

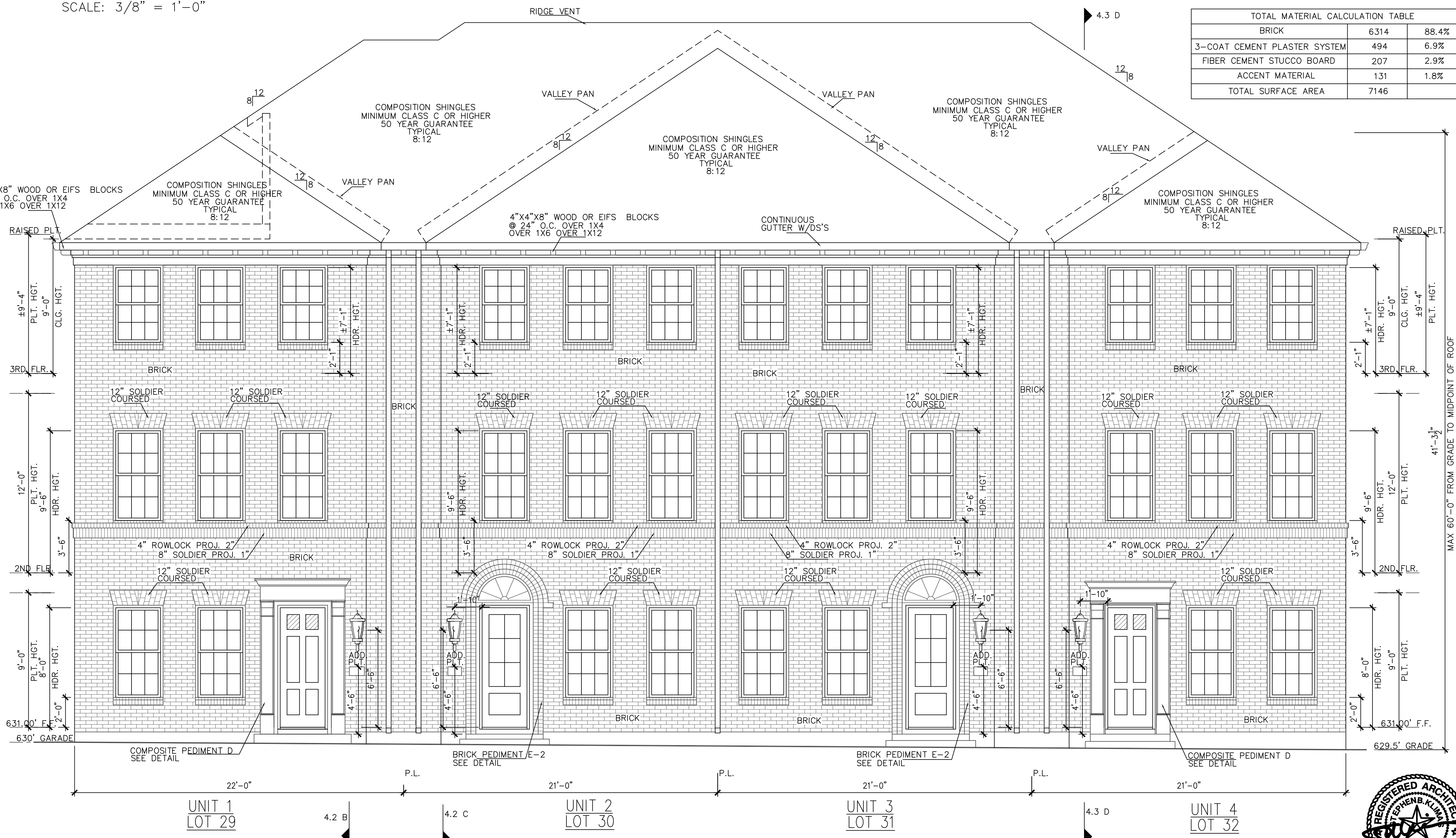
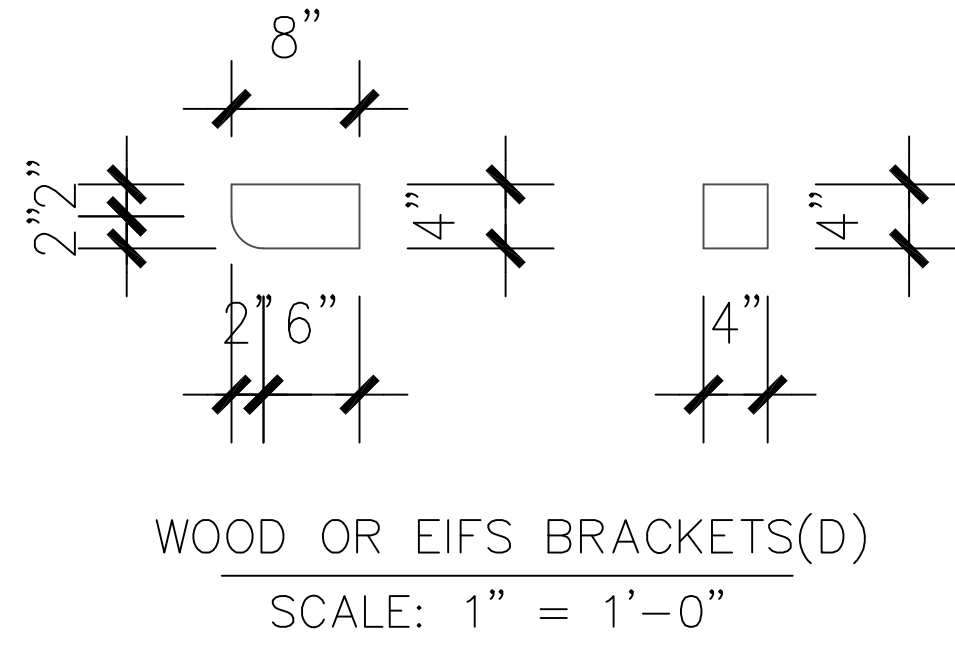
- LEGEND
- BRICK
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - COMPOSITE PEDIMENT (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

SOUTH/FRONT MATERIAL CALCULATION TABLE		
BRICK	1858	97.2%
ACCENT MATERIAL	53	2.8%
TOTAL SURFACE AREA	1911	

FACADE PLAN NOTES

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TOTAL MATERIAL CALCULATION TABLE		
BRICK	6314	88.4%
3-COAT CEMENT PLASTER SYSTEM	494	6.9%
FIBER CEMENT STUCCO BOARD	207	2.9%
ACCENT MATERIAL	131	1.8%
TOTAL SURFACE AREA	7146	



ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE-BLOCK D-BUILDING 1

SOUTH/FRONT ELEVATION

PLAN NO.	DATE
UNIT 1	2241
UNIT 2	2009
UNIT 3	2009
UNIT 4	2008

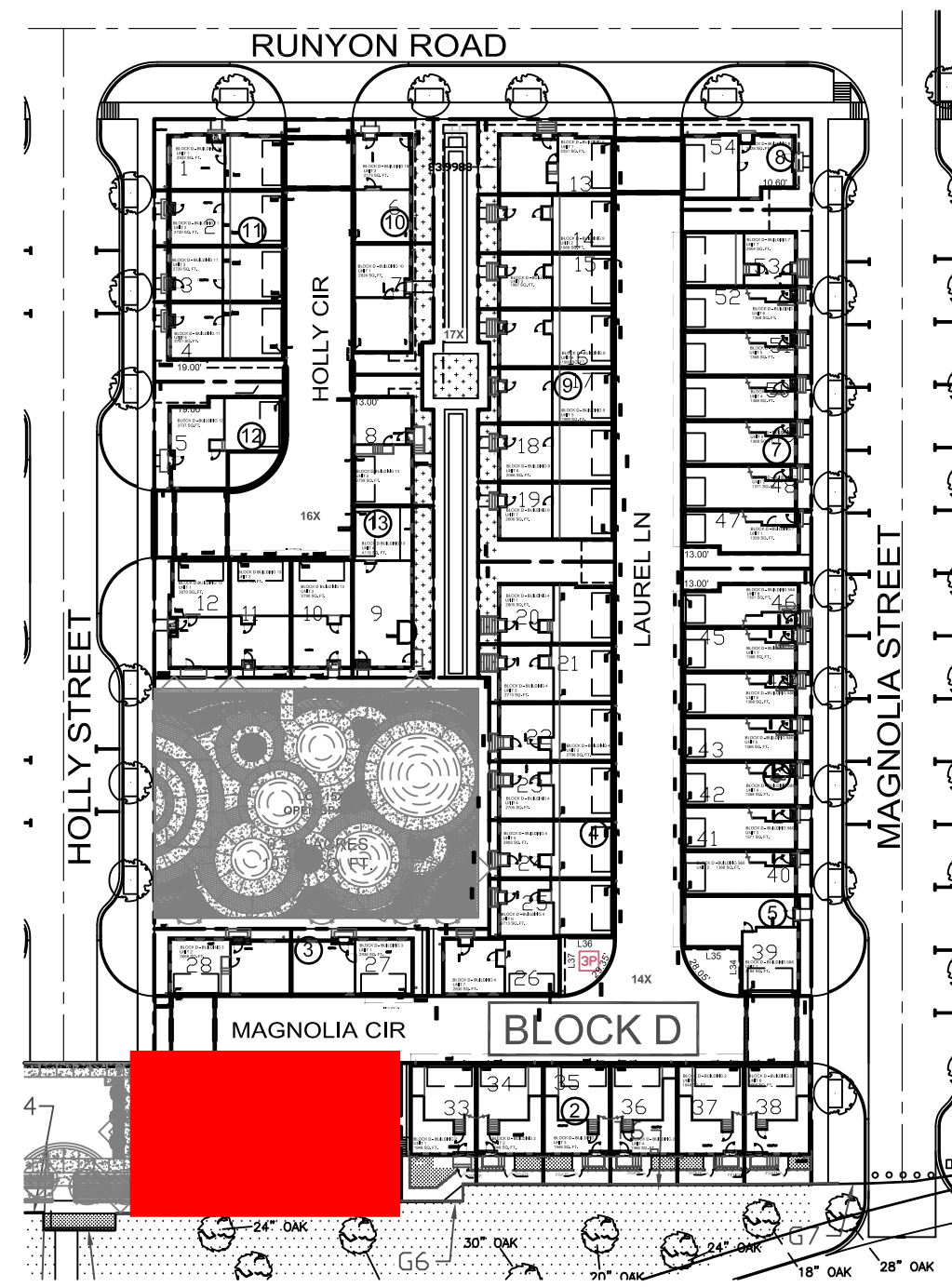
SHEET NO. A-01

south/front (BELTWAY DR)elevation

SCALE: 1/4" = 1'-0"

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877





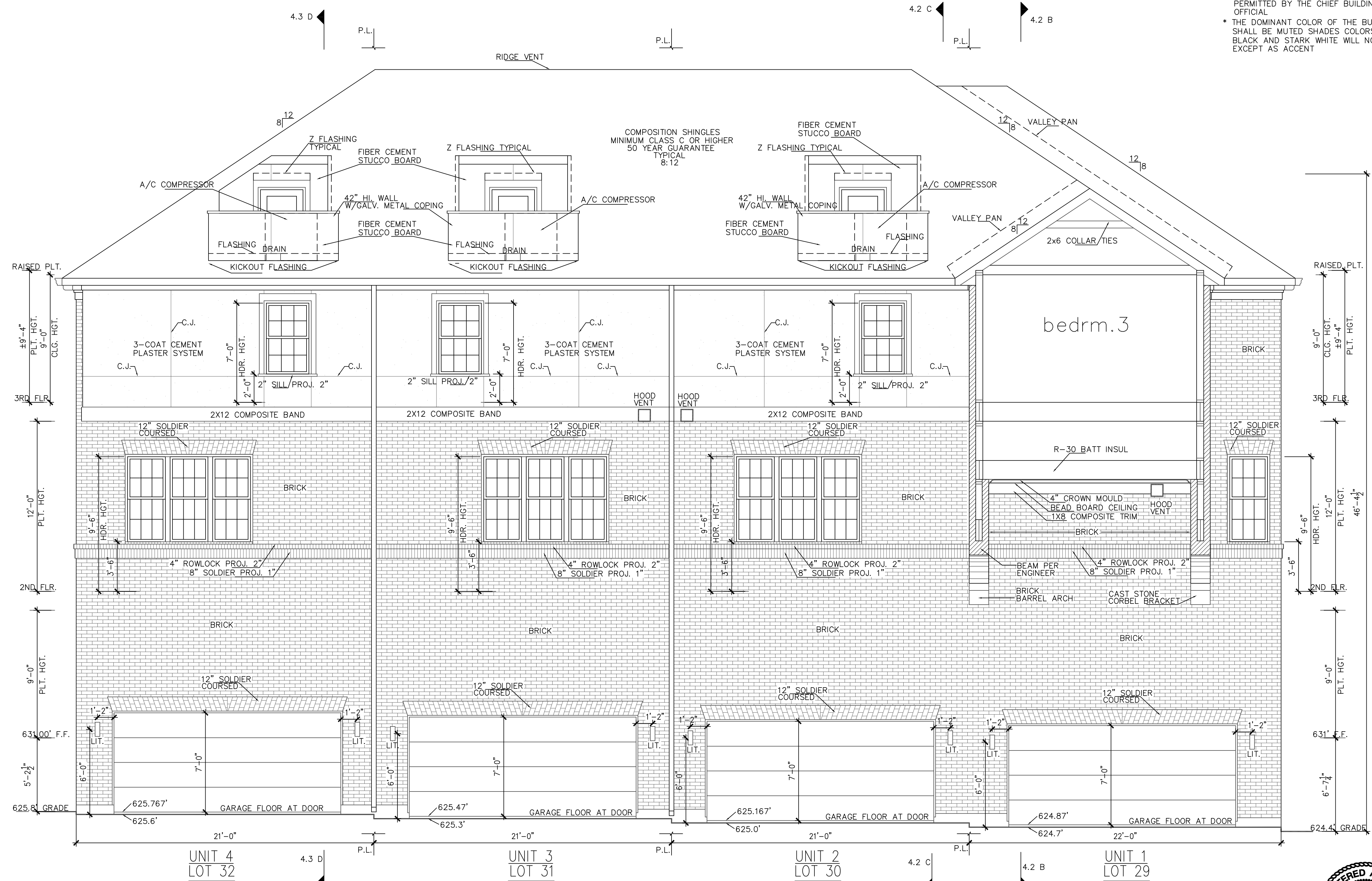
NORTH/REAR MATERIAL CALCULATION TABLE		
BRICK	1679	71.1%
3-COAT CEMENT PLASTER SYSTEM	465	19.7%
FIBER CEMENT STUCCO BOARD	151	6.4%
ACCENT MATERIAL	67	2.8%
TOTAL SURFACE AREA	2362	

- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)

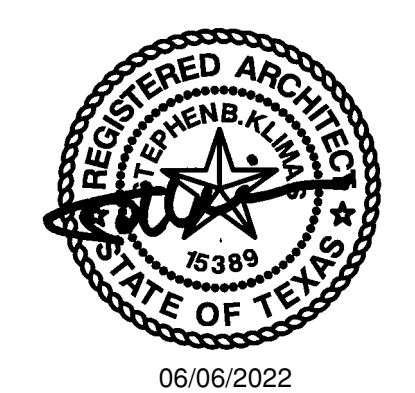
FACADE PLAN NOTES

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Drawn By/Checked By: E.C./F.M.
 Original Date Issued: 06/02/2021
 Scale: 1/4" = 1'-0"
 Last Updated: 06/03/2022



north/rear(MAGNOLIA CIR) elevation
 SCALE: 1/4" = 1'-0"



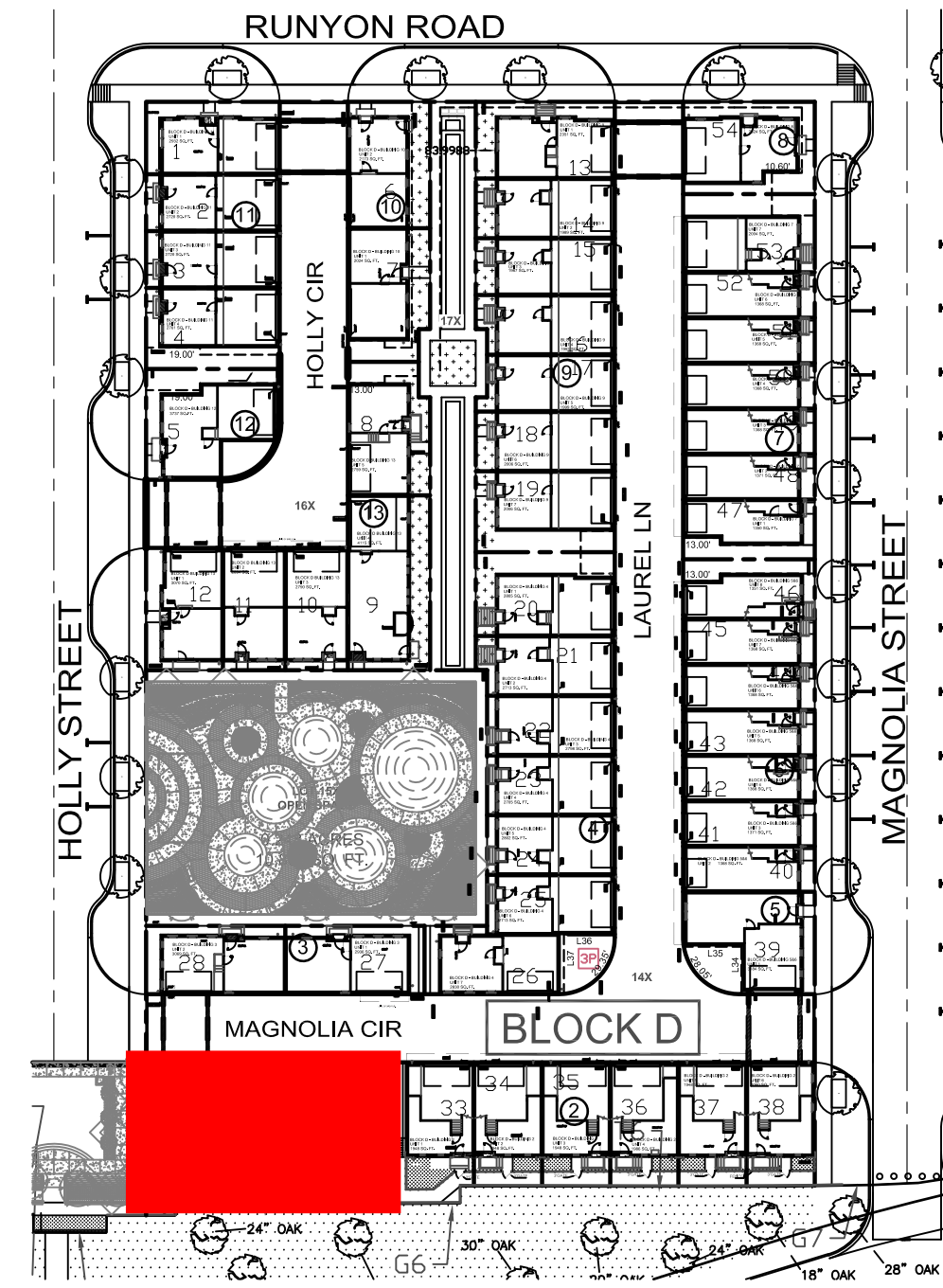
URBANINTOWN HOMES, Ltd.
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE-BLOCK D-BUILDING 1
NORTH/REAR ELEVATION

PLAN NO.	
UNIT 1	2241
UNIT 2	2009
UNIT 3	2009
UNIT 4	2008

SHEET NO.
A-02

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877



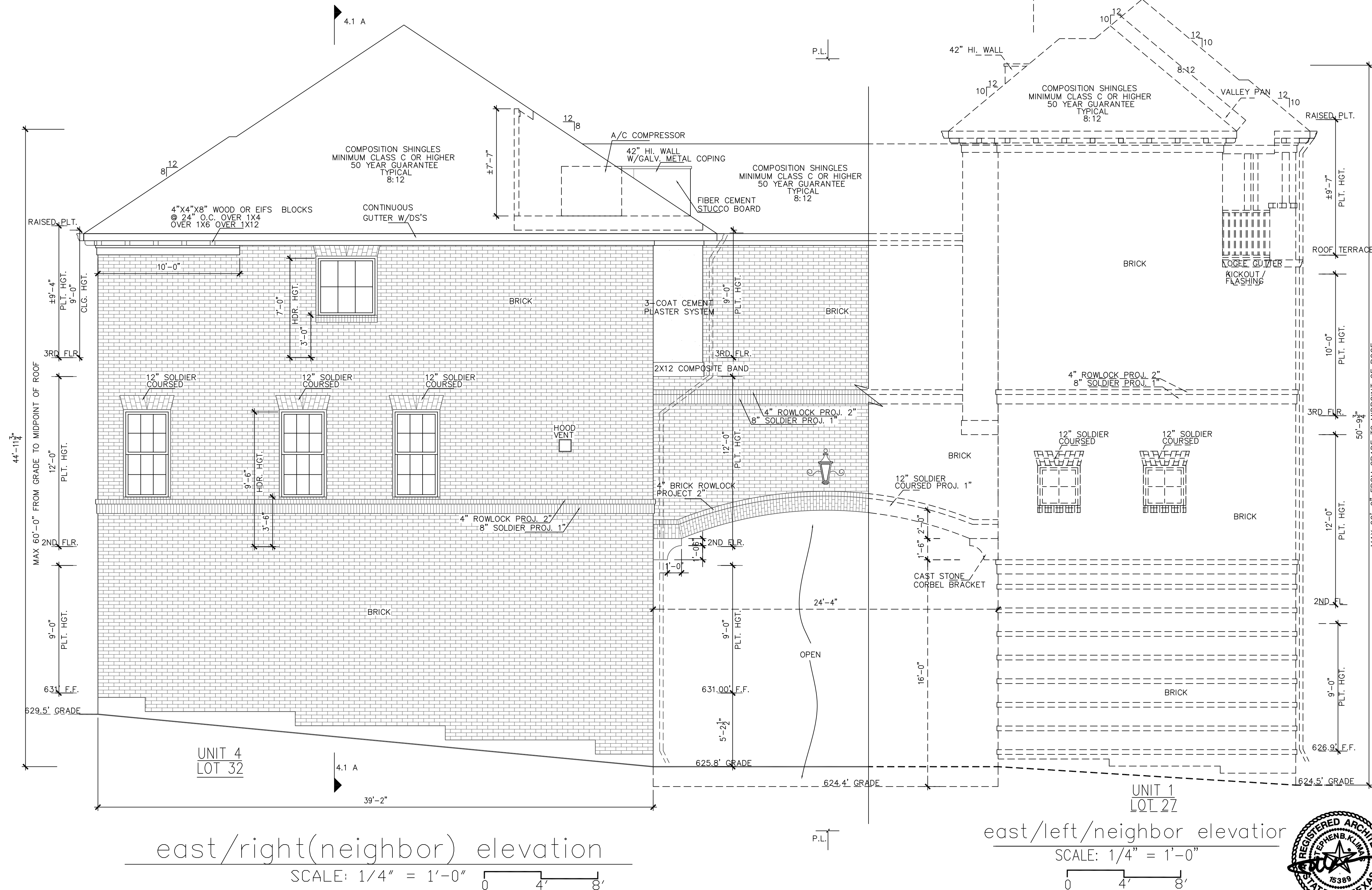
- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

EAST/RIGHT MATERIAL CALCULATION TABLE

BRICK	1450	97.1%
3-COAT CEMENT PLASTER SYSTEM	29	1.9%
FIBER CEMENT STUCCO BOARD	9	0.6%
ACCENT MATERIAL	6	0.4%
TOTAL SURFACE AREA	1494	

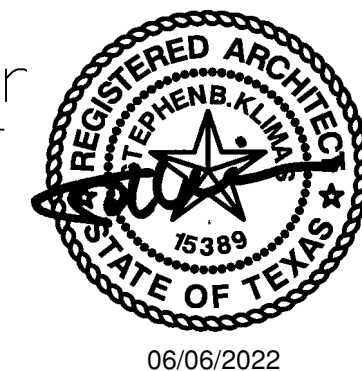
FACADE PLAN NOTES

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east/right(neighbor) elevation
SCALE: 1/4" = 1'-0"

east/left/neighbor elevation
SCALE: 1/4" = 1'-0"



ADDISON GROVE

URBANINTOWN HOMES, Ltd.

2410 POLK ST, STE 200, HOUSTON, TX 77003
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ADDISON GROVE-BLOCK D-BUILDING 1

EAST/RIGHT ELEVATIONS

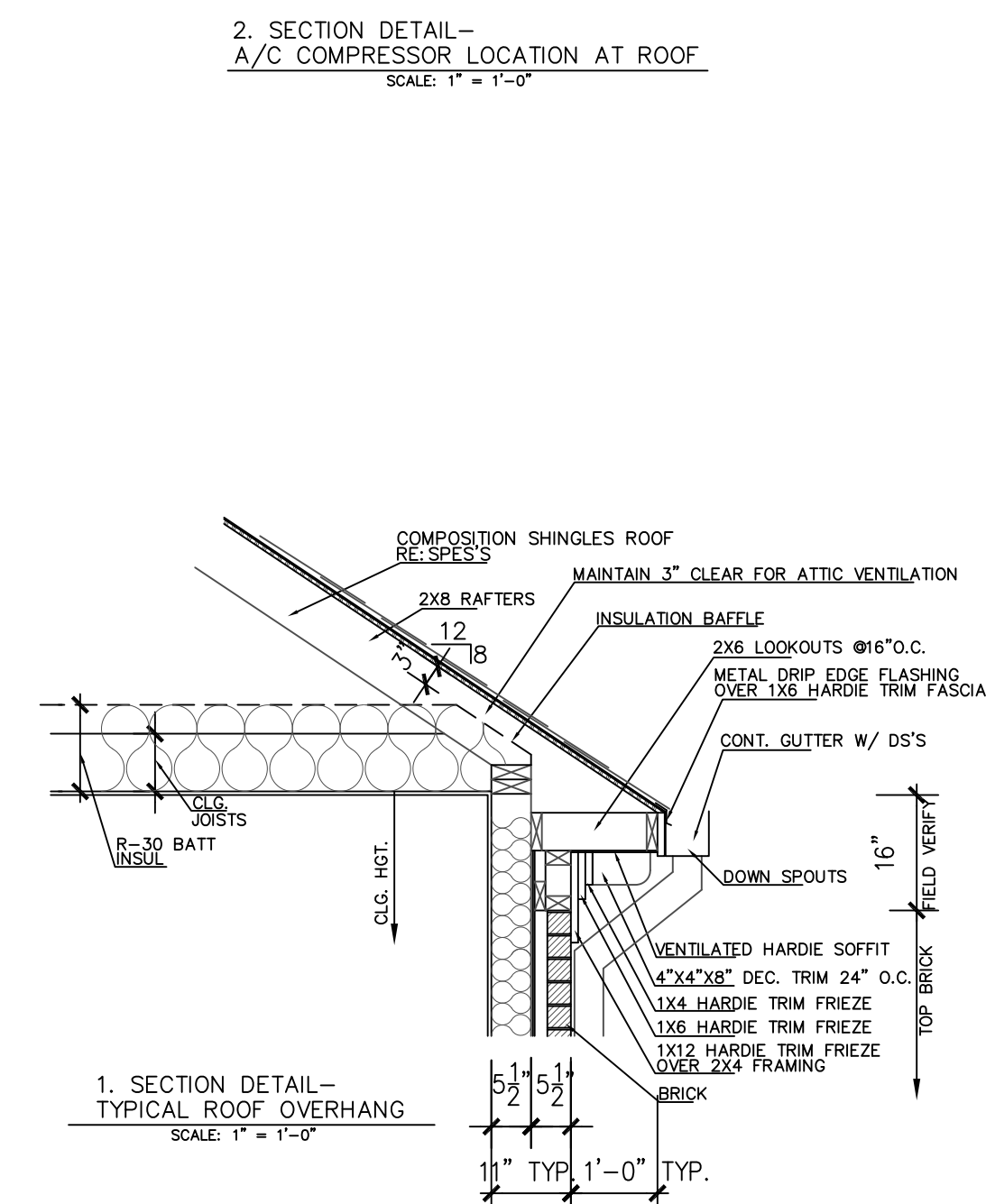
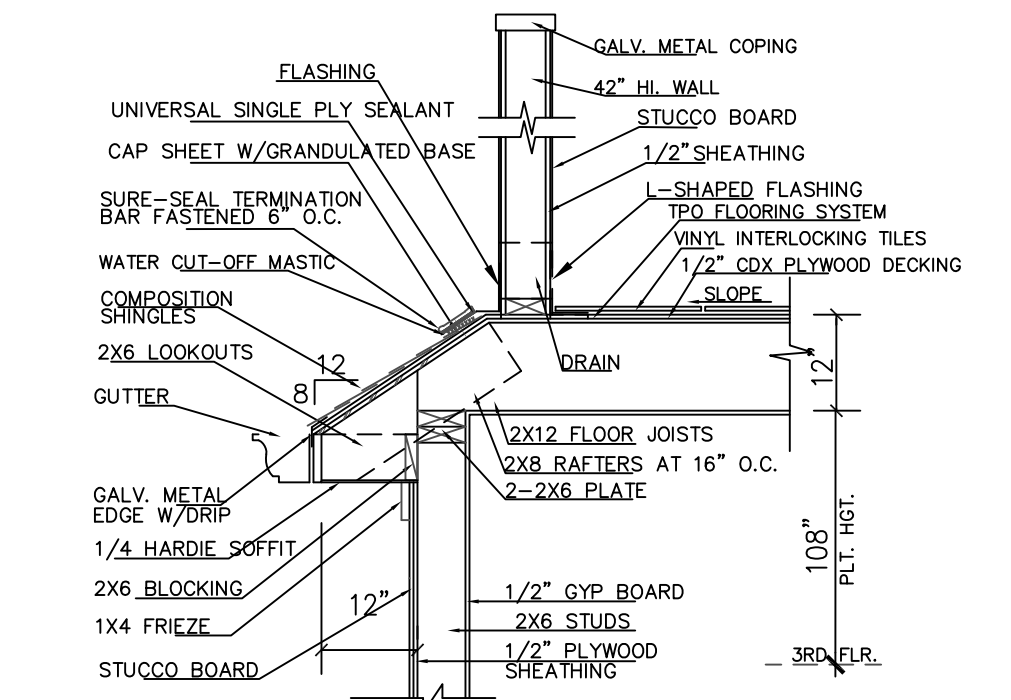
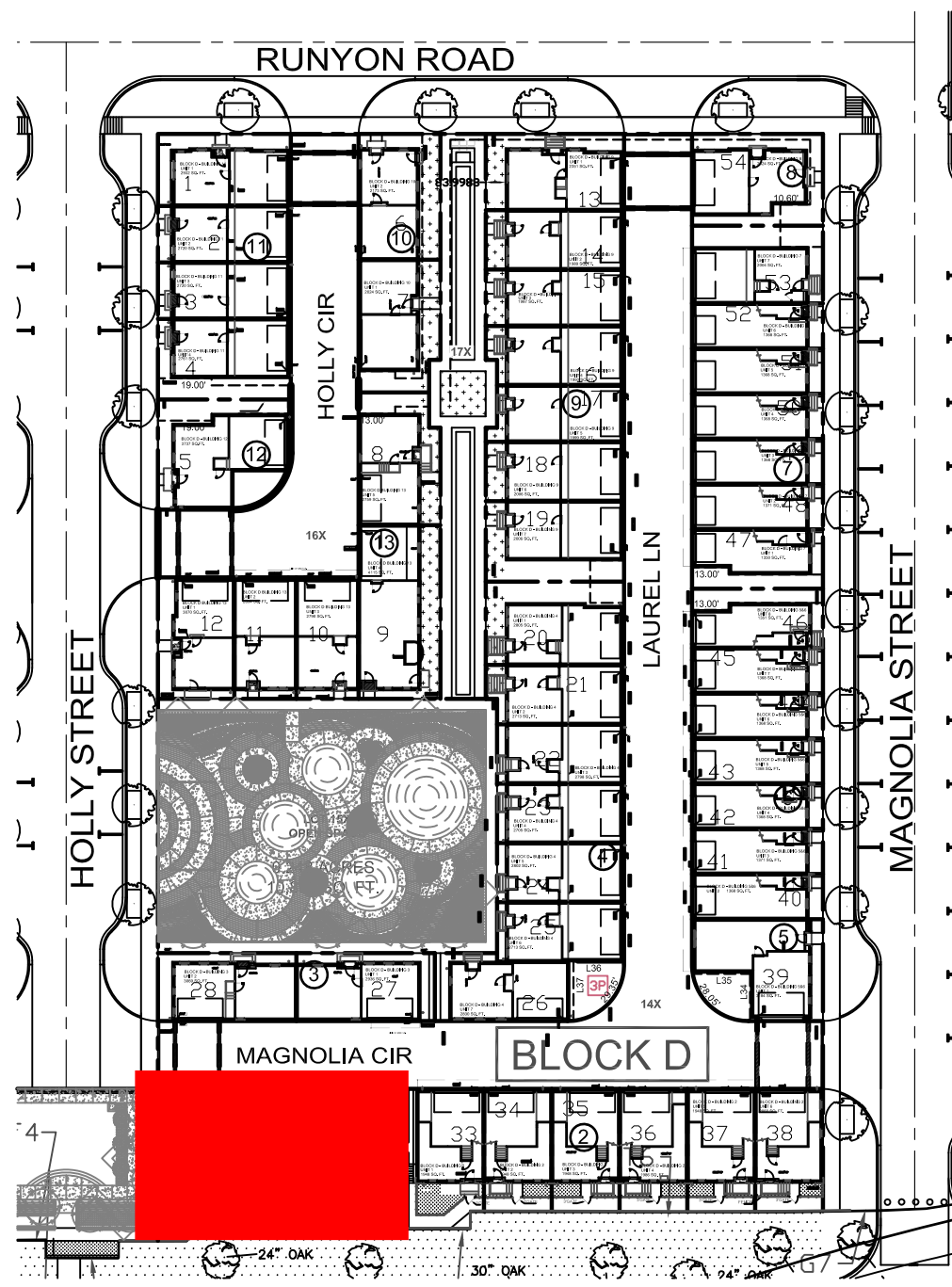
PLAN NO.

UNIT 1	2241
UNIT 2	2009
UNIT 3	2009
UNIT 4	2008

SHEET NO.
A-03

Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/02/2021
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Last Updated: 06/03/2022

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PHONE: 713-961-3877



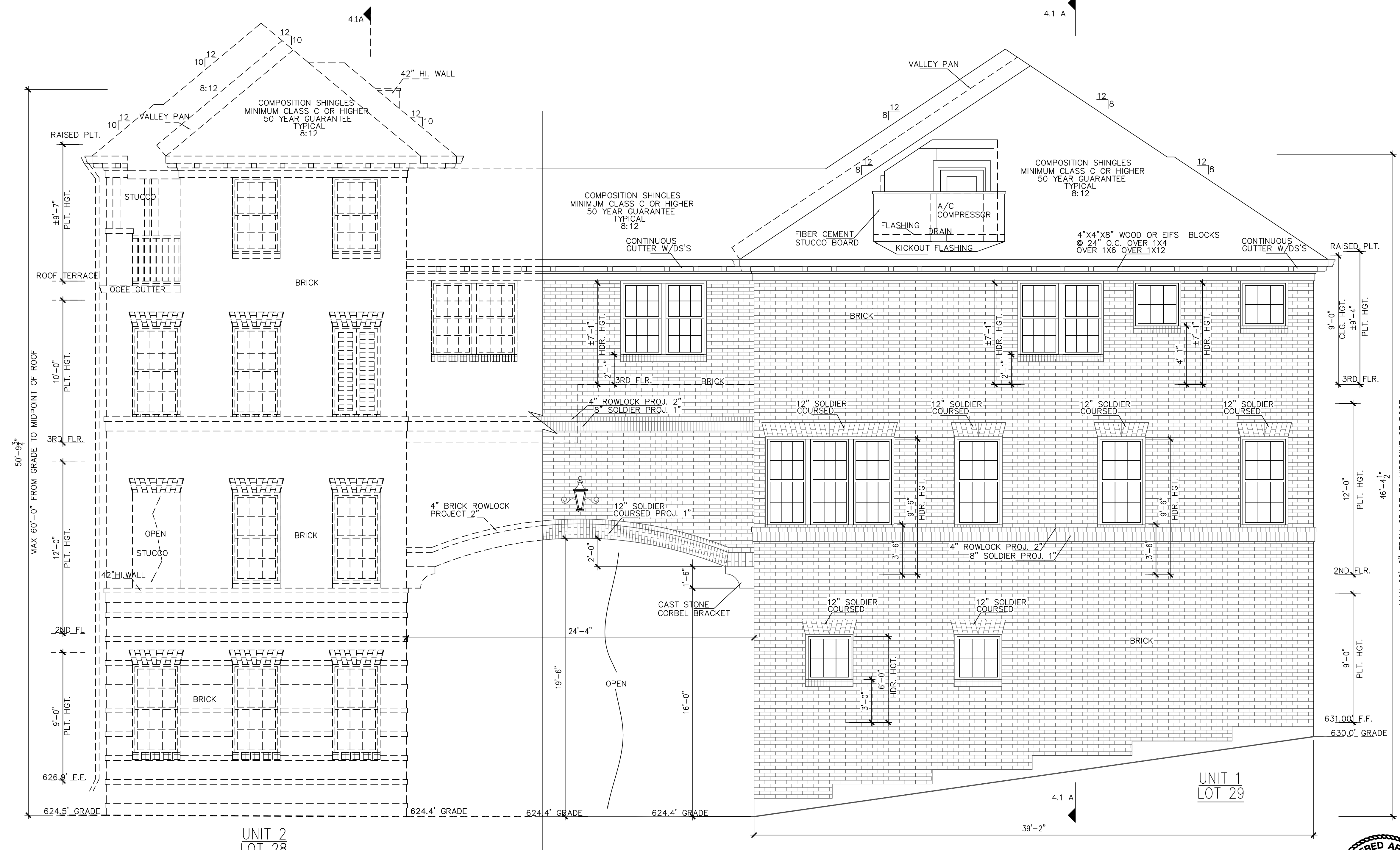
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

WEST/LEFT MATERIAL CALCULATION TABLE		
BRICK	1327	96.2%
FIBER CEMENT STUCCO BOARD	47	3.4%
ACCENT MATERIAL	5	0.4%
TOTAL SURFACE AREA	1379	

FACADE PLAN NOTES

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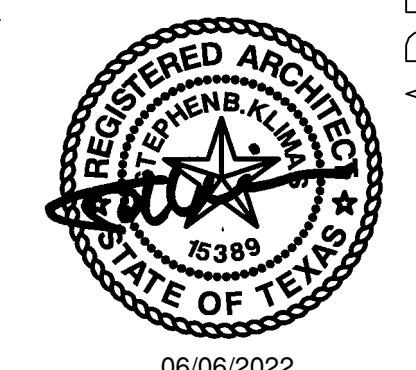
west/right(HOLLY STREET) elevation
SCALE: 1/4" = 1'-0"

west/left(HOLLY ST) elevation
SCALE: 1/4" = 1'-0"

Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/02/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

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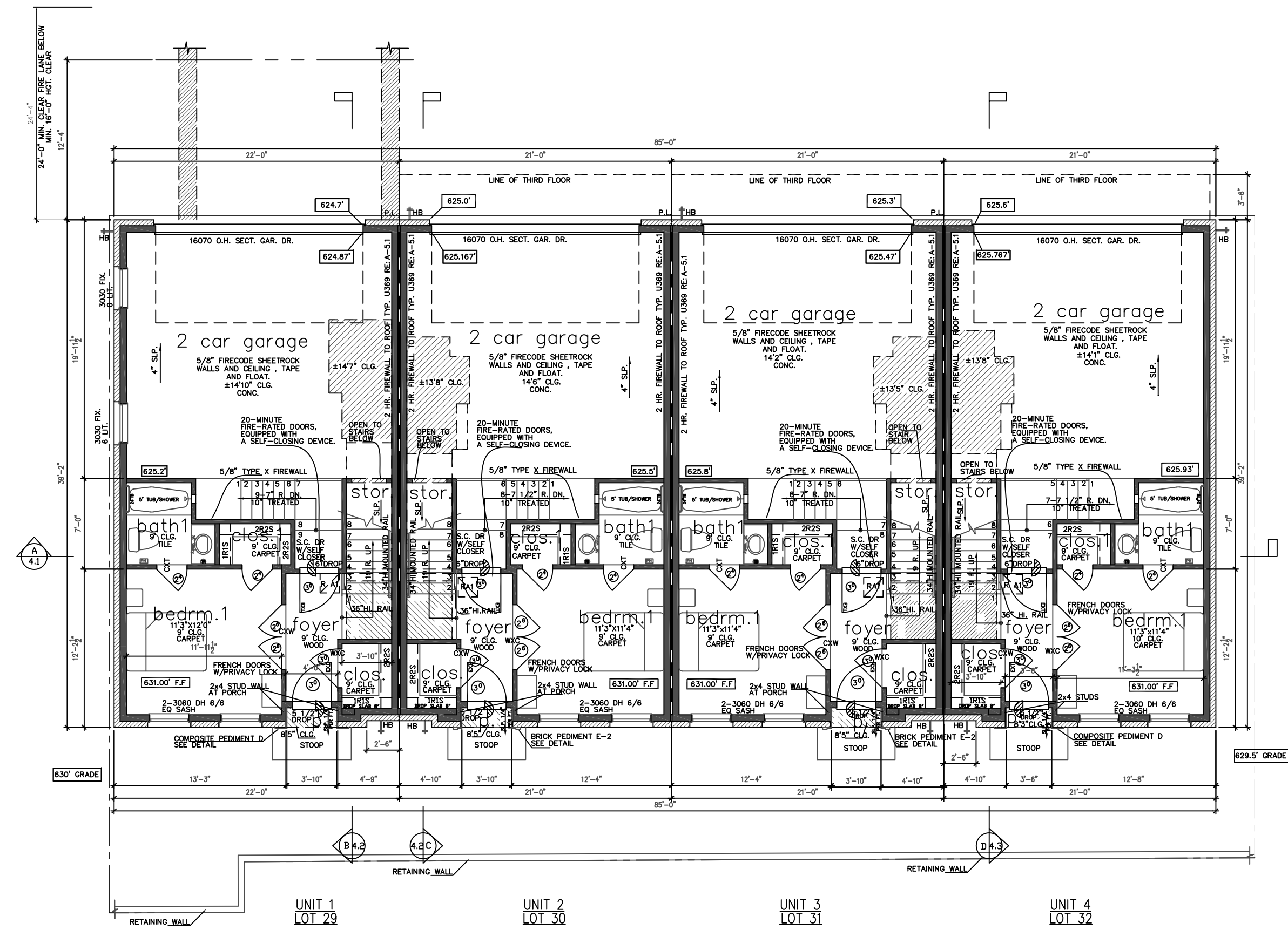
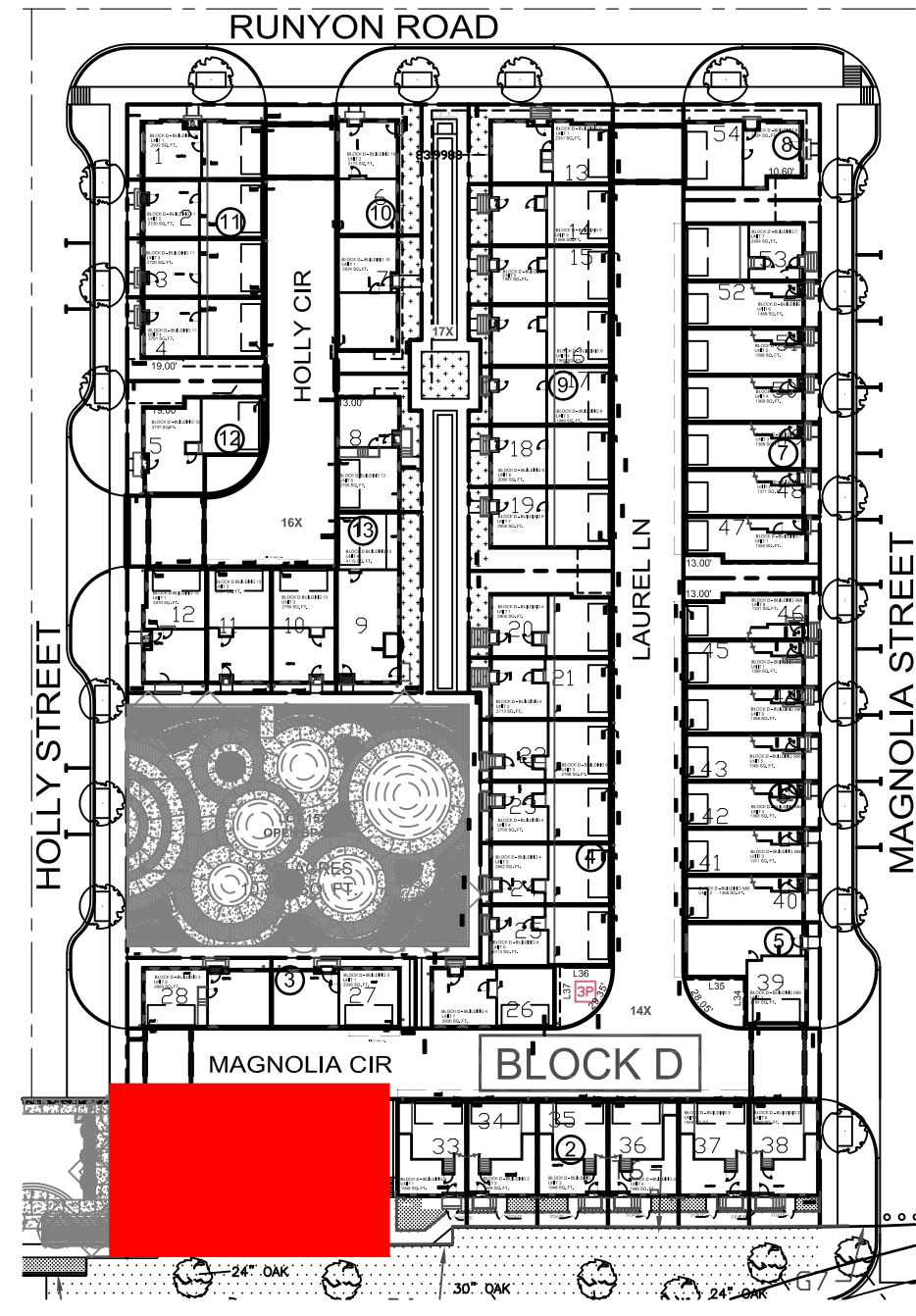
ADDISON GROVE-BLOCK D-BUILDING 1
WEST/LEFT ELEVATIONS



PLAN NO.	
UNIT 1	2241
UNIT 2	2009
UNIT 3	2009
UNIT 4	2008

SHEET NO. **A-04**

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



Unit 1 square Footage

FIRST FLOOR	364
SECOND FLOOR	868
THIRD FLOOR	302
TOTAL LIVING AREA	2844
POOR	4
GARAGE	498
AC DECK	75
TOTAL SLAB AREA	860

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE FINISHED FLOOR AREA. IN SQUARE FOOTAGE PER FLOOR (SFF) PER 2000-3000 ACTUAL SQUARE FOOTAGE MAY VARY.

Unit 2&3 square Footage

FIRST FLOOR	348
SECOND FLOOR	803
THIRD FLOOR	844
TOTAL LIVING AREA	2899
POOR	4
GARAGE	468
AC DECK	75
TOTAL SLAB AREA	891

THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE FINISHED FLOOR AREA. IN SQUARE FOOTAGE PER FLOOR (SFF) PER 2000-3000 ACTUAL SQUARE FOOTAGE MAY VARY.

Unit 4 square Footage

FIRST FLOOR	348
SECOND FLOOR	811
THIRD FLOOR	808
TOTAL LIVING AREA	2967
POOR	4
GARAGE	467
AC DECK	75
TOTAL SLAB AREA	951

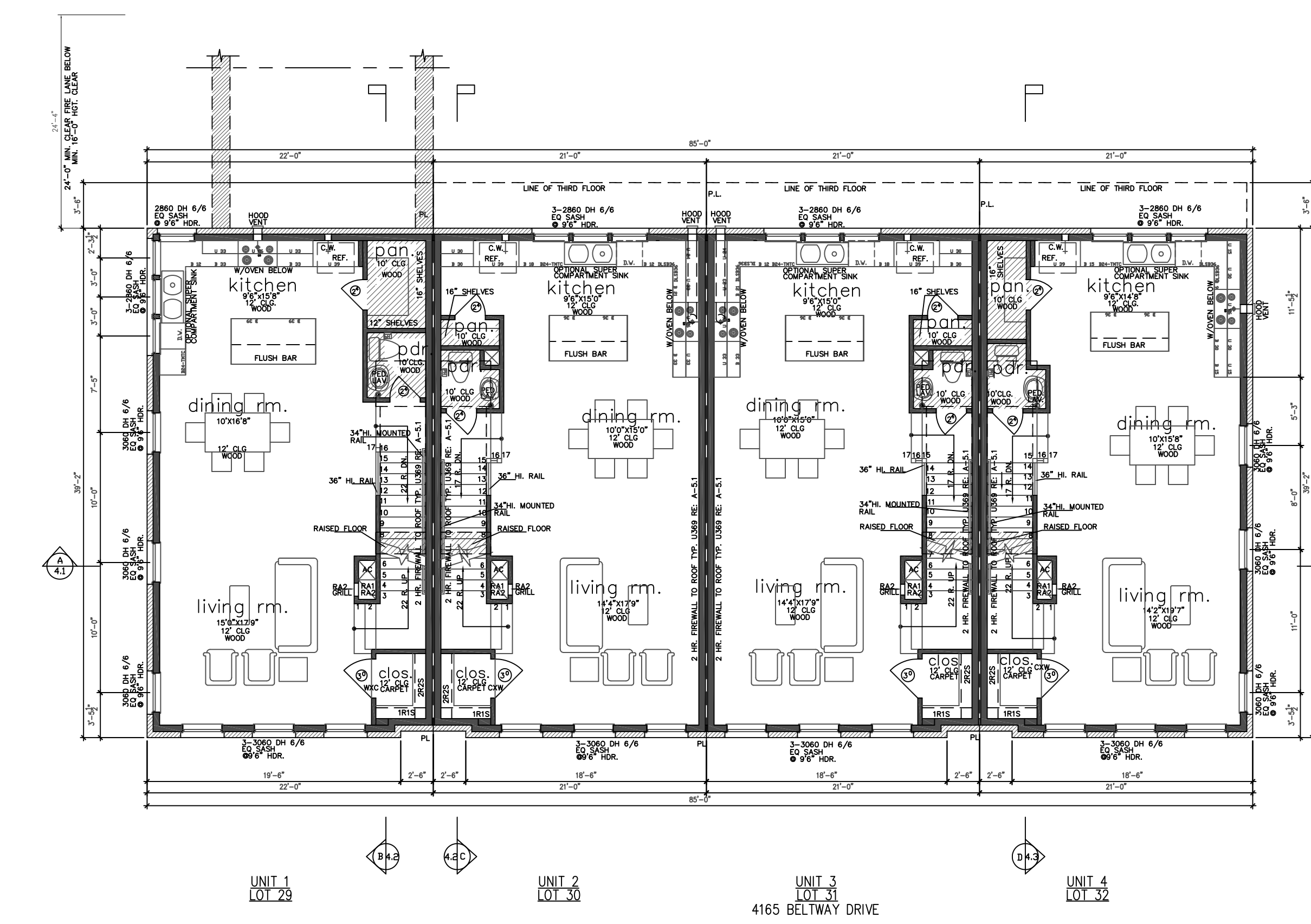
THE SQUARE FOOTAGE SHOWN HAVE BEEN CALCULATED FROM THE FINISHED FLOOR AREA. IN SQUARE FOOTAGE PER FLOOR (SFF) PER 2000-3000 ACTUAL SQUARE FOOTAGE MAY VARY.

First Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

NOTE: ALL EXTERIOR WALLS TO BE 20# FRAMED RE: STRUCTURAL PLANS

NOTE: ATTACHED GARAGE DOOR OPENERS AND LIGHTS SHALL BE LISTED AND IN ACCORDANCE WITH 14.302 AS REQUIRED IN THE IRC SECTION R302.4.

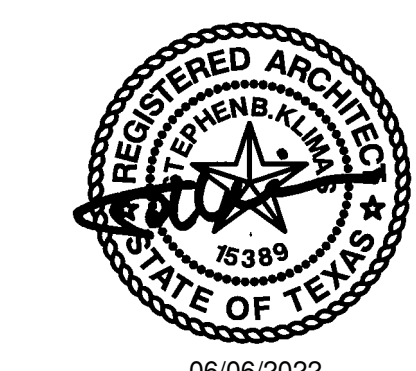
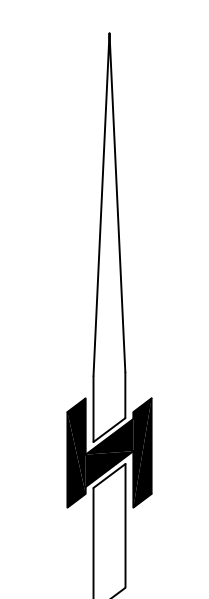
NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.



Second Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

NOTE: ALL EXTERIOR WALLS TO BE 20# FRAMED RE: STRUCTURAL PLANS

	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2241	3
UNIT 2	2009	3
UNIT 3	2009	3
UNIT 4	2008	3



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

ADDISON GROVE

URBAN INTOWN HOMES, Ltd.

ADDISON GROVE-BLOCK D-BUILDING 1

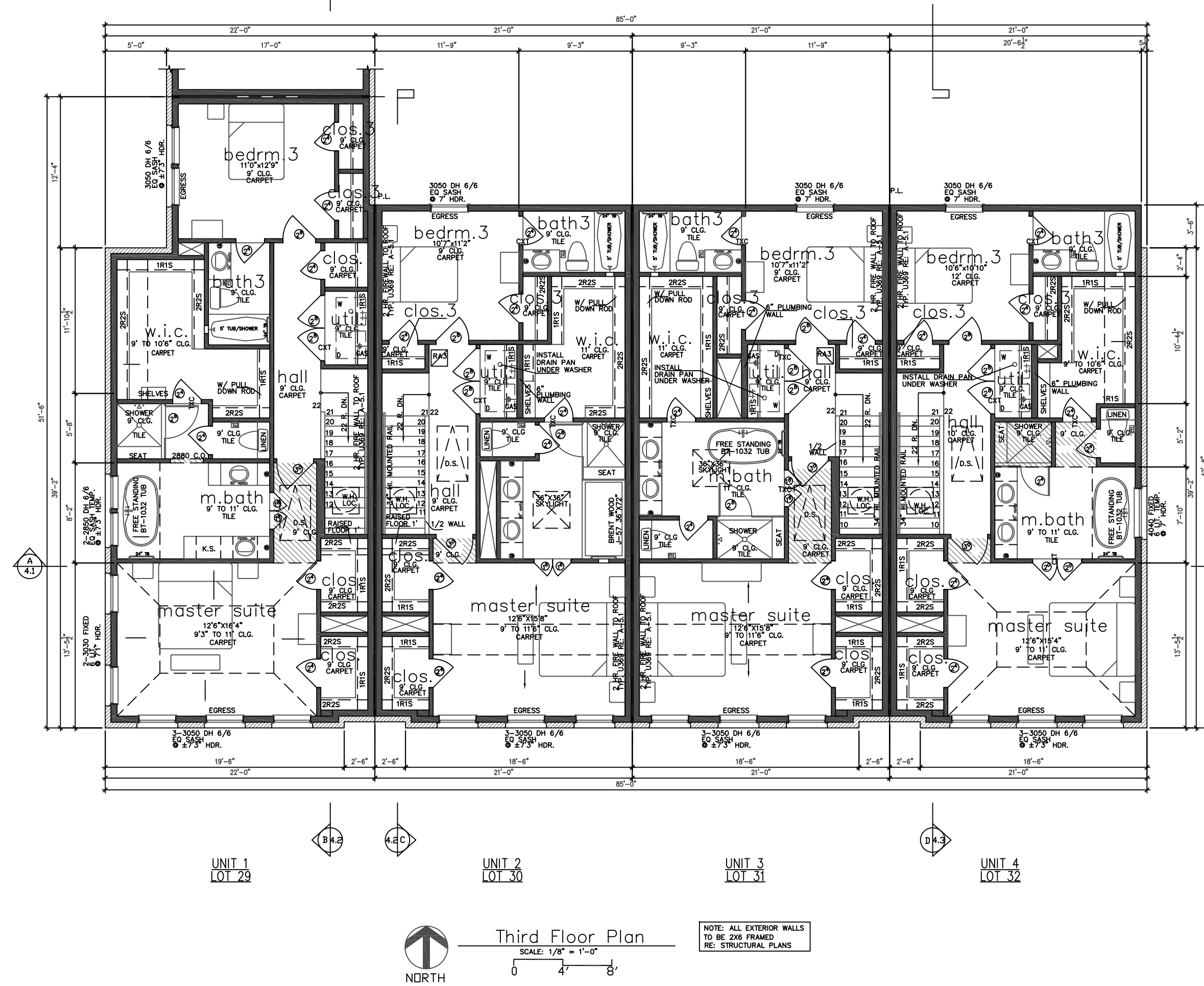
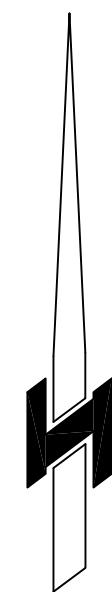
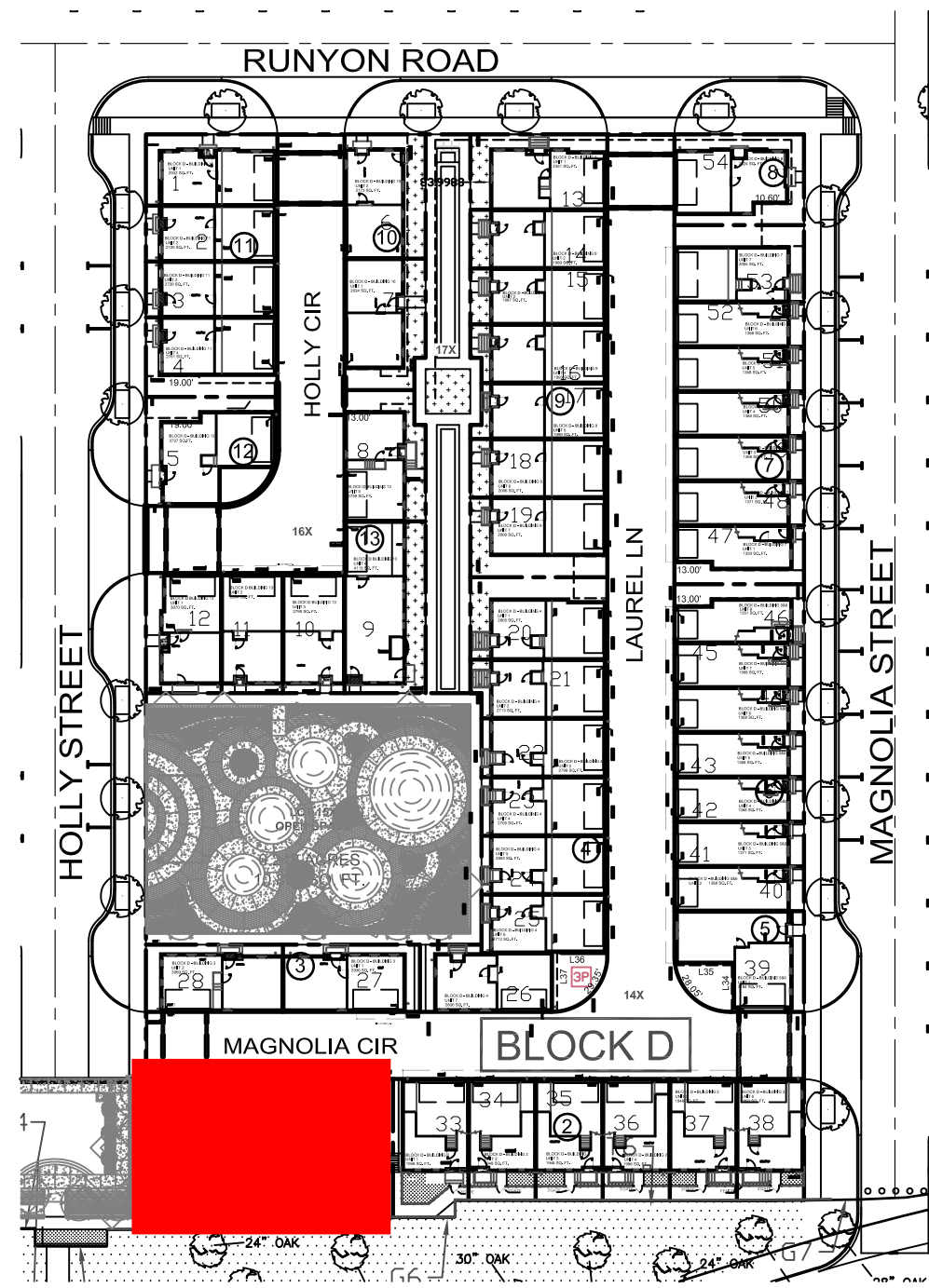
PLAN NO.
UNIT 1 2241
UNIT 2 2009
UNIT 3 2009
UNIT 4 2008

SHEET NO.
A-05

2410 POLK ST, STE 200, HOUSTON, TX 77003
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Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/02/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

Town Project #:1833-Z



ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE-BLOCK D-BUILDING 1

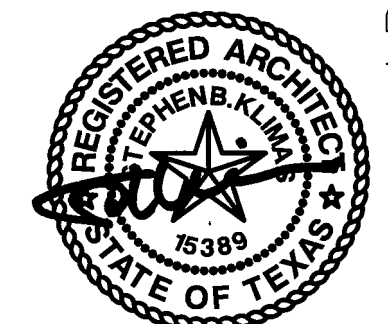
FLOOR PLAN

PLAN NO.	
UNIT 1	2241
UNIT 2	2009
UNIT 3	2009
UNIT 4	2008

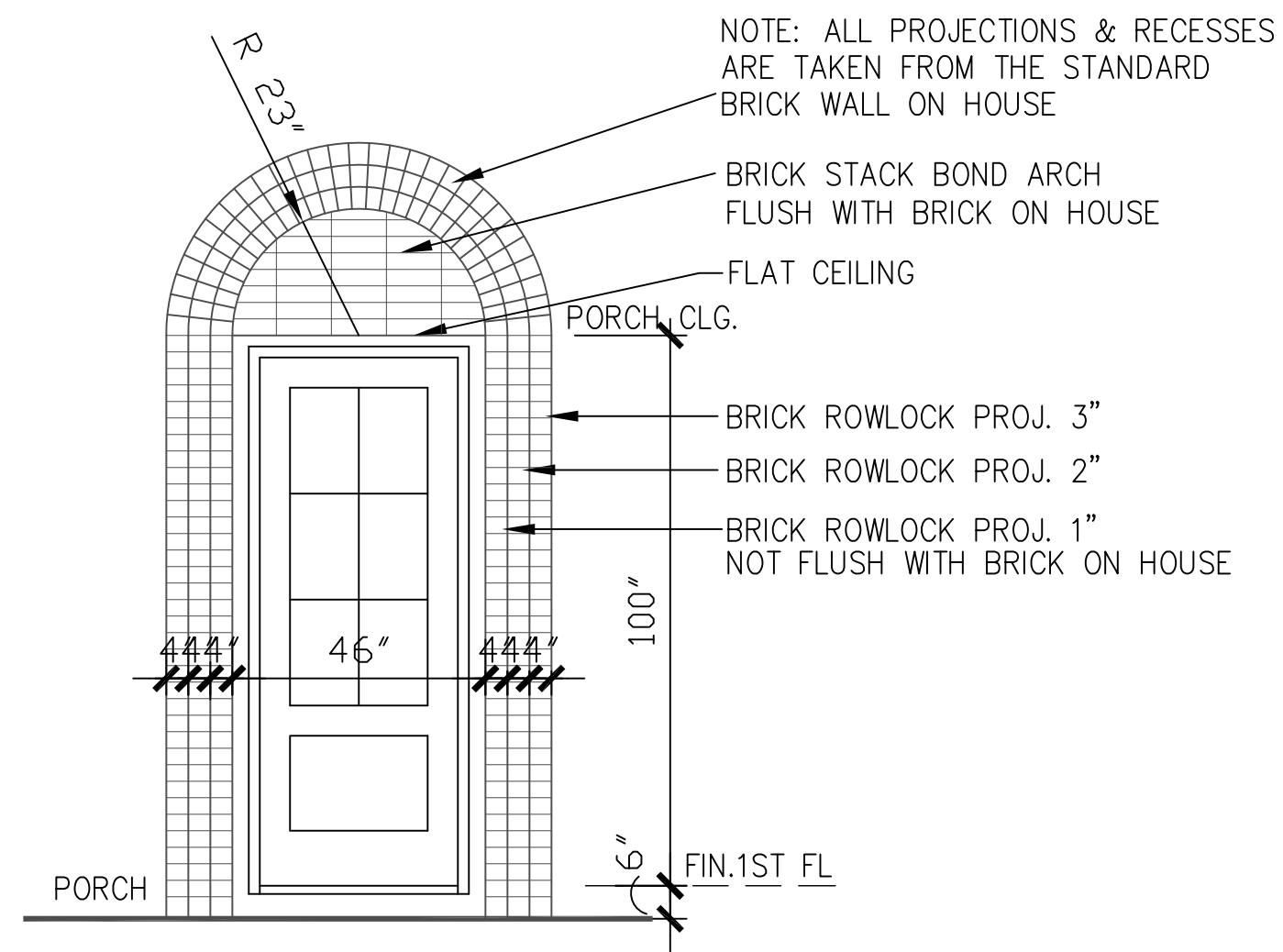
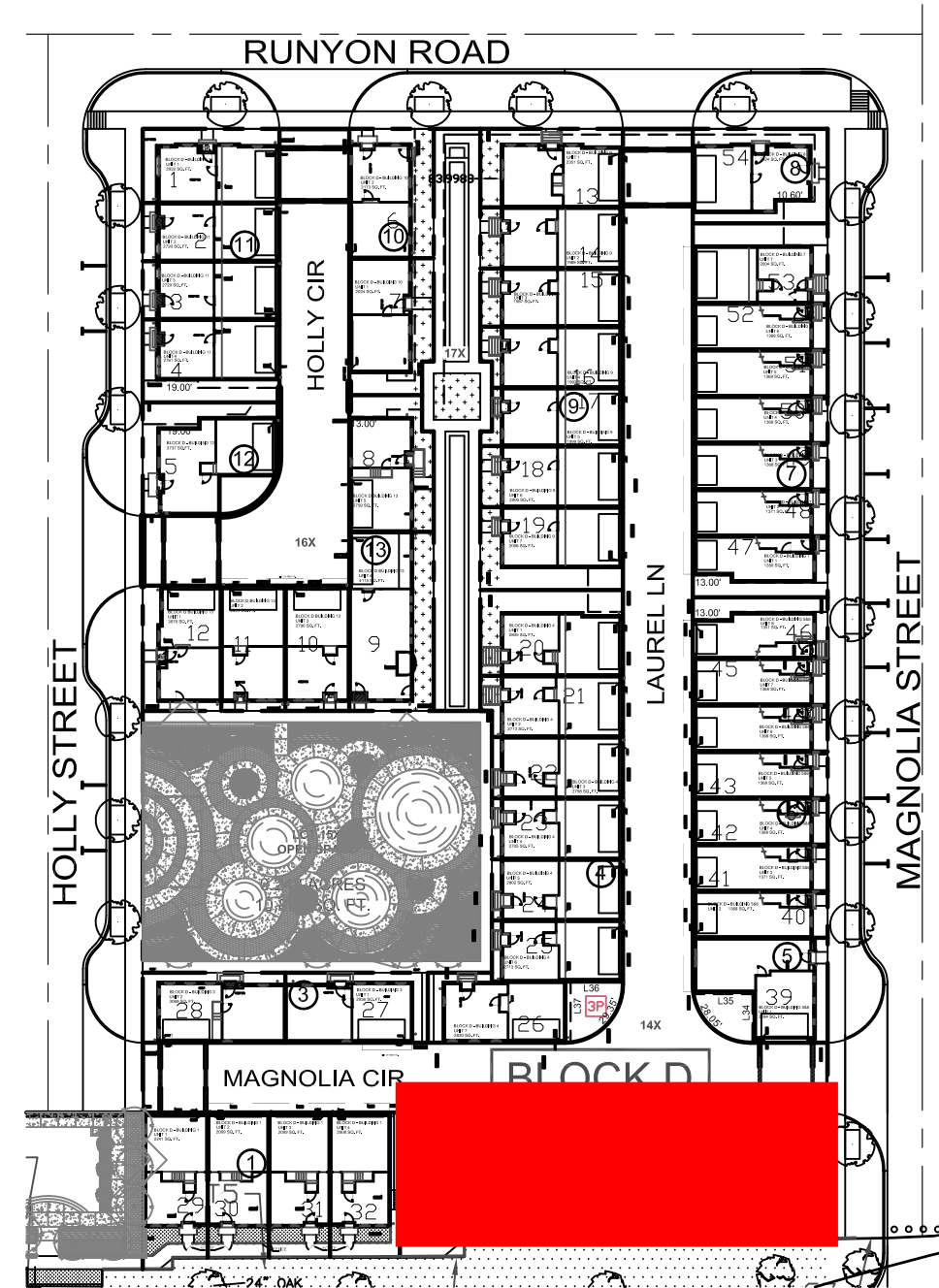
SHEET NO.
A-06

Drawn By/Checked By: E.C./F.M.
 Original Date Issued: 06/02/2021
 Scale: 1/8" = 1'-0"
 Last Updated: 06/03/2022

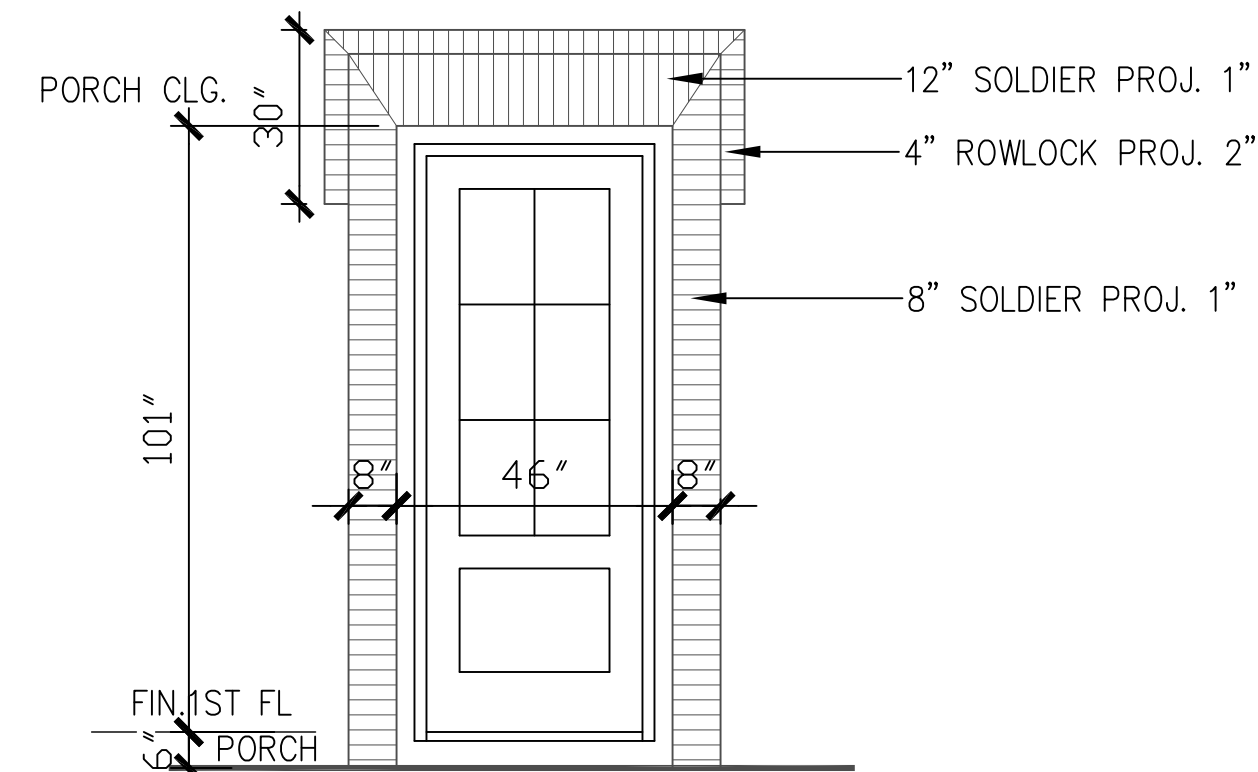
2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX



URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877



BRICK PEDIMENT K-1
SCALE: 3/8" = 1'-0"



BRICK PEDIMENT G-1
SCALE: 3/8" = 1'-0"

FAÇADE PLAN NOTES

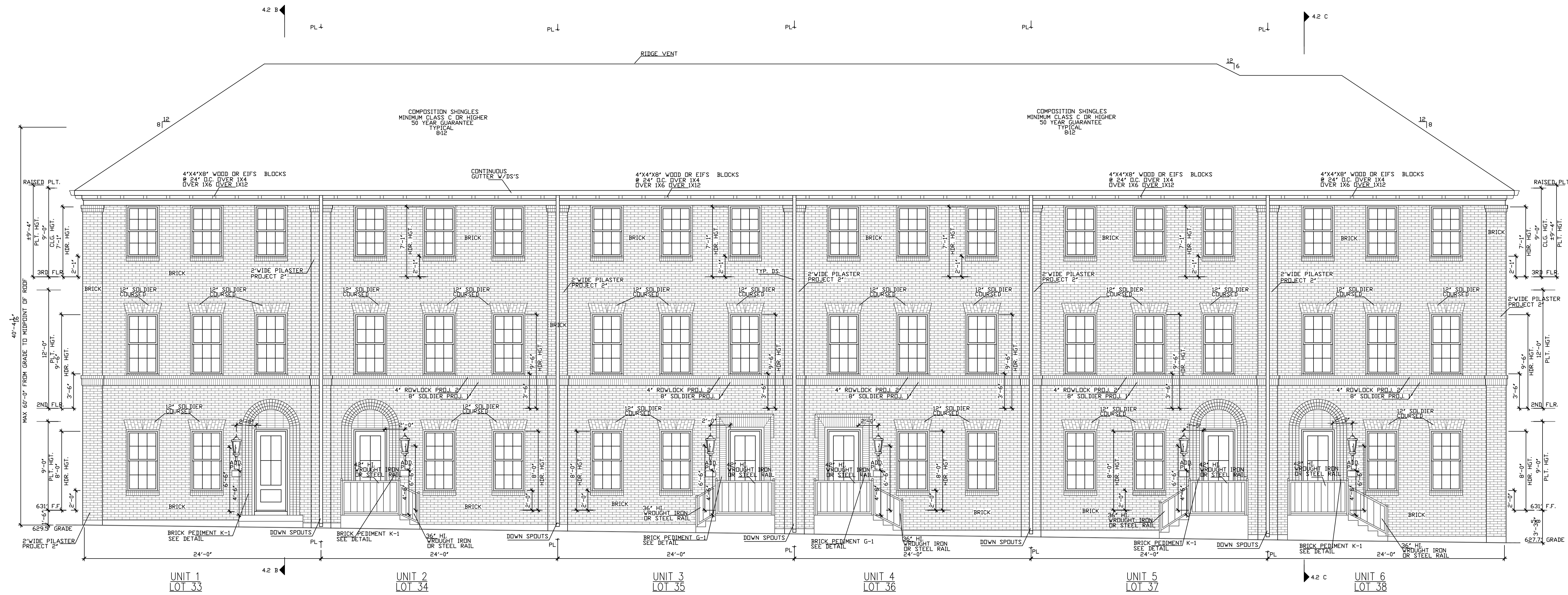
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LEGEND

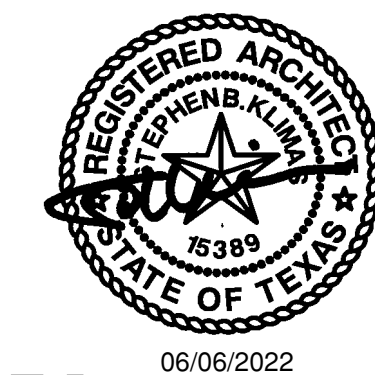
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- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)

SOUTH/FRONT MATERIAL CALCULATION TABLE		
BRICK	3469	96.5%
ACCENT MATERIAL	125	3.5%
TOTAL SURFACE AREA	3594	

TOTAL MATERIAL CALCULATION TABLE		
BRICK	8603	85.5%
3-COAT CEMENT PLASTER SYSTEM	931	9.2%
FIBER CEMENT STUCCO BOARD	258	2.6%
ACCENT MATERIAL	270	2.7%
TOTAL SURFACE AREA	10062	



south/front (beltway drive) elevation
SCALE: 3/16" = 1'-0"



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
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URBANINTOWNHOMES, L td.

2410 POLK ST, STE 200, HOUSTON, TX 77003
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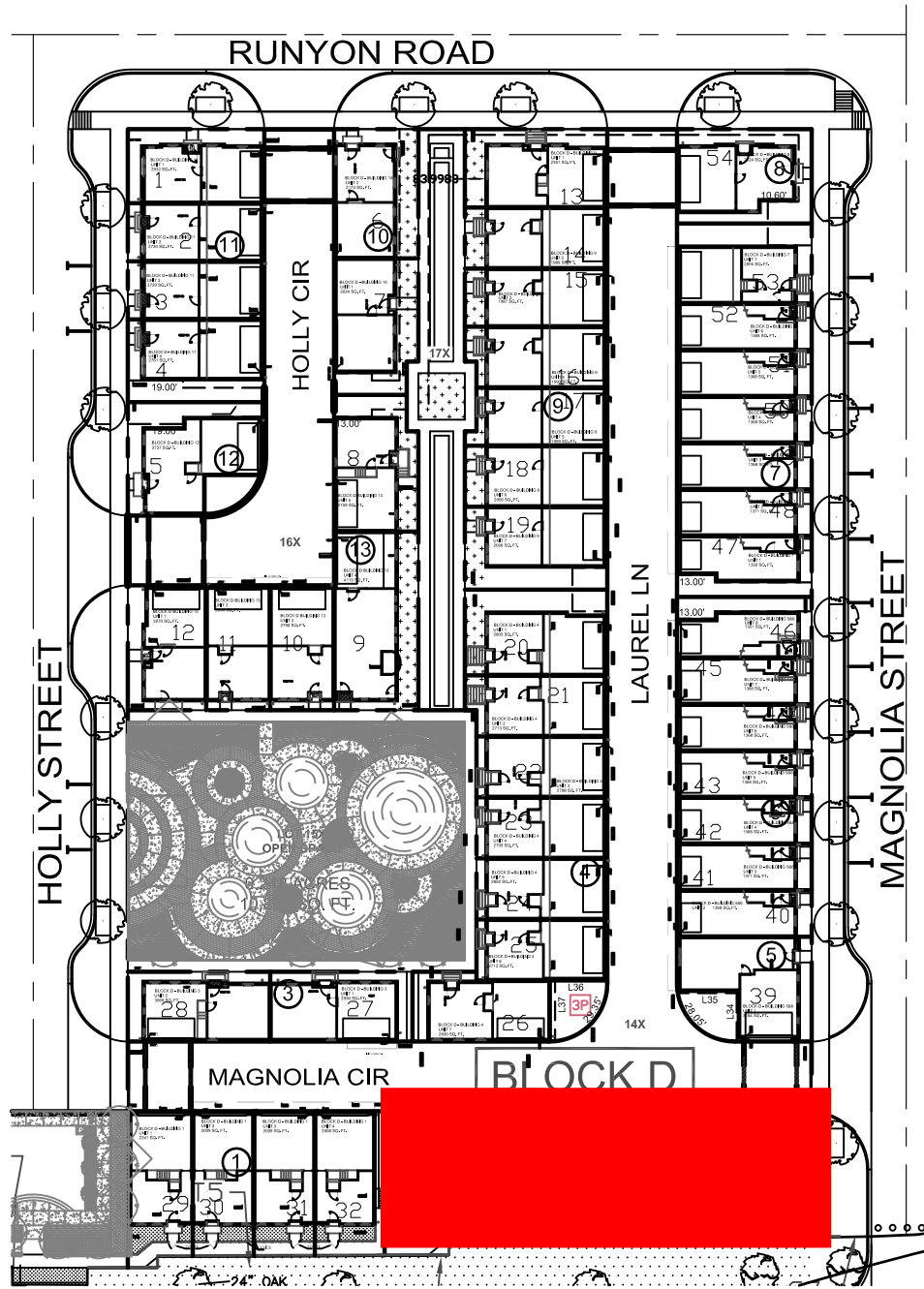
ADDISON GROVE - BLOCK D - BUILDING 2

SOUTH/FRONT ELEVATION

PLAN NO.	1948
UNIT 1	1948
UNIT 2	1948
UNIT 3	1948
UNIT 4	1986
UNIT 5	1948
UNIT 6	2060

SHEET NO.

A-07



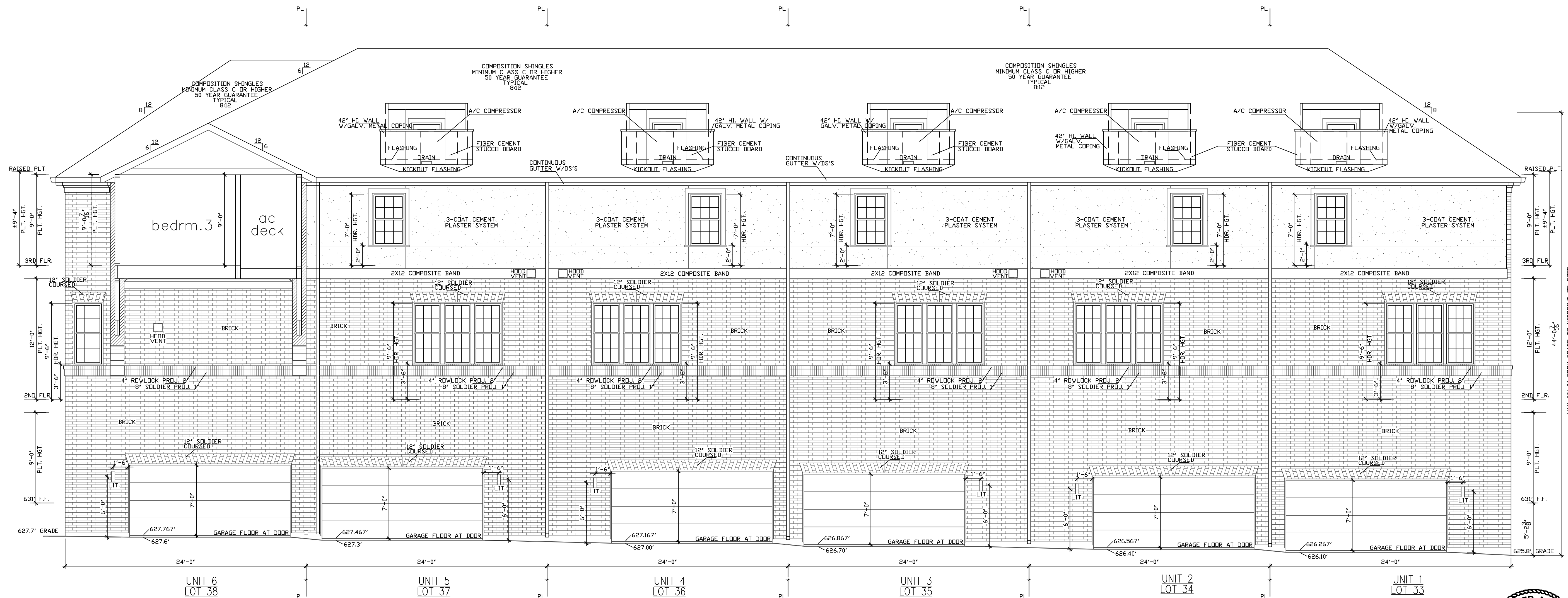
LEGEND

- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)

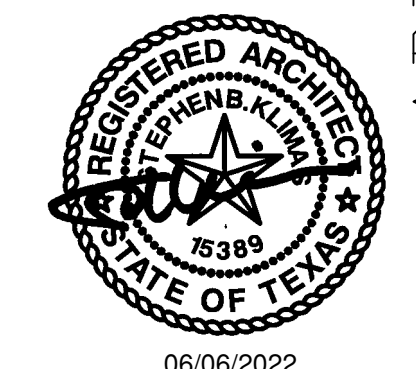
NORTH/REAR MATERIAL CALCULATION TABLE

Material	Quantity	Percentage
BRICK	2797	69.1%
3-COAT CEMENT PLASTER SYSTEM	902	22.3%
FIBER CEMENT STUCCO BOARD	230	5.7%
ACCENT MATERIAL	120	2.9%
TOTAL SURFACE AREA	4049	

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north/rear (magnolia cir) elevation
SCALE: 3/16" = 1'-0"



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2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/19/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

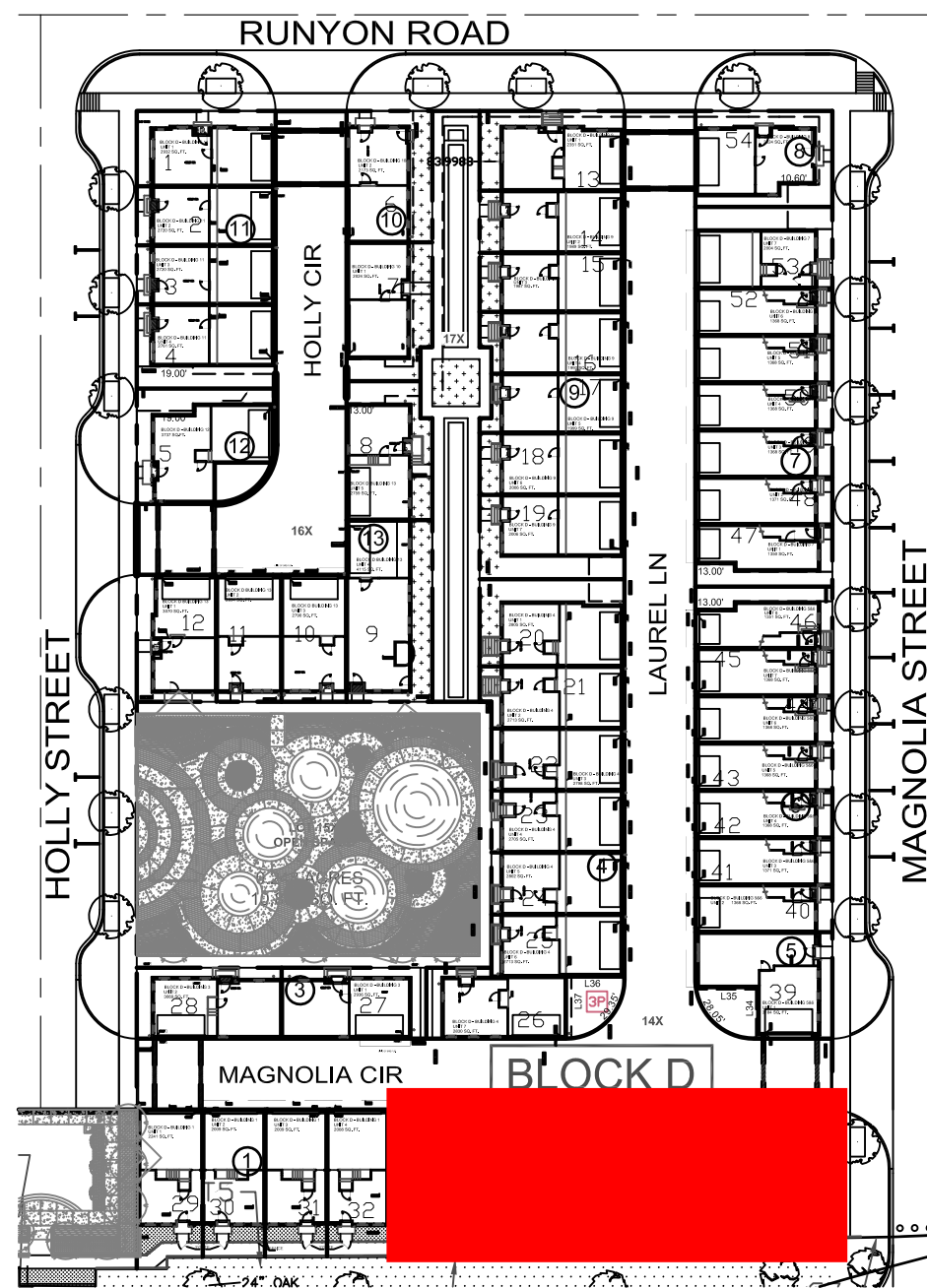
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ADDISON GROVE - BLOCK D - BUILDING 2
NORTH/REAR ELEVATION

PLAN NO.

UNIT 1	1948
UNIT 2	1948
UNIT 3	1948
UNIT 4	1986
UNIT 5	1948
UNIT 6	2060

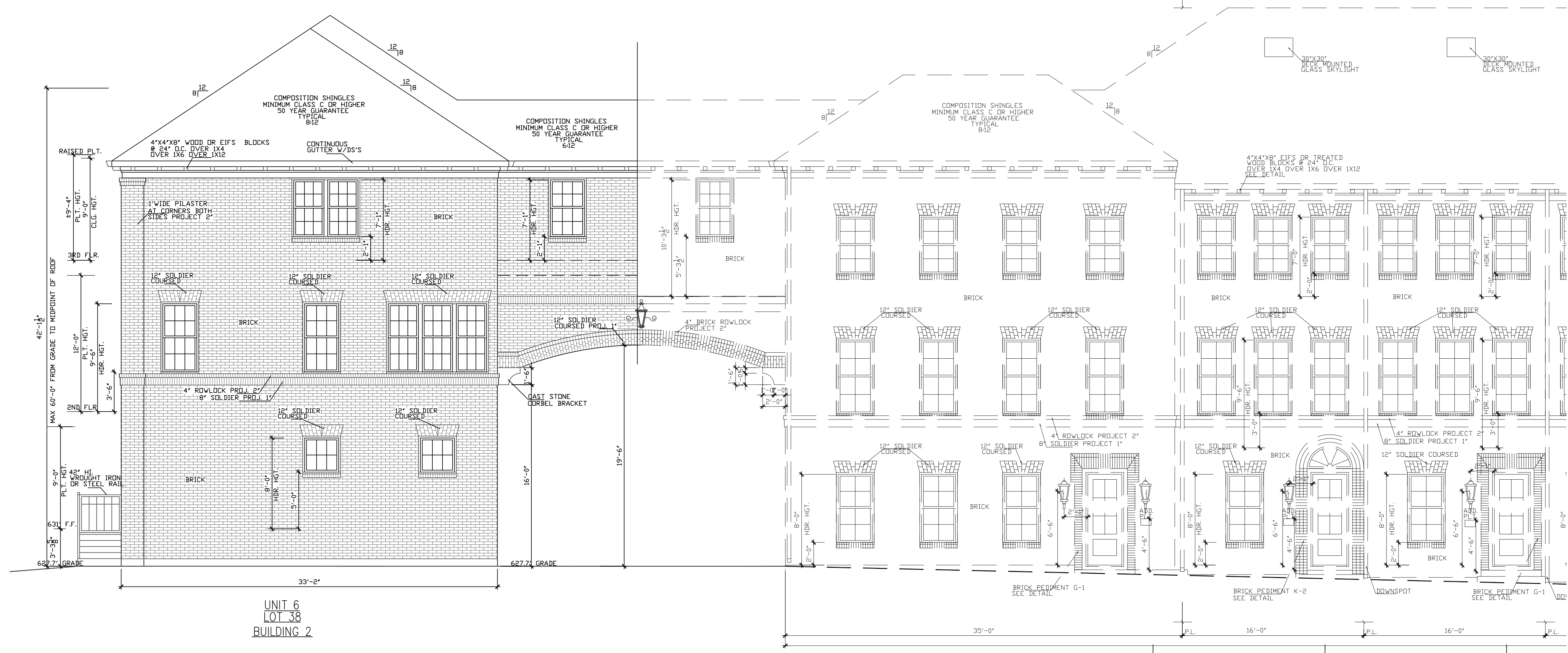
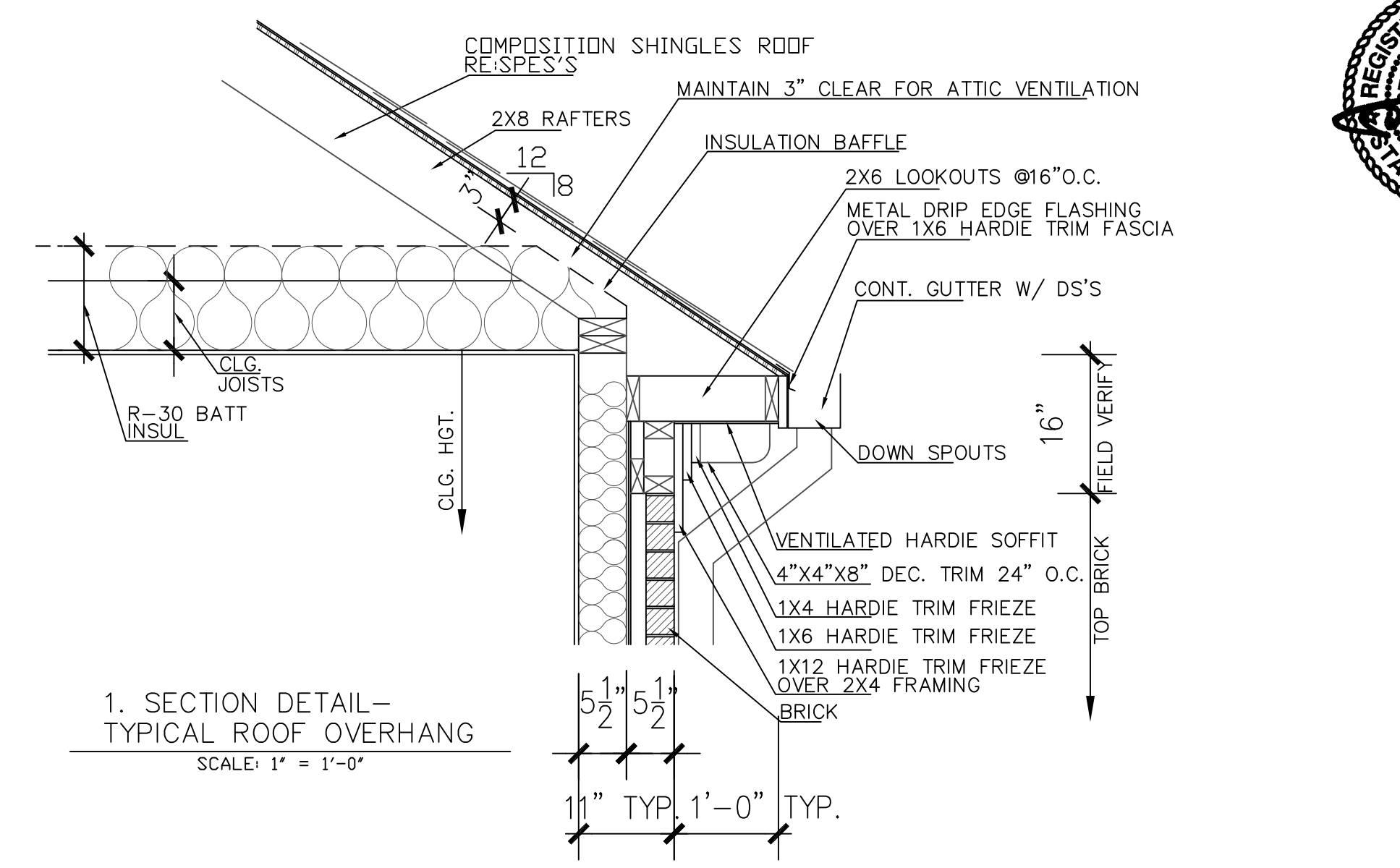
SHEET NO.
A-08



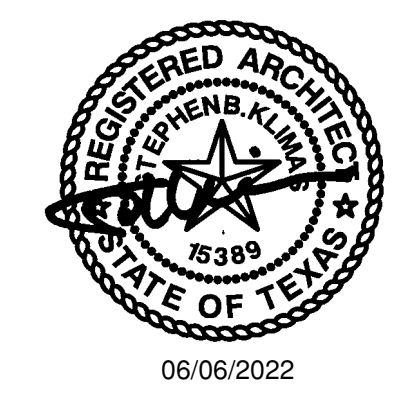
EAST/RIGHT MATERIAL CALCULATION TABLE	
BRICK	1138 99.9%
ACCENT MATERIAL	1 0.1%
TOTAL SURFACE AREA	1139

- LEGEND**
- BRICK
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

- FACADE PLAN NOTES**
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east/right (magnolia street) elevation
SCALE: 3/16" = 1'-0"



Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/19/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

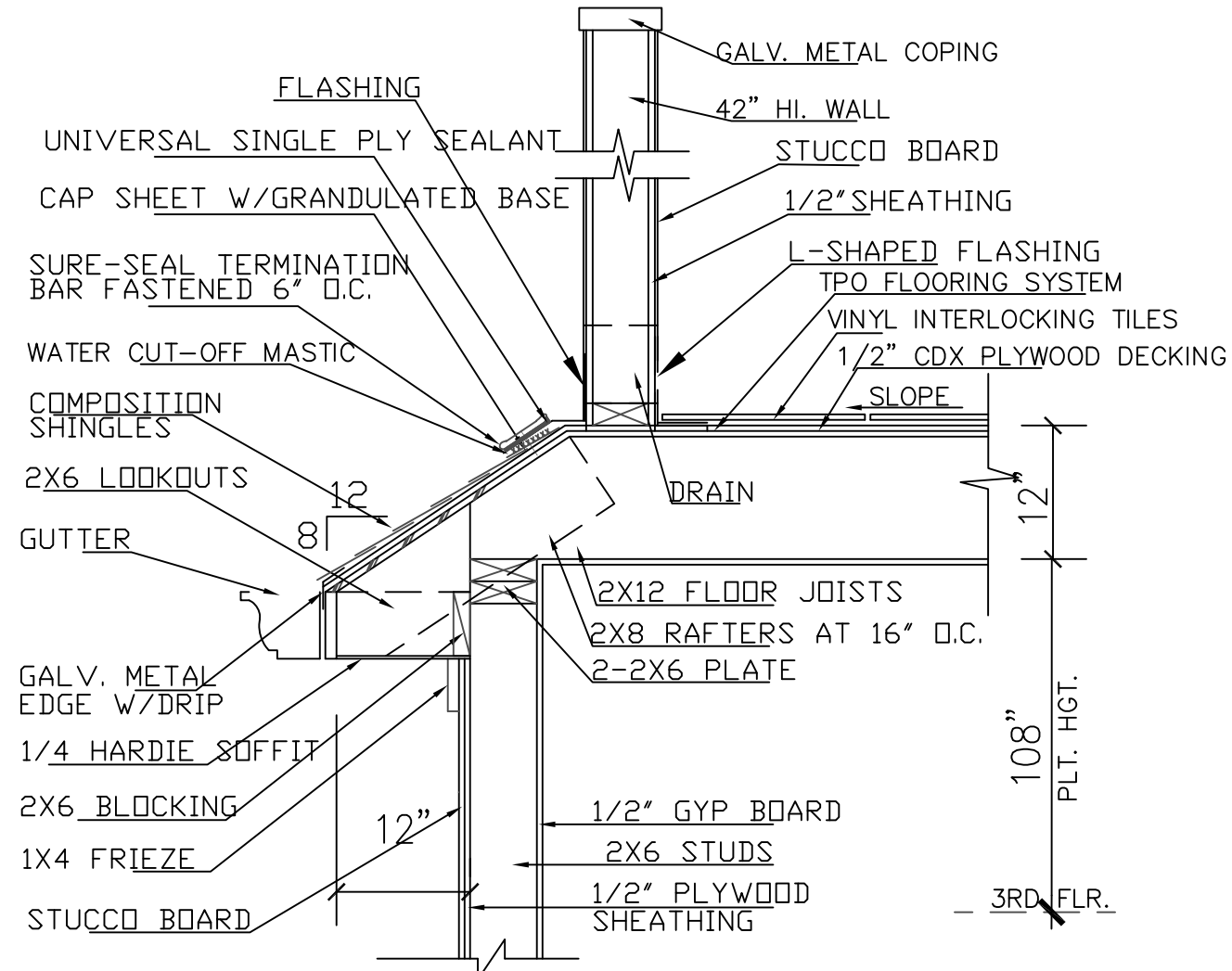
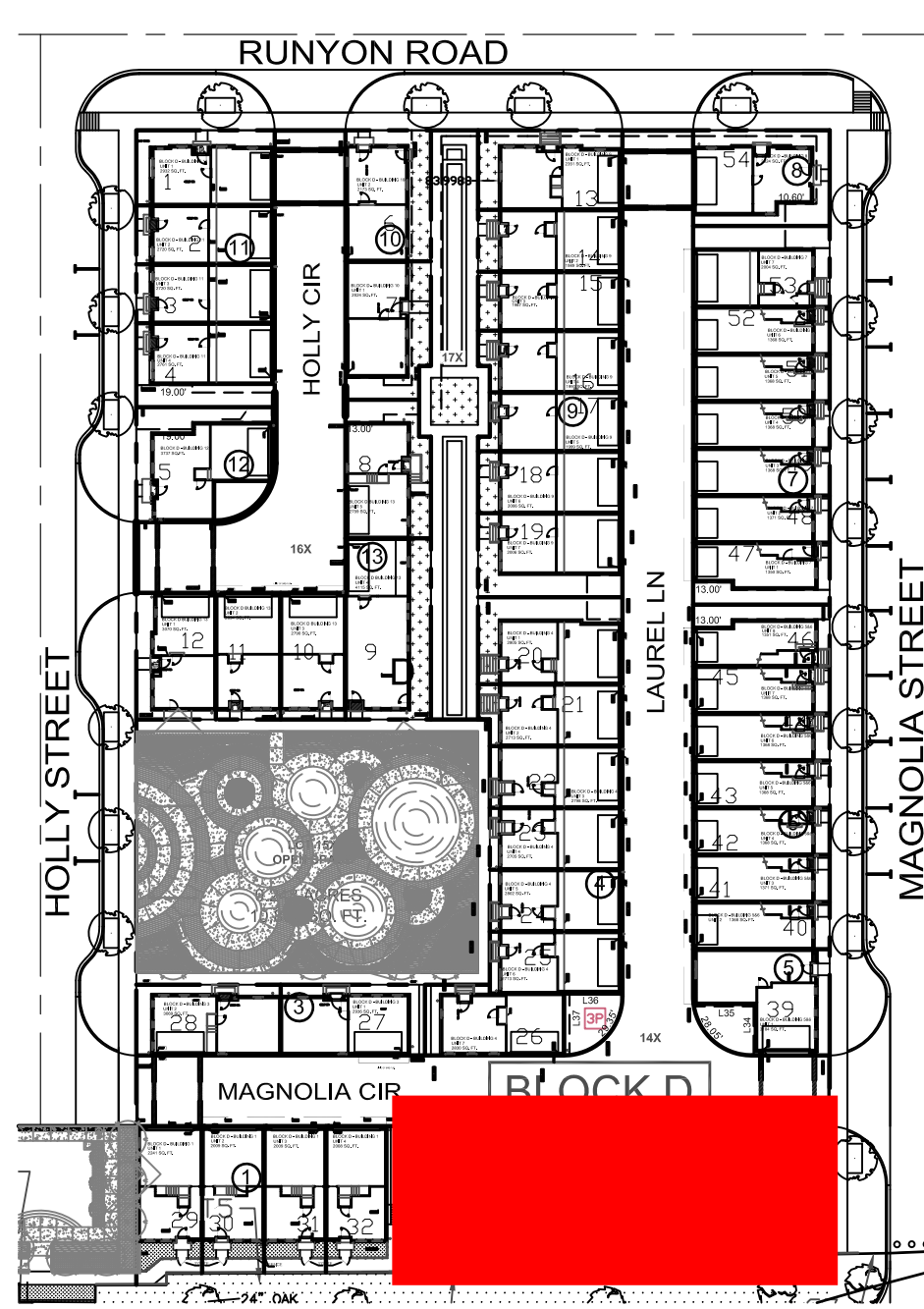
URBANINTOWNHOMES, Ltd.
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 2
EAST/RIGHT ELEVATIONS

PLAN NO.	REVISION
UNIT 1	1948
UNIT 2	1948
UNIT 3	1948
UNIT 4	1986
UNIT 5	1948
UNIT 6	2060

SHEET NO. **A-09**

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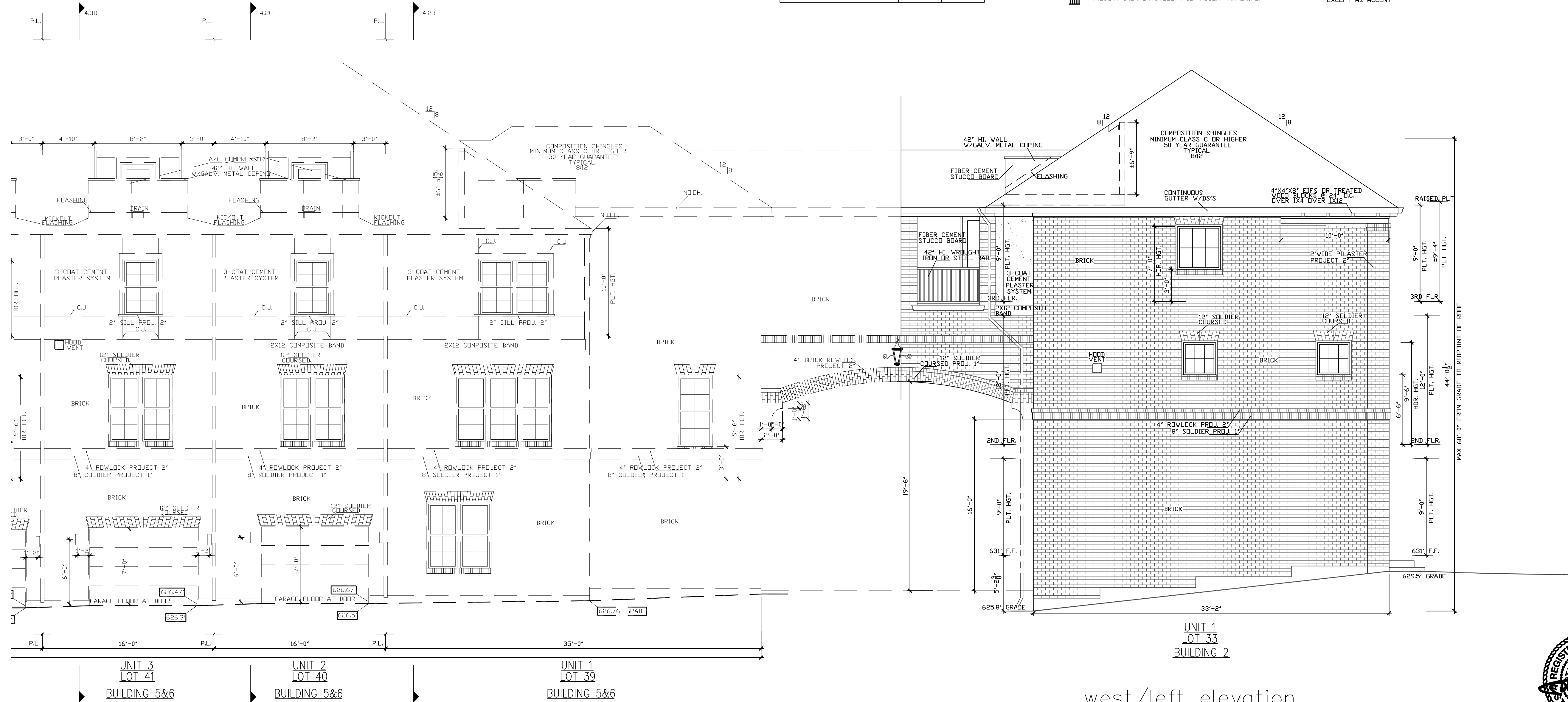


2. SECTION DETAIL -
A/C COMPRESSOR LOCATION AT ROOF
SCALE: 1" = 1'-0"

ITEM	QUANTITY	PERCENT
BRICK	1199	93.7%
3-COAT CEMENT PLASTER SYSTEM	29	2.2%
FIBER CEMENT STUCCO BOARD	28	2.2%
ACCENT MATERIAL	24	1.9%
TOTAL SURFACE AREA	1280	

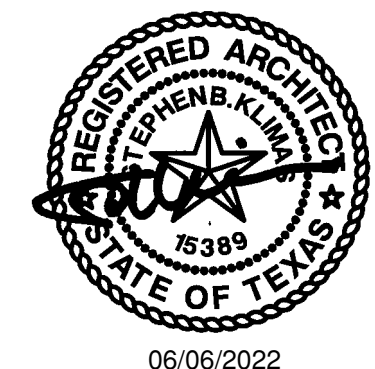
- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)

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west/left elevation

SCALE: 3/16" = 1'-0"



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URBANINTOWNHOMES, Ltd.

ADDISON GROVE - BLOCK D - BUILDING 2

WEST/LEFT ELEVATIONS

A-10

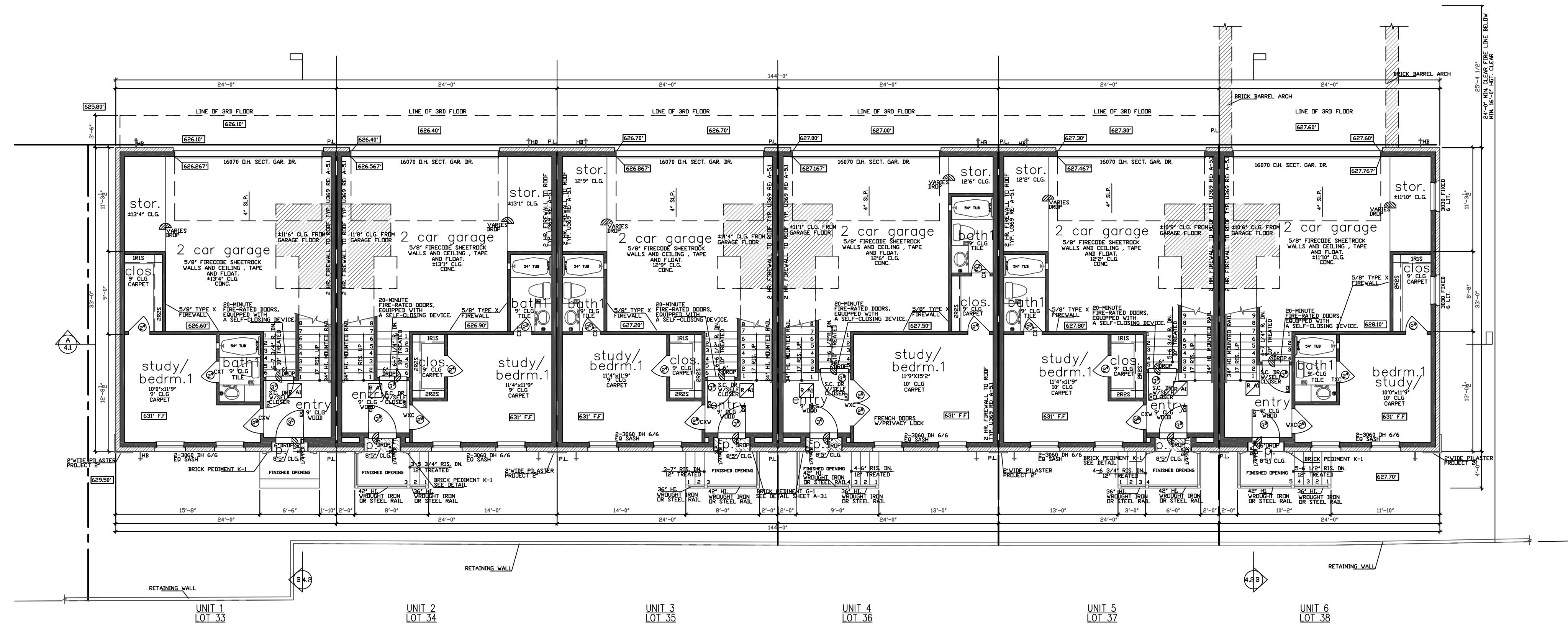
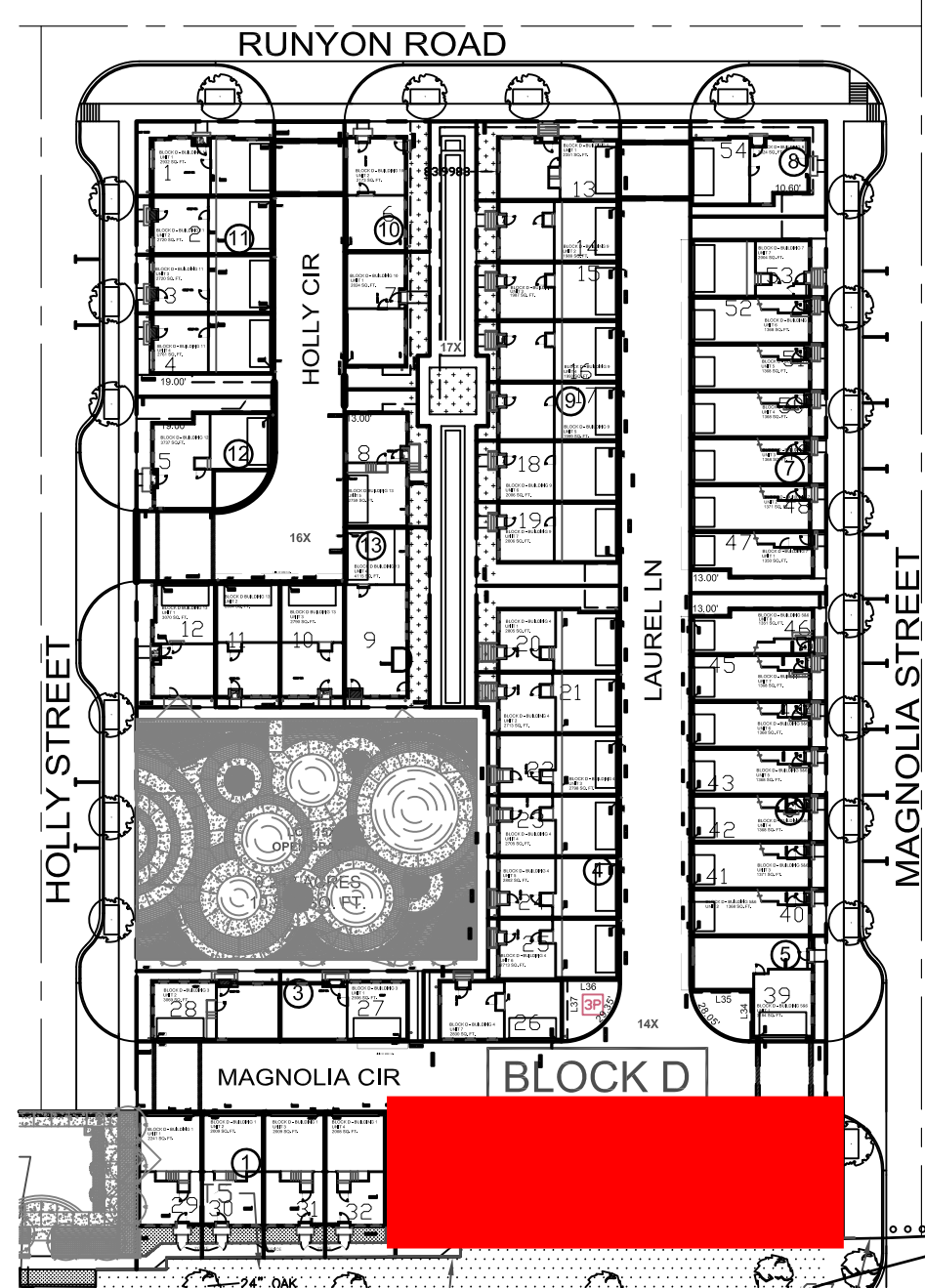
Drawn By/Checked By: E.C./F.M.
Original Date Issued: 06/19/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

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ADDISON GROVE

UNIT 1	1948
UNIT 2	1948
UNIT 3	1948
UNIT 4	1986
UNIT 5	1948
UNIT 6	2060

SHEET NO.



unit 1 square footage

FIRST FLOOR	338
SECOND FLOOR	798
THIRD FLOOR	808
TOTAL LIVING AREA	1948
GARAGE	432
PORCH	4
UNCOVERED AC DECK	83
TOTAL SLAB AREA	798

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit 2&3&5 square footage

FIRST FLOOR	336
SECOND FLOOR	798
THIRD FLOOR	808
TOTAL LIVING AREA	1948
GARAGE	432
PORCH	6
UNCOVERED AC DECK	83
TOTAL SLAB AREA	798

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit 4 square footage

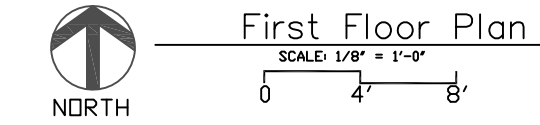
FIRST FLOOR	374
SECOND FLOOR	798
THIRD FLOOR	808
TOTAL LIVING AREA	1980
GARAGE	445
PORCH	4
UNCOVERED AC DECK	83
TOTAL SLAB AREA	798

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY

unit 6 square footage

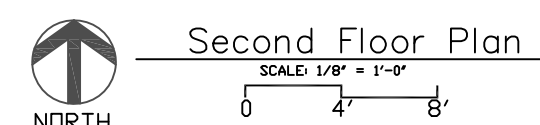
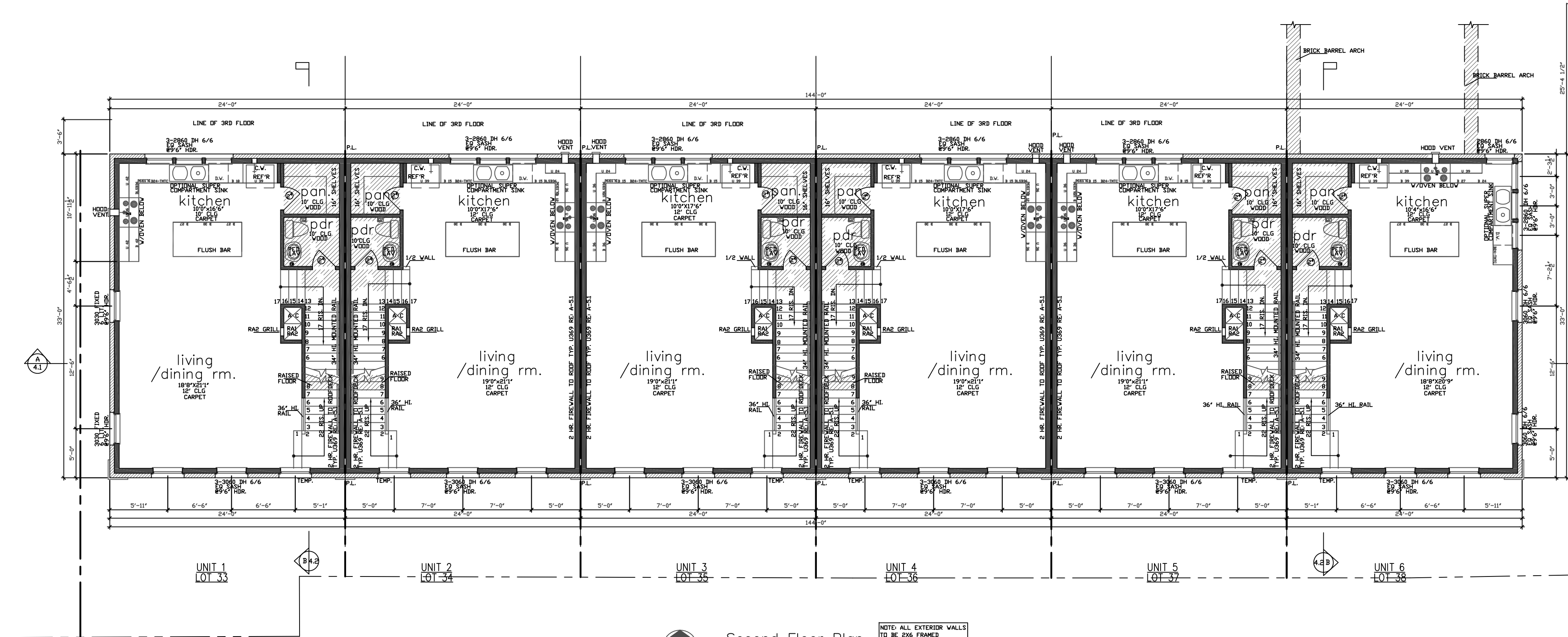
FIRST FLOOR	346
SECOND FLOOR	798
THIRD FLOOR	808
TOTAL LIVING AREA	1952
GARAGE	445
PORCH	4
UNCOVERED AC DECK	83
TOTAL SLAB AREA	798

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003 ACTUAL SQUARE FOOTAGE MAY VARY



NOTE: ALL EXTERIOR WALLS TO BE 2X4 FRAMED RE: STRUCTURAL PLANS
 NOTE: AUTOMATIC GARAGE DOOR OPENER ARE USED THEY SHALL BE LISTED & LABELED IN ACCORDANCE WITH UL 203 AS REQUIRED IN THE DOC SECTION 05054
 NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

UNIT	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	1948	3
UNIT 2	1948	3
UNIT 3	1948	3
UNIT 4	1986	3
UNIT 5	1948	3
UNIT 6	1952	3



NOTE: ALL EXTERIOR WALLS TO BE 2X4 FRAMED RE: STRUCTURAL PLANS



06/06/2022

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ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 2

FLOOR PLAN

PLAN NO.	UNIT 1	1948
	UNIT 2	1948
	UNIT 3	1948
	UNIT 4	1986
	UNIT 5	1948
	UNIT 6	2060

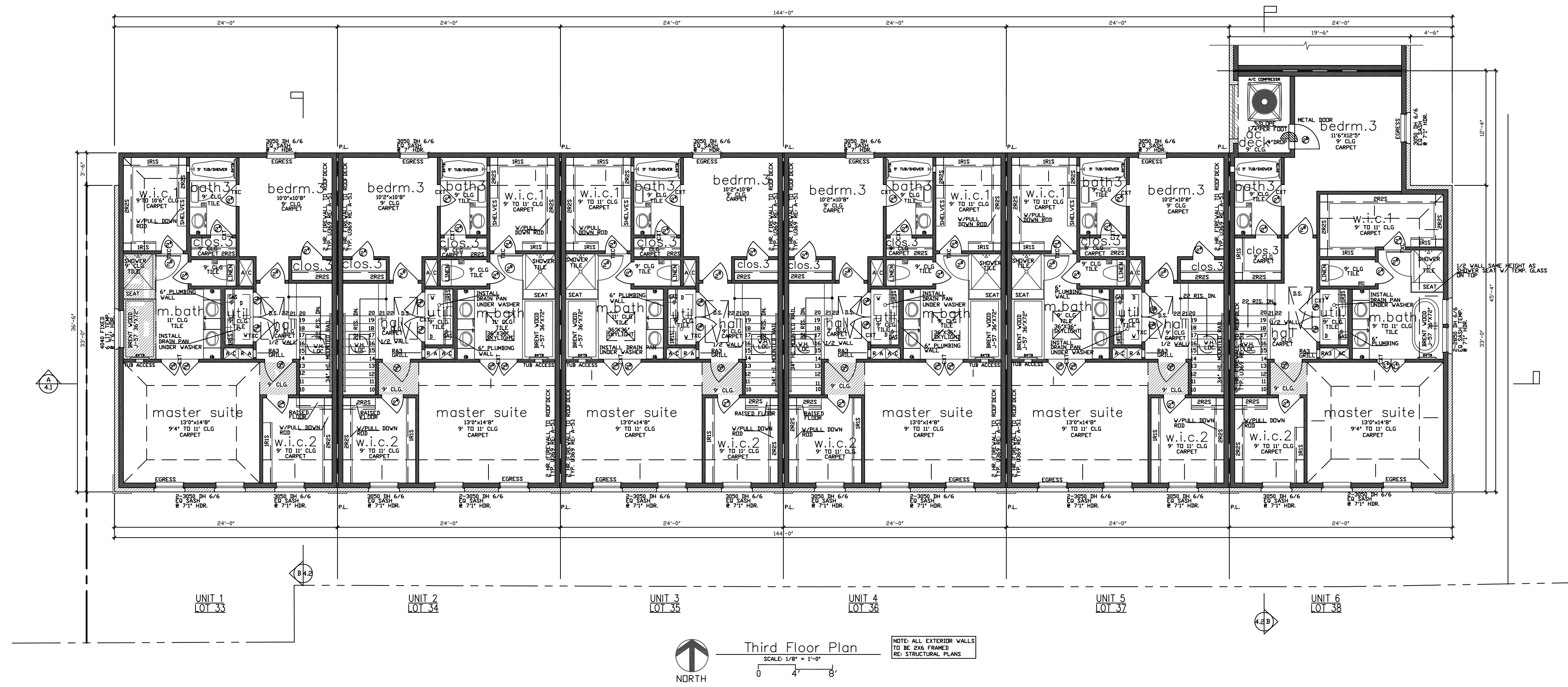
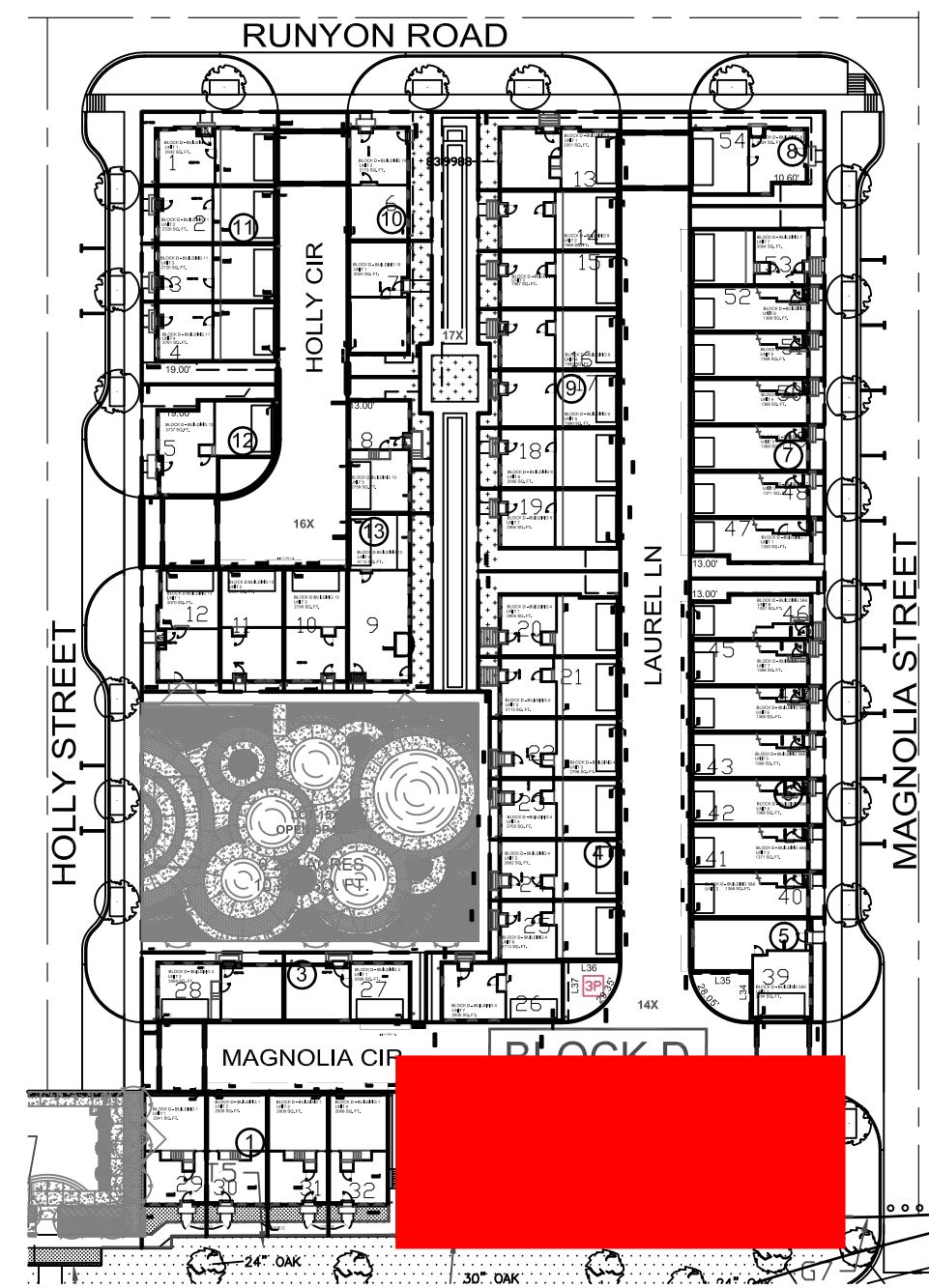
SHEET NO.

A-11

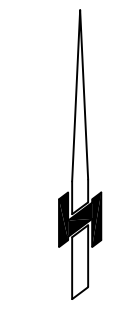
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 Original Date Issued: 06/19/2021
 Scale: 1/8" = 1'-0"
 Last Updated: 06/03/2022



Third Floor Plan
SCALE: 1/8" = 1'-0"
NOTED: ALL EXTERIOR WALLS TO BE 2x6 FRAMER. NO STRUCTURAL PLANS.



ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 2
FLOOR PLAN



URBAN INTOWN HOMES
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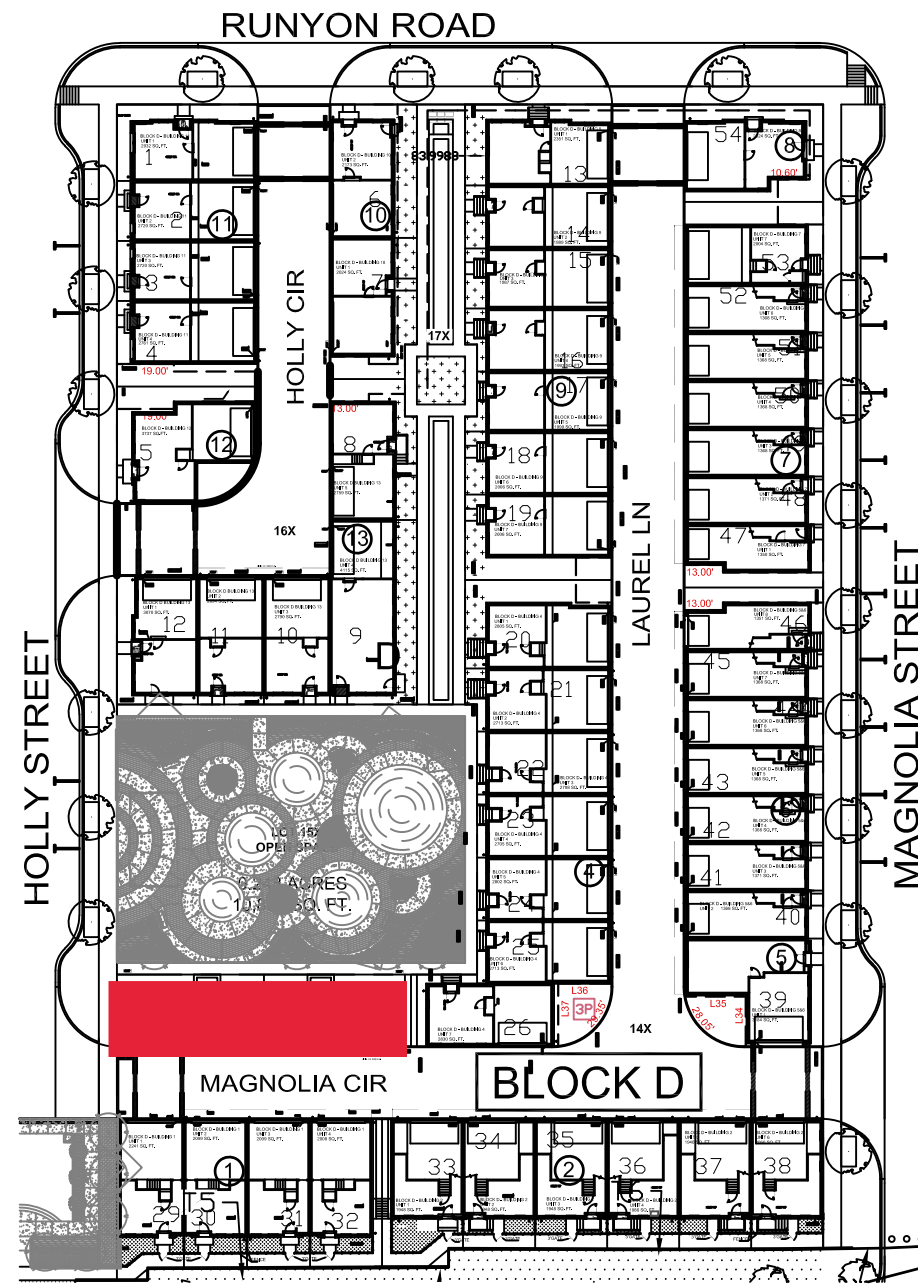
PLAN NO.	UNIT 1	1948
	UNIT 2	1948
	UNIT 3	1948
	UNIT 4	1986
	UNIT 5	1948
	UNIT 6	2060

SHEET NO.
A-12

URBANINTOWNHOMES, Ltd.

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Last Updated: 06/03/2022



LEGEND

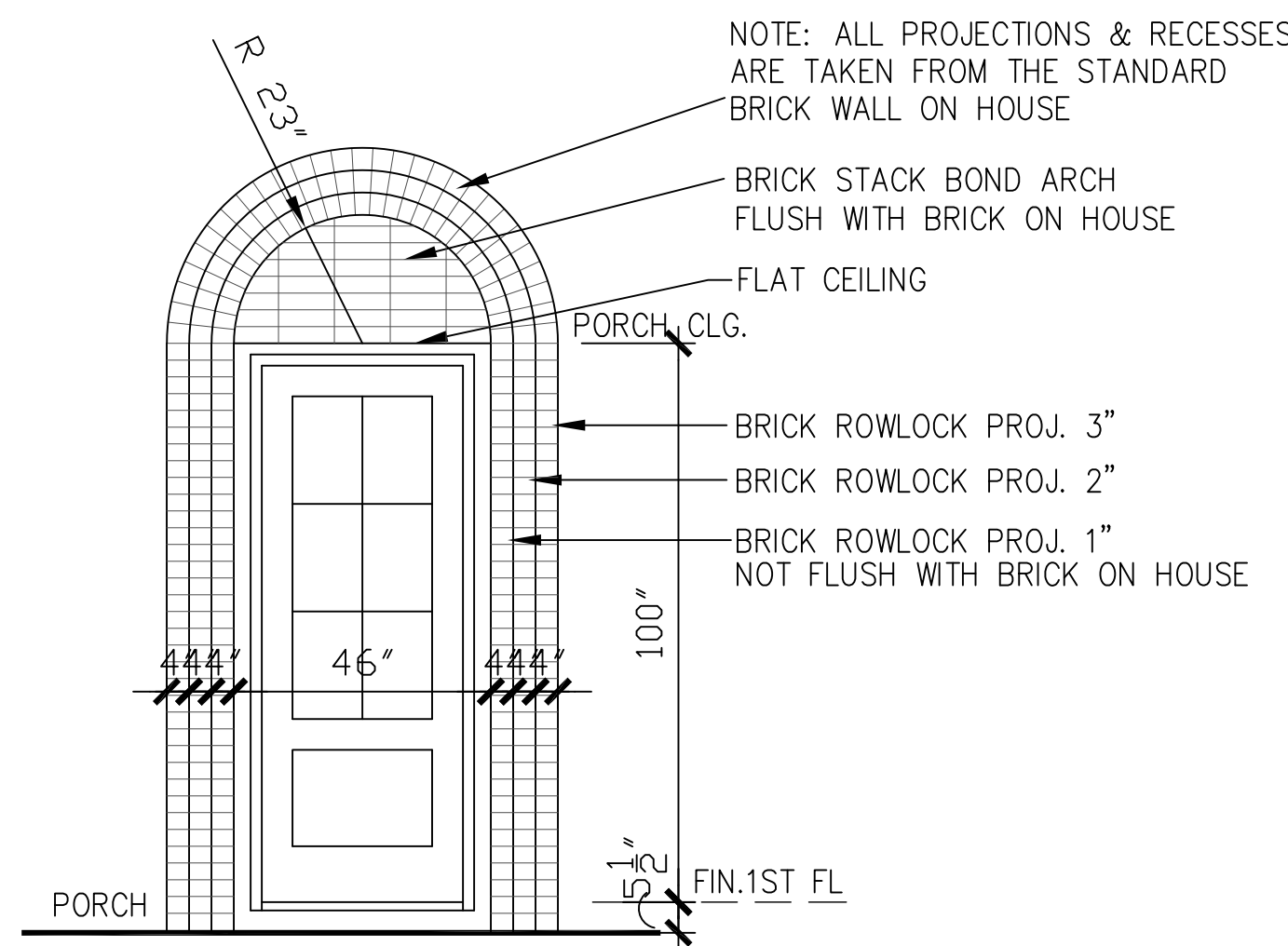
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

NORTH/FRONT MATERIAL CALCULATION TABLE		
FIBER CEMENT STUCCO BOARD	160	5.5%
BRICK	2618	89.6%
ACCENT MATERIAL	142	4.9%
TOTAL SURFACE AREA	2920	

FACADE PLAN NOTES

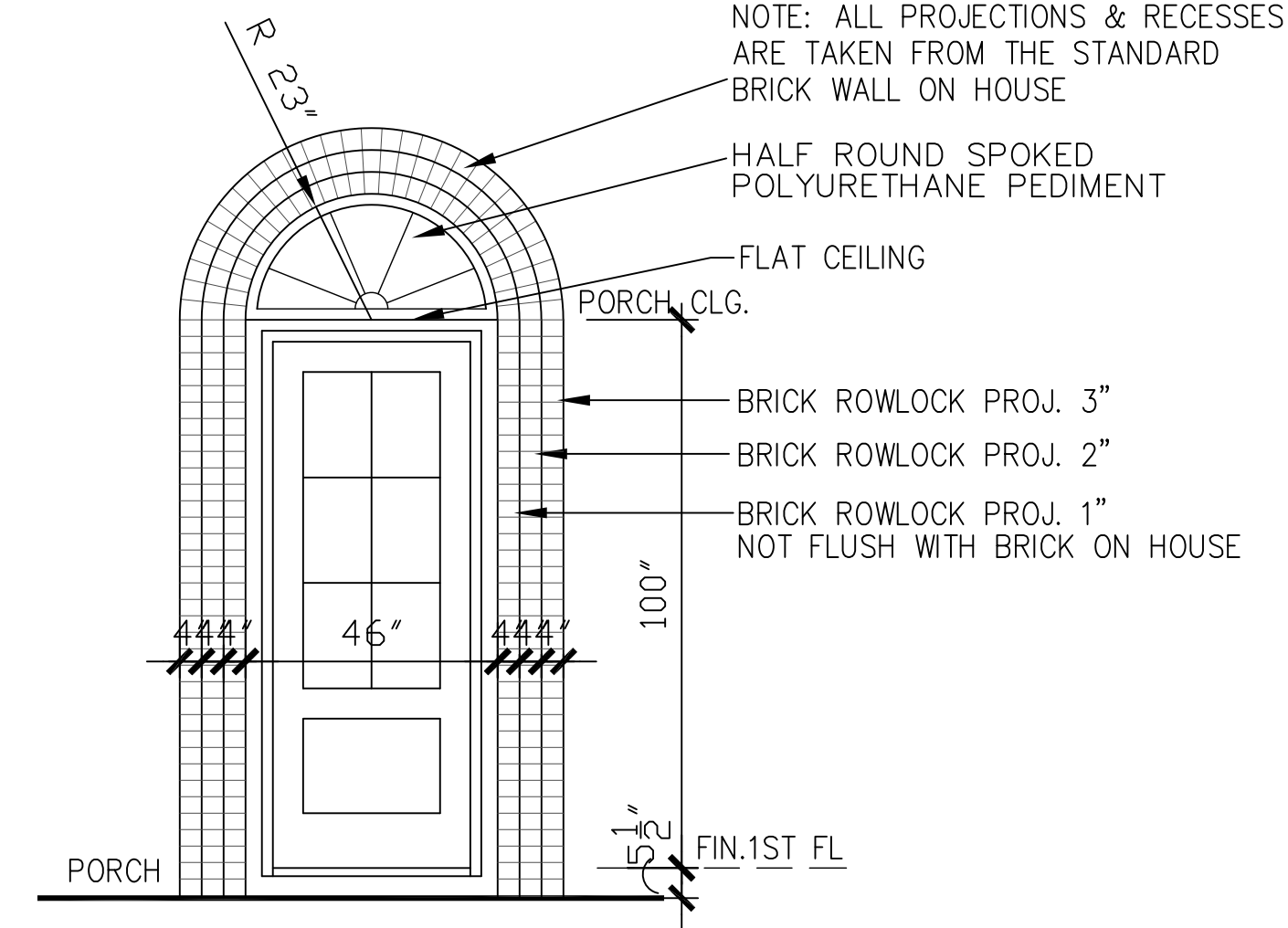
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TOTAL MATERIAL CALCULATION TABLE		
FIBER CEMENT STUCCO BOARD	306	3.8%
3-COAT CEMENT PLASTER SYSTEM	336	4.2%
BRICK	7202	89.7%
ACCENT MATERIAL	186	2.3%
TOTAL SURFACE AREA	8030	



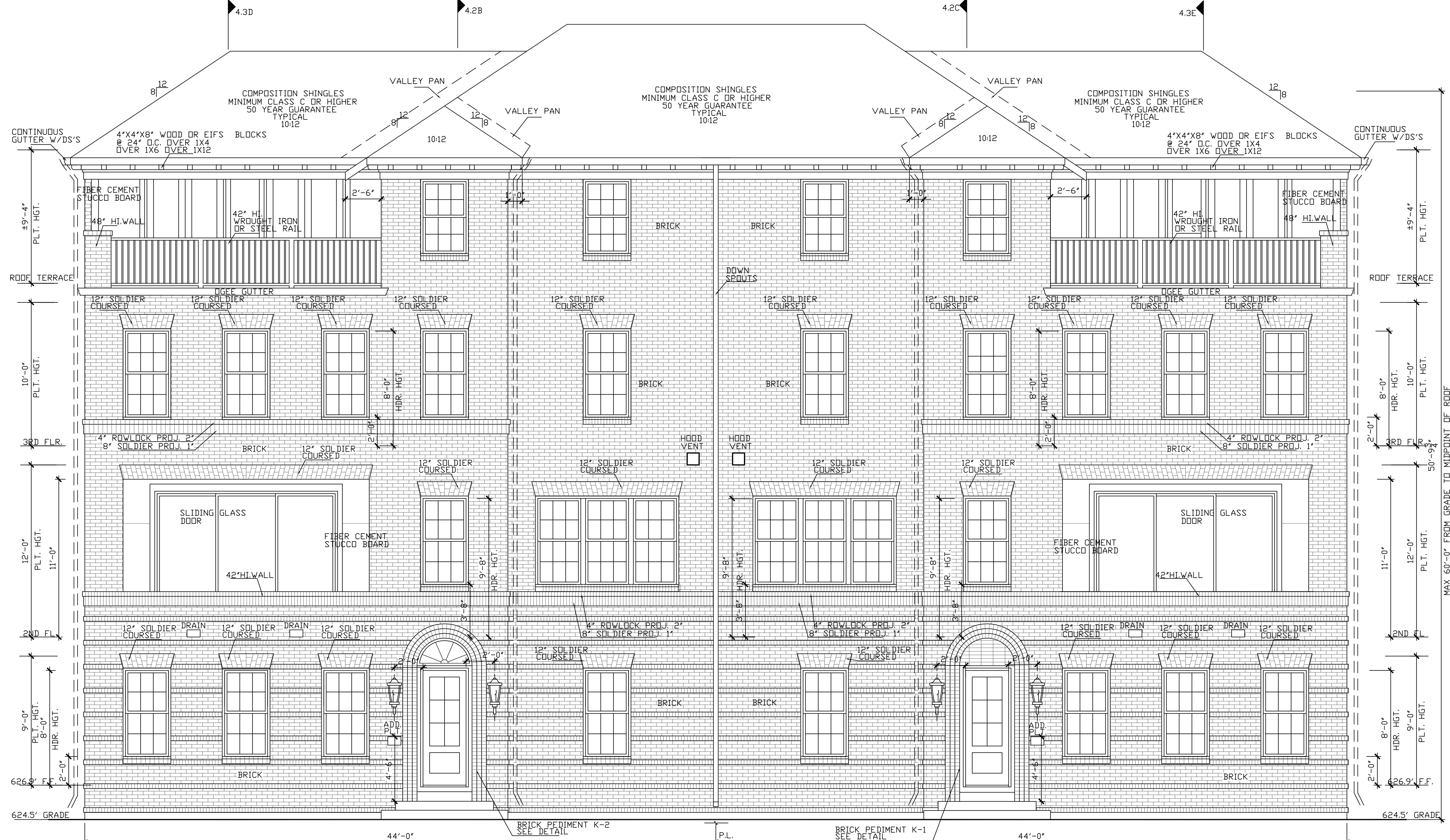
BRICK PEDIMENT K-1

SCALE: 3/8" = 1'-0"

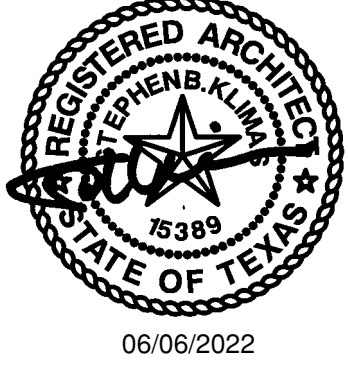


BRICK PEDIMENT K-2

SCALE: 3/8" = 1'-0"



north/front(park) elevation
SCALE: 1/4" = 1'-0"

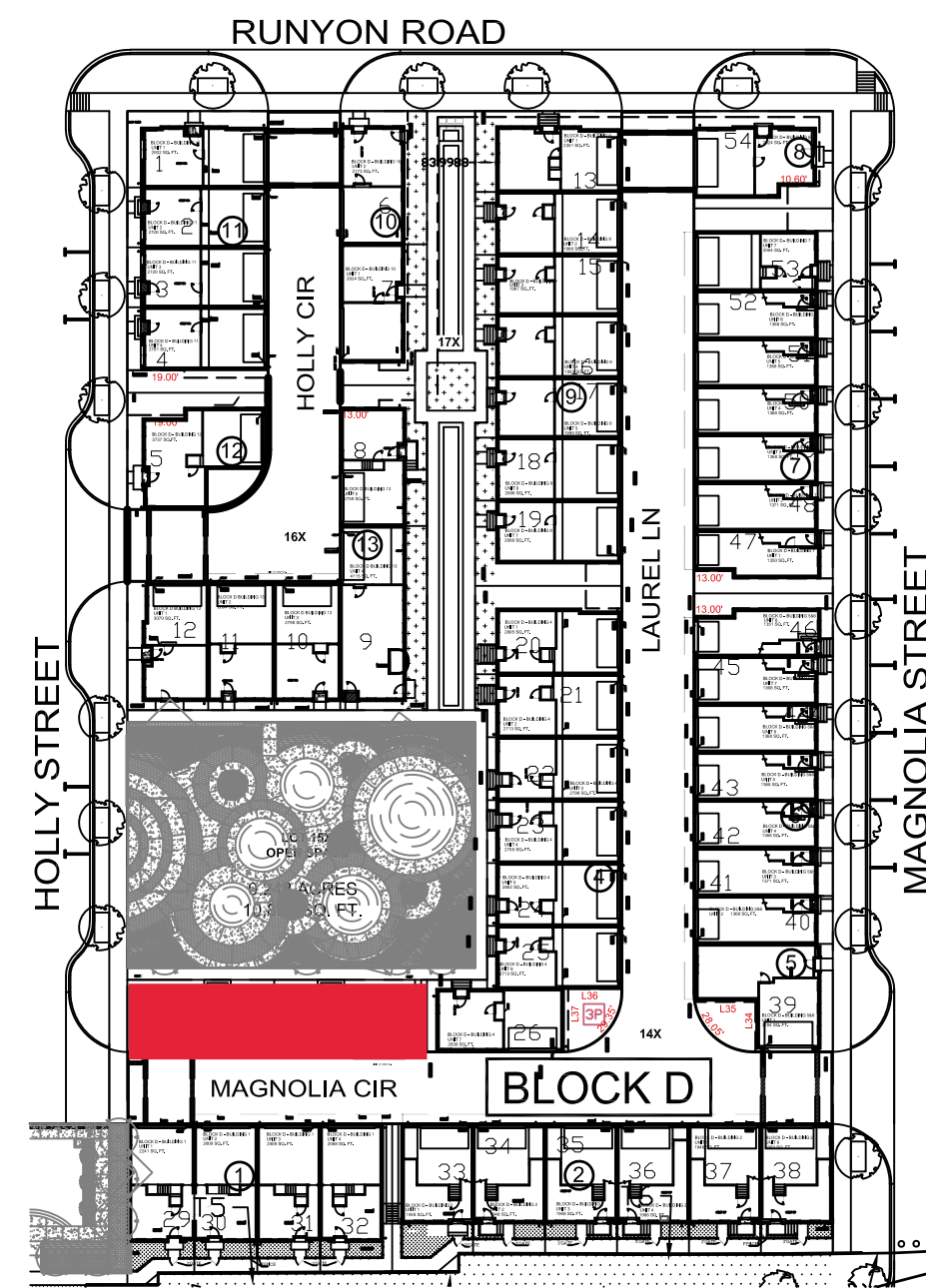


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ADDISON GROVE - BLOCK D - BUILDING 3
NORTH / FRONT ELEVATION

PLAN NO. UNIT 1 2936
UNIT 2 3069
SHEET NO. **A-13**



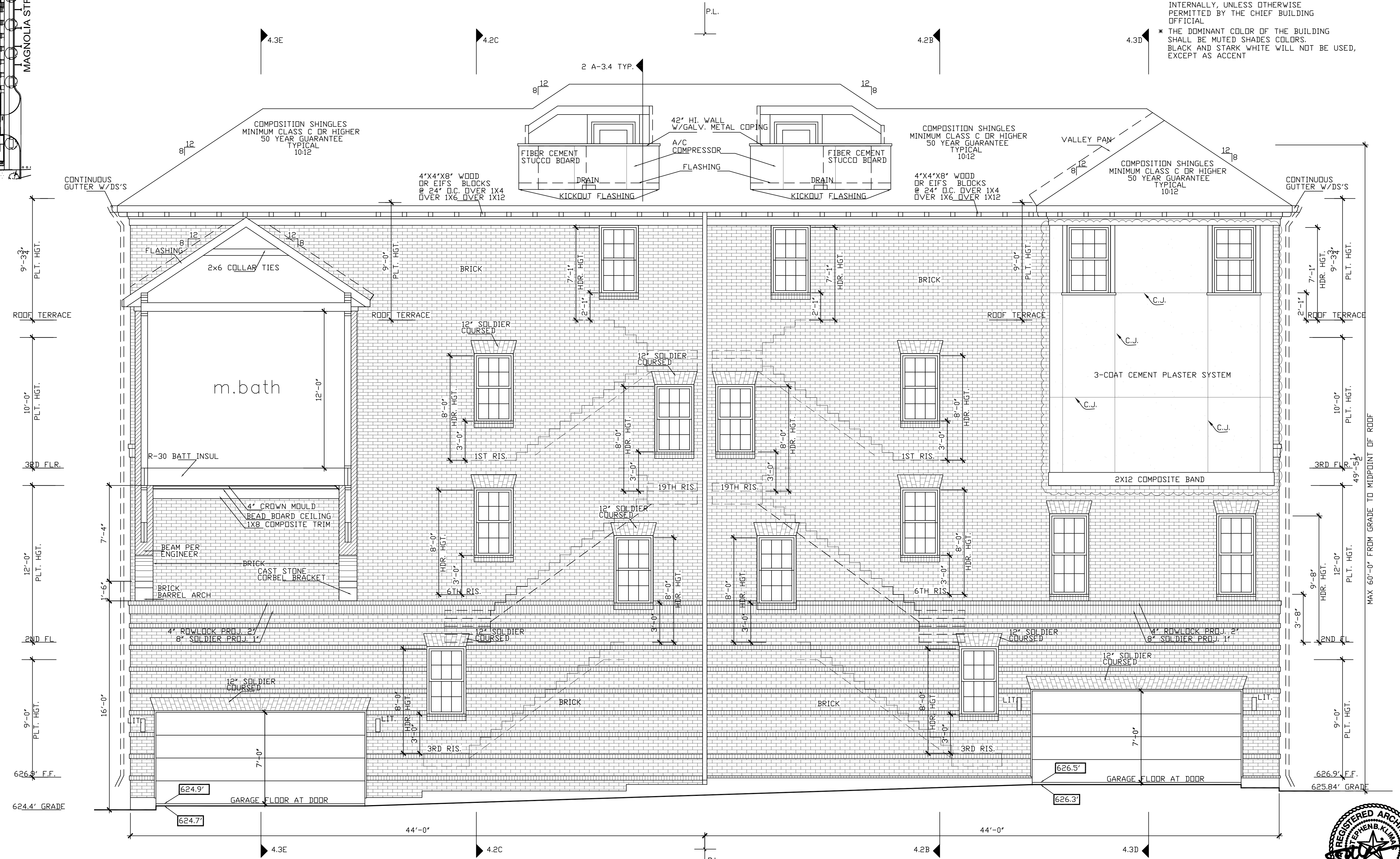
LEGEND

- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

SOUTH/REAR MATERIAL CALCULATION TABLE		
3-COAT CEMENT PLASTER SYSTEM	289	9.4%
BRICK	2667	86.7%
FIBER CEMENT STUCCO BOARD	102	3.3%
ACCENT MATERIAL	17	0.6%
TOTAL SURFACE AREA	3075	

FAÇADE PLAN NOTES

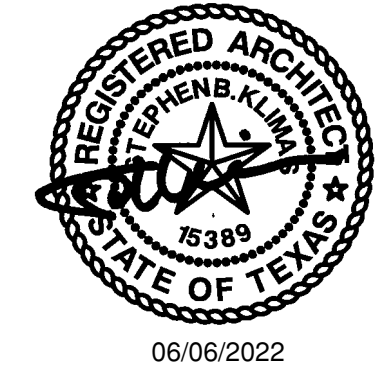
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ADDISON GROVE - BLOCK D - BUILDING 3
SOUTH / REAR ELEVATION

ADDISON GROVE



UNIT 2
LOT 28

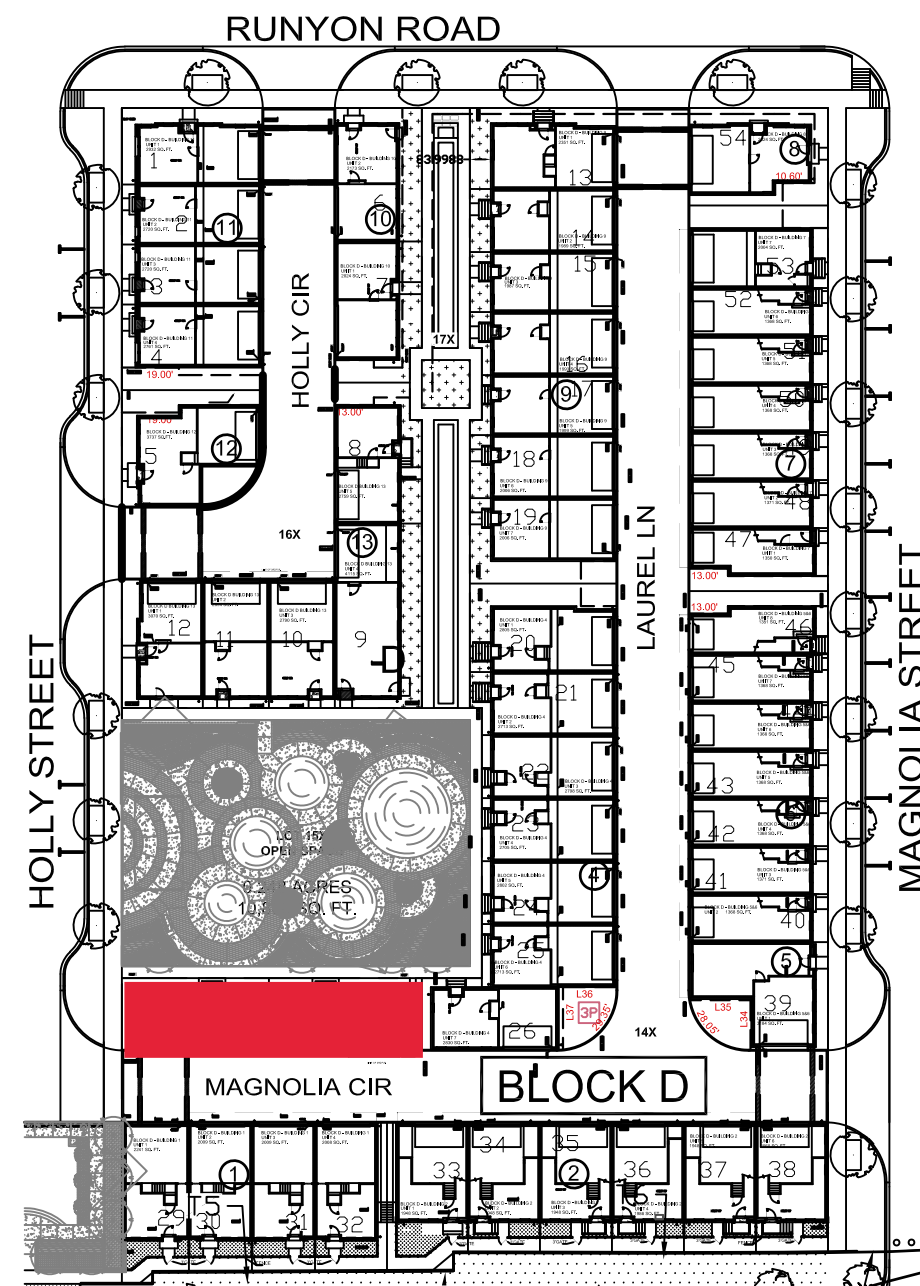
south/rear(MAGNOLIA CIR) elevation
SCALE: 1/4" = 1'-0"

UNIT 1
LOT 27

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2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

PLAN NO. _____
UNIT 1 _____ 2936
UNIT 2 _____ 3069
SHEET NO.

A-14

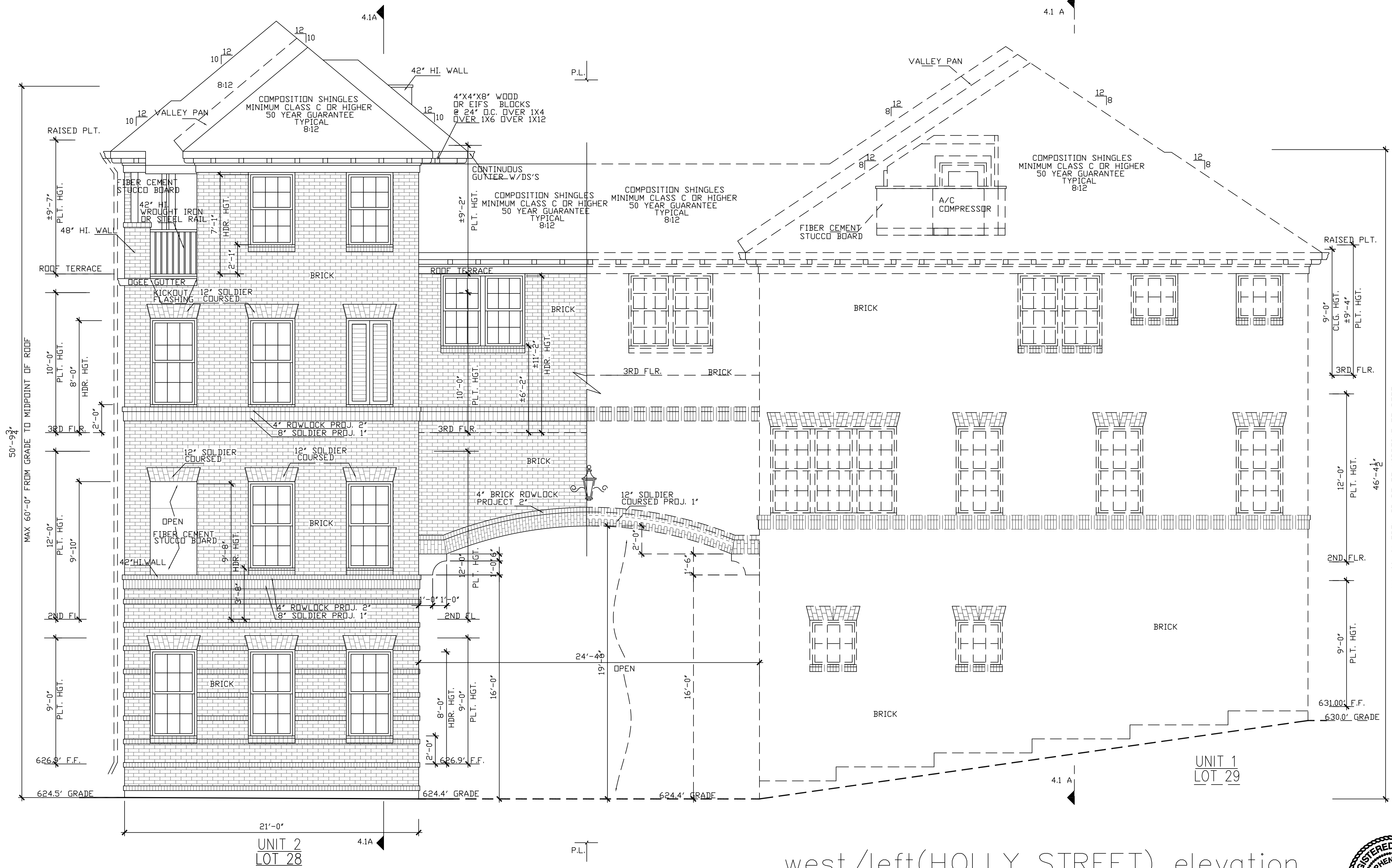


- LEGEND**
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - FIX. SHUTTER (ACCENT MATERIAL)
 - CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

WEST/RIGHT MATERIAL CALCULATION TABLE		
FIBER CEMENT STUCCO BOARD	33	3.6%
BRICK	877	95.1%
ACCENT MATERIAL	12	1.3%
TOTAL SURFACE AREA	922	

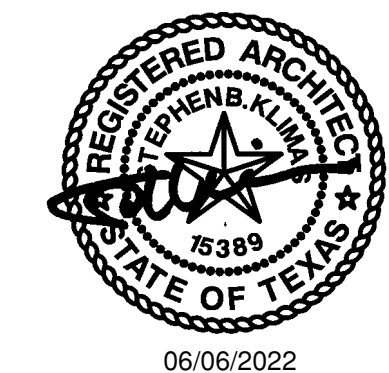
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west/right(HOLLY ST) elevation
SCALE: 1/4" = 1'-0"

west/left(HOLLY STREET) elevation
SCALE: 1/4" = 1'-0"



URBANINTOWNHOMES, Ltd.

ADDISON GROVE -BLOCK D - BUILDING 3

WEST / RIGHT ELEVATION

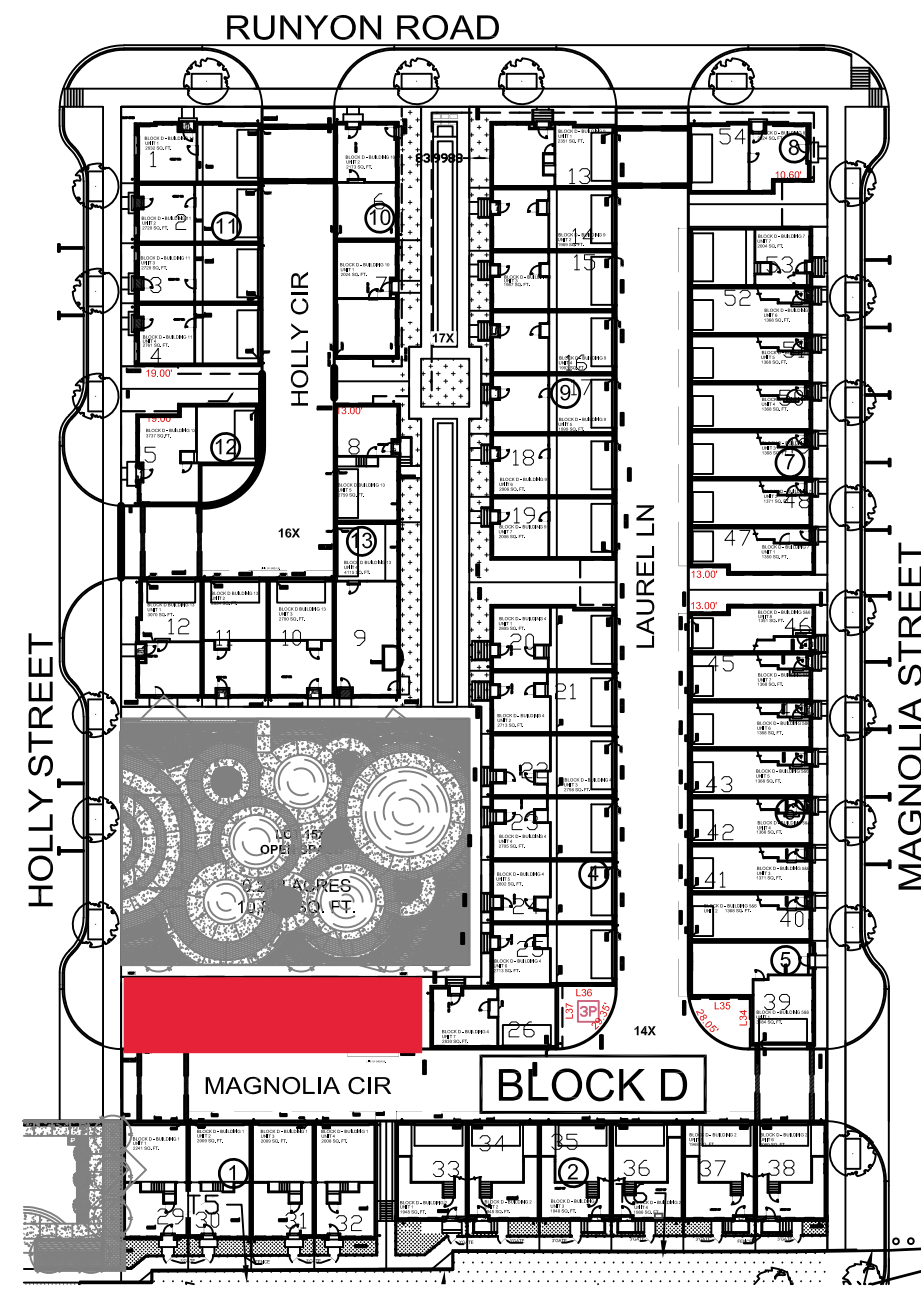
Drawn By/Checked By: S.S./F.M.
Original Date Issued: 05/17/2021
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PLAN NO.
UNIT 1 2936
UNIT 2 3069

SHEET NO.
A-15

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



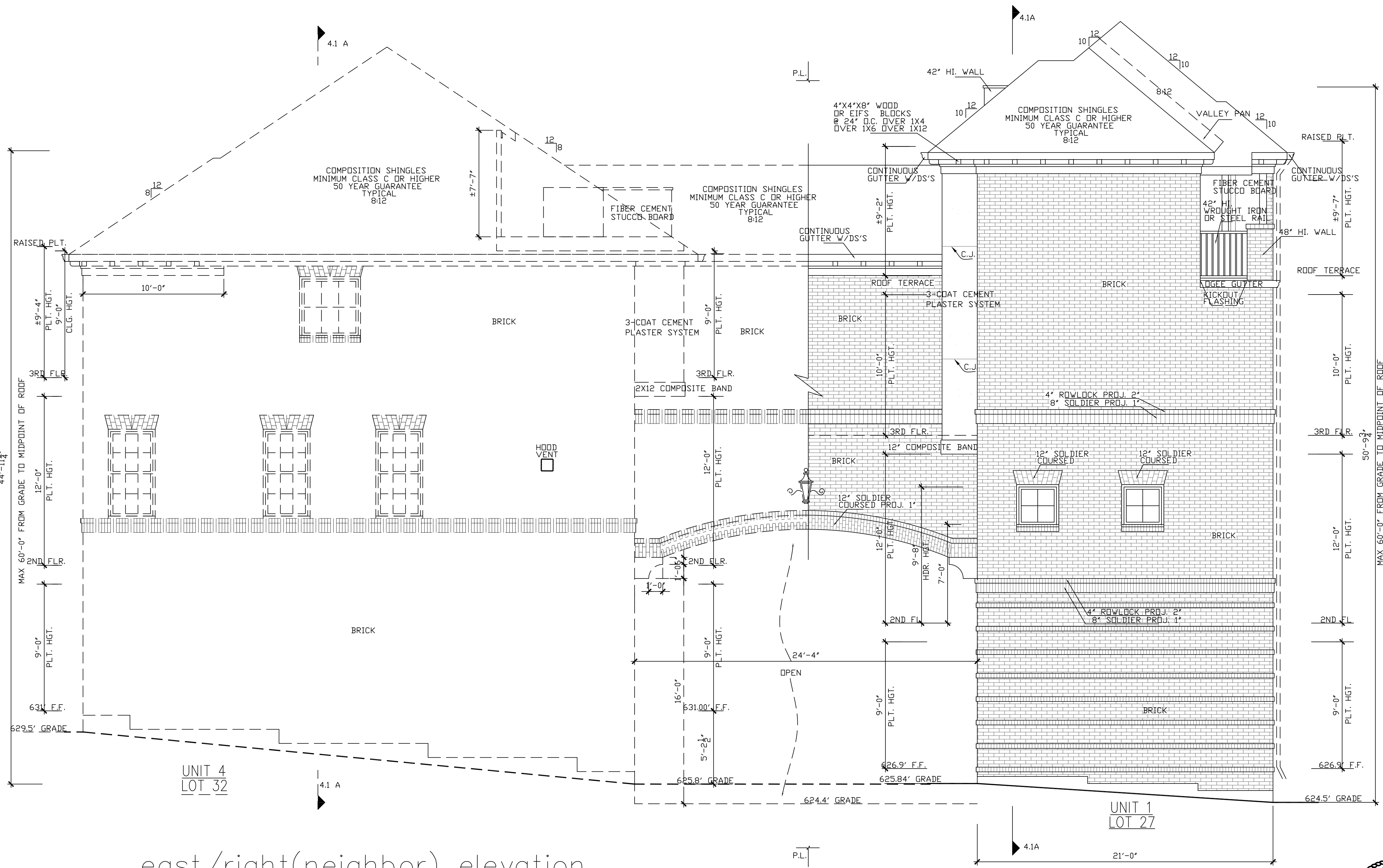
LEGEND

- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET(ACCENT MATERIAL)

EAST/LEFT MATERIAL CALCULATION TABLE		
FIBER CEMENT STUCCO BOARD	11	1.0%
BRICK	1040	93.5%
3-COAT CEMENT PLASTER SYSTEM	47	4.2%
ACCENT MATERIAL	15	1.3%
TOTAL SURFACE AREA	1113	

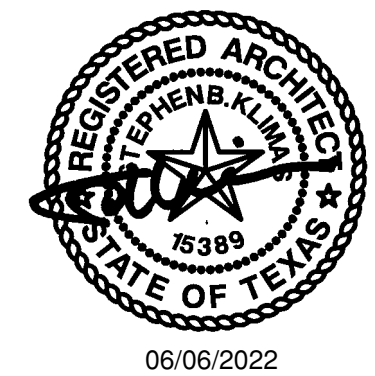
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east/right(neighbor) elevation
SCALE: 1/4" = 1'-0"

east/left/neighbor elevation
SCALE: 1/4" = 1'-0"



URBANINTOWNHOMES, Ltd.

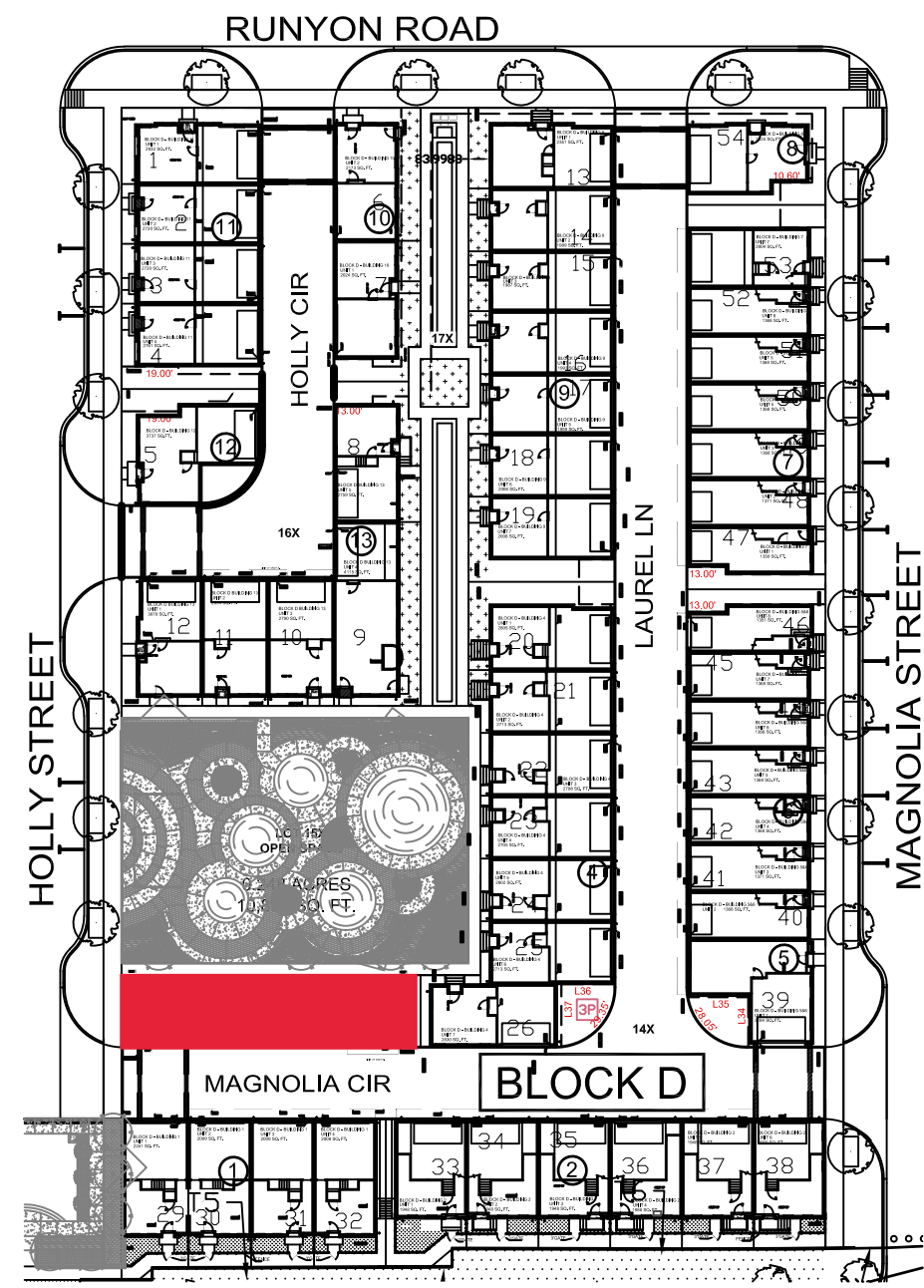
ADDISON GROVE -BLOCK D - BUILDING 3

PLAN NO.
UNIT 1 - 2936
UNIT 2 - 3069

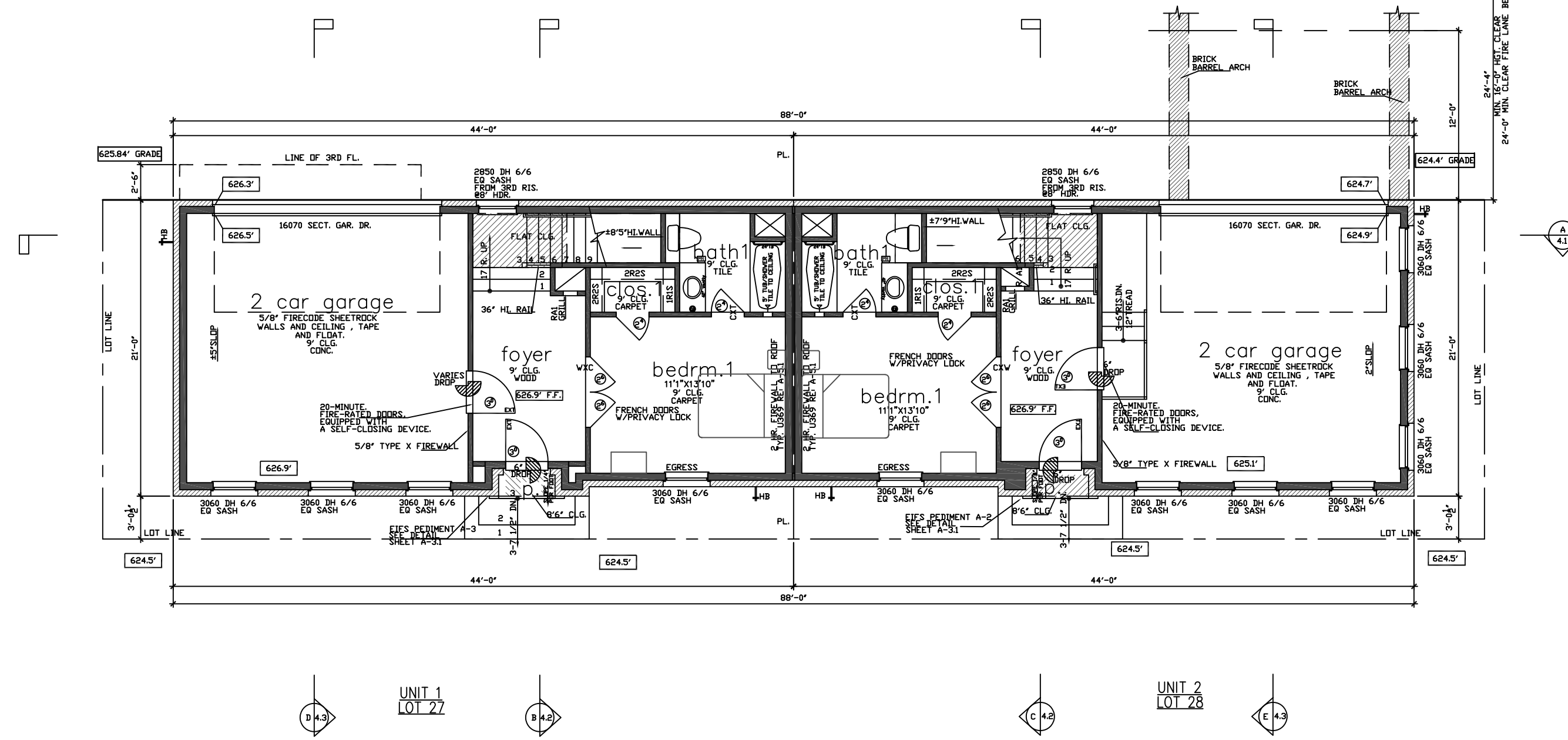
SHEET NO.
A-16

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Drawn By/Checked By: S.S./F.M.
Original Date Issued: 05/17/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2936	4
UNIT 2	3069	4

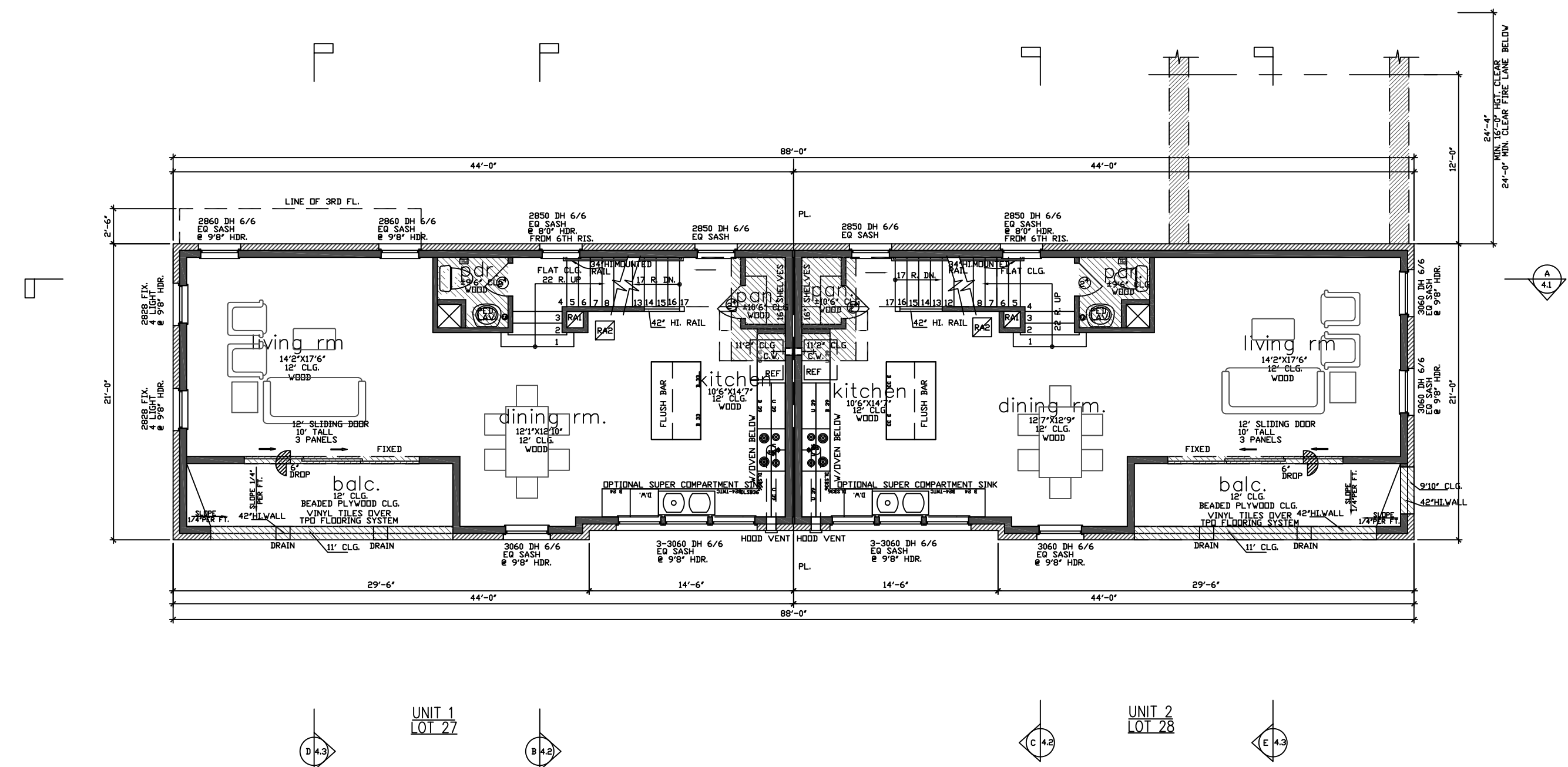


first floor plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAME. RE: STRUCTURAL PLANS

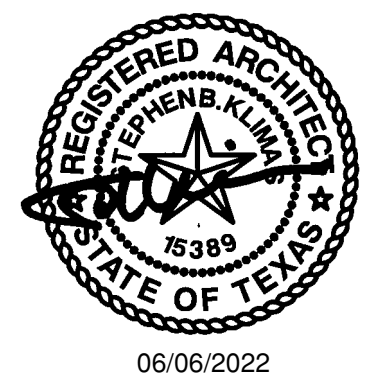
unit 1 square footage		unit 2 square footage		total all 2 units square footage	
FIRST FLOOR	440	FIRST FLOOR	440	FIRST FLOOR	880
SECOND FLOOR	887	SECOND FLOOR	887	SECOND FLOOR	1774
THIRD FLOOR	937	THIRD FLOOR	1038	THIRD FLOOR	2075
ROOF TERRACE	76	ROOF TERRACE	76	ROOF TERRACE	152
TOTAL LIVING AREA	2936	TOTAL LIVING AREA	3069	TOTAL LIVING AREA	6005
PORCH	44	PORCH	46	PORCH	90
BALCONY	107	BALCONY	107	BALCONY	214
COVERED ROOF DECK	88	COVERED ROOF DECK	88	COVERED ROOF DECK	176
UNCOVERED ROOF DECK	80	UNCOVERED ROOF DECK	80	UNCOVERED ROOF DECK	160
UNCOVERED AC DECK	89	UNCOVERED AC DECK	89	UNCOVERED AC DECK	178
TOTAL SLAB AREA	514	TOTAL SLAB AREA	514	TOTAL SLAB AREA	1028

NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE USED THEY SHALL BE LISTED AND LABELED IN ACCORDANCE WITH ALL CODES AS REQUIRED IN THE IBC SECTION 2903.4

NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.



second floor plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAME. RE: STRUCTURAL PLANS



06/06/2022

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

ADDISON GROVE - BLOCK D - BUILDING 3
FLOOR PLAN

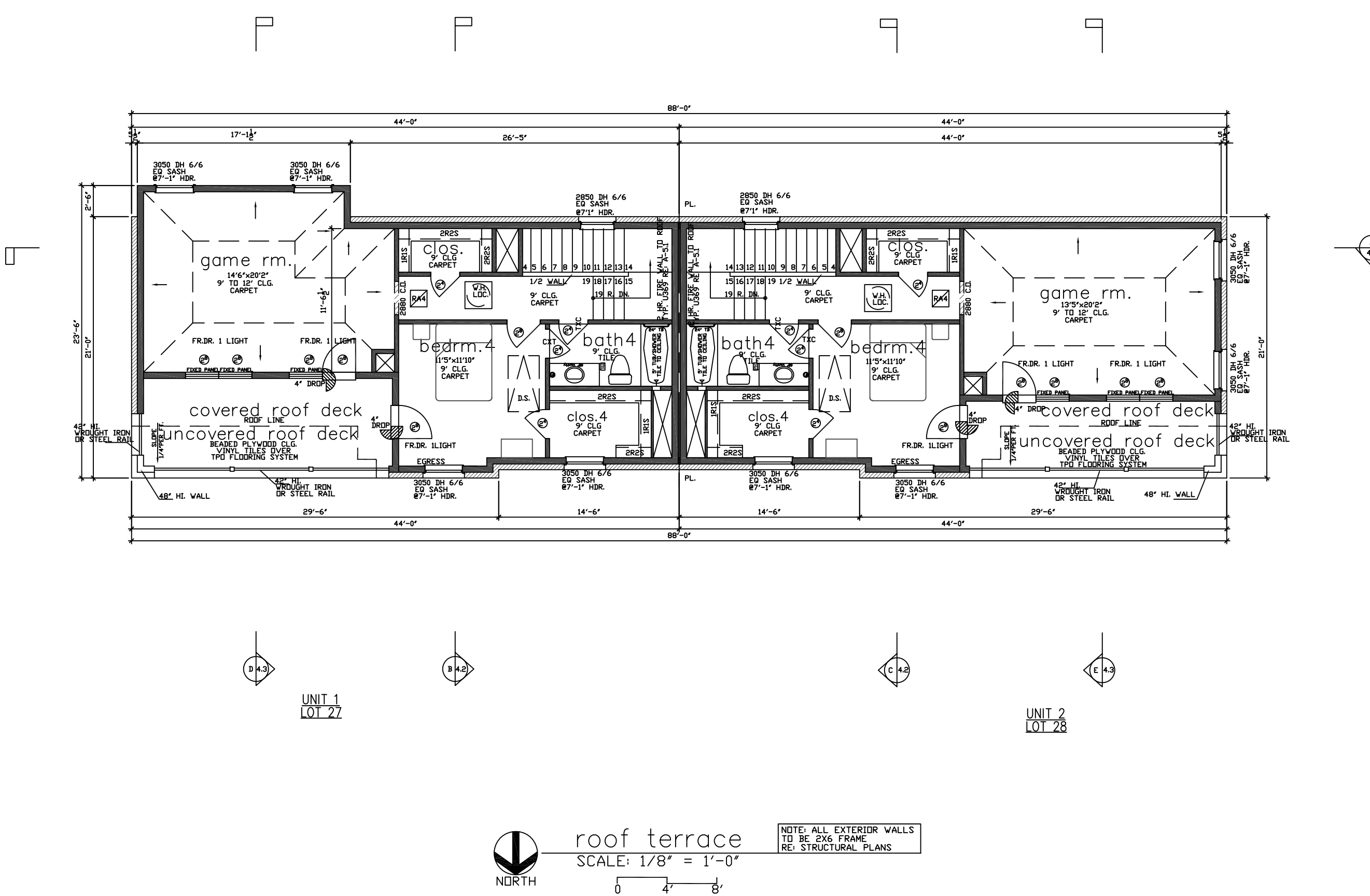
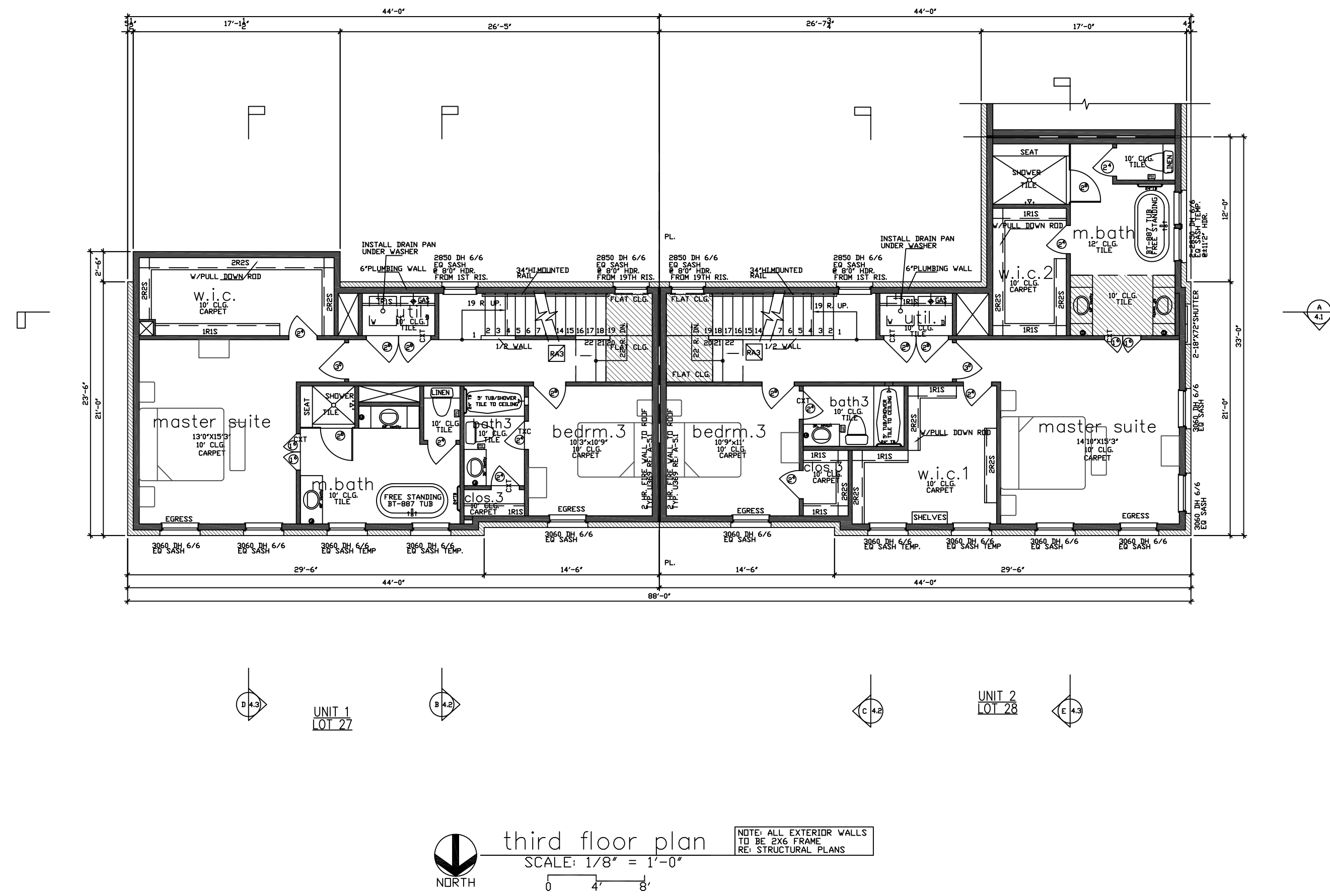
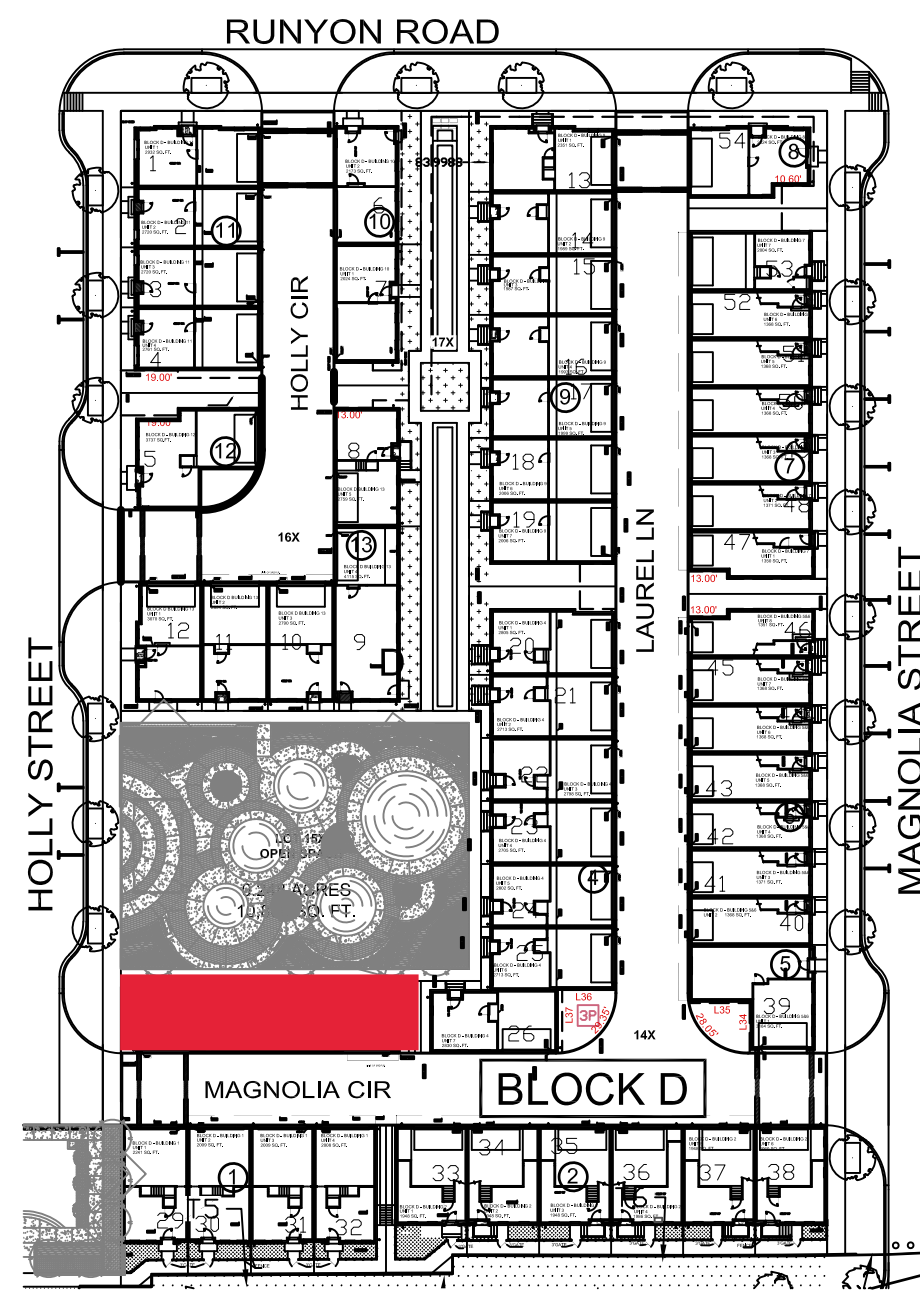
PLAN NO.
UNIT 1 2936
UNIT 2 3069

SHEET NO.
A-17

URBAN INTOWN HOMES, Ltd.

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: S.S./F.M.
Original Date Issued: 05/17/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022



ADDISON GROVE

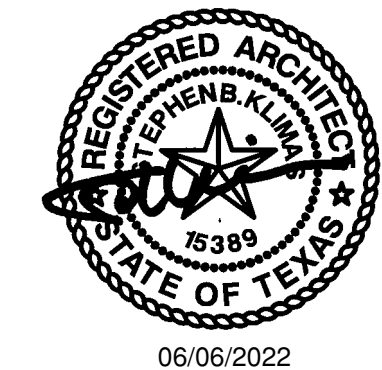
ADDISON GROVE - BLOCK D - BUILDING 3

FLOOR PLAN

URBAN INTOWN HOMES, Ltd.

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: S.S./F.M.
Original Date Issued: 05/17/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

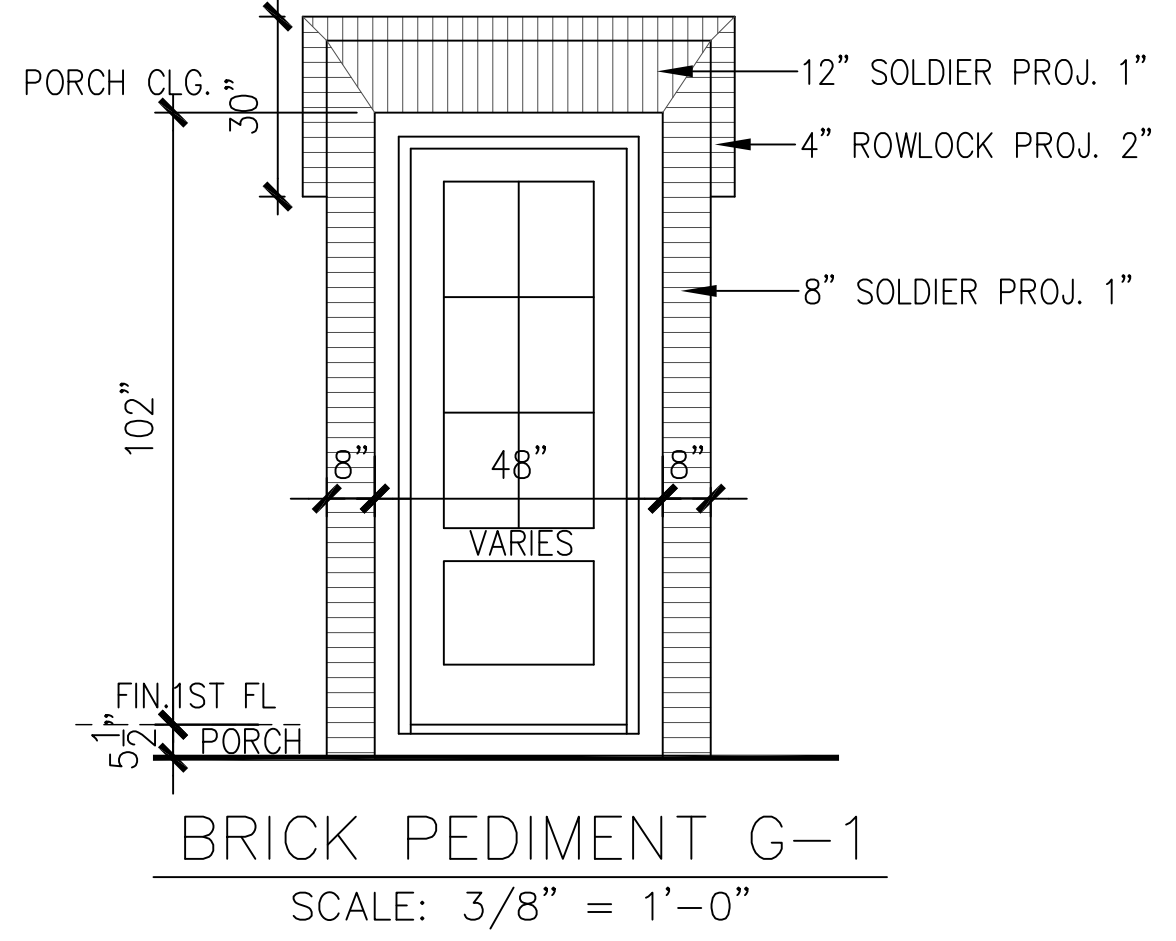
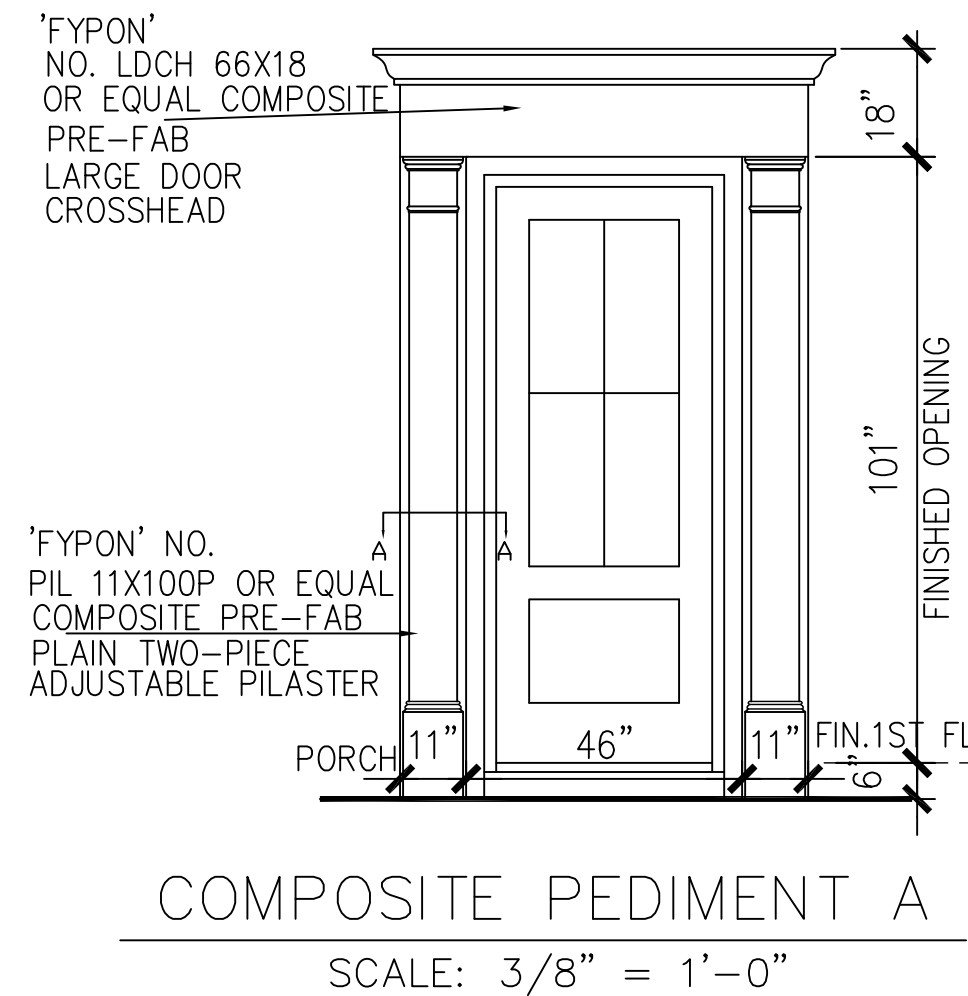
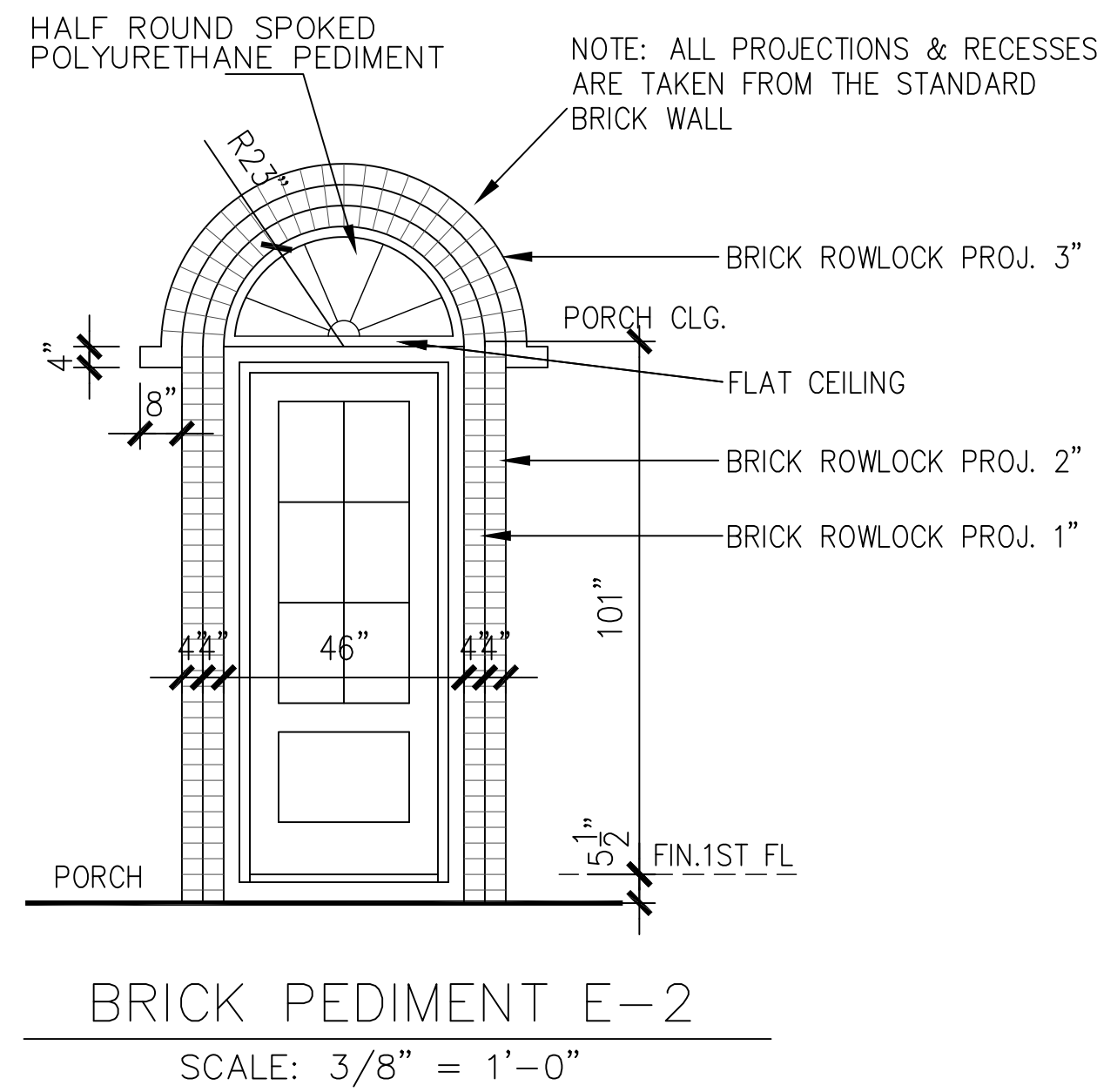
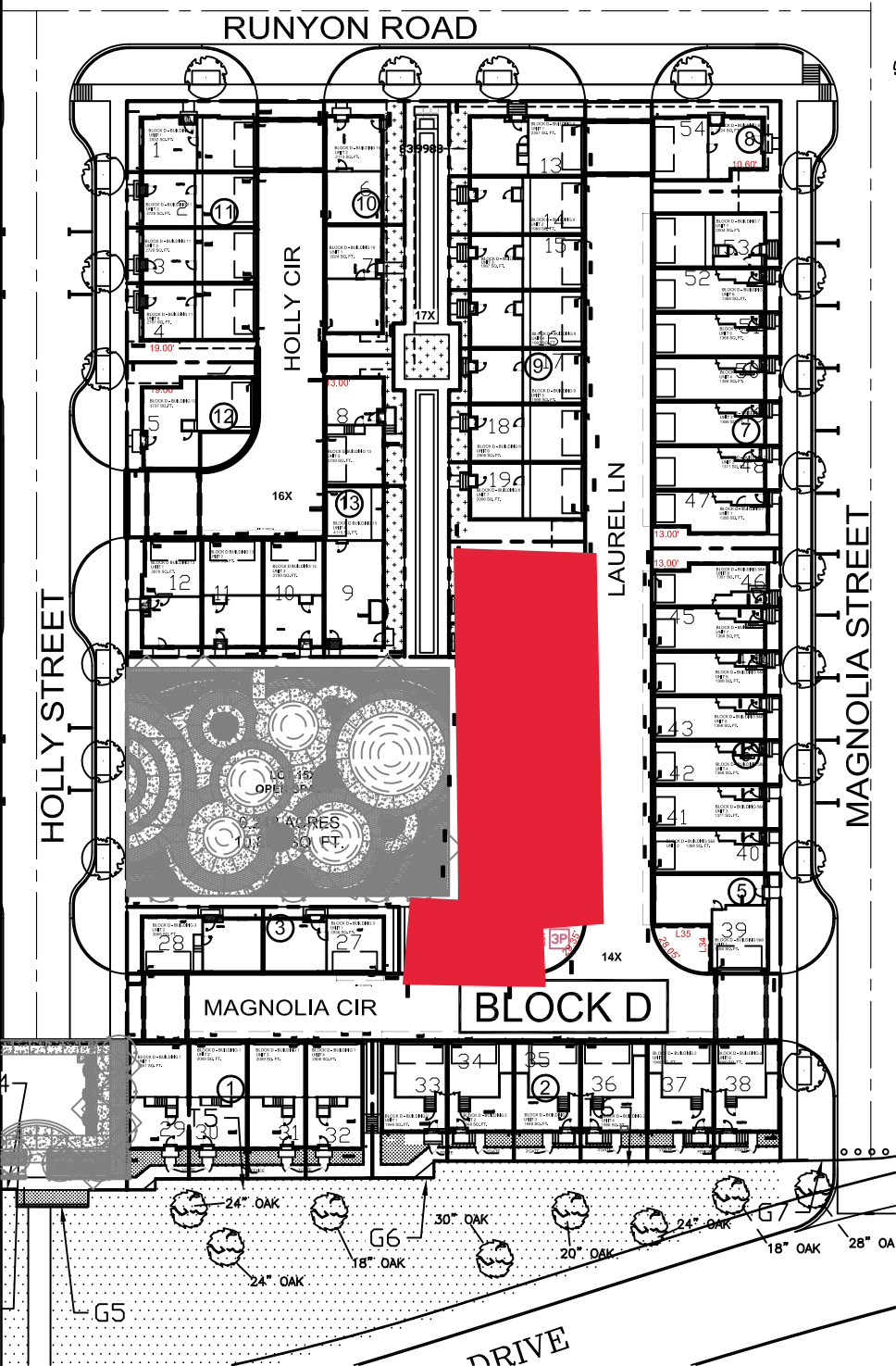


06/06/2022

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

PLAN NO.
UNIT 1 2936
UNIT 2 3069

SHEET NO.
A-18



WEST/FRONT MATERIAL CALCULATION TABLE

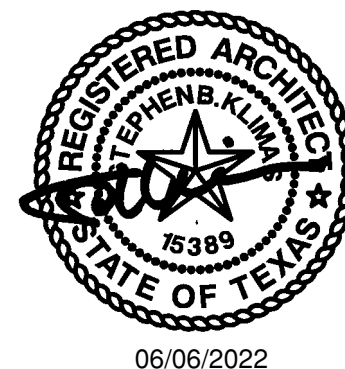
STUCCO BOARD	224	4.3%
BRICK	4327	83.9%
ACCENT MATERIAL	609	11.8%
TOTAL SURFACE AREA	5160	

TOTAL MATERIAL CALCULATION TABLE

STUCCO BOARD	620	4.0%
BRICK	14062	91.4%
ACCENT MATERIAL	700	4.6%
TOTAL SURFACE AREA	15382	

- LEGEND
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - COMPOSITE PEDIMENT (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
 - WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
 - FIX. SHUTTER (ACCENT MATERIAL)
 - HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

- FAÇADE PLAN NOTES
- THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
 - ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
 - WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
 - ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
 - ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHEROKEE BUILDING OFFICIAL.
 - THE DOMINANT COLOR OF THE BUILDING SHALL BE Muted SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT.



URBAN INTOWN HOMES, Ltd.

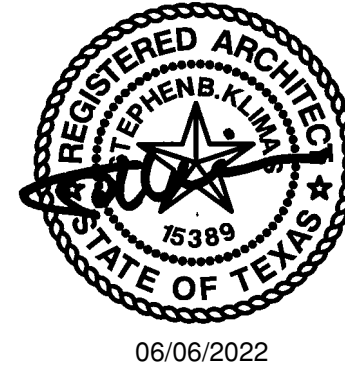
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(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 4
WEST/FRONT ELEVATION

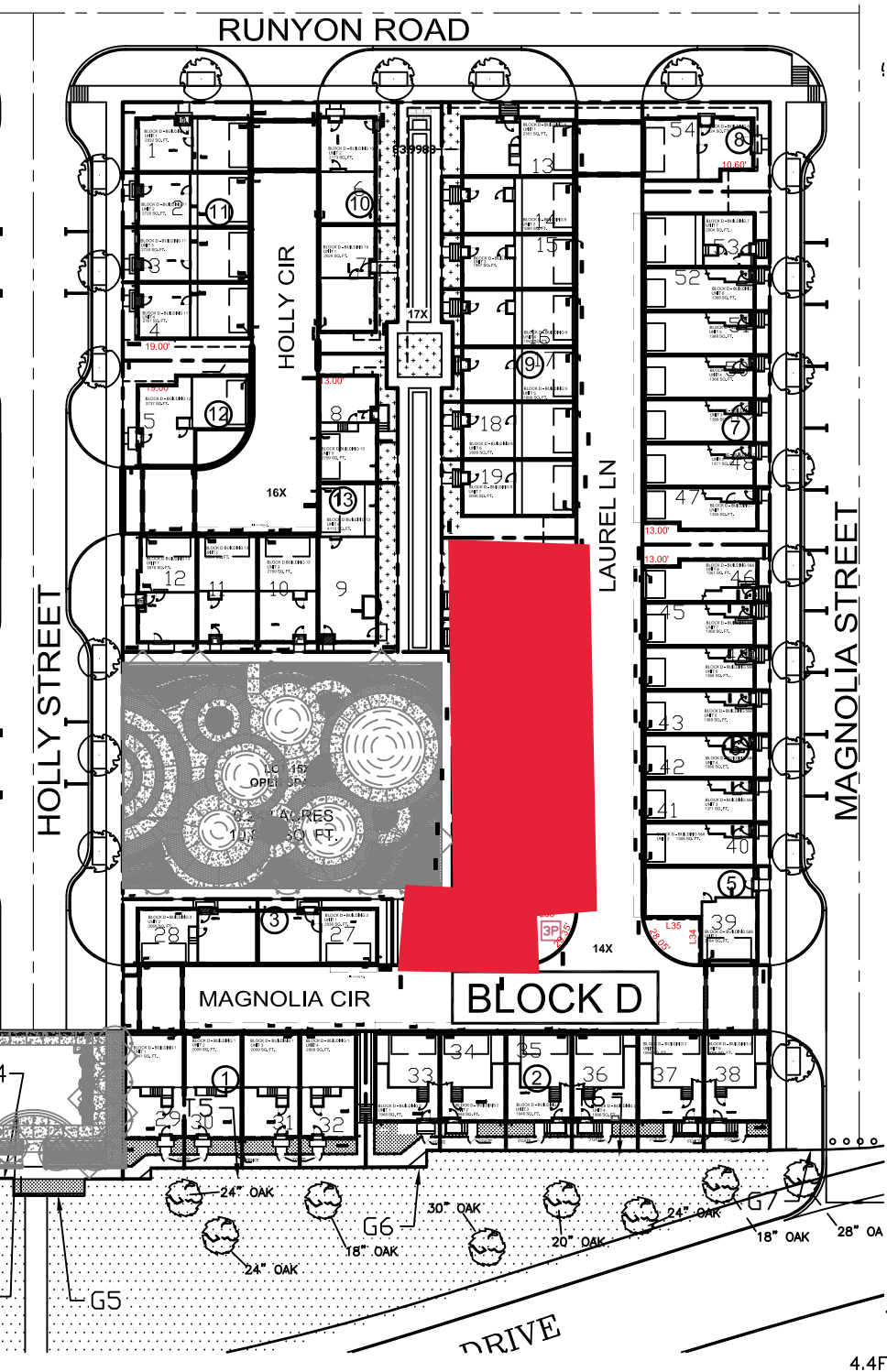
PLAN NO.

UNIT 1	2805
UNIT 2	2713
UNIT 3	2738
UNIT 4	2705
UNIT 5	2802
UNIT 6	2213
UNIT 7	2830

SHEET NO. A-19



Drawn By/Checked By: E.L./F.M.
 Original Date Issued: 06/10/2021
 Scale: 3/16" = 1'-0"
 Last Updated: 06/03/2022



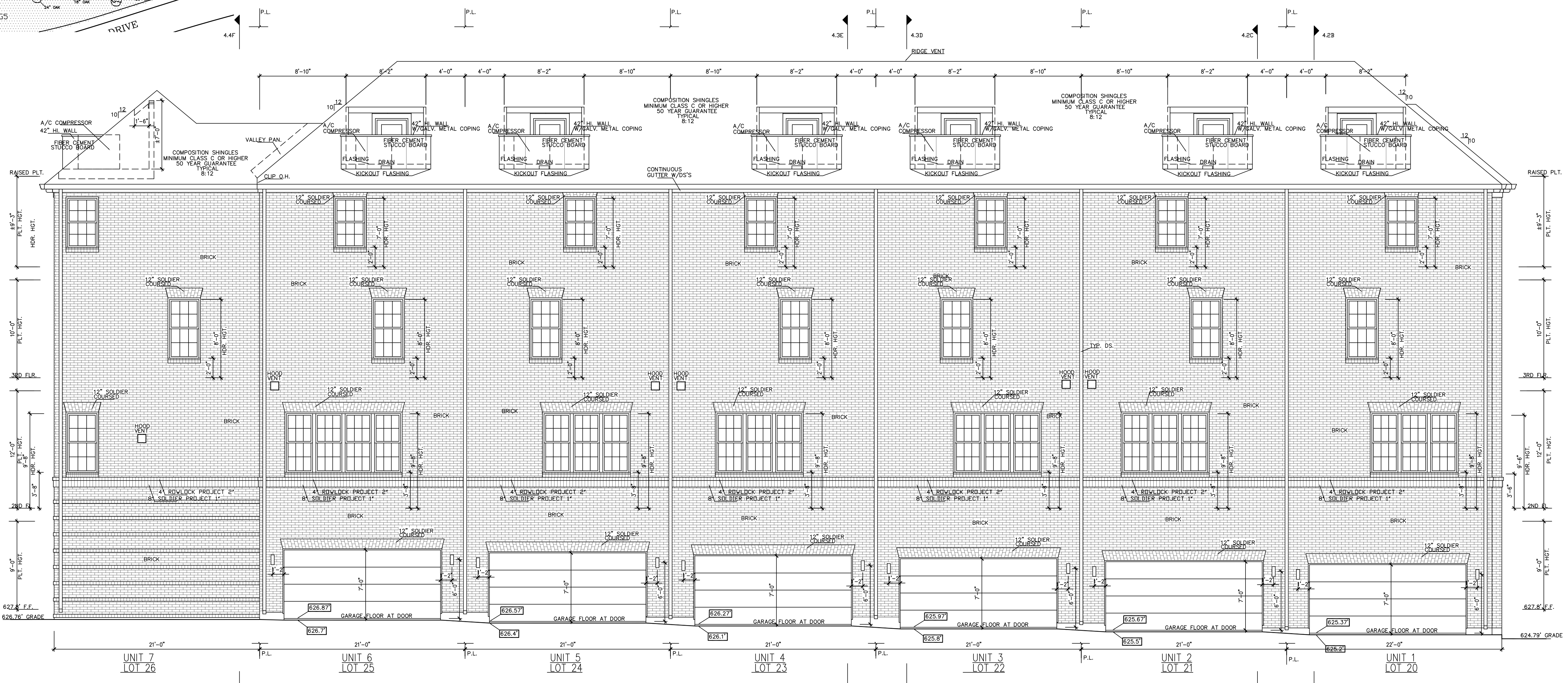
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL

EAST/REAR MATERIAL CALCULATION TABLE

STUCCO BOARD	271	5.0%
BRICK	5179	95.0%
TOTAL SURFACE AREA	5450	

- FACADE PLAN NOTES
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east/rear(LAUREL LN) elevation
 SCALE: 3/16" = 1'-0"
 0 4 8'

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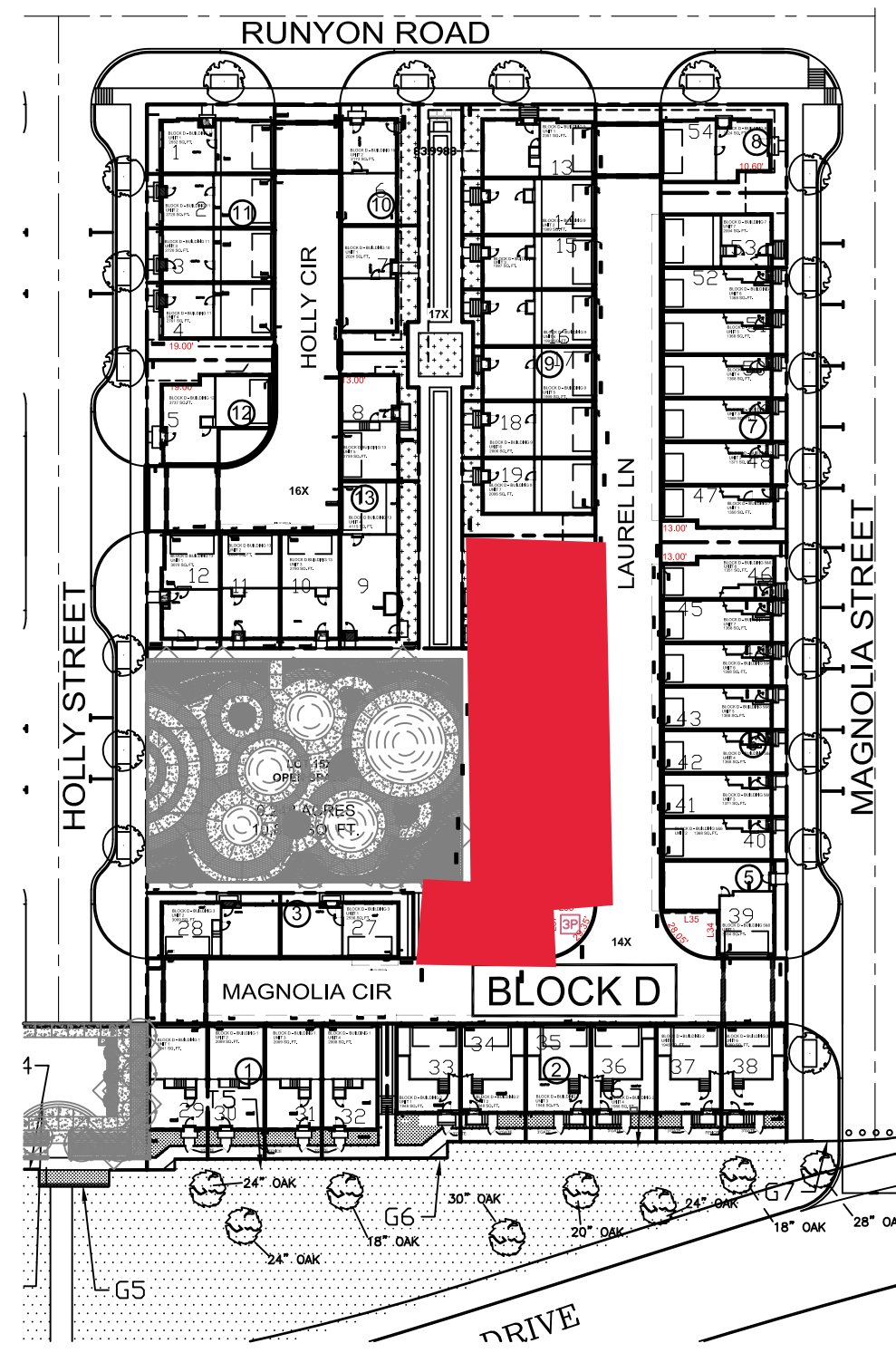
ADDISON GROVE - BLOCK D - BUILDING 4
EAST/REAR ELEVATION

PLAN NO.

UNIT 1	2805
UNIT 2	2213
UNIT 3	2708
UNIT 4	2705
UNIT 5	2802
UNIT 6	2213
UNIT 7	2830

SHEET NO.
A-20

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877



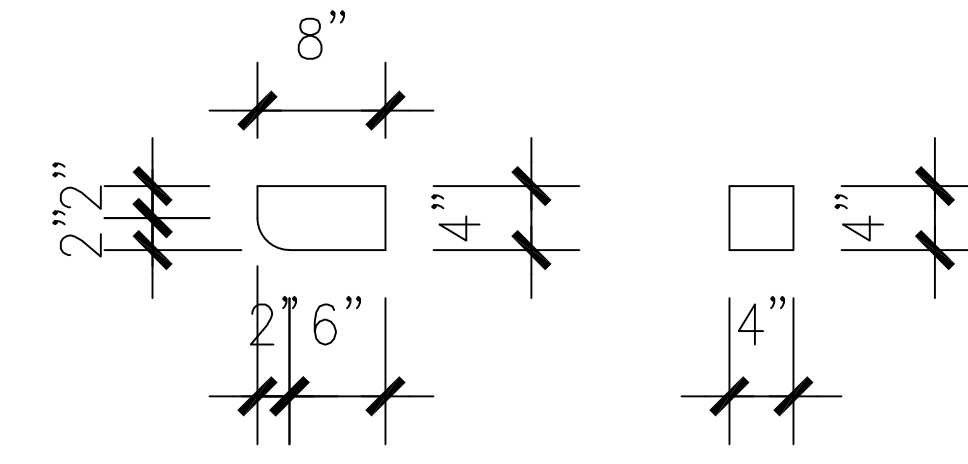
SOUTH/RIGHT MATERIAL CALCULATION TABLE		
STUCCO BOARD	58	2.6%
BRICK	2173	95.3%
ACCENT MATERIAL	48	2.1%
TOTAL SURFACE AREA	2279	

FACADE PLAN NOTES

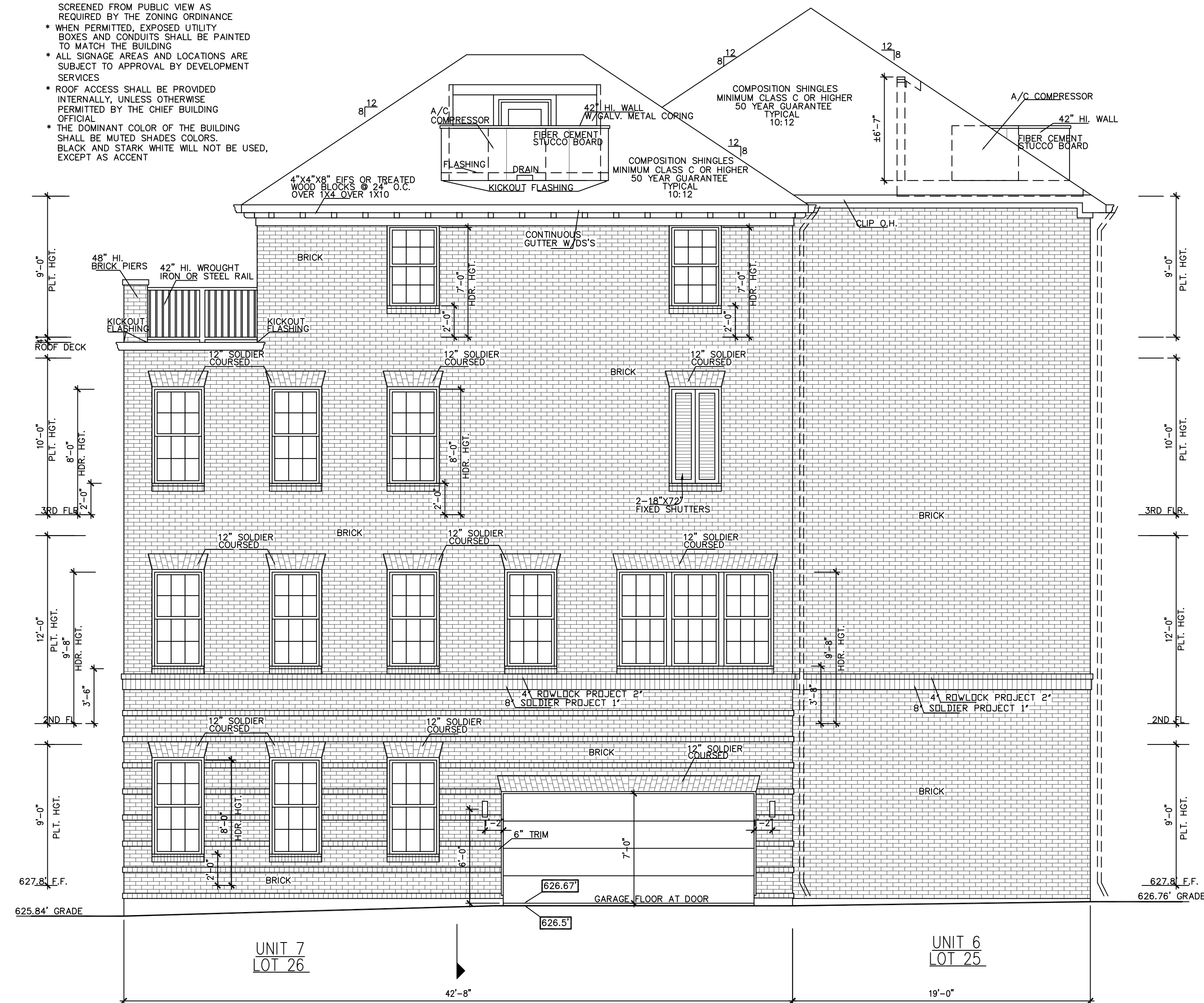
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LEGEND

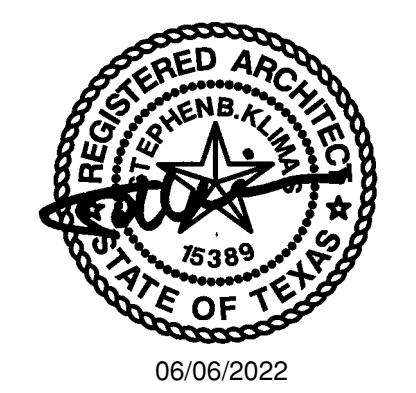
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)
- FIX. SHUTTER (ACCENT MATERIAL)



WOOD OR EIFS BRACKETS(D)
SCALE: 1" = 1'-0"



south/right(MAGNOLIA CIR) elevation
SCALE: 3/16" = 1'-0"



ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE - BLOCK D - BUILDING 4

SOUTH/RIGHT ELEVATIONS

PLAN NO.	UNIT	NO.
UNIT 1	2805	
UNIT 2	2713	
UNIT 3	2728	
UNIT 4	2705	
UNIT 5	2802	
UNIT 6	2713	
UNIT 7	2830	

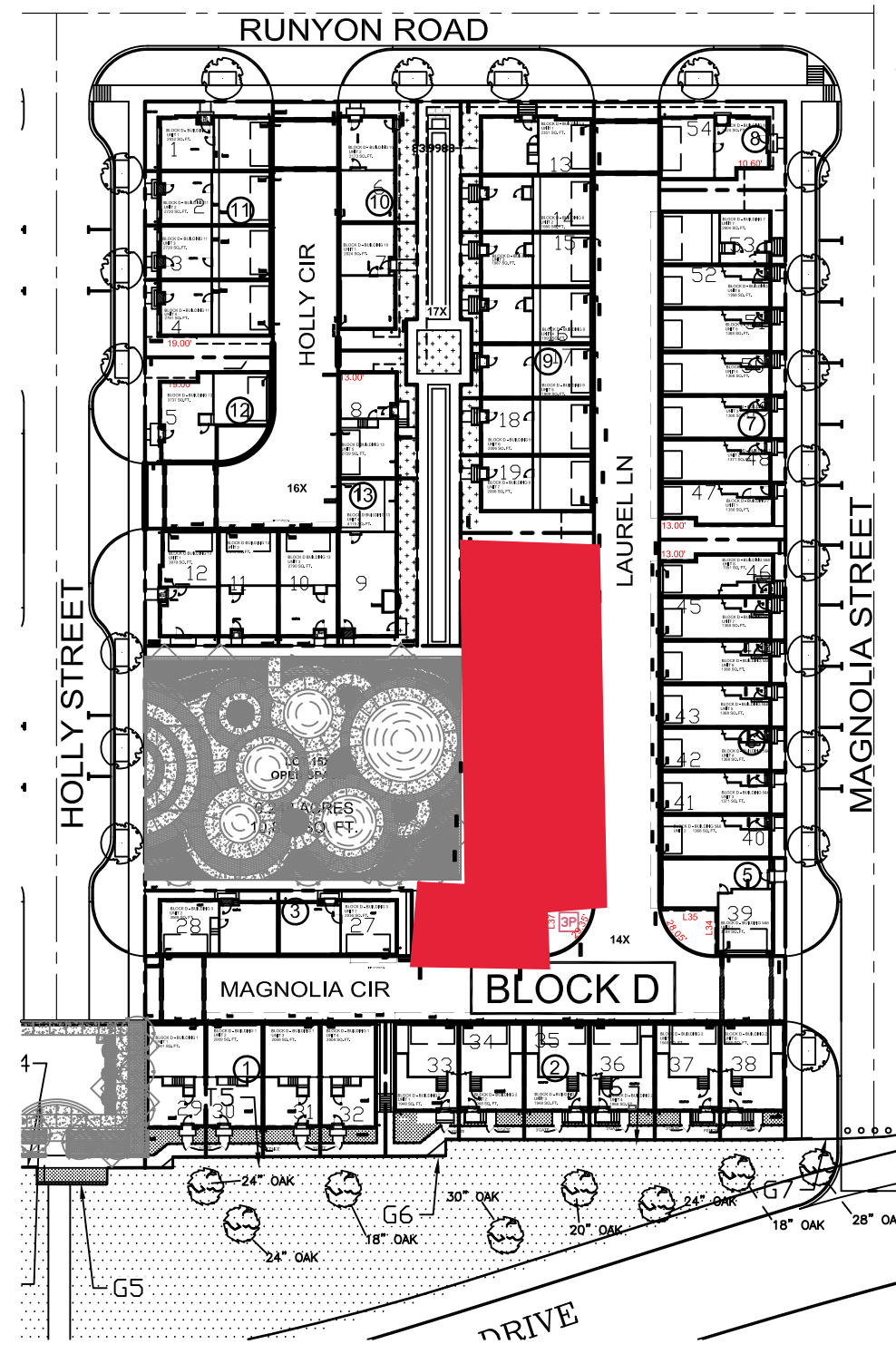
SHEET NO.

A-21

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Drawn By/Checked By: E.L./F.M.
Original Date Issued: 06/10/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

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LEGEND

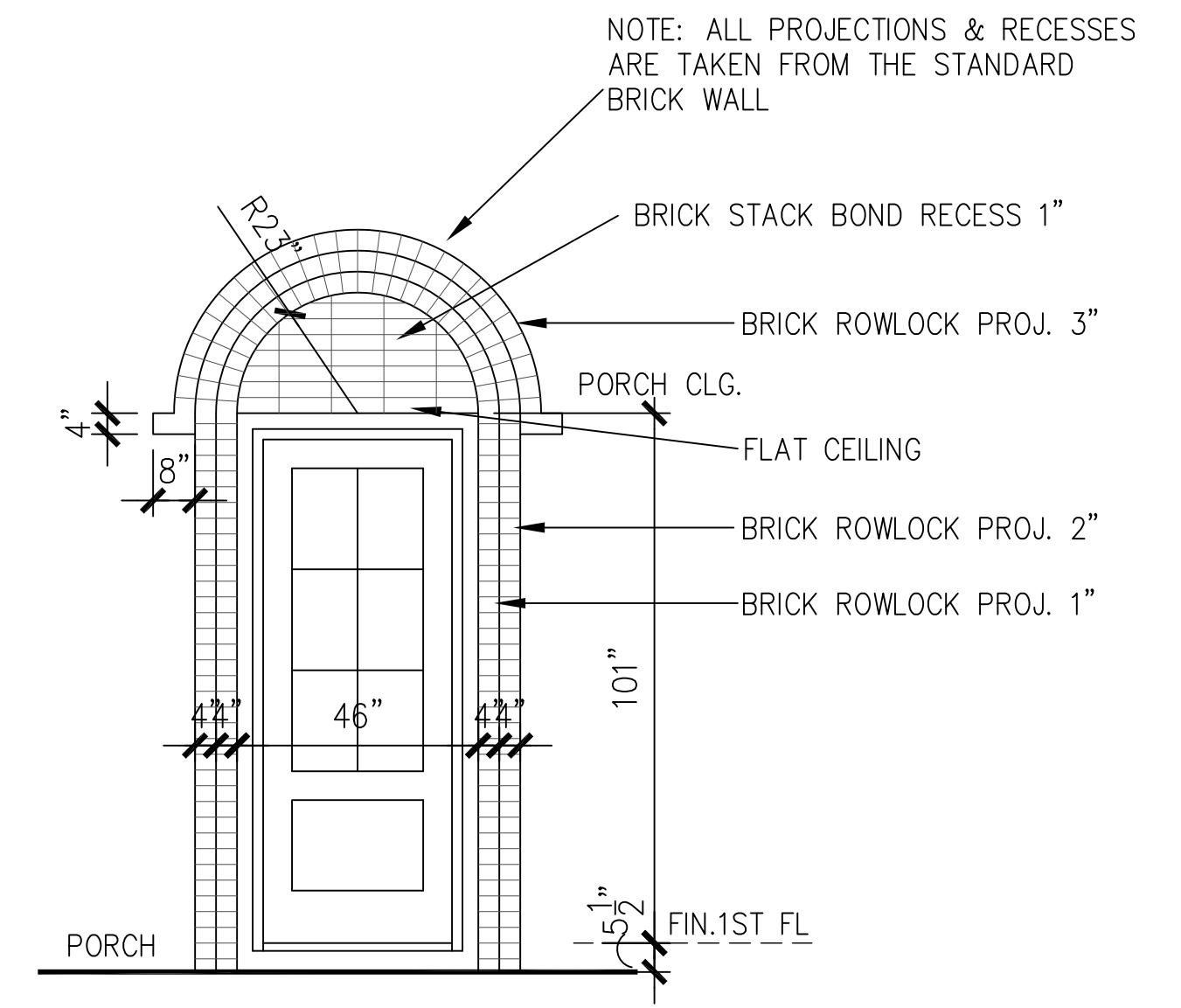
- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EFS BLOCKS (ACCENT MATERIAL)
- WROUGHT IRON OR STEEL RAIL (ACCENT MATERIAL)

NORTH/LEFT MATERIAL CALCULATION TABLE

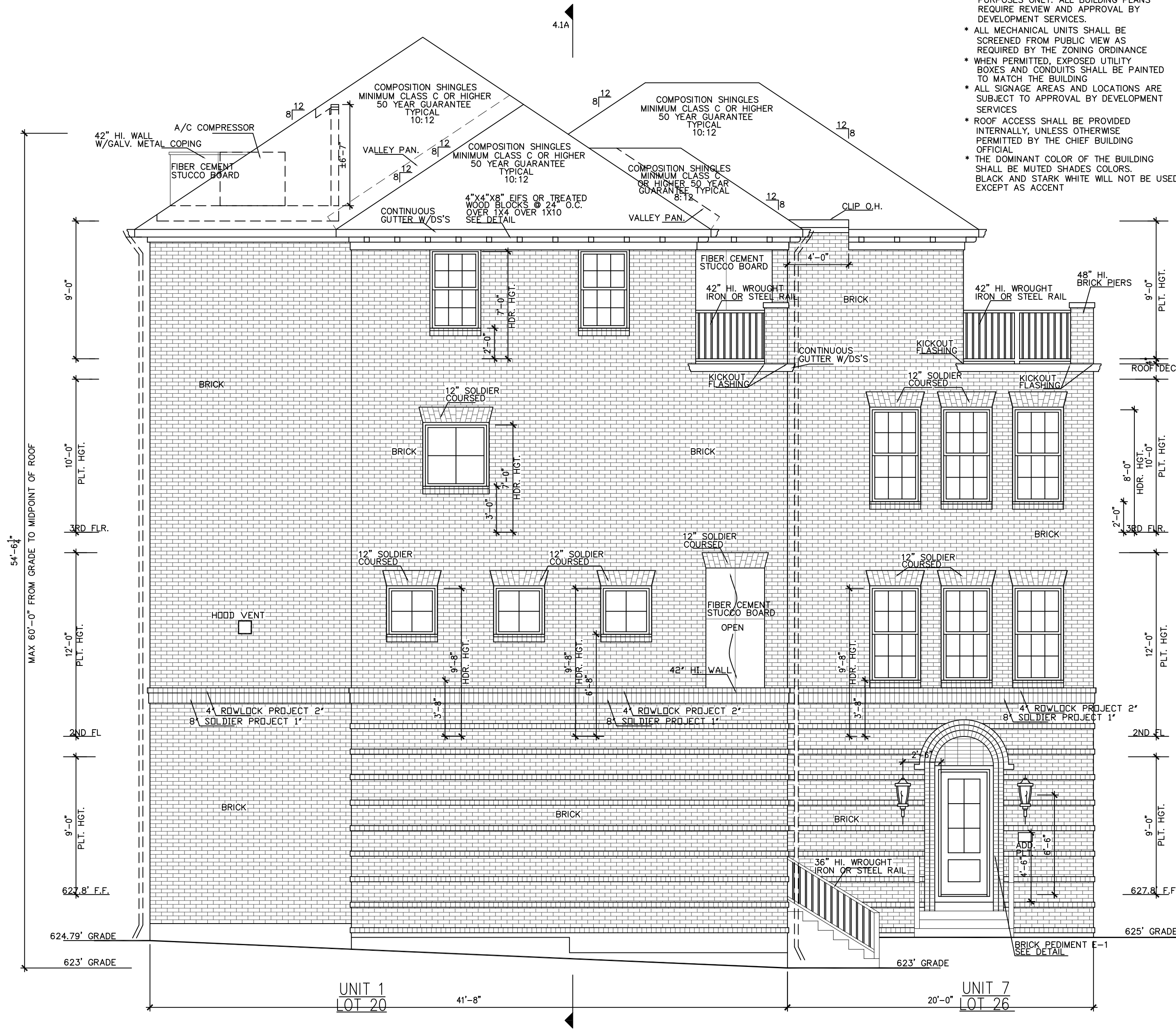
STUCCO BOARD	67	2.7%
BRICK	2383	95.6%
ACCENT MATERIAL	43	1.7%
TOTAL SURFACE AREA	2493	

FACADE PLAN NOTES

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BRICK PEDIMENT E-1
SCALE: 3/8" = 1'-0"



north/left(neighbor) elevation
SCALE: 3/16" = 1'-0"
8' 4' 0'

ADDISON GROVE

URBANINTOWNHOMES, Ltd.

ADDISON GROVE - BLOCK D - BUILDING 4

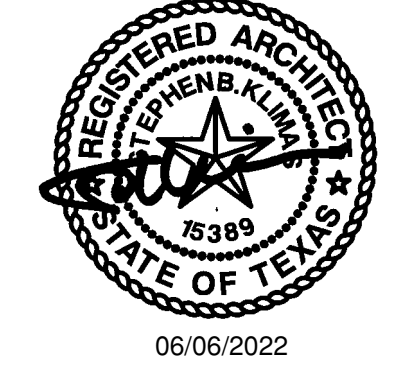
NORTH/LEFT ELEVATIONS

PLAN NO.

UNIT 1	2805
UNIT 2	2713
UNIT 3	2728
UNIT 4	2705
UNIT 5	2802
UNIT 6	2713
UNIT 7	2830

SHEET NO.

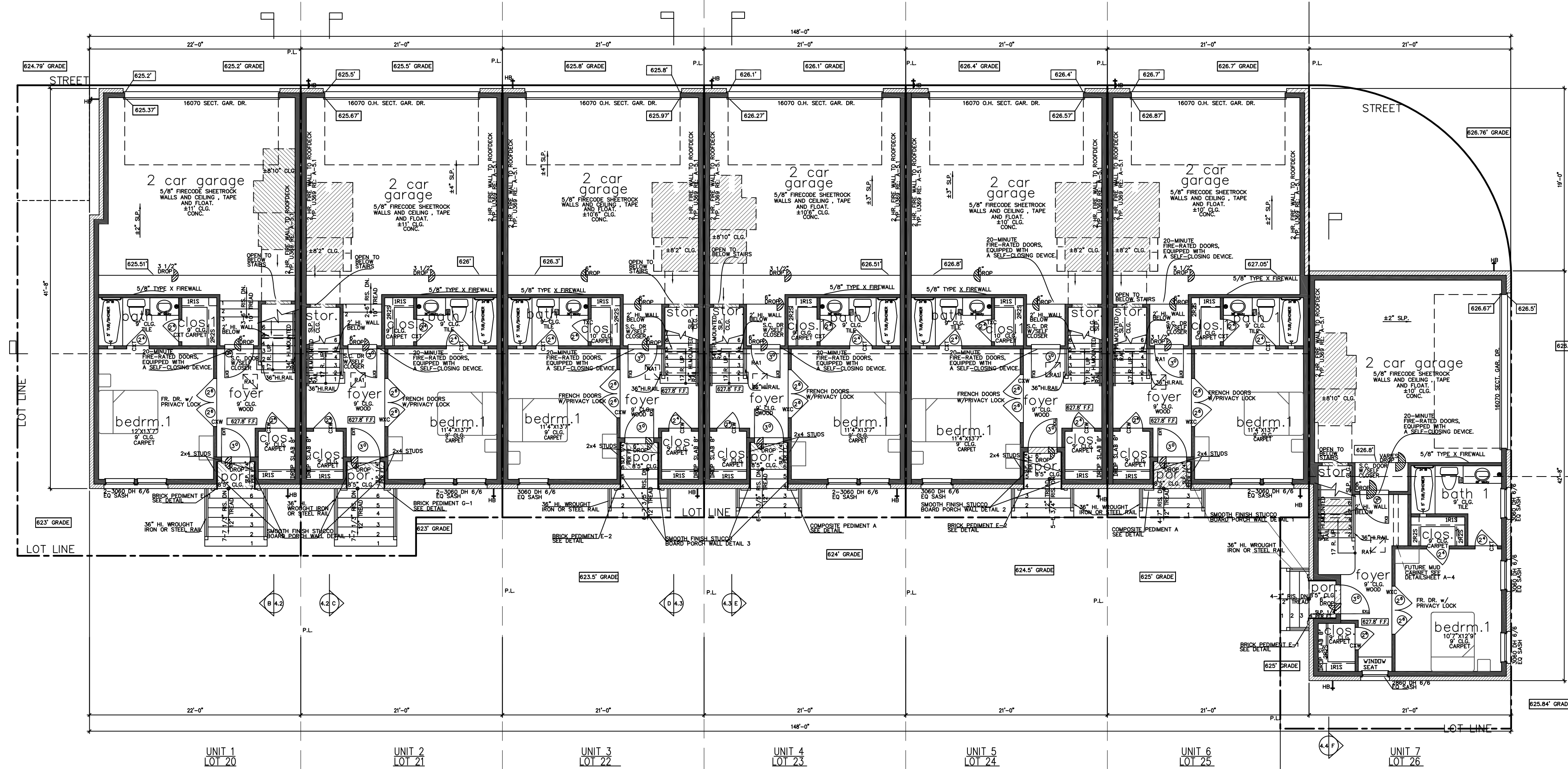
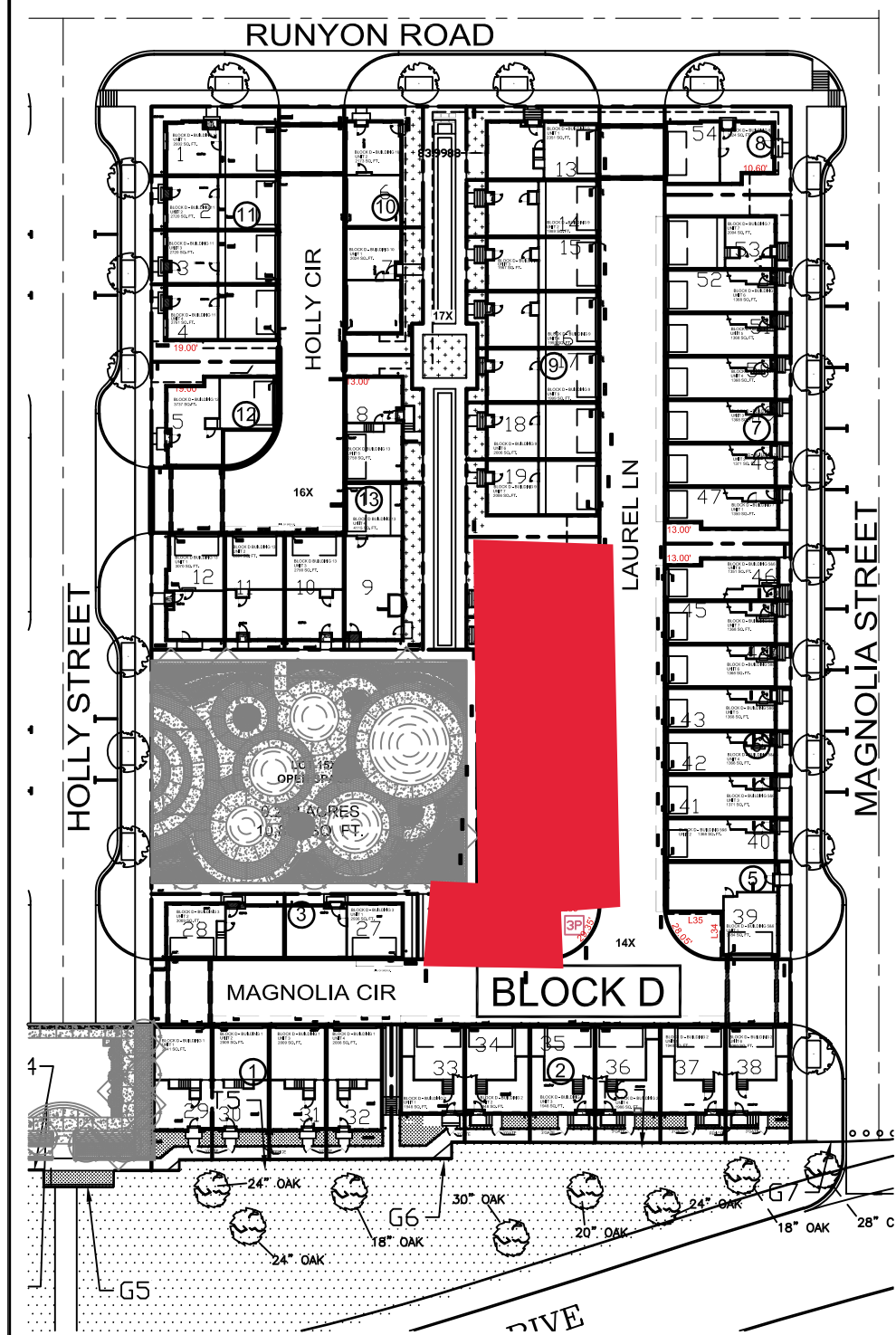
A-22



URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
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Drawn By/Checked By: E.L./F.M.
Original Date Issued: 06/10/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

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	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	2805	4
UNIT 2	2713	4
UNIT 3	2798	4
UNIT 4	2705	4
UNIT 5	2802	4
UNIT 6	2713	4
UNIT 7	2830	4

unit 1 square footage

FIRST FLOOR	440
SECOND FLOOR	604
THIRD FLOOR	604
ROOF TERRACE	487
TOTAL LIVING AREA	2805
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	904

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE BUILDING. THE SQUARE FOOTAGE MAY VARY FROM THE ACTUAL SQUARE FOOTAGE MAY VARY.

unit 2&6 square footage

FIRST FLOOR	386
SECOND FLOOR	798
THIRD FLOOR	798
ROOF TERRACE	608
TOTAL LIVING AREA	2713
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE BUILDING. THE SQUARE FOOTAGE MAY VARY FROM THE ACTUAL SQUARE FOOTAGE MAY VARY.

unit 3 square footage

FIRST FLOOR	386
SECOND FLOOR	875
THIRD FLOOR	875
ROOF TERRACE	648
TOTAL LIVING AREA	2798
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE BUILDING. THE SQUARE FOOTAGE MAY VARY FROM THE ACTUAL SQUARE FOOTAGE MAY VARY.

unit 4 square footage

FIRST FLOOR	386
SECOND FLