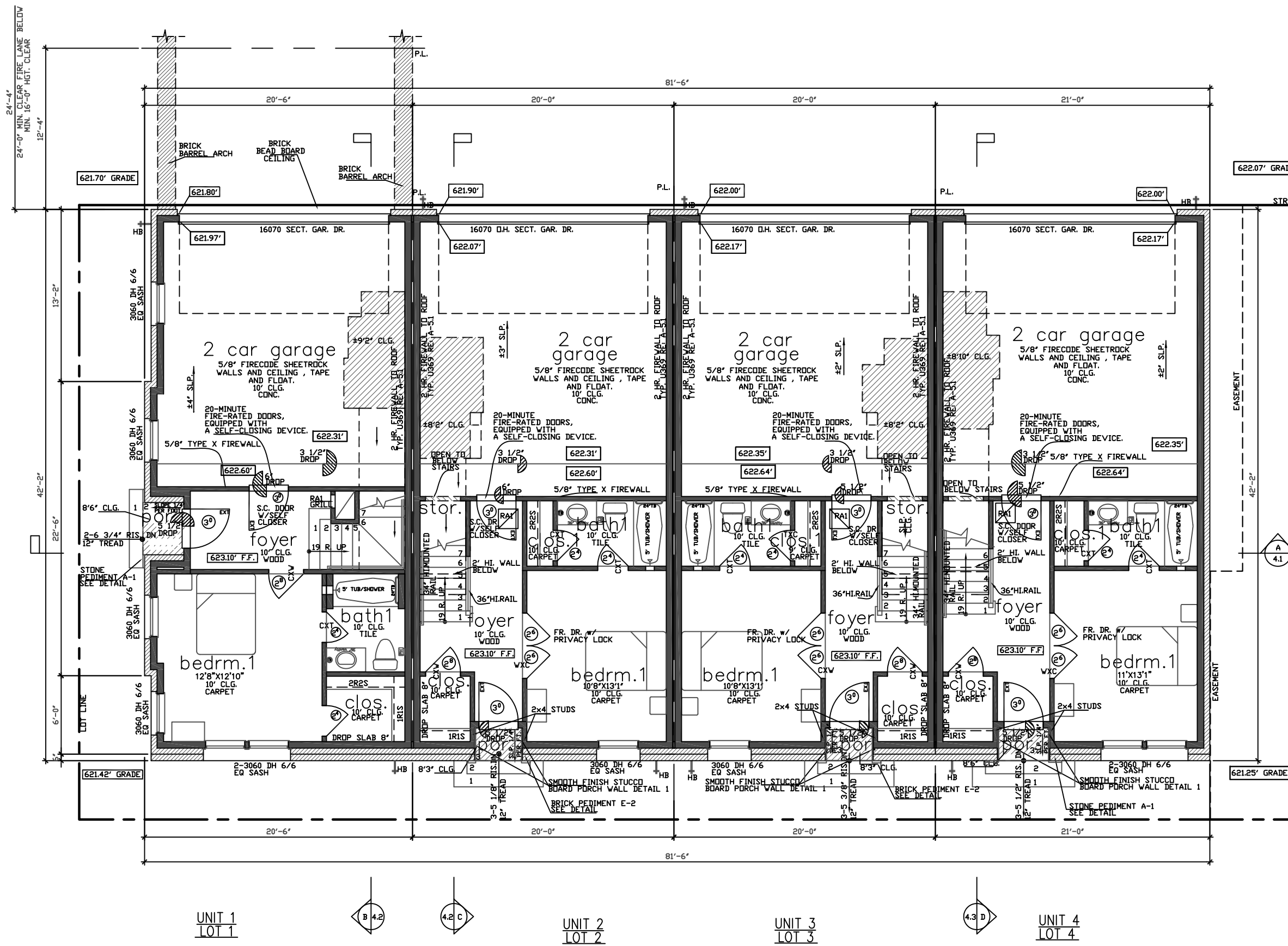
SHEET NO.  
**A-56**



URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2932	4
UNIT 2	2720	4
UNIT 3	2720	4
UNIT 4	2761	4



unit 1 square footage

FIRST FLOOR	407
SECOND FLOOR	760
THIRD FLOOR	1086
ROOF TERRACE	177
TOTAL LIVING AREA	2130
PORCH	102
GARAGE	432
COVERED ROOF DECK	31
UNCOVERED ROOF DECK	80
TOTAL SLAB AREA	315

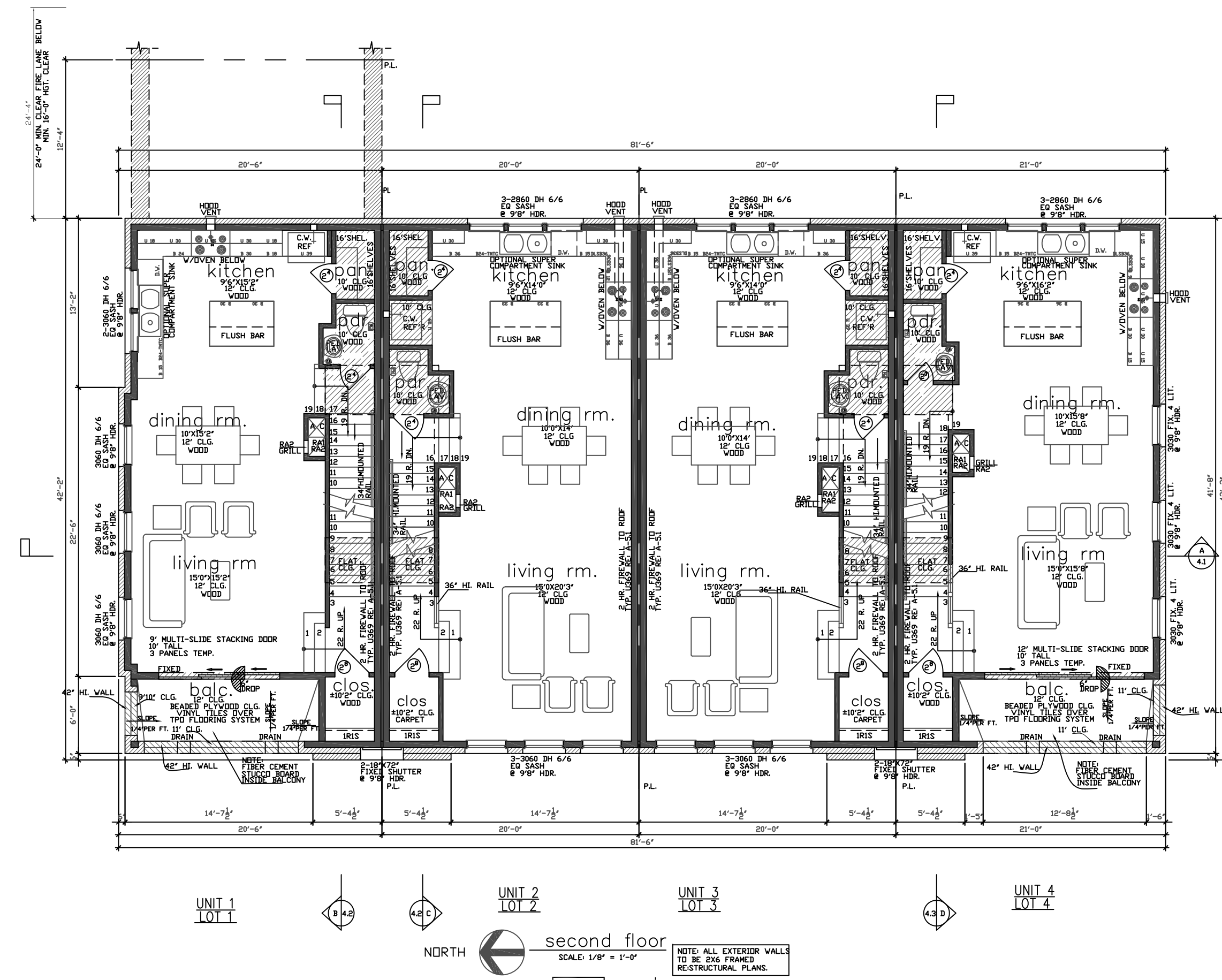
unit 2&3 square footage

FIRST FLOOR	395
SECOND FLOOR	806
THIRD FLOOR	806
ROOF TERRACE	833
TOTAL LIVING AREA	2796
PORCH	428
GARAGE	428
COVERED ROOF DECK	42
UNCOVERED ROOF DECK	80
TOTAL SLAB AREA	833

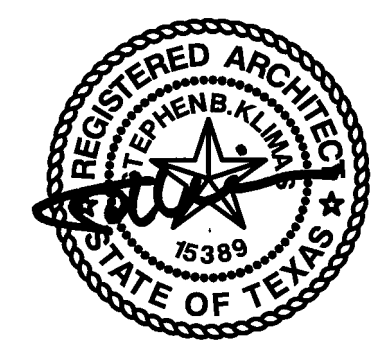
unit 4 square footage

FIRST FLOOR	414
SECOND FLOOR	774
THIRD FLOOR	878
ROOF TERRACE	685
TOTAL LIVING AREA	2751
PORCH	8
GARAGE	461
COVERED ROOF DECK	42
UNCOVERED ROOF DECK	80
TOTAL SLAB AREA	875

first floor  
SCALE: 1/8" = 1'-0"  
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMER RESTRUCTURAL PLANS.  
NOTE: AUTOMATIC GARAGE DOOR OPENER ARE USED THEY SHALL BE LISTED UNDER IN COMPLIANCE WITH UL 2025 AS REQUIRED IN THE IRC SECTION R320.4  
NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.



second floor  
SCALE: 1/8" = 1'-0"  
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMER RESTRUCTURAL PLANS.



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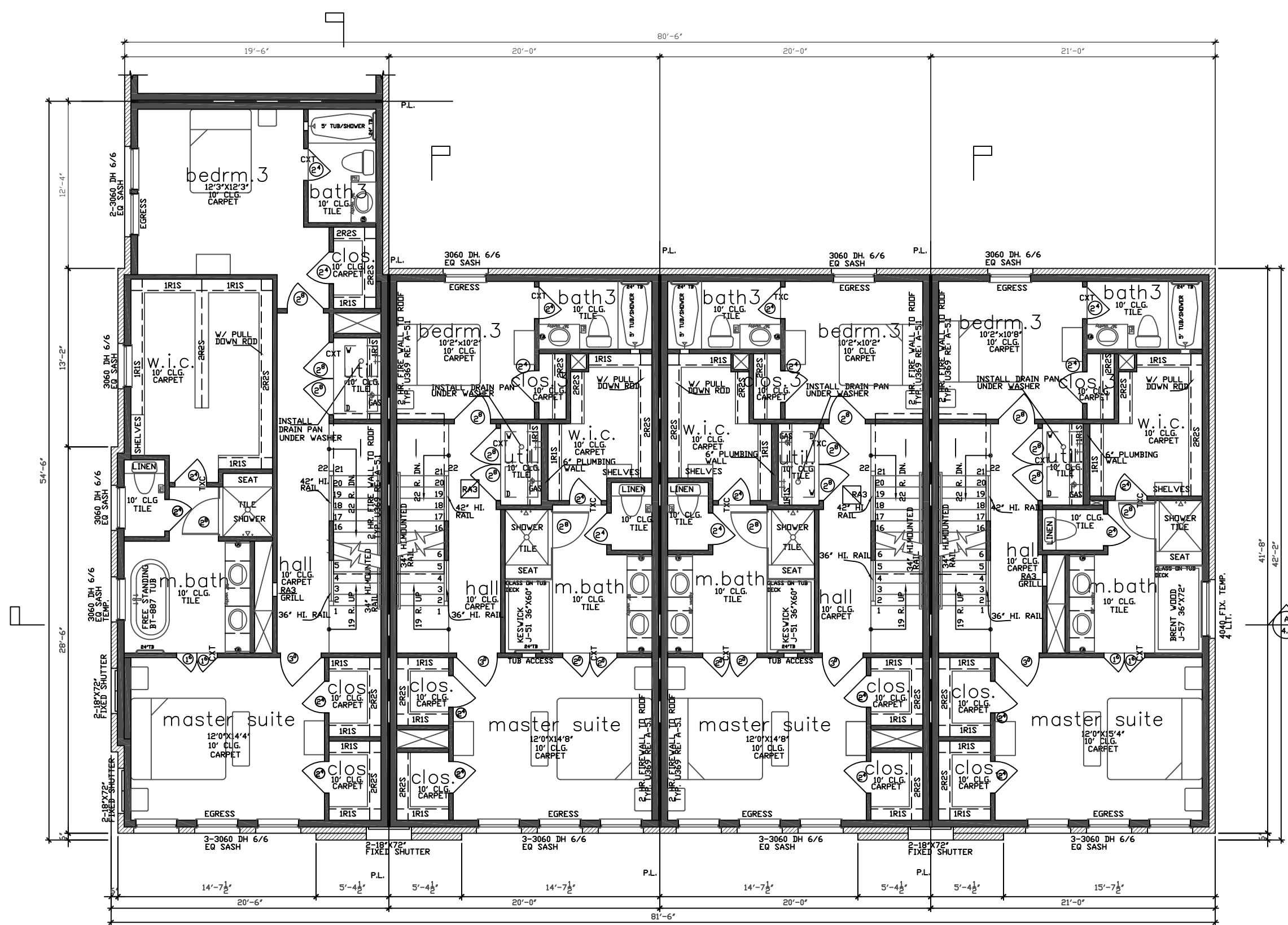
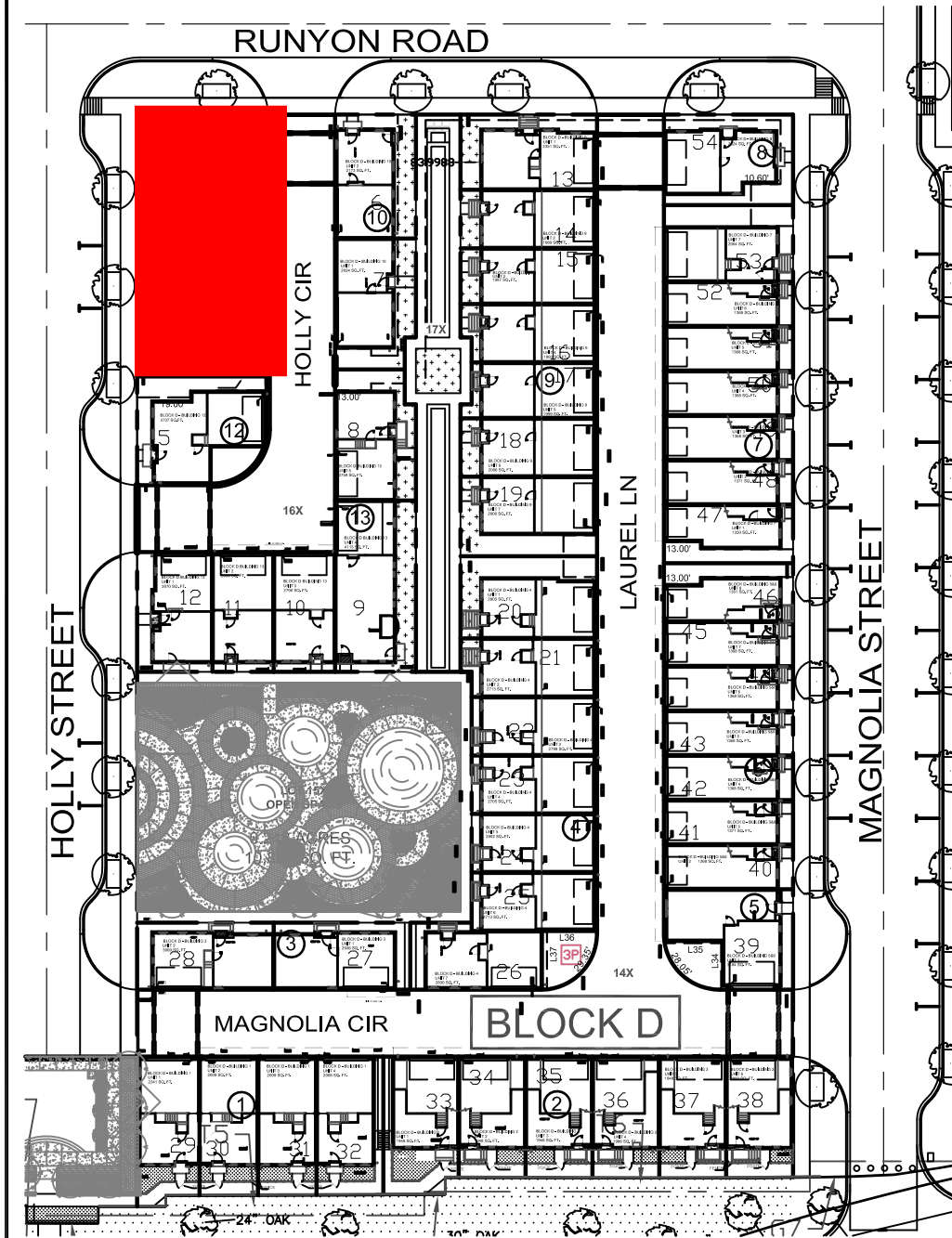
Drawn By/Checked By: B.M./F.M.  
Original Date Issued: 06/08/2021  
Scale: 1/8" = 1'-0"  
Last Updated: 06/03/2022

**URBAN INTOWN HOMES, Ltd.**  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE-BLOCK D-BUILDING 11  
**FLOOR PLAN**

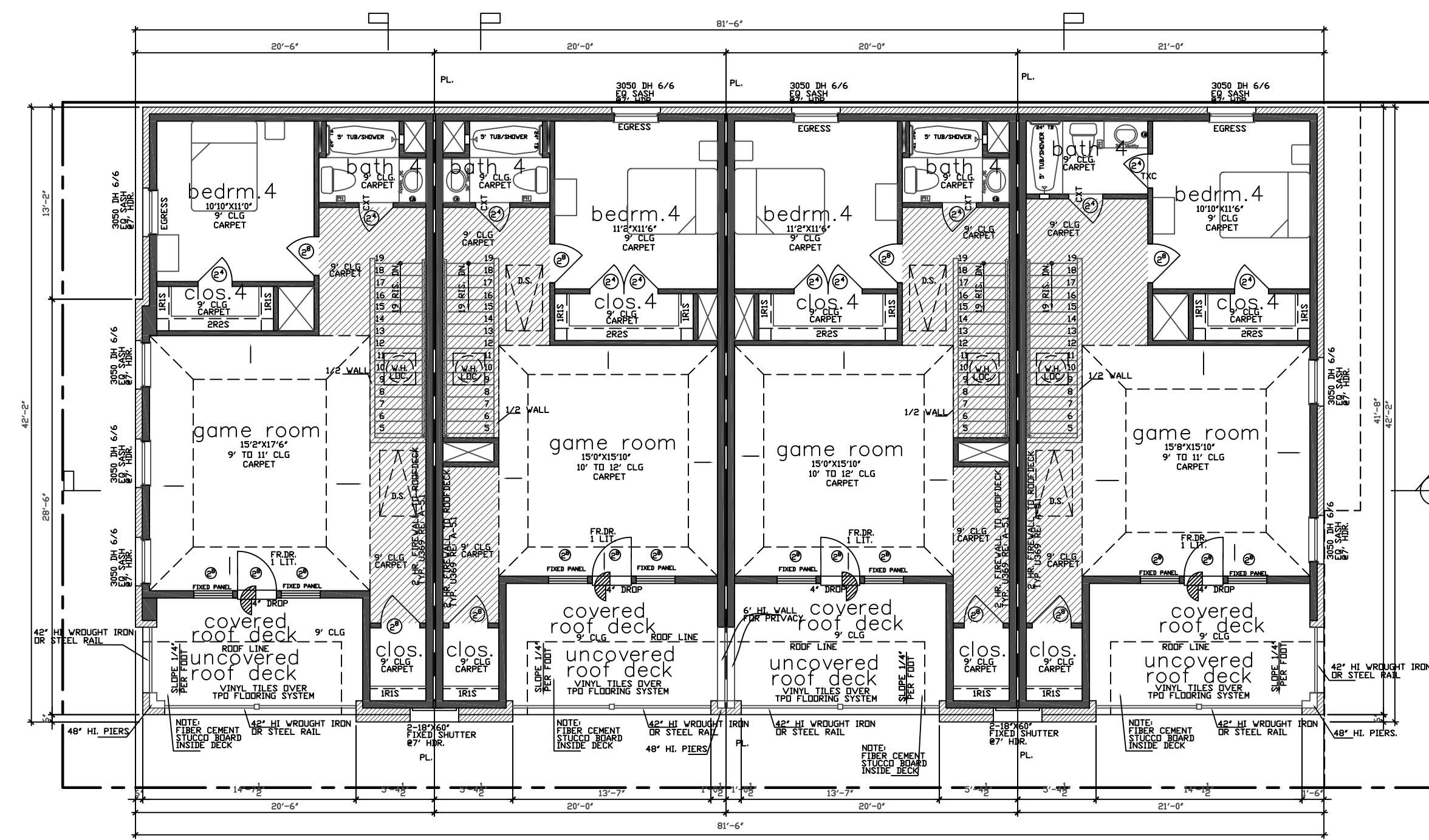
PLAN NO.  
UNIT 1 2932  
UNIT 2 2720  
UNIT 3 2720  
UNIT 4 2761

SHEET NO.  
**A-57**



UNIT 1 LOT 1    UNIT 2 LOT 2    UNIT 3 LOT 3    UNIT 4 LOT 4

third floor  
SCALE: 1/8" = 1'-0"  
NOTE: ALL EXTERIOR WALLS TO BE SFG FRAMES RESTRICTION PLANS.



UNIT 1 LOT 1    UNIT 2 LOT 2    UNIT 3 LOT 3    UNIT 4 LOT 4

roof terrace  
SCALE: 1/8" = 1'-0"  
NOTE: ALL EXTERIOR WALLS TO BE SFG FRAMES RESTRICTION PLANS.

ADDISON GROVE

URBANTOWN HOMES, Ltd.

ADDISON GROVE-BLOCK D-BUILDING 11

FLOOR PLAN

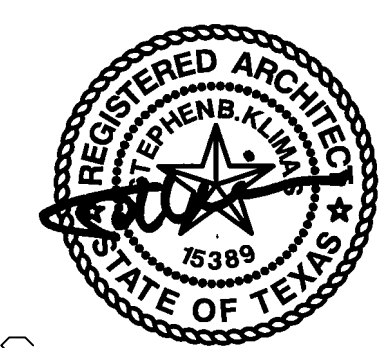
PLAN NO.

UNIT 1	2932
UNIT 2	2720
UNIT 3	2720
UNIT 4	2761

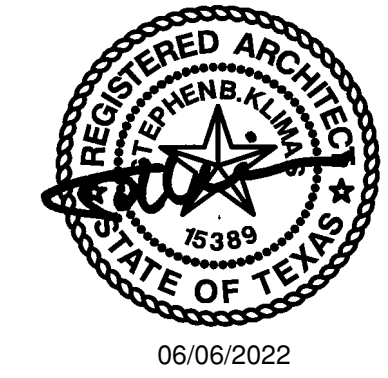
SHEET NO.  
**A-58**

Drawn By/Checked By: B.M./F.M.  
Original Date Issued: 06/08/2021  
Scale: 1/8" = 1'-0"  
Last Updated: 06/03/2022

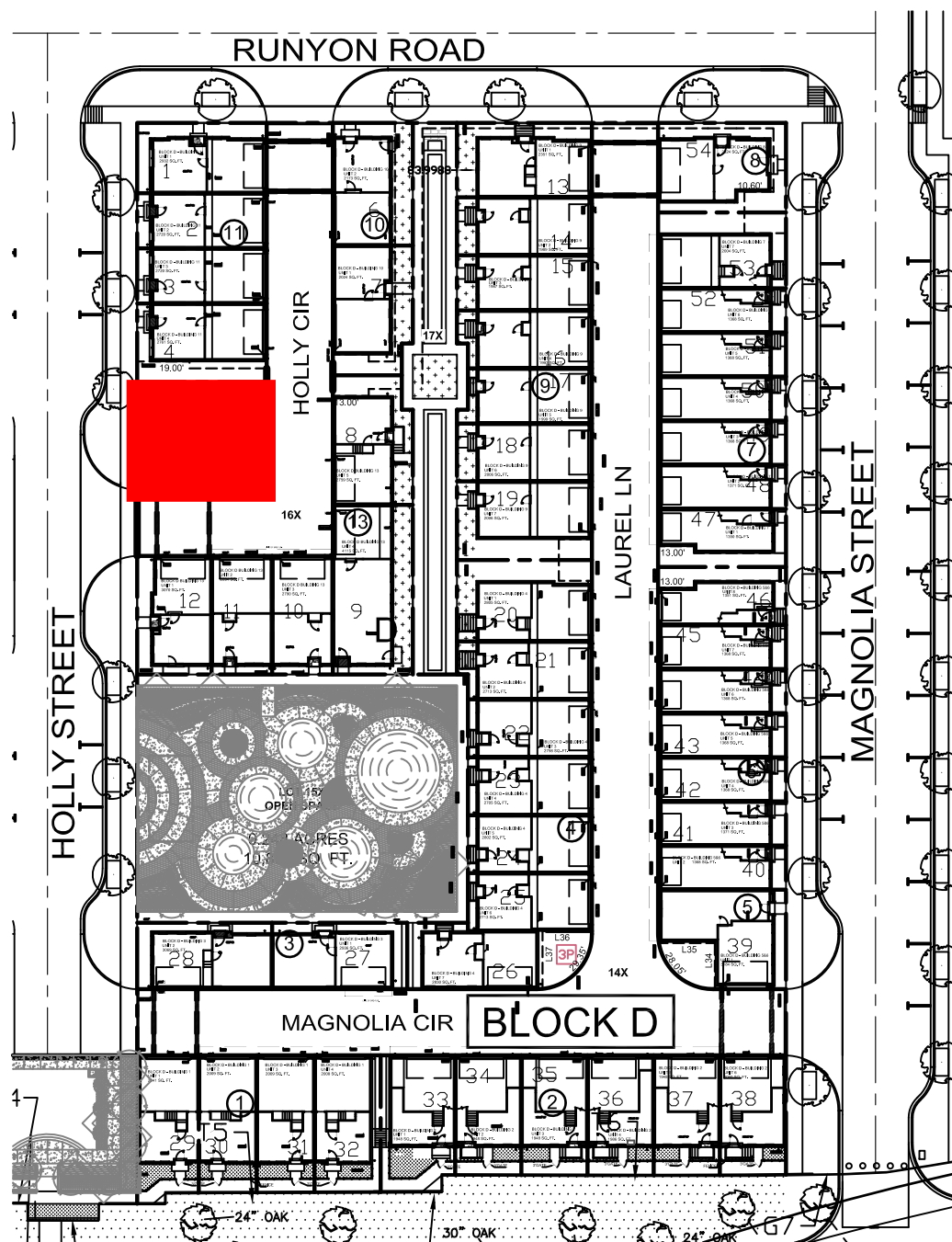
2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX



URBANTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877



Drawn By/Checked By: C.C./E.M.  
 Original Date Issued: 05/27/2021  
 Scale: 1/8" = 1'-0"  
 Last Updated: 06/03/2022



- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - COMPOSITE PEDIMENT (ACCENT MATERIAL)
  - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
  - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
  - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

**TOTAL MATERIAL CALCULATION TABLE**

BRICK	5923	95.0%
FIBER CEMENT STUCCO BOARD	197	3.2%
ACCENT MATERIAL	115	1.8%
TOTAL SURFACE AREA	6235	

**WEST/FRONT MATERIAL CALCULATION TABLE**

BRICK	1330	86.5%
FIBER CEMENT STUCCO BOARD	110	7.2%
ACCENT MATERIAL	96	6.3%
TOTAL SURFACE AREA	1536	

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NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.



LOT 5  
 BUILDING 12  
 west/front(HOLLY STREET) elevation  
 SCALE: 1/4" = 1'-0"

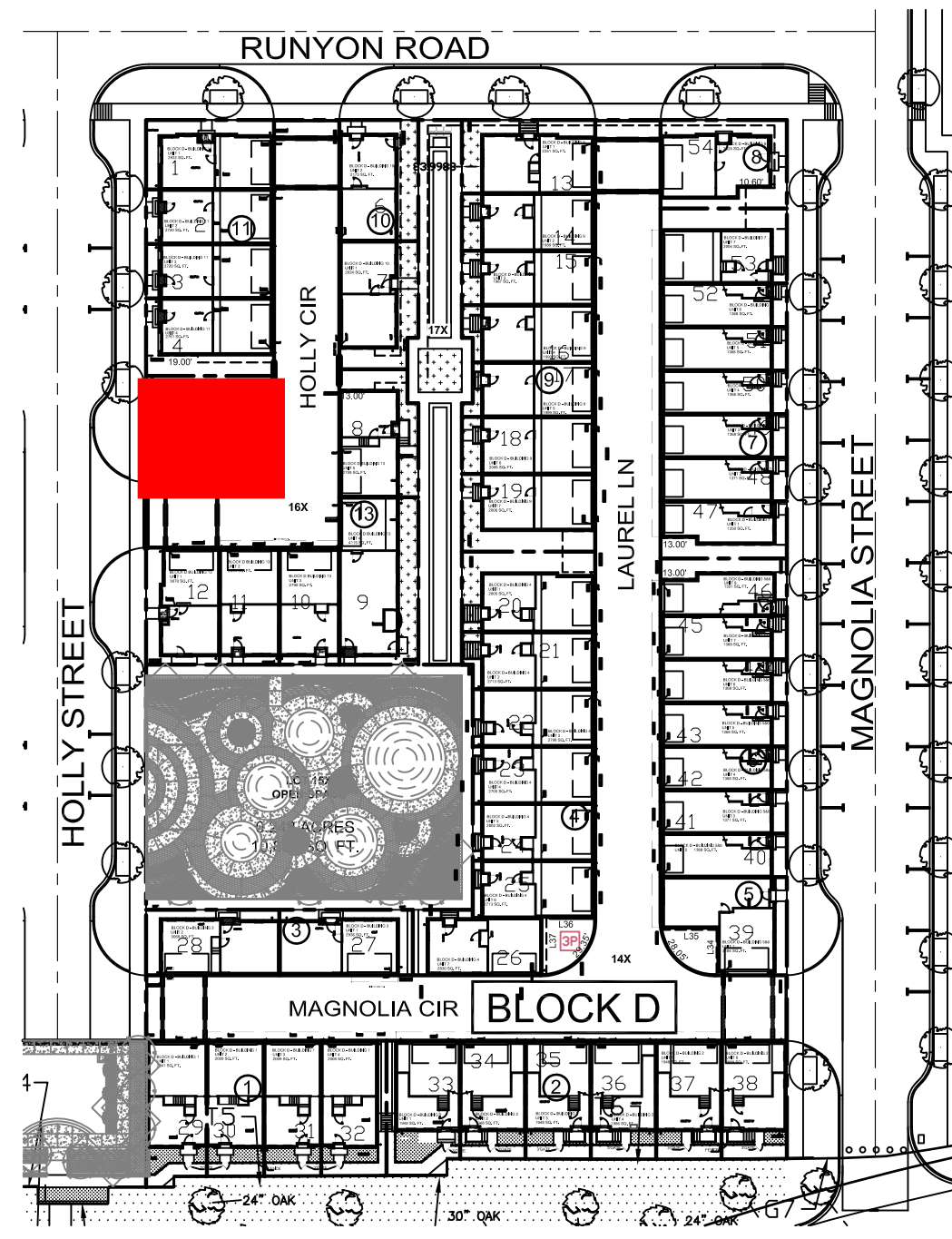
west/left(HOLLY STREET) elevation  
 SCALE: 1/4" = 1'-0"

UNIT 1  
 LOT 12  
 BUILDING 13  
 URBAN INTOWN HOMES  
 2410 POLK ST., STE 200, HOUSTON, TX 77003  
 PHONE: 713-961-3877

**URBANINTOWNHOMES**  
 2410 POLK ST., STE 200, HOUSTON, TX 77003  
 (713)961-3877 TEL (713)961-4270 FAX

**ADDISON GROVE - BLOCK B - BUILDING 12**  
**WEST/FRONT ELEVATION**

PLAN NO. 3737  
 SHEET NO. A-59



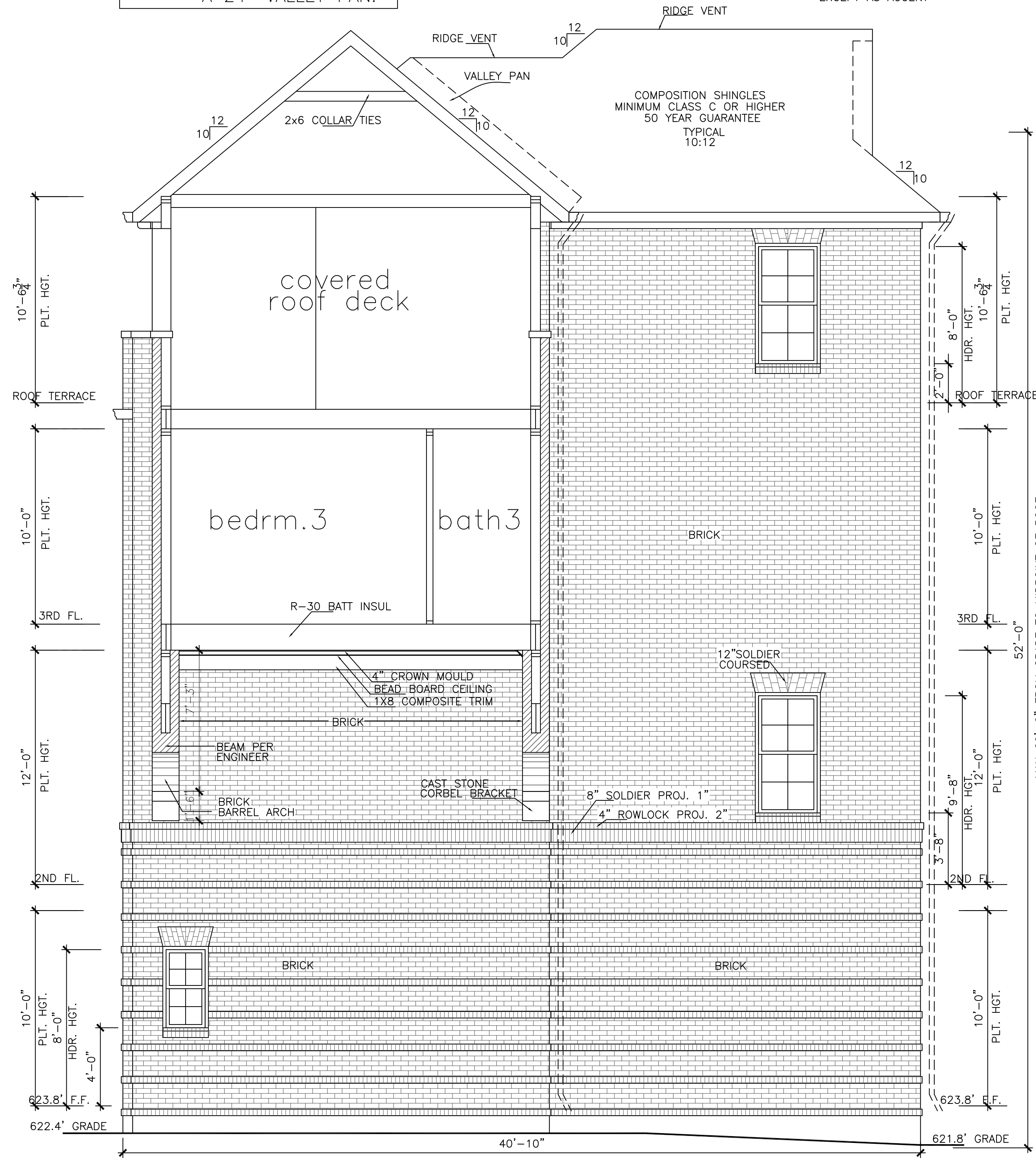
- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
  - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

**SOUTH/RIGHT MATERIAL CALCULATION TABLE**

Material	Quantity	Percentage
BRICK	1314	100%
FIBER CEMENT STUCCO BOARD	0	0%
ACCENT MATERIAL	0	0%
TOTAL SURFACE AREA	1314	

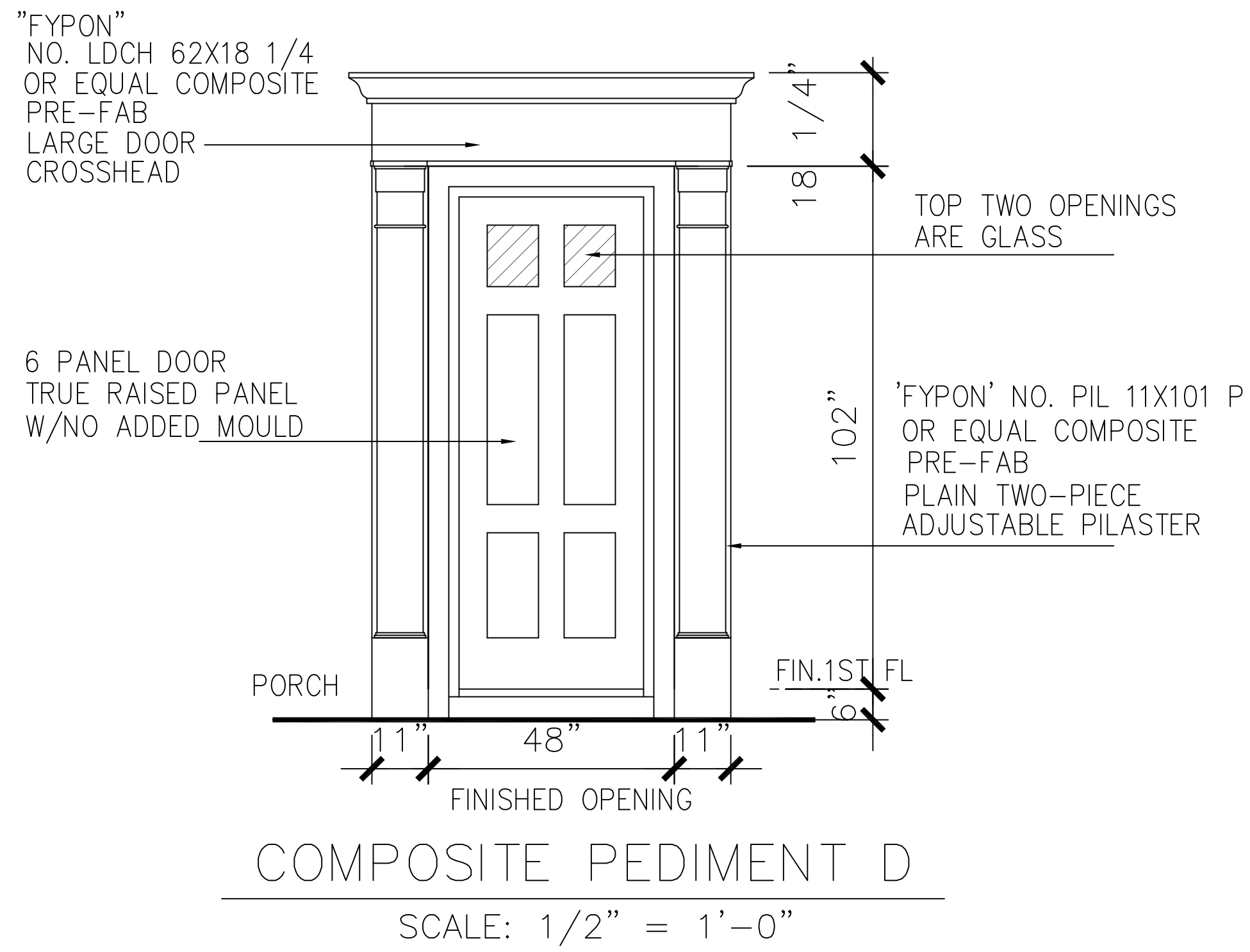
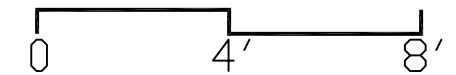
NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.

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south/right(Holly Cir.) elevation

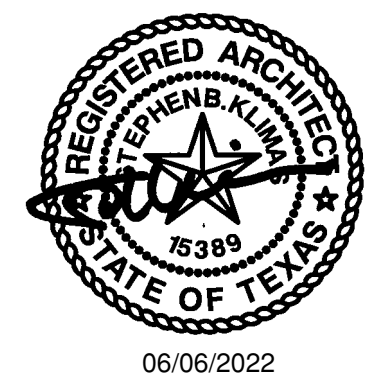
SCALE: 1/4" = 1'-0"



ADDISON GROVE

ADDISON GROVE - BLOCK B - BUILDING 12

SOUTH / RIGHT ELEVATION



URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

PLAN NO. 3737

SHEET NO. A-60

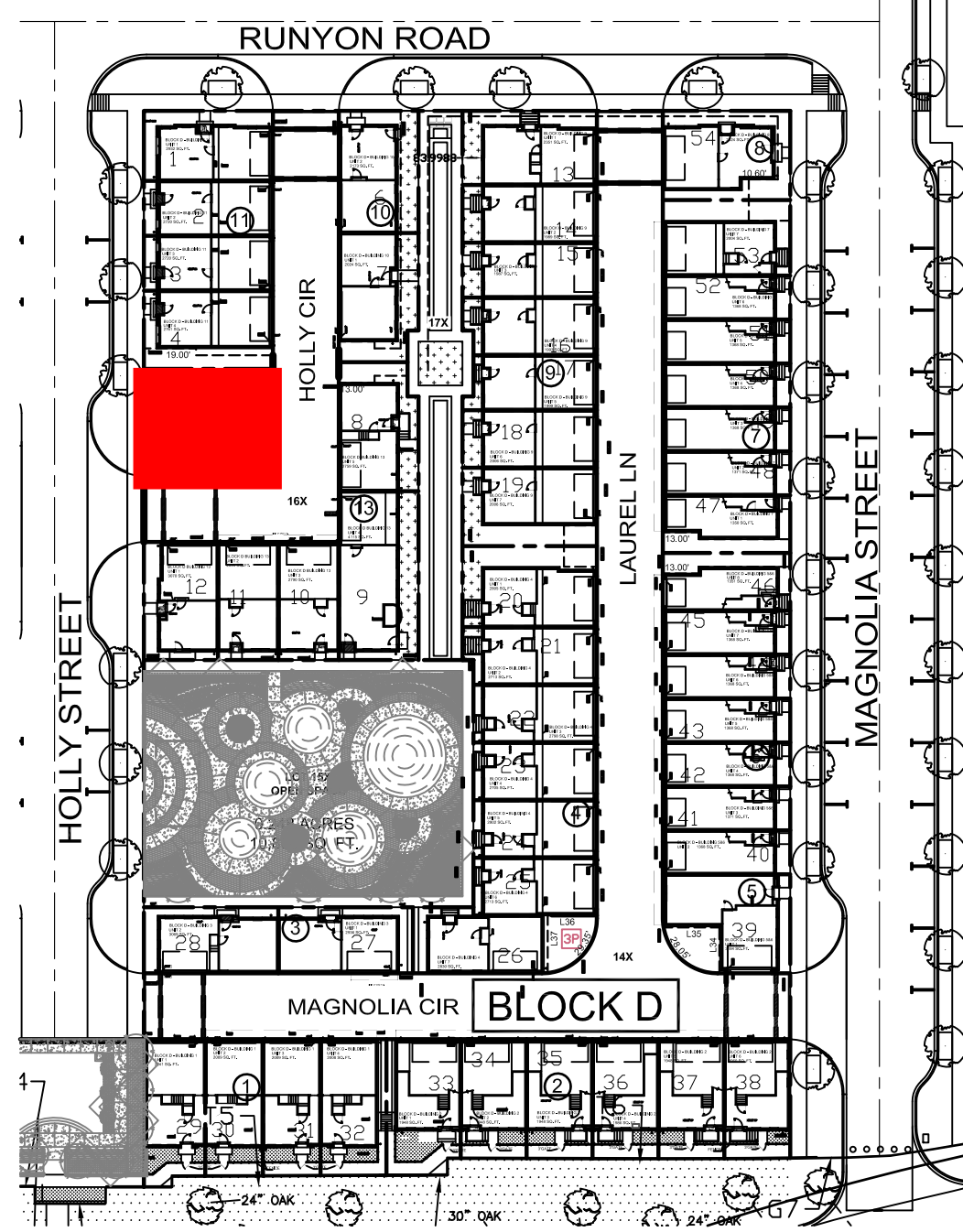
URBANINTOWNHOMES

2410 POLK ST., STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: C.C./E.M.  
Original Date Issued: 05/27/2021  
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Last Updated: 06/03/2022



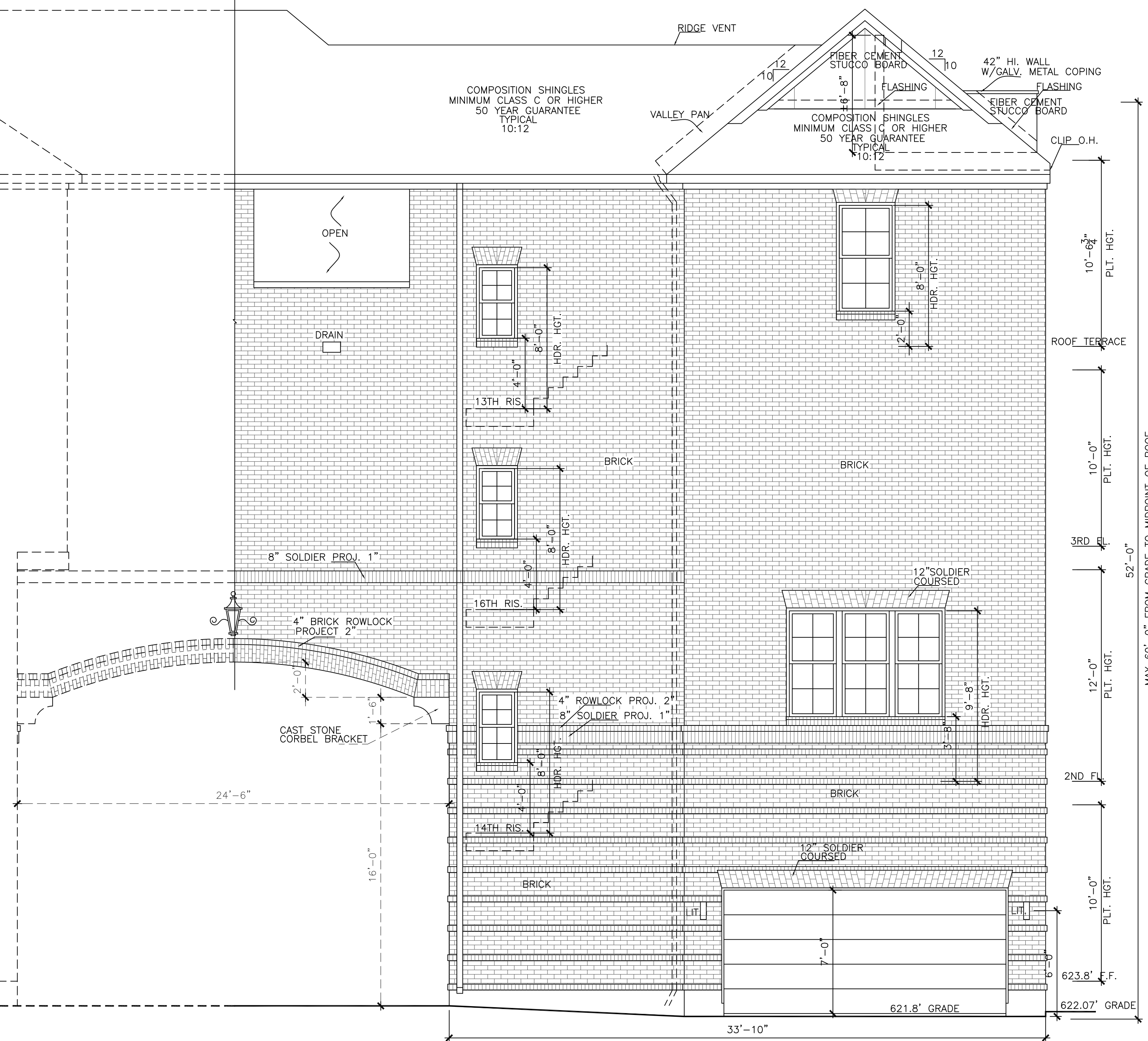
Town Project #:1833-Z



- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

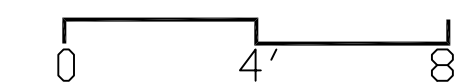
EAST/REAR MATERIAL CALCULATION TABLE		
BRICK	1626	98.0%
FIBER CEMENT STUCCO BOARD	32	1.9%
ACCENT MATERIAL	2	0.1%
TOTAL SURFACE AREA	1660	

NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.



LOT 5  
BUILDING 12  
east/rear(Holly Cir.) elevation

SCALE: 1/4" = 1'-0"



BUILDING 13

ADDISON GROVE

ADDISON GROVE - BLOCK B - BUILDING 12  
EAST / REAR ELEVATION

URBANINTOWNHOMES

2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX



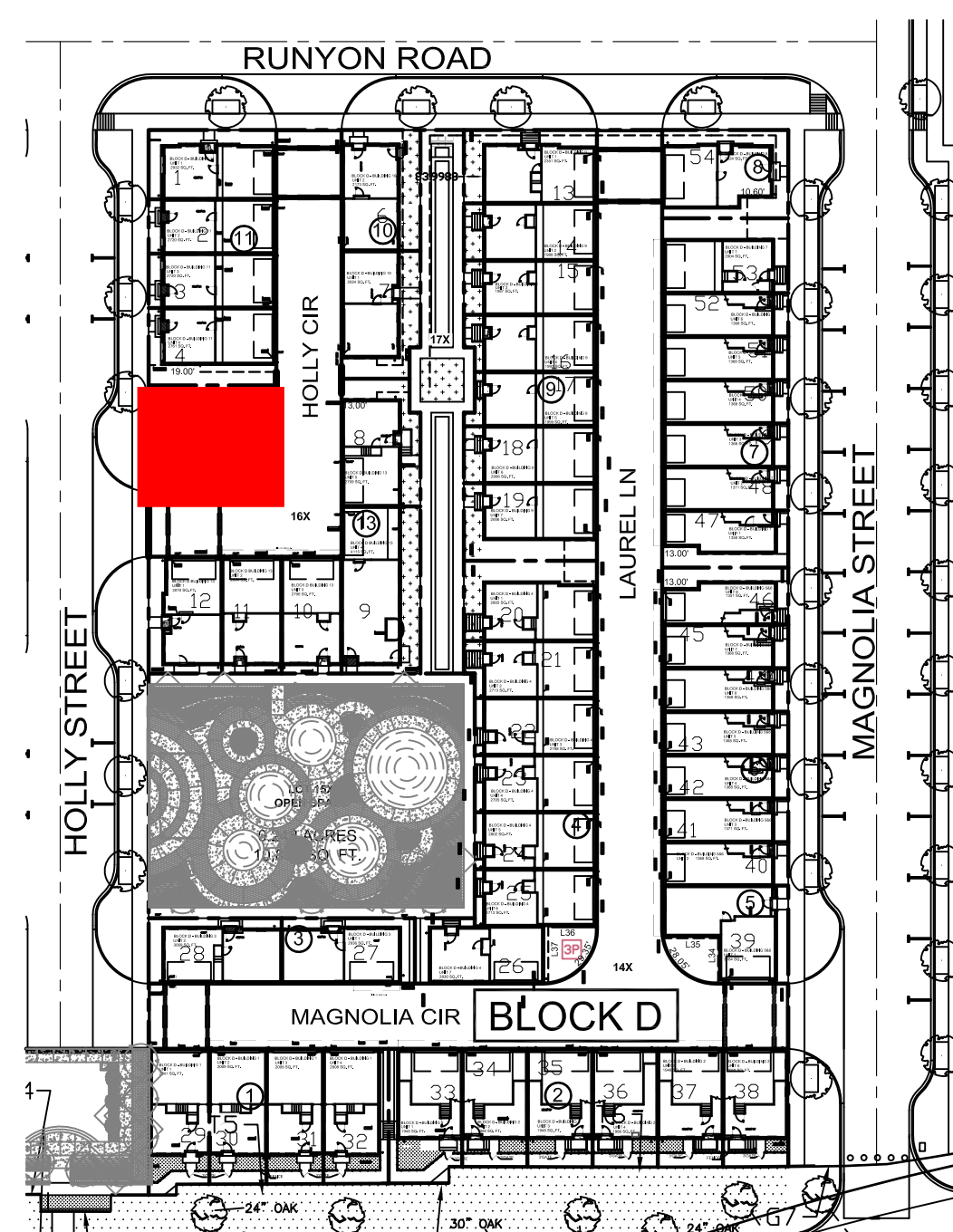
06/06/2022

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

PLAN NO.  
3737

SHEET NO.  
A-61

Drawn By/Checked By:  
C.C./F.M.  
Original Date Issued:  
05/27/2021  
Scale:  
1/8" = 1'-0"  
Last Updated:  
06/03/2022



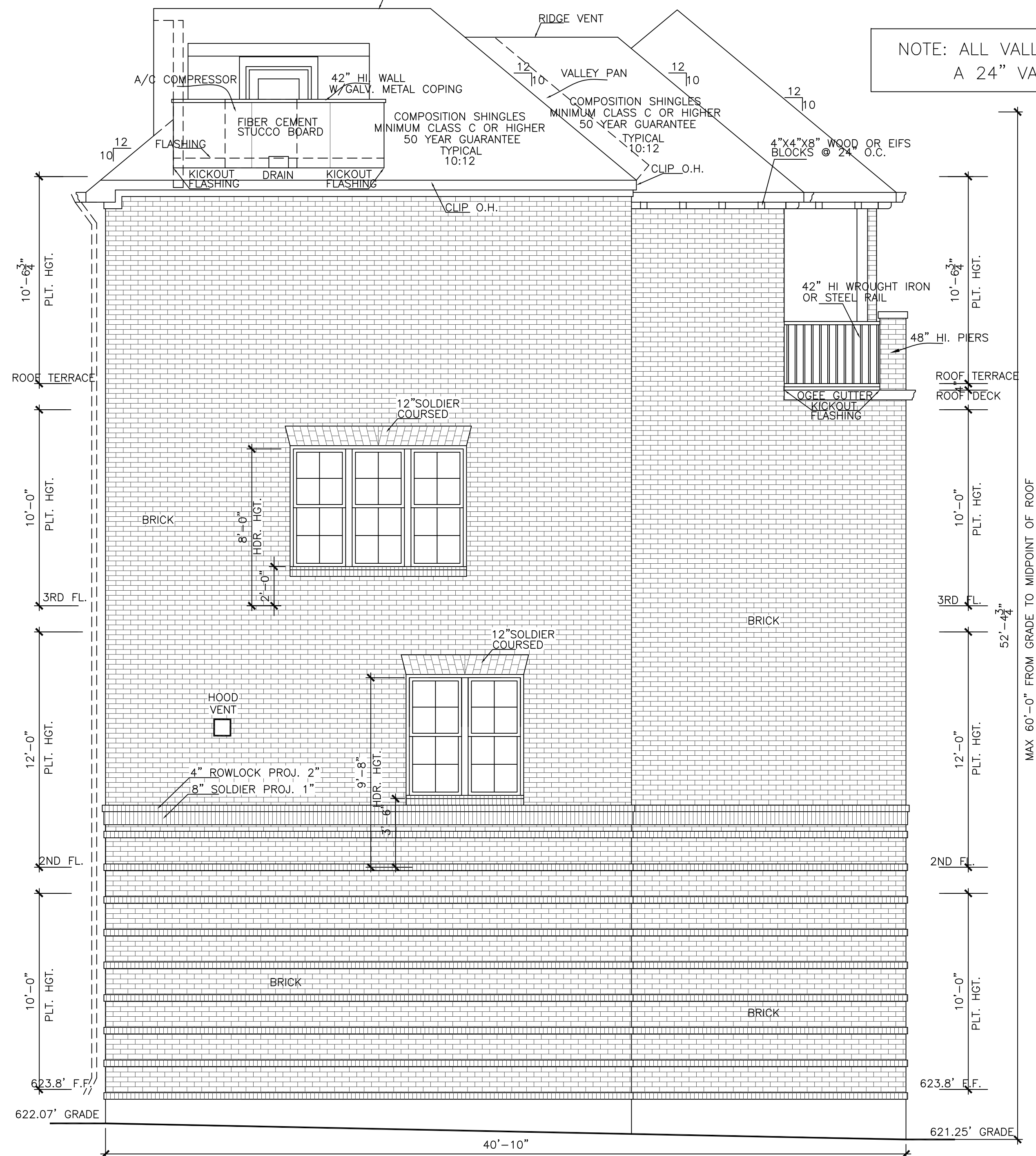
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- \* ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING
- \* THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED EXCEPT AS ACCENT

NORTH/LEFT MATERIAL CALCULATION TABLE		
BRICK	1653	95.8%
FIBER CEMENT STUCCO BOARD	55	3.2%
ACCENT MATERIAL	17	1.0%
TOTAL SURFACE AREA	1725	

**LEGEND**

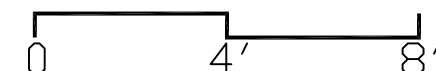
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL(ACCENT MATERIAL)



NOTE: ALL VALLEYS HAVE A 24" VALLEY PAN.

north/left(neighbor) elevation

SCALE: 1/4" = 1'-0"



ADDISON GROVE

ADDISON GROVE - BLOCK B - BUILDING 12  
NORTH / LEFT ELEVATION

URBANINTOWNHOMES

2410 POLK ST, STE 200, HOUSTON, TX 77003  
(713)961-3877 TEL (713)961-4270 FAX

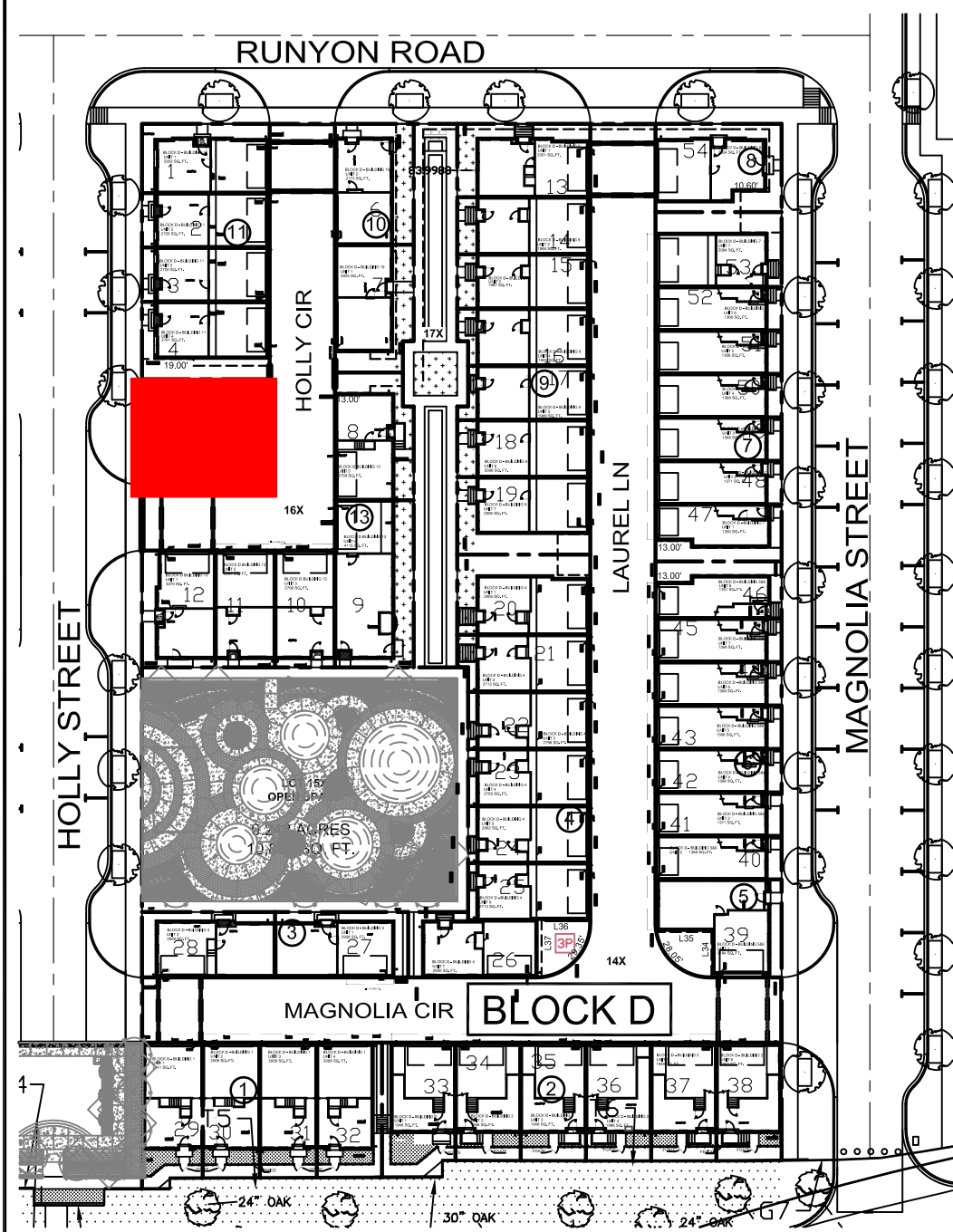
Drawn By/Checked By: C.C./F.M.  
Original Date Issued: 05/27/2021  
Scale: 1/8" = 1'-0"  
Last Updated: 06/03/2022



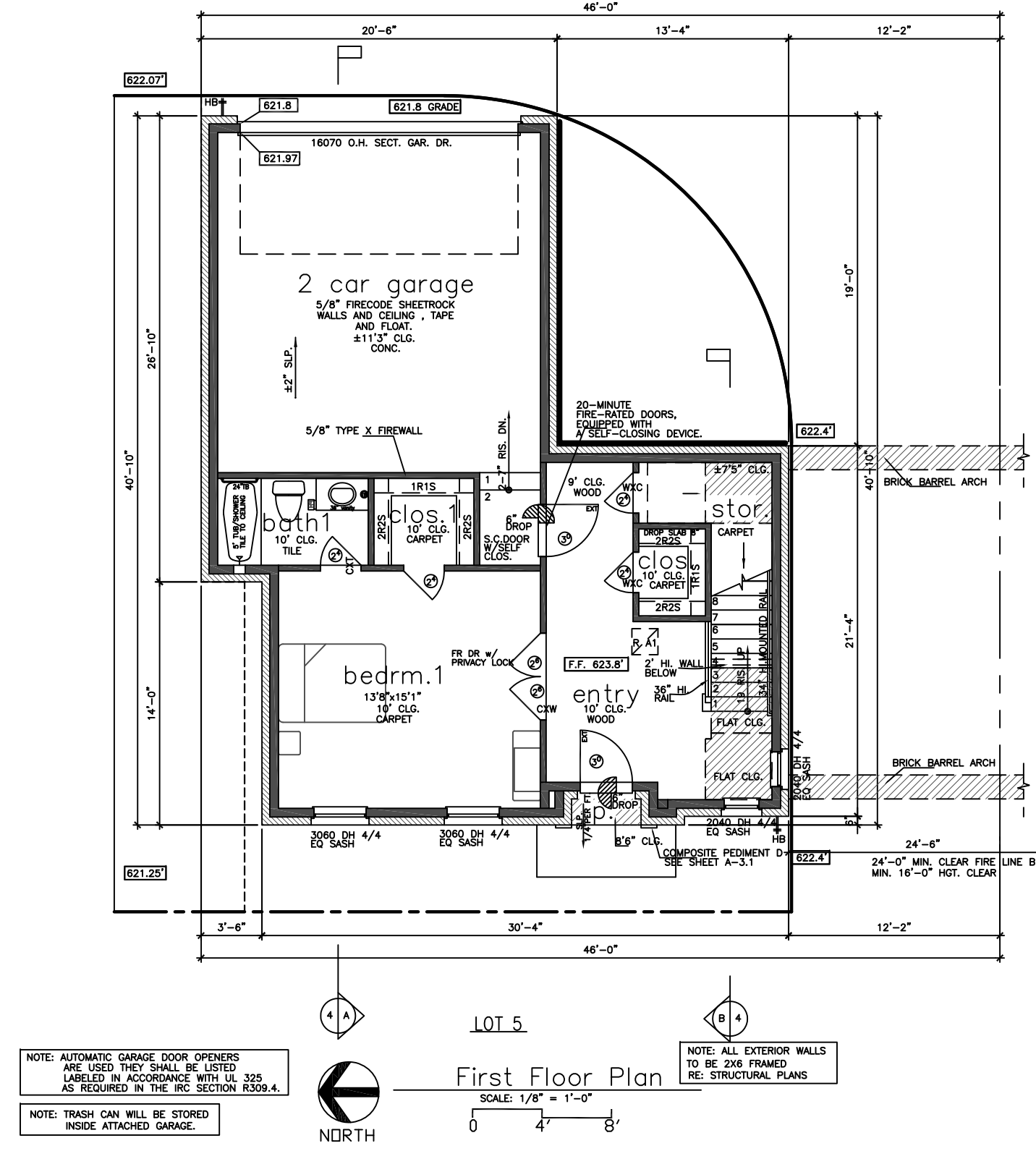
URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

PLAN NO.  
3737

SHEET NO.  
A-62

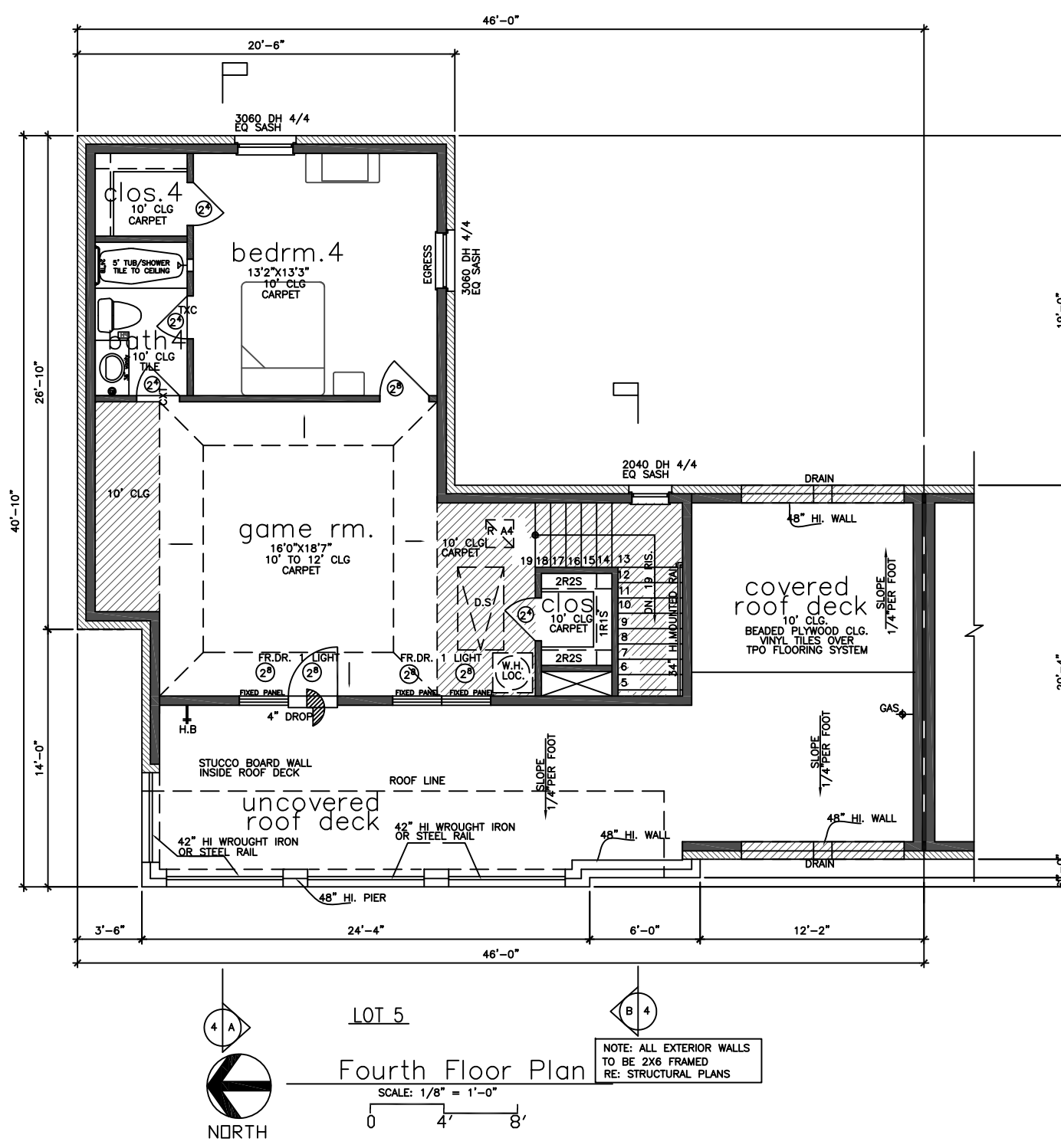
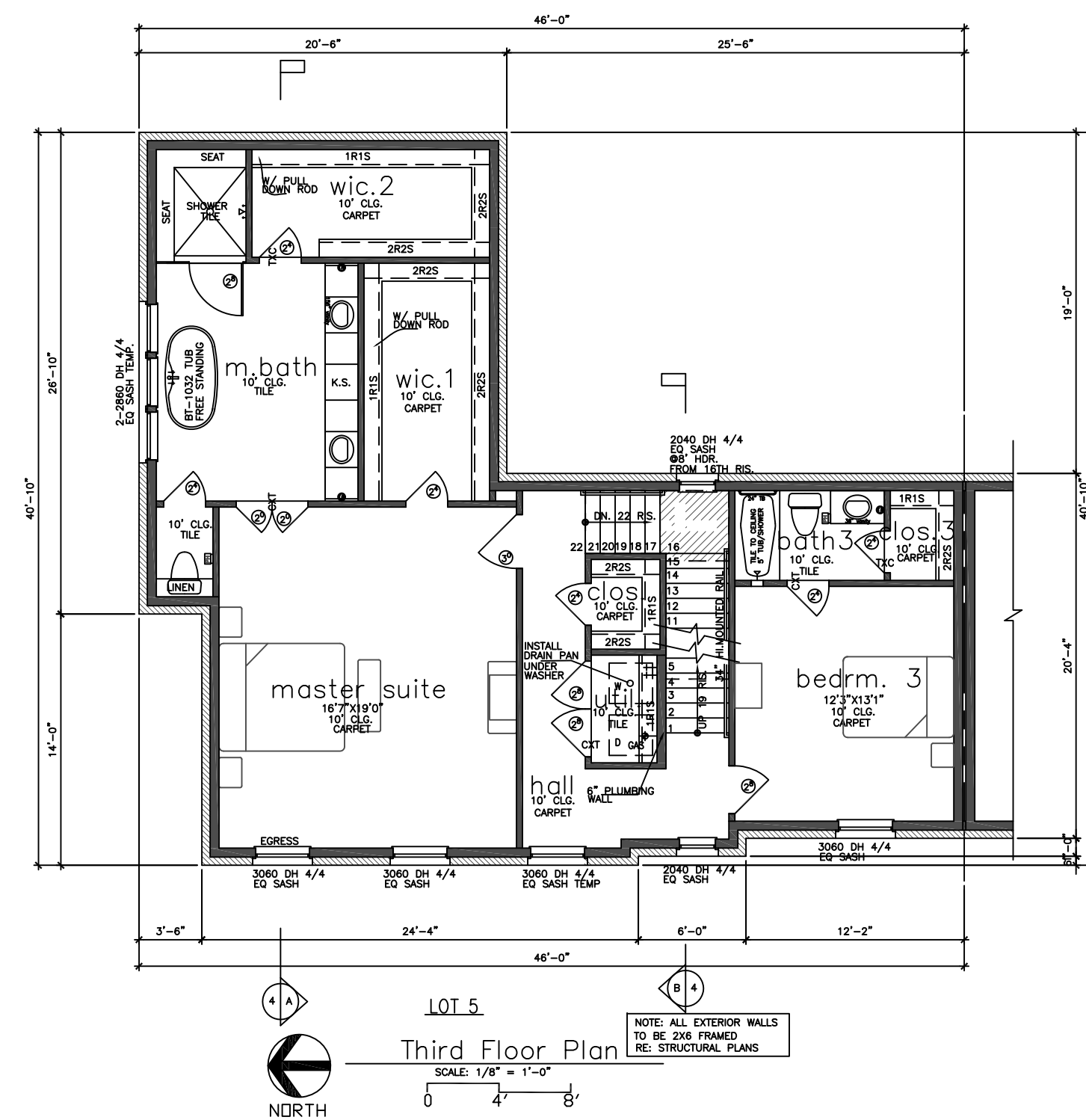
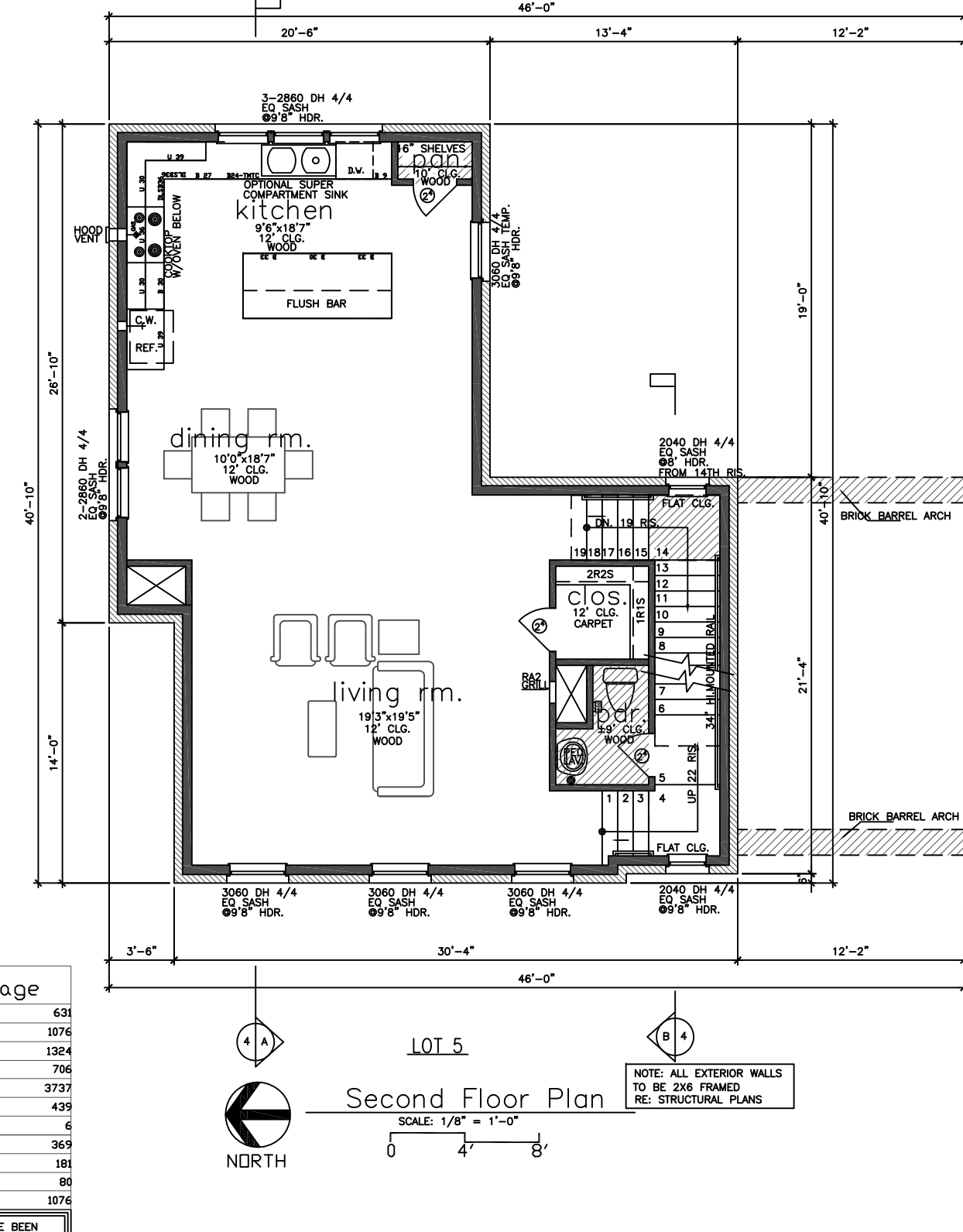


LIVING AREA(SQ. FT.)	BEDROOM
3737	4



Square Footage	
FIRST FLOOR	638
SECOND FLOOR	1076
THIRD FLOOR	1324
FOURTH FLOOR	760
TOTAL LIVING AREA	3737
GARAGE	438
PORCH	4
COVERED ROOF DECK	369
UNCOVERED ROOF DECK	181
AC DECK	90
TOTAL SLAB AREA	1076

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH AREA 2700-2003. NETUAL SQUARE FOOTAGE MAY VARY.



ADDISON GROVE

URBANTOWNHOMES

ADDISON GROVE - BLOCK B - BUILDING 12

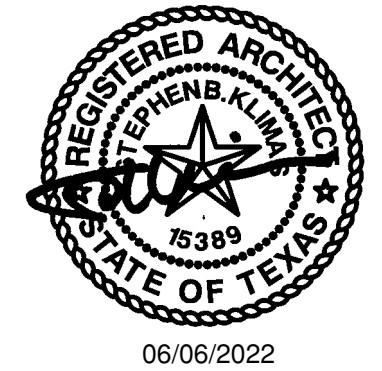
FLOOR PLANS

PLAN NO.  
3737

SHEET NO.  
A-63

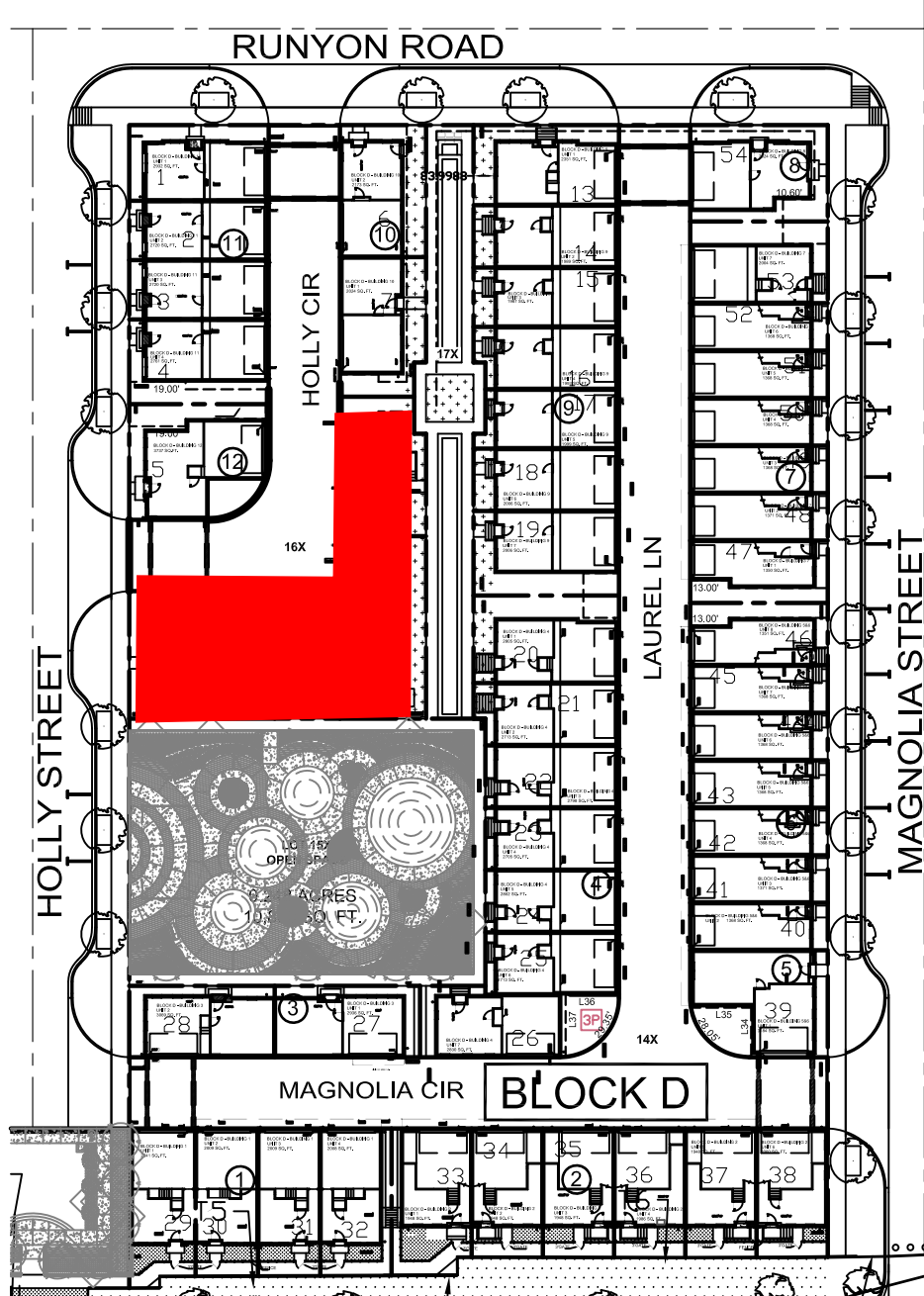
Drawn By/Checked By:  
C.C./F.M.  
Original Date Issued:  
05/27/2021  
Scale:  
1/8" = 1'-0"  
Last Updated:  
06/03/2022

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URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

Town Project #:1833-Z



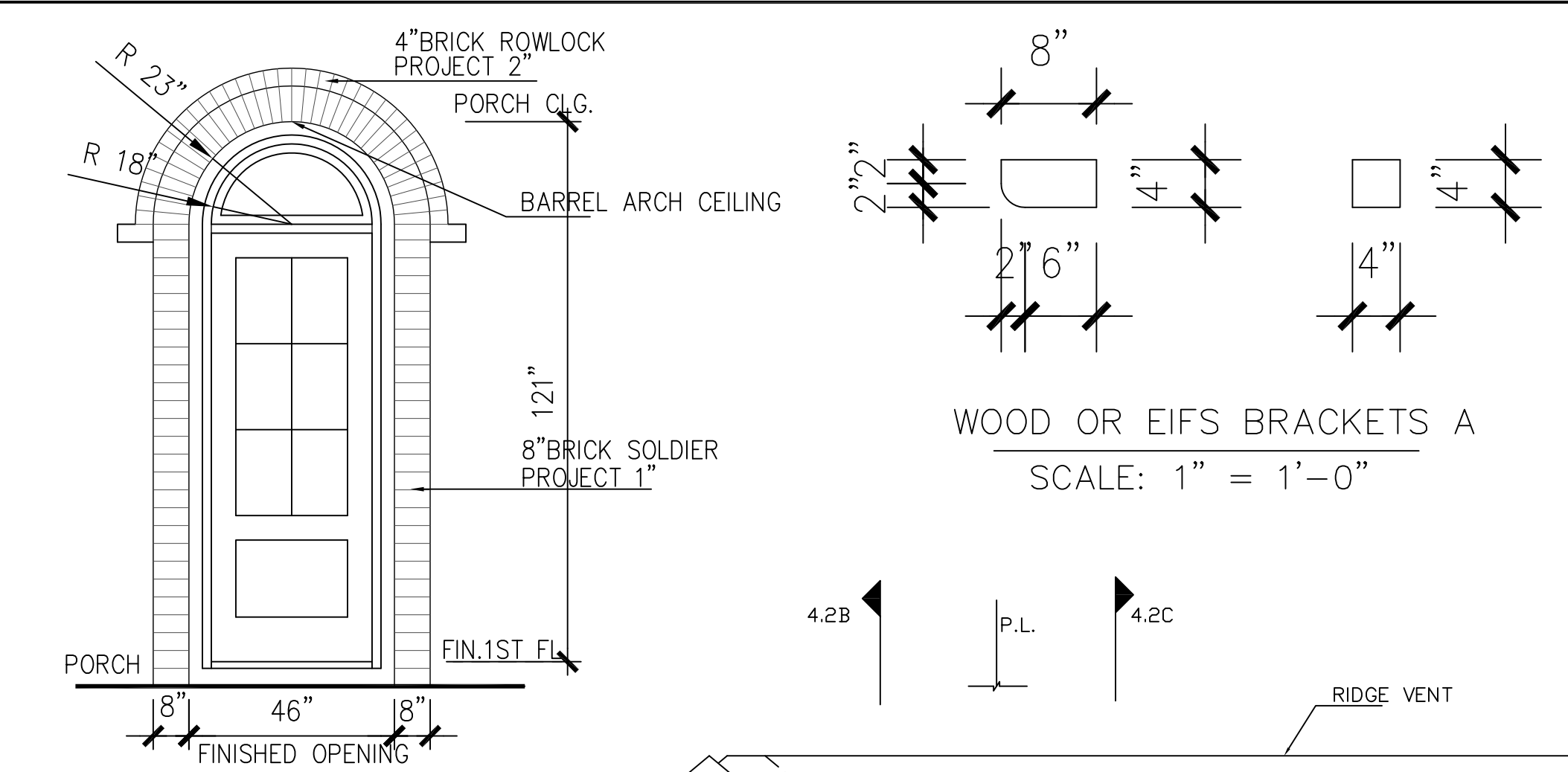
TOTAL MATERIAL CALCULATION TABLE		
BRICK	11798	82.8%
3-COAT CEMENT PLASTER SYSTEM	838	7.1%
FIBER CEMENT STUCCO BOARD	552	4.7%
ACCENT MATERIAL	639	5.4%
TOTAL SURFACE AREA	11798	

SOUTH/FRONT MATERIAL CALCULATION TABLE		
BRICK	2378	79.9%
FIBER CEMENT STUCCO BOARD	262	8.8%
ACCENT MATERIAL	337	11.3%
TOTAL SURFACE AREA	2977	

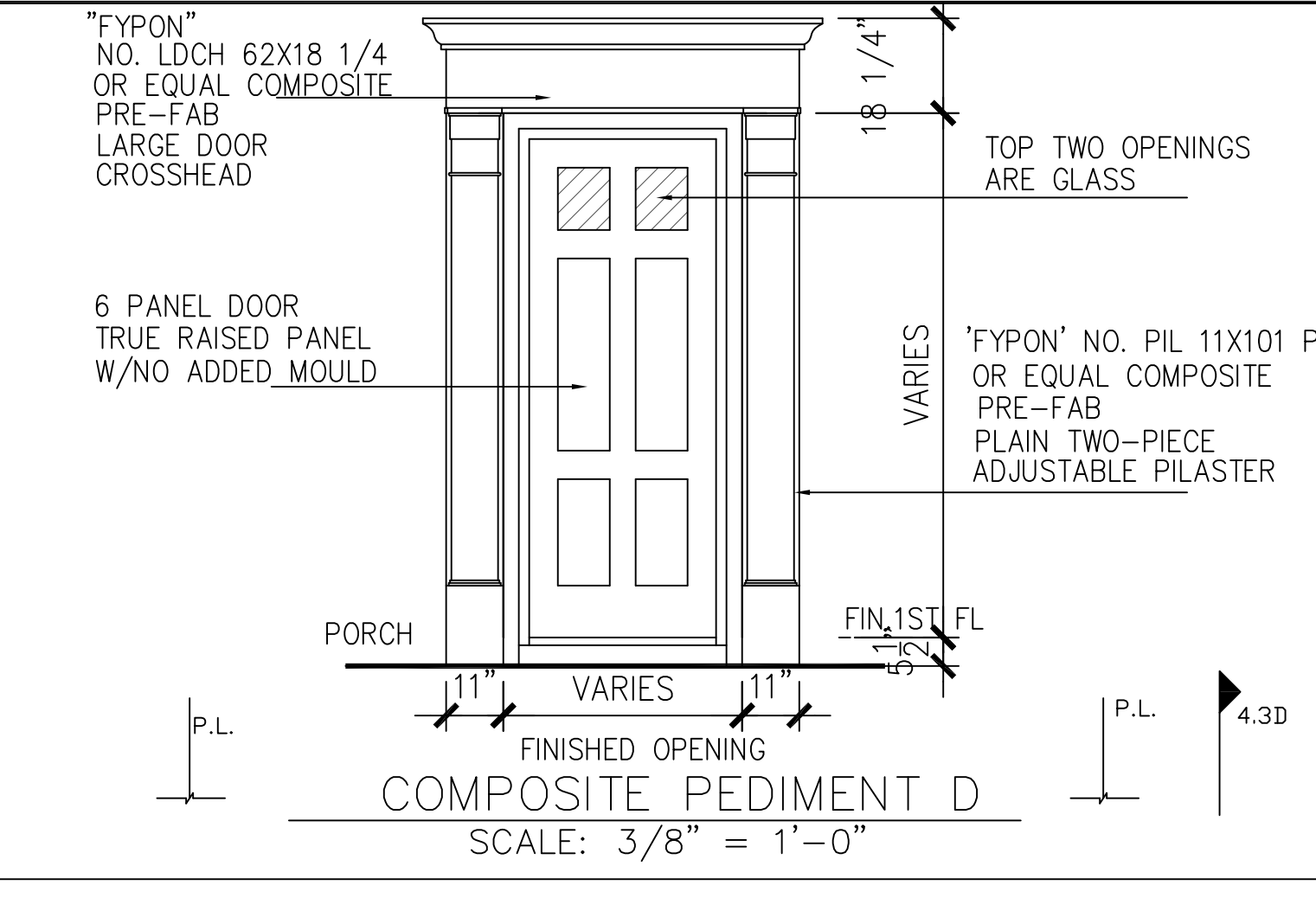
- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - STANDING SEAM METAL ROOF
  - COMPOSITE PEDIMENT (ACCENT MATERIAL)
  - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
  - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
  - FIX. SHUTTER (ACCENT MATERIAL)
  - HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

**FACADE PLAN NOTES**

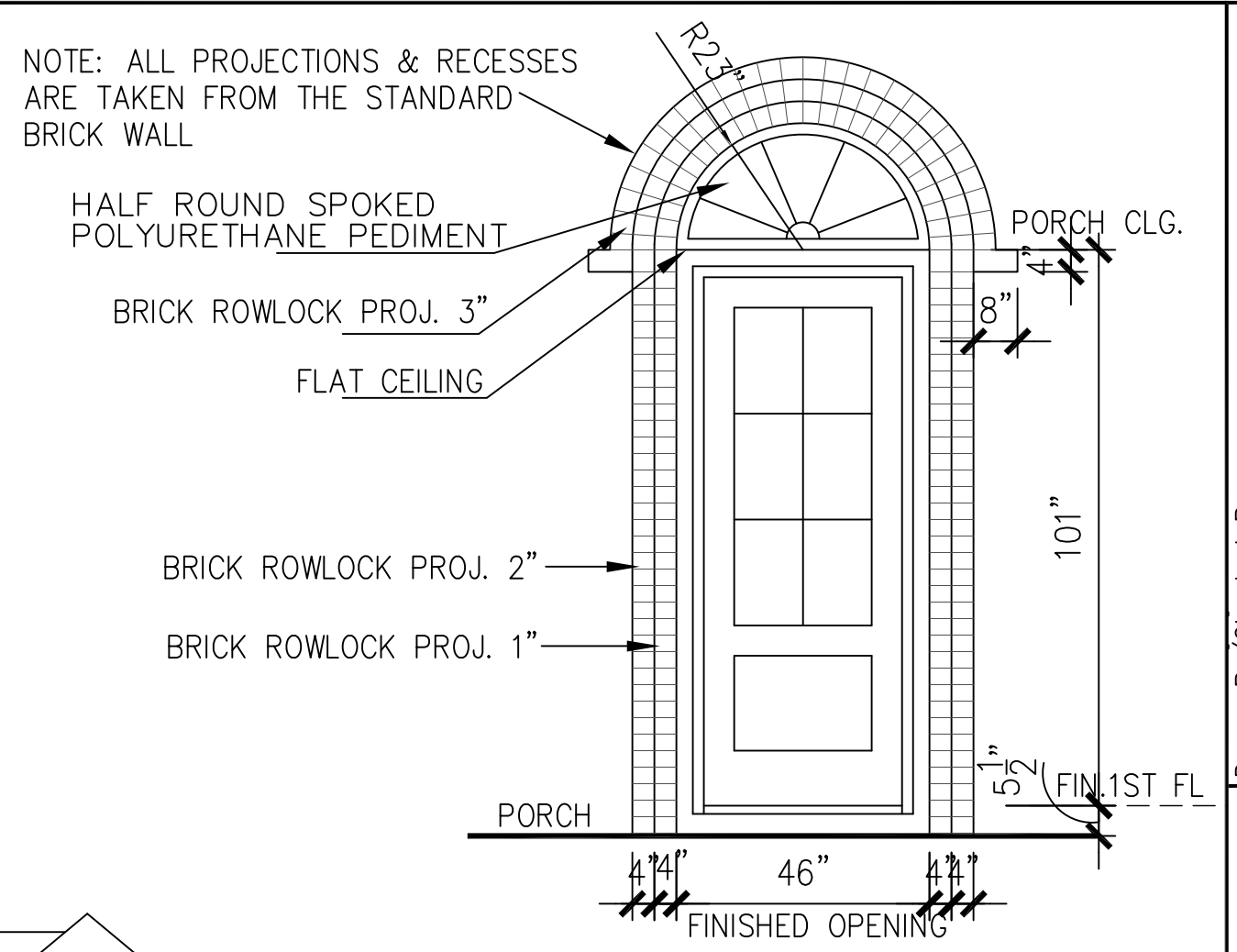
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE
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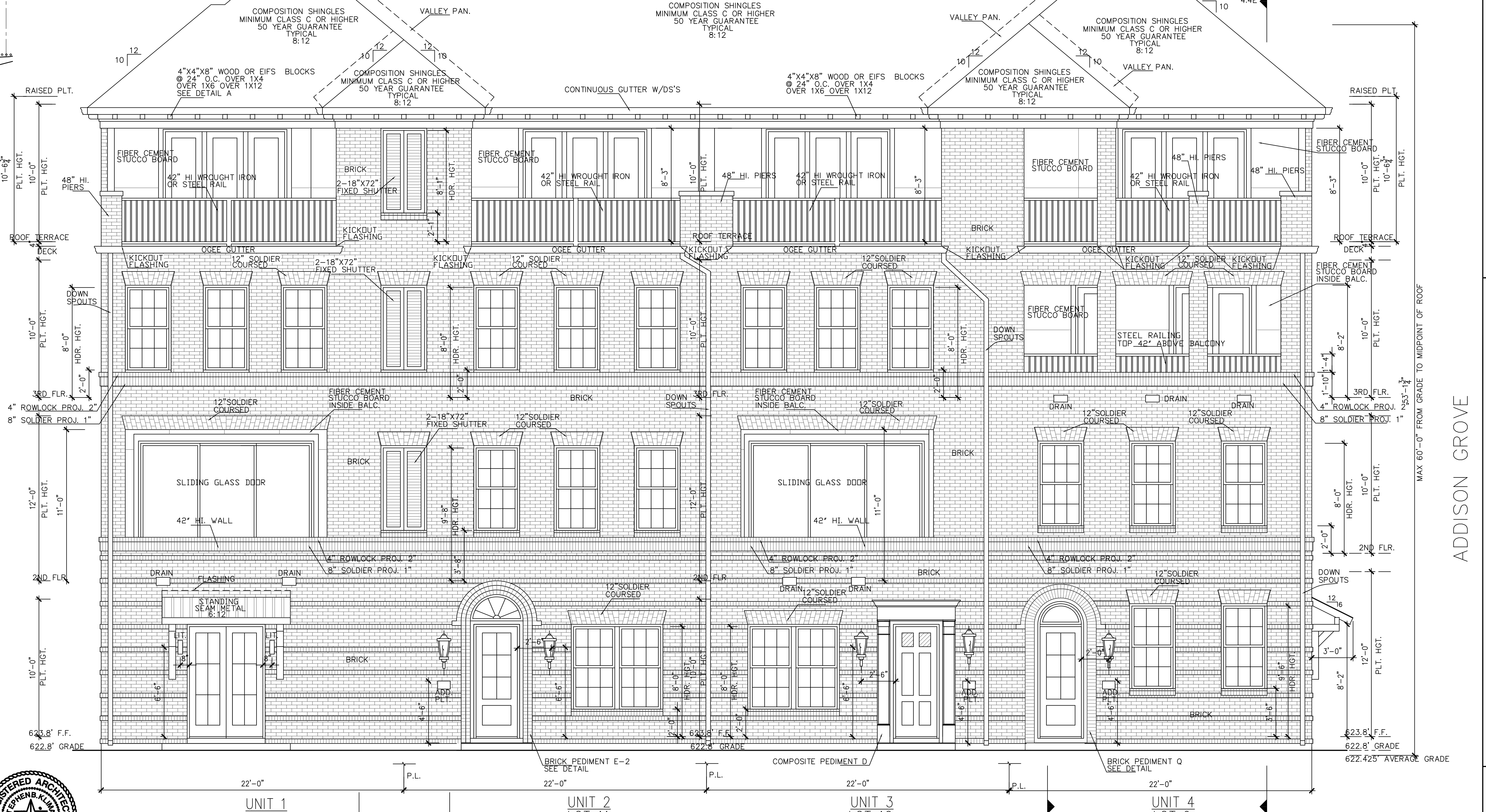
BRICK PEDIMENT Q  
SCALE: 3/8" = 1'-0"



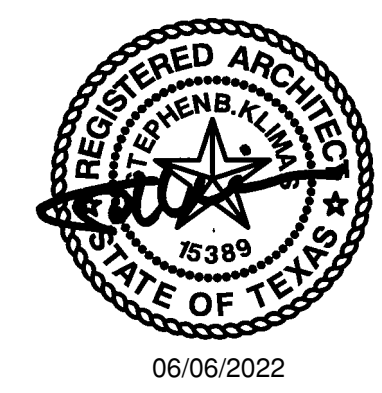
COMPOSITE PEDIMENT D  
SCALE: 3/8" = 1'-0"



BRICK PEDIMENT E-2  
SCALE: 3/8" = 1'-0"



south/front(public park) elevation  
SCALE: 1/4" = 1'-0"



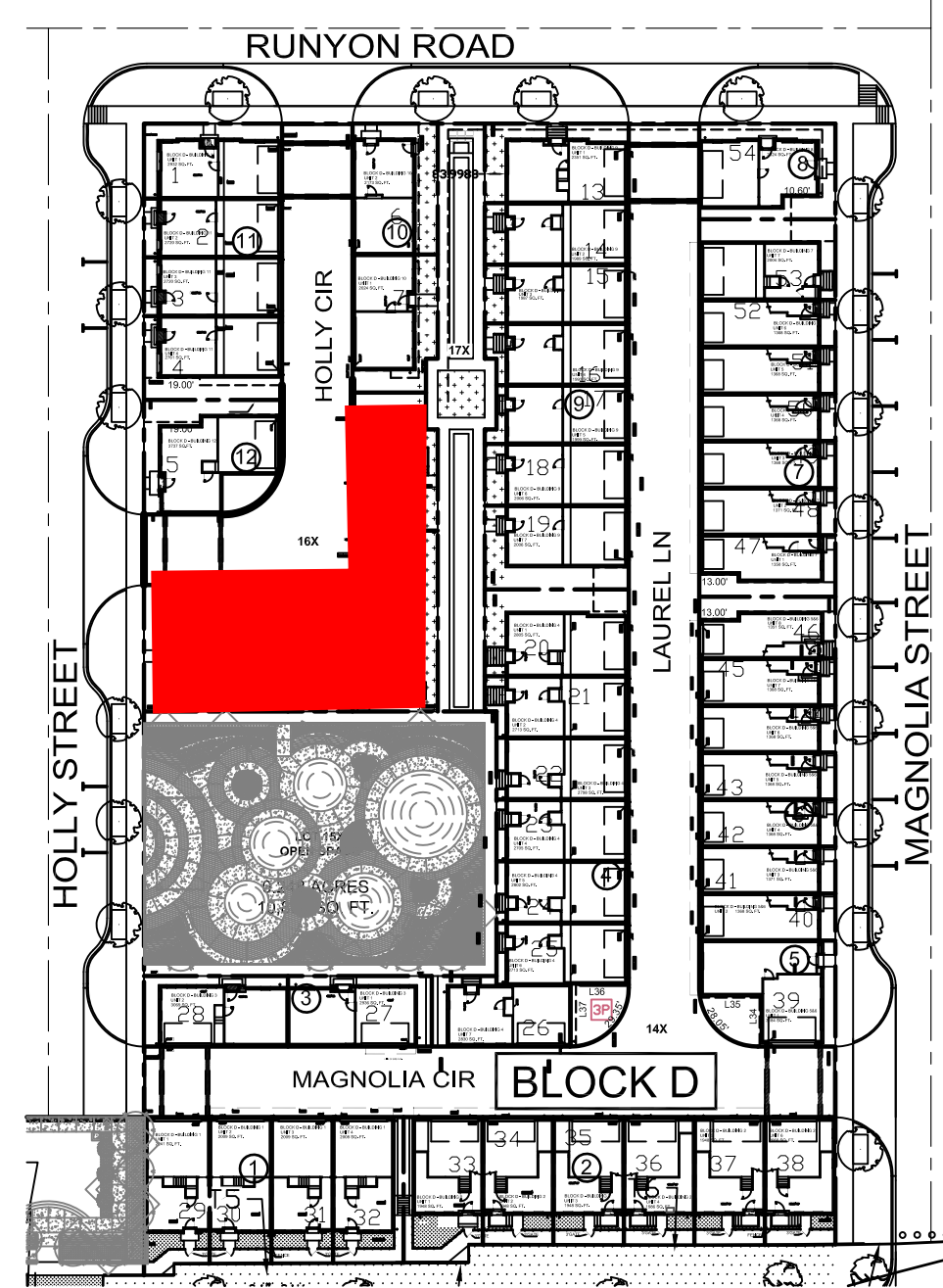
Drawn By/Checked By: J.Q./F.M.  
Original Date Issued: 05/17/2021  
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**ADDISON GROVE - BLOCK D - BUILDING 13**  
**SOUTH/FRONT ELEVATION**

PLAN NO.	UNIT	NO.
1	3070	
2	2894	
3	2790	
4	4115	
5	2759	

SHEET NO. **A-64**



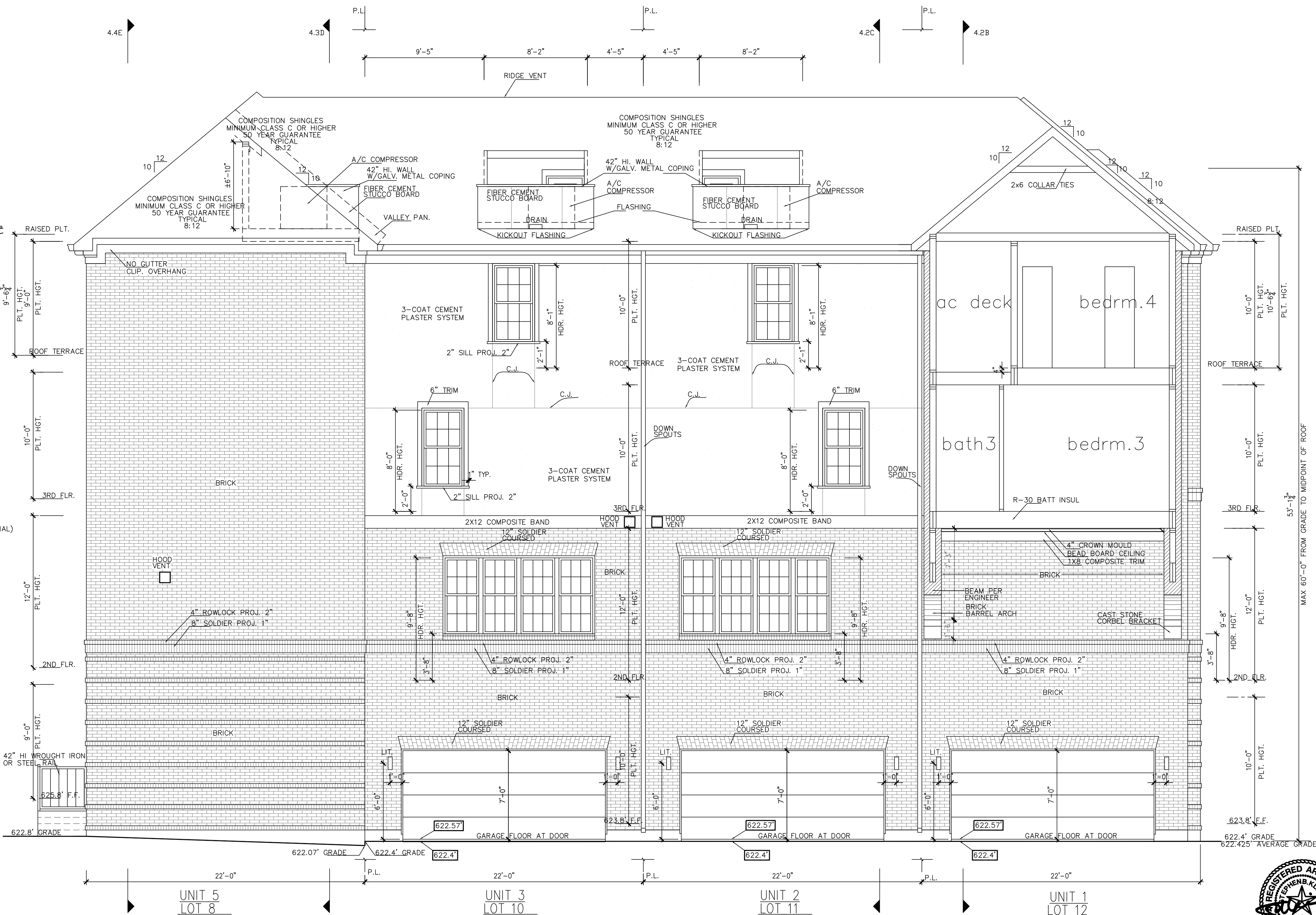
**NORTH/REAR MATERIAL CALCULATION TABLE**

BRICK	2431	71.0%
3-COAT CEMENT PLASTER SYSTEM	838	24.4%
FIBER CEMENT STUCCO BOARD	99	2.9%
ACCENT MATERIAL	57	1.7%
<b>TOTAL SURFACE AREA</b>	<b>3425</b>	

- LEGEND**
- BRICK
  - 3-COAT CEMENT PLASTER SYSTEM
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
  - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
  - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

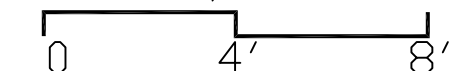
**FACADE PLAN NOTES**

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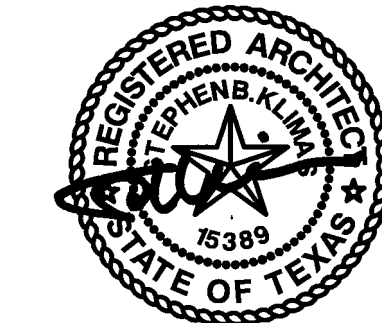


north/rear(Holly Cir.) elevation

SCALE: 1/4" = 1'-0"



ADDISON GROVE



URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

**ADDISON GROVE - BLOCK D - BUILDING 13**

**NORTH/REAR ELEVATION**

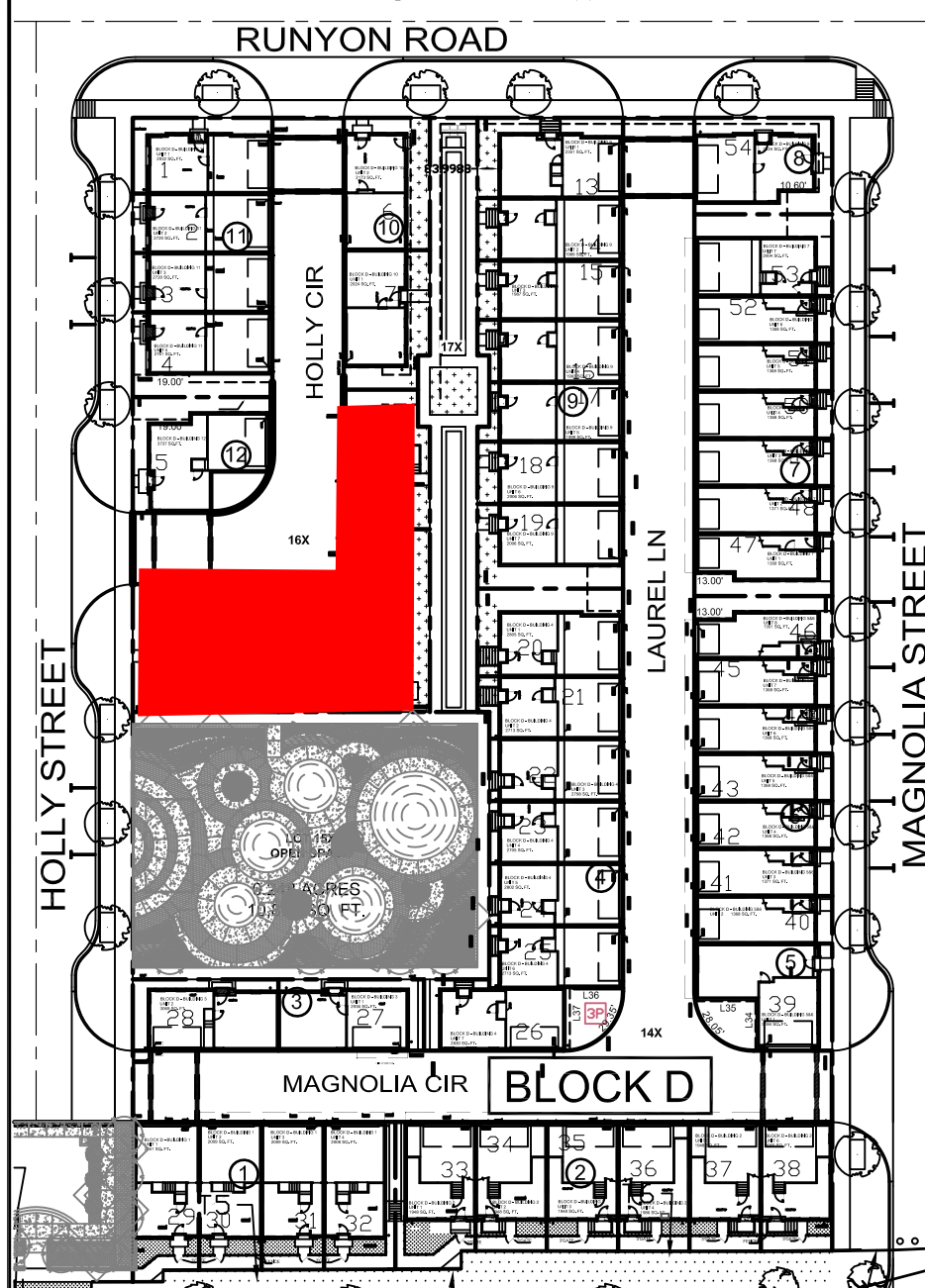
PLAN NO.	3070
UNIT 1	2894
UNIT 2	2790
UNIT 3	4115
UNIT 4	2759
UNIT 5	

SHEET NO.

**A-65**

Drawn By/Checked By: J.Q./F.M.  
Original Date Issued: 05/17/2021  
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Last Updated: 06/03/2022

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LEGEND

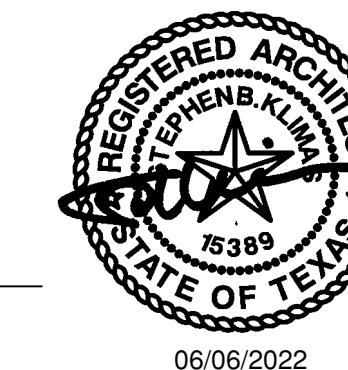
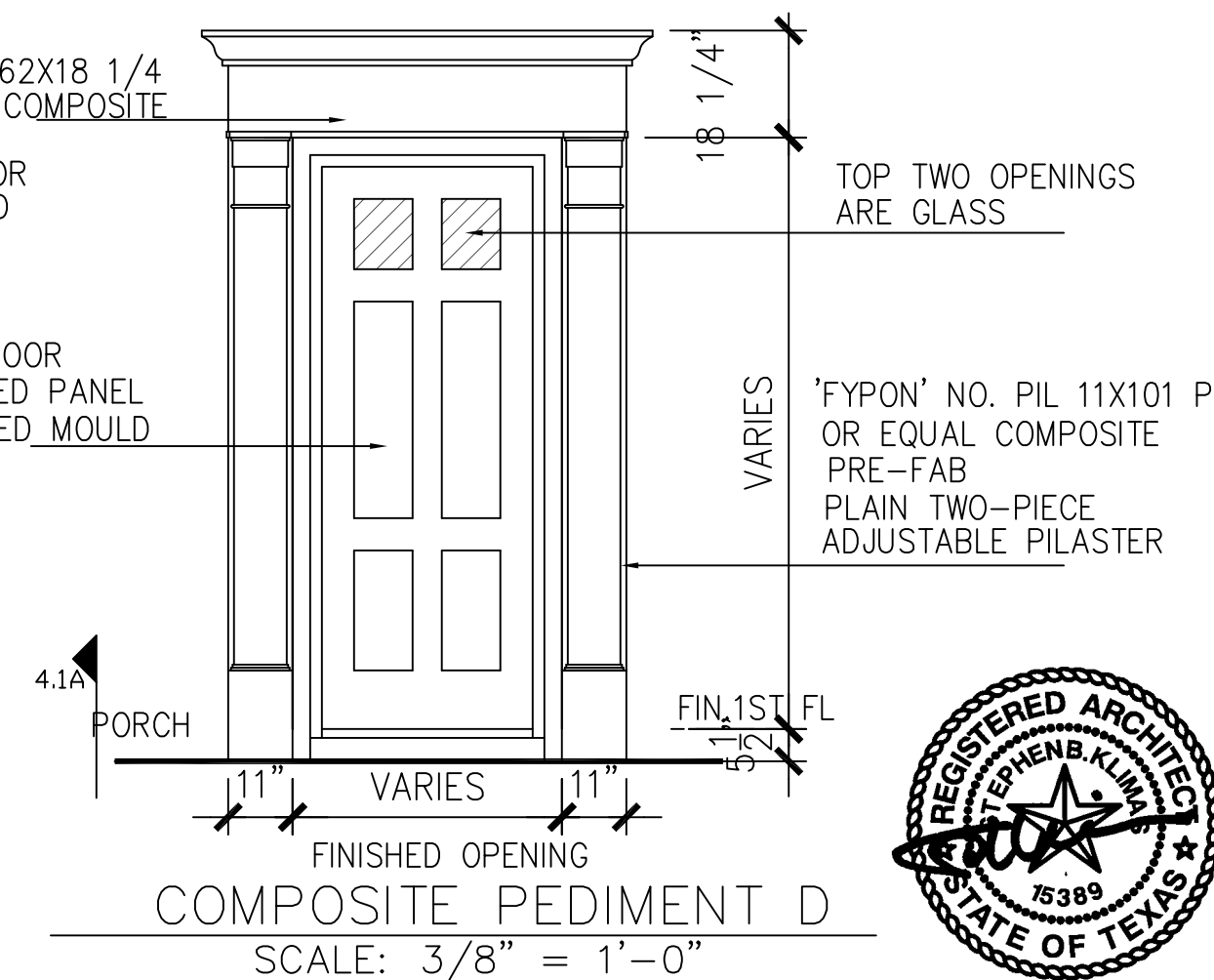
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- COMPOSITE PEDIMENT (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- FIX. SHUTTER (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

WEST/LEFT MATERIAL CALCULATION TABLE		
BRICK	1556	90.1%
FIBER CEMENT STUCCO BOARD	69	4.0%
ACCENT MATERIAL	101	5.9%
TOTAL SURFACE AREA	1726	

FACADE PLAN NOTES

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"FYPON"  
NO. LDCH 62X18 1/4  
OR EQUAL COMPOSITE  
PRE-FAB  
LARGE DOOR  
CROSSHEAD



Drawn By/Checked By: J.O./F.M.  
Original Date Issued: 05/17/2021  
Scale: 1/4" = 1'-0"  
Last Updated: 06/03/2022



LOT 5 west/front (HOLLY STREET) elevation  
BUILDING 10  
SCALE: 1/4" = 1'-0"

west/left (HOLLY STREET) elevation  
SCALE: 1/4" = 1'-0"

UNIT 1  
LOT 12  
BUILDING 13

URBAN INTOWN HOMES  
2410 POLK ST, STE 200, HOUSTON, TX 77003  
PHONE: 713-961-3877

ADDISON GROVE

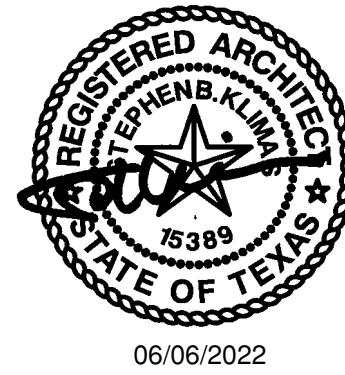
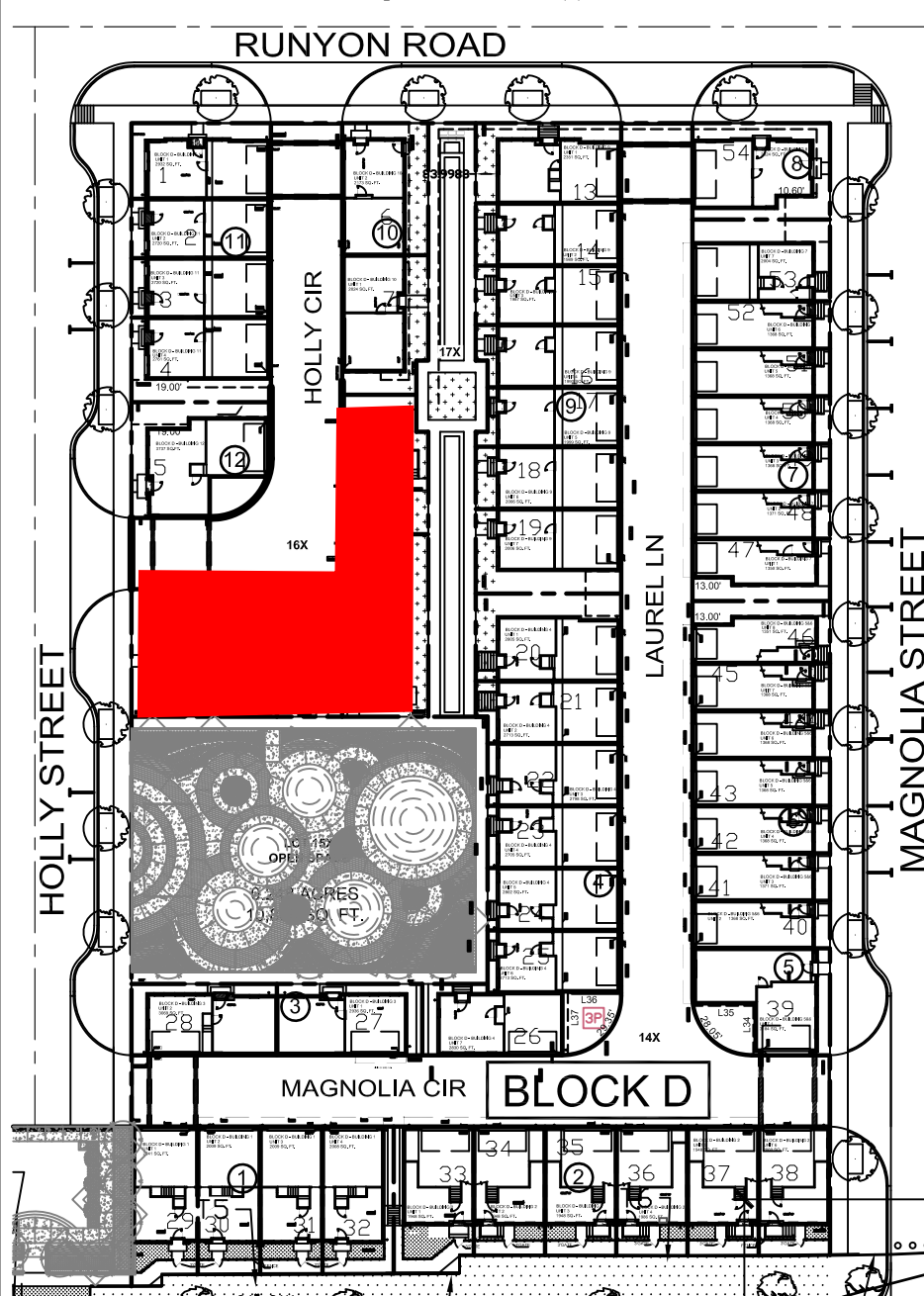
ADDISON GROVE - BLOCK D - BUILDING 13

WEST/LEFT ELEVATIONS

PLAN NO.	UNIT
3070	1
2894	2
2790	3
4115	4
2759	5

SHEET NO.

A-66



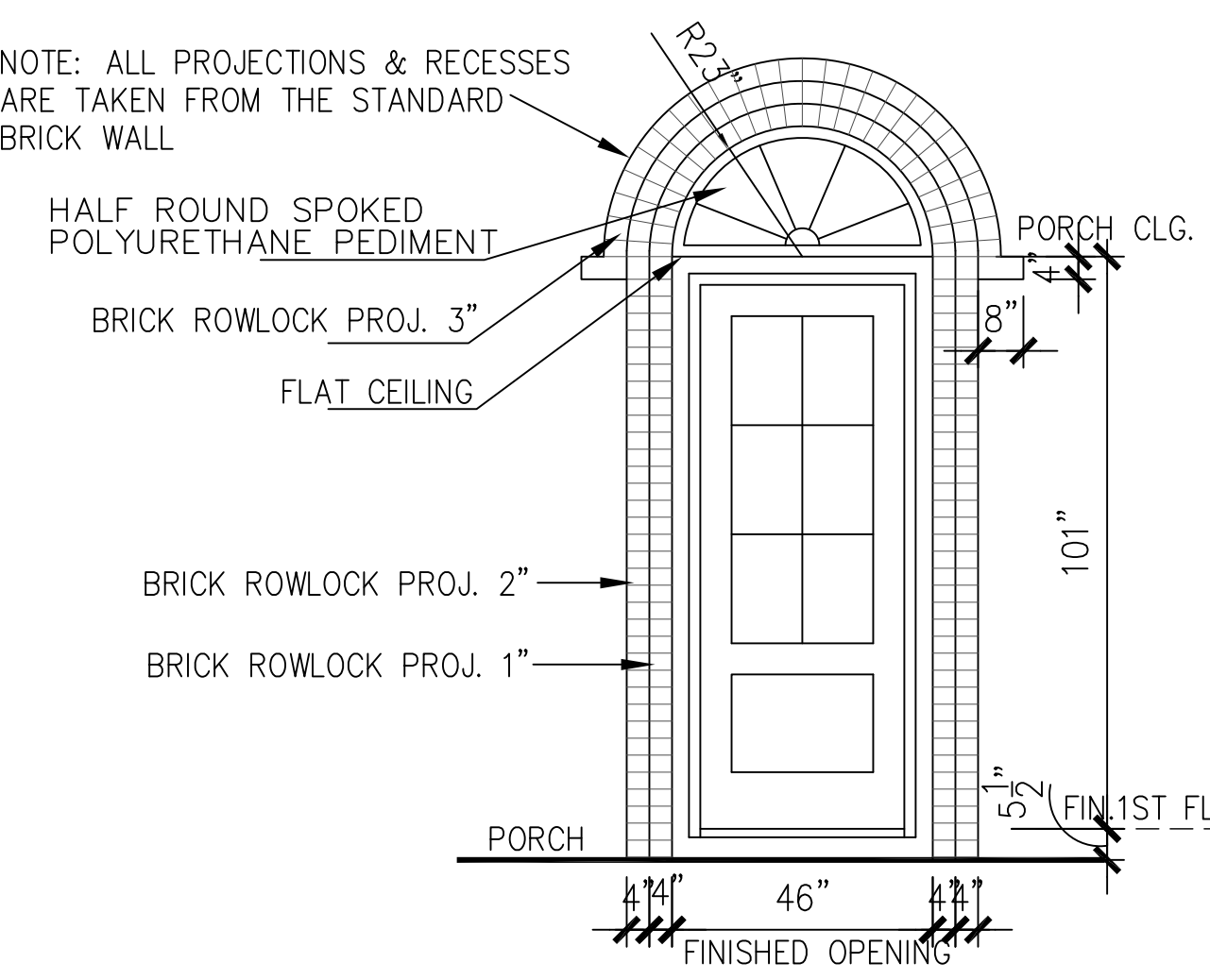
EAST/RIGHT MATERIAL CALCULATION TABLE		
BRICK	3404	92.8%
FIBER CEMENT STUCCO BOARD	122	3.3%
ACCENT MATERIAL	144	3.9%
TOTAL SURFACE AREA	3670	

- LEGEND**
- BRICK
  - FIBER CEMENT STUCCO BOARD
  - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
  - STANDING SEAM METAL ROOF
  - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
  - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)

**FAÇADE PLAN NOTES**

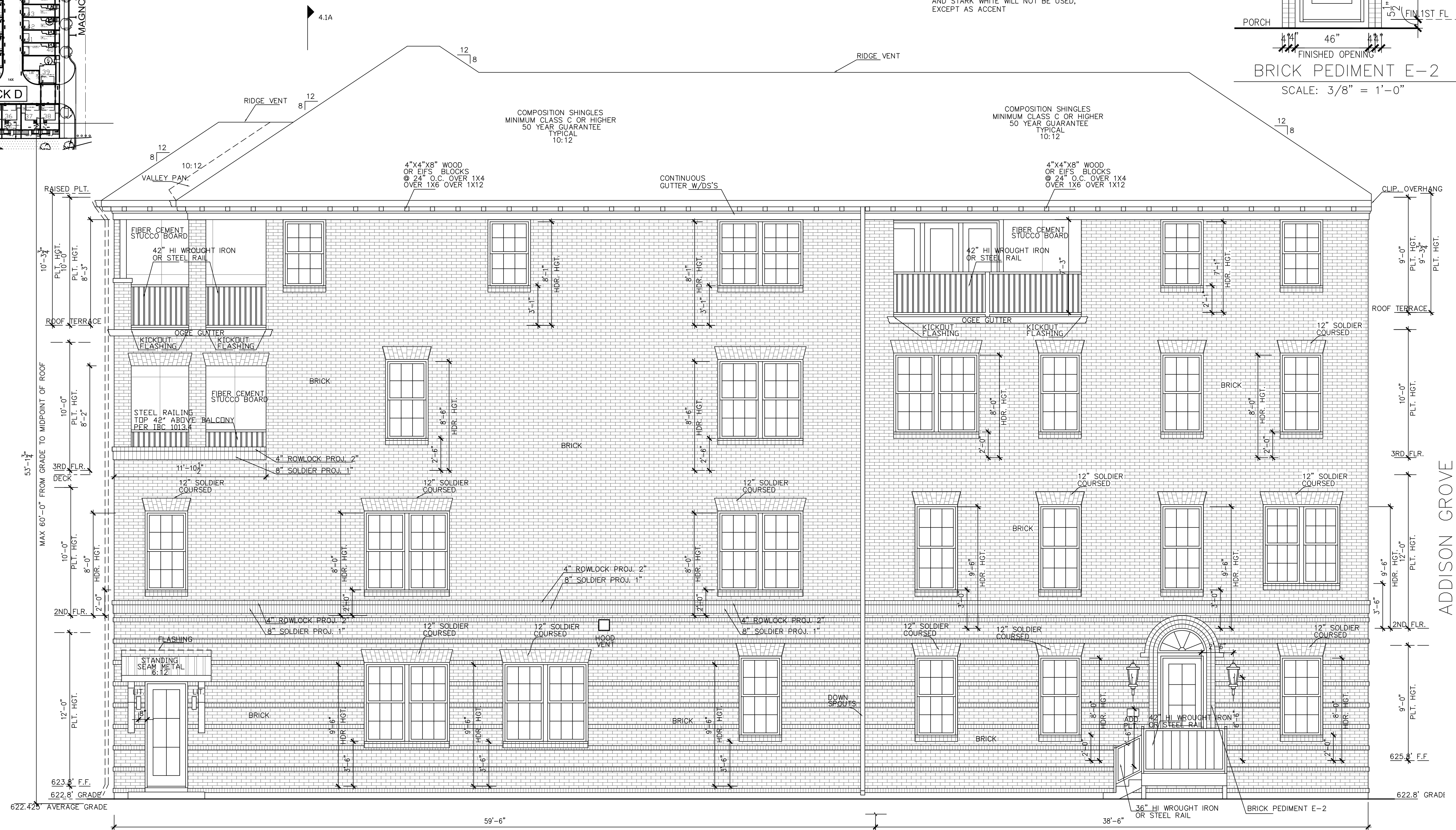
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NOTE: ALL PROJECTIONS & RECESSES ARE TAKEN FROM THE STANDARD BRICK WALL



BRICK PEDIMENT E-2

SCALE: 3/8" = 1'-0"

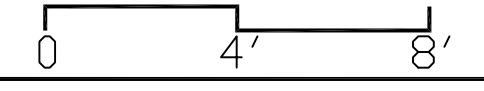


UNIT 4  
LOT 9

UNIT 5  
LOT 8

east/right(green space) elevation

SCALE: 1/4" = 1'-0"



ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 13

EAST/RIGHT ELEVATIONS

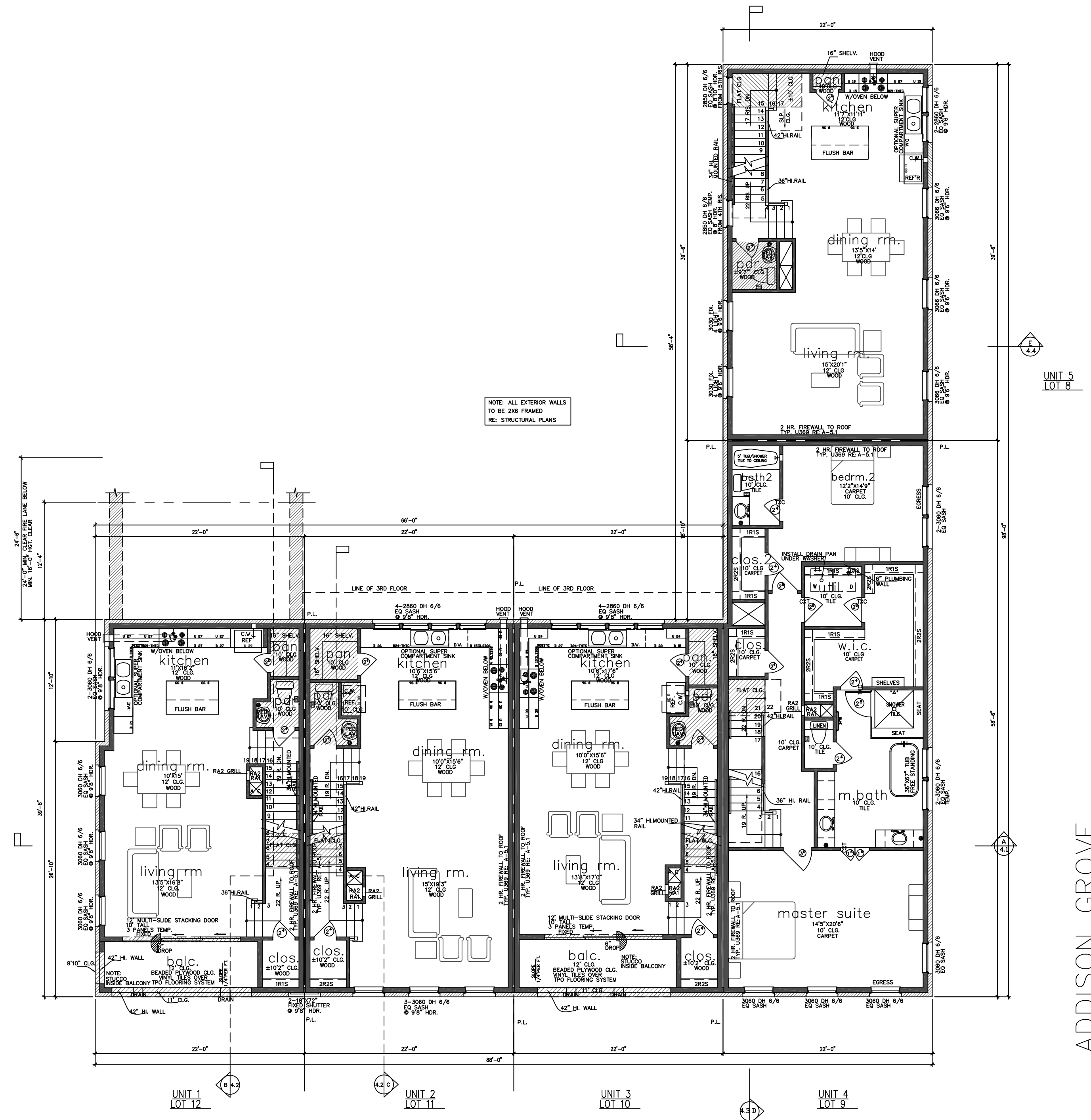
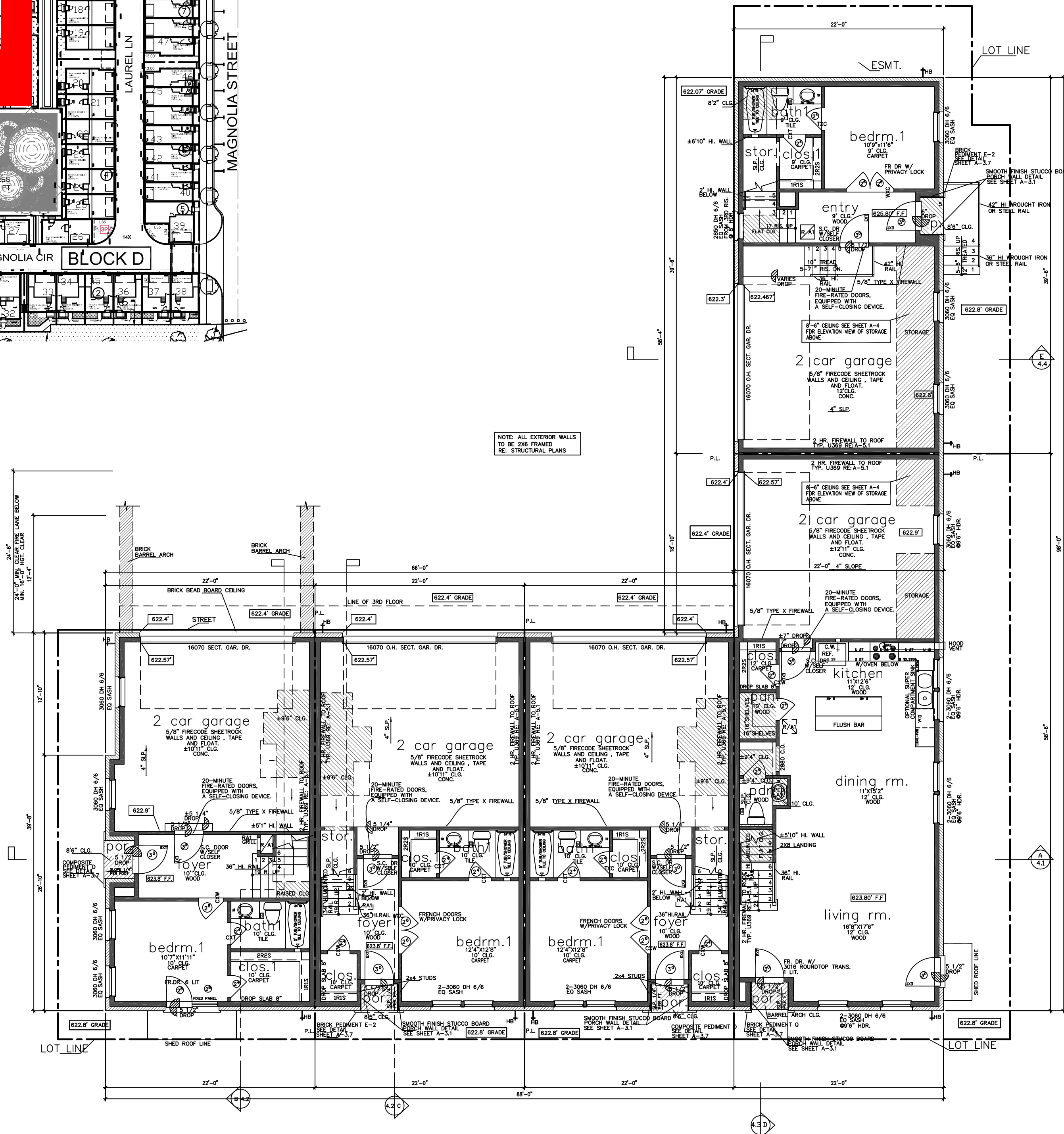
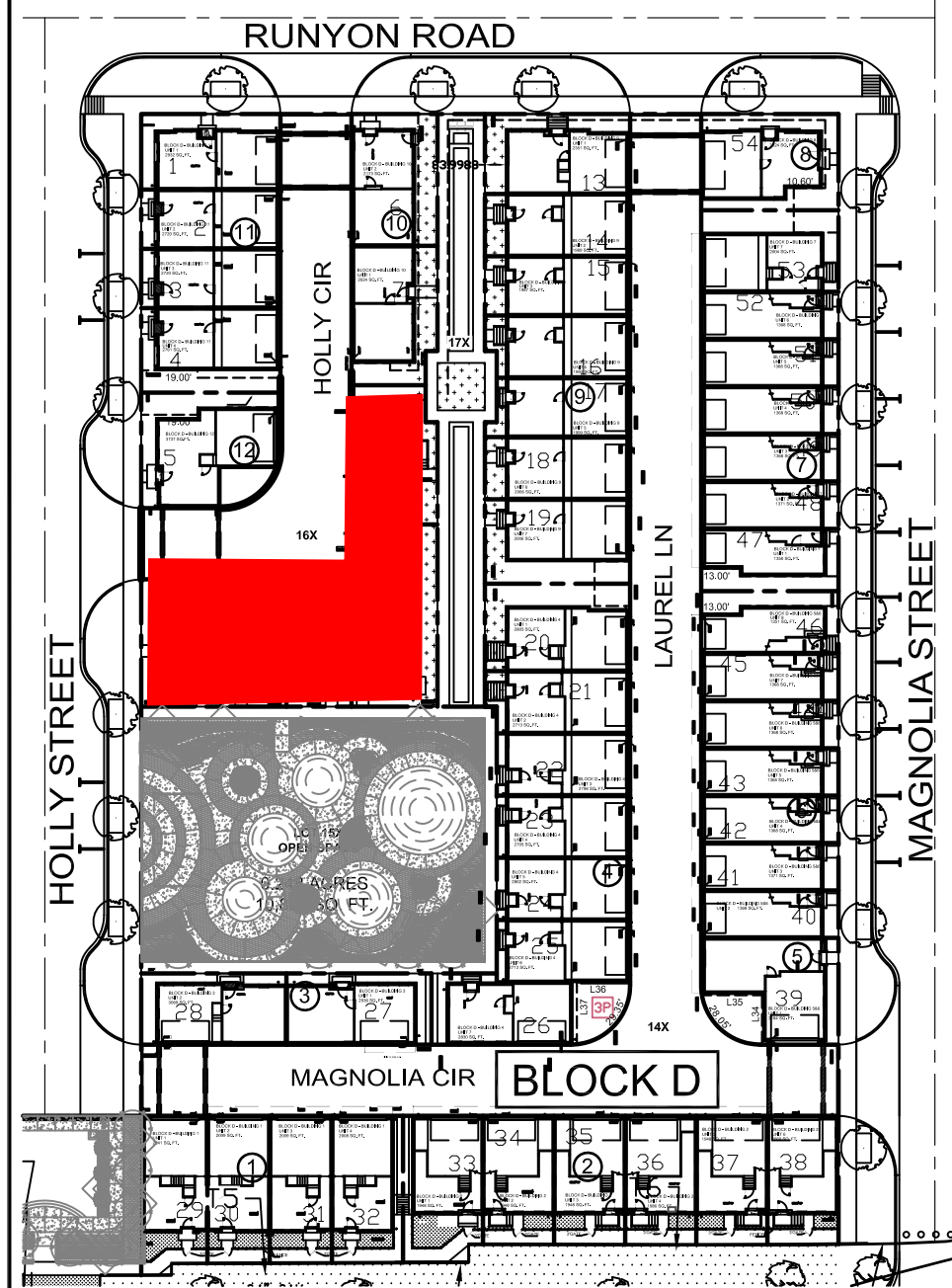
Drawn By/Checked By: J.Q./F.M.  
Original Date Issued: 05/17/2021  
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URBANTOWN HOMES  
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PLAN NO.	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5
3070	2894	2790	4115	2759	

SHEET NO.

A-67



First Floor Plan  
SCALE: 1/8" = 1'-0"

Second Floor Plan  
SCALE: 1/8" = 1'-0"

Unit 1 square footage

FIRST FLOOR	244
SECOND FLOOR	102
THIRD FLOOR	102
ROOF TERRACE	800
TOTAL LIVING AREA	3070
PORCH	12
GARAGE	415
BALCONY	95
COVERED ROOF DECK	147
UNCOVERED ROOF DECK	109
AC DECK	45
TOTAL SLAB AREA	861

Unit 2 square footage

FIRST FLOOR	465
SECOND FLOOR	744
THIRD FLOOR	875
ROOF TERRACE	495
TOTAL LIVING AREA	2894
PORCH	11
GARAGE	222
BALCONY	33
COVERED ROOF DECK	53
UNCOVERED ROOF DECK	147
AC DECK	80
TOTAL SLAB AREA	872

Unit 3 square footage

FIRST FLOOR	461
SECOND FLOOR	744
THIRD FLOOR	897
ROOF TERRACE	495
TOTAL LIVING AREA	2790
PORCH	11
GARAGE	222
BALCONY	33
COVERED ROOF DECK	53
UNCOVERED ROOF DECK	147
AC DECK	80
TOTAL SLAB AREA	872

Unit 4 square footage

FIRST FLOOR	639
SECOND FLOOR	897
THIRD FLOOR	1068
ROOF TERRACE	495
TOTAL LIVING AREA	4115
PORCH	11
GARAGE	415
BALCONY	95
COVERED ROOF DECK	147
UNCOVERED ROOF DECK	109
AC DECK	45
TOTAL SLAB AREA	1287

Unit 5 square footage

FIRST FLOOR	371
SECOND FLOOR	894
THIRD FLOOR	894
ROOF TERRACE	495
TOTAL LIVING AREA	2759
PORCH	11
GARAGE	415
BALCONY	95
COVERED ROOF DECK	147
UNCOVERED ROOF DECK	109
AC DECK	45
TOTAL SLAB AREA	1287

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	3070	4
UNIT 2	2894	4
UNIT 3	2790	4
UNIT 4	4115	5
UNIT 5	2759	4



URBAN INTOWN HOMES  
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PHONE: 713-961-3877

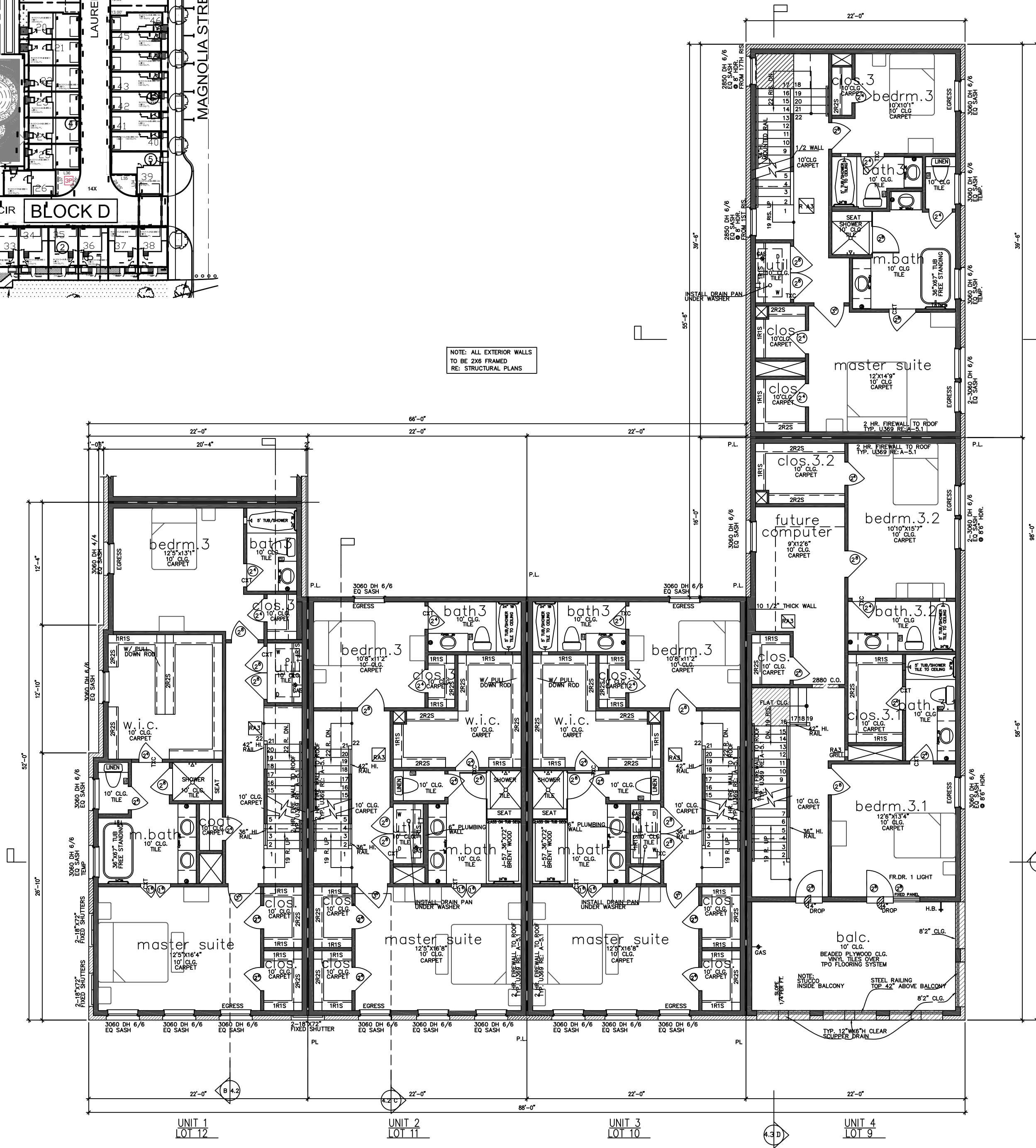
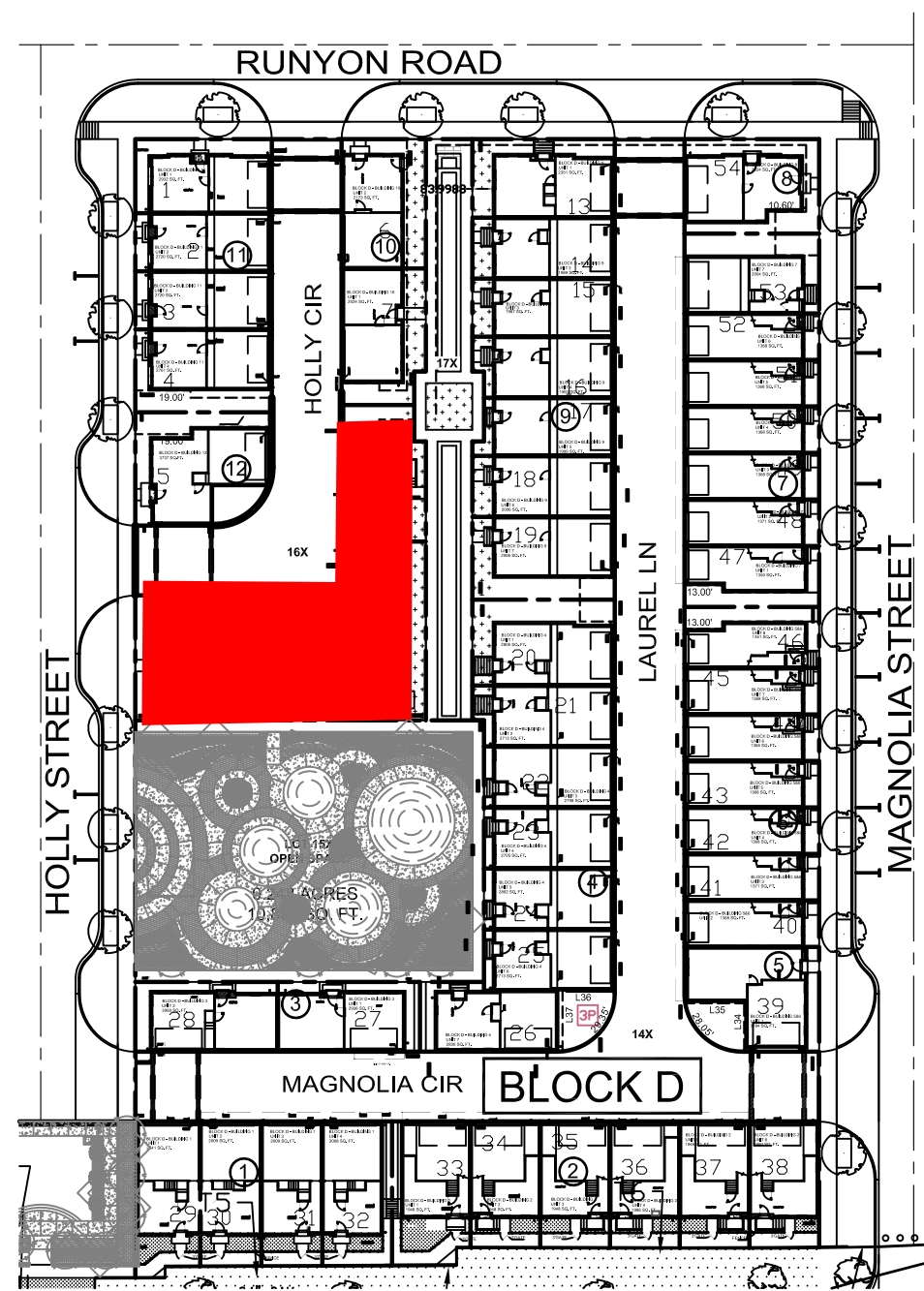
Drawn By/Checked By: J.O./F.M.  
Original Date Issued: 05/17/2021  
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Last Updated: 06/03/2022

**ADDISON GROVE - BLOCK D - BUILDING 13**  
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(713)961-3877 TEL (713)961-4270 FAX

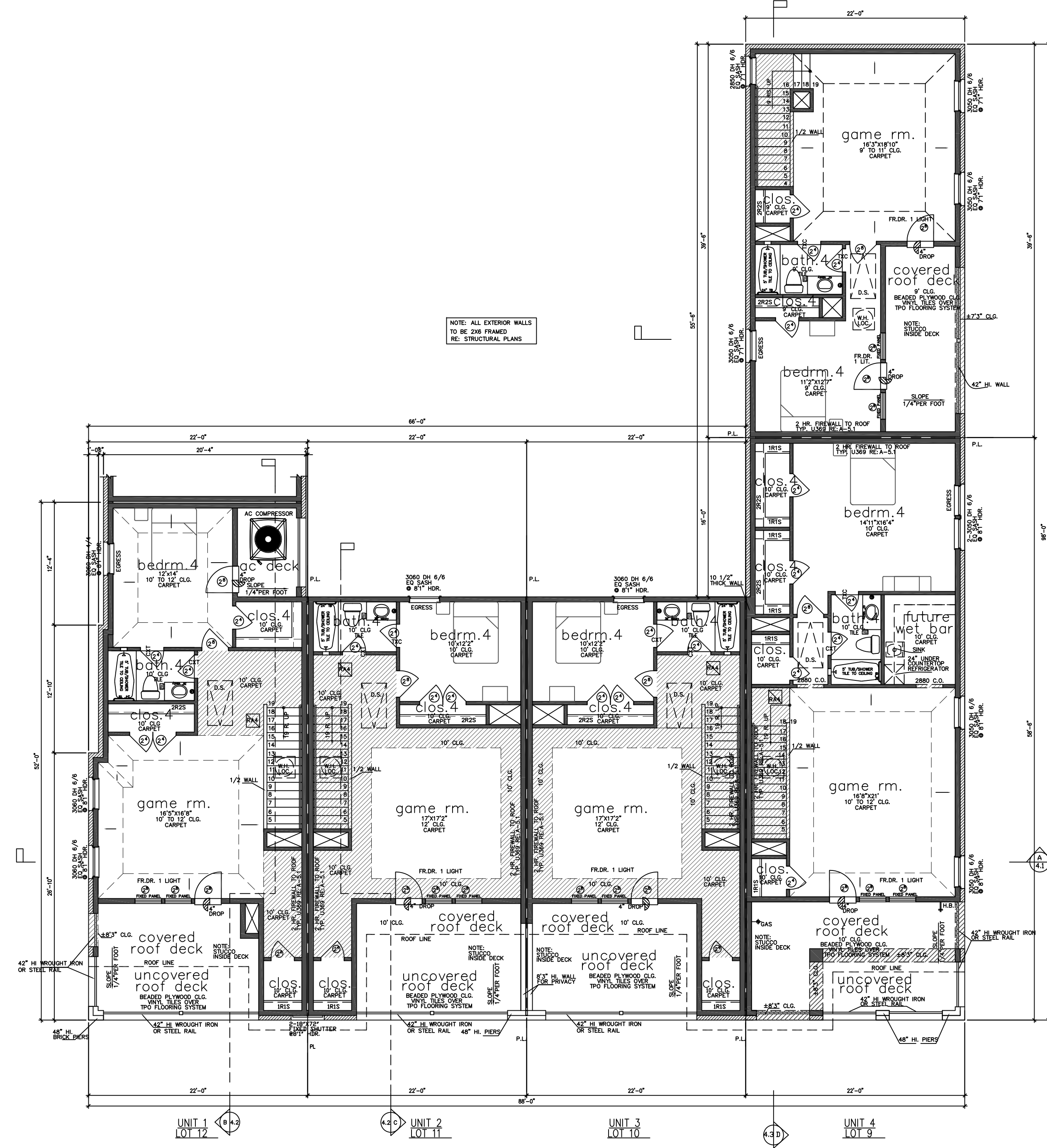
**URBANINTOWNHOMES**  
**FLOOR PLANS**  
ADDISON GROVE  
SHEET NO. **A-68**



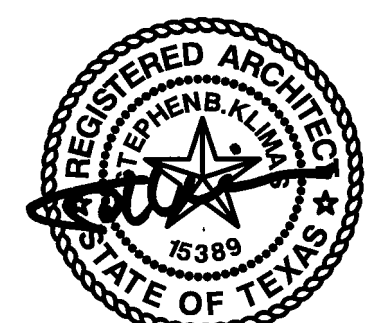
Town Project #: 1833-Z



**Third Floor Plan**  
NORTH  
SCALE: 1/8" = 1'-0"



**Roof Terrace Plan**  
NORTH  
SCALE: 1/8" = 1'-0"



06/06/2022

URBAN INTOWN HOMES  
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PHONE: 713-961-3877

Drawn By/Checked By:  
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**ADDISON GROVE - BLOCK D - BUILDING 13**  
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**FLOOR PLANS**

PLAN NO.	3020
UNIT 1	2894
UNIT 2	2790
UNIT 3	4115
UNIT 4	2759
UNIT 5	

SHEET NO.  
**A-69**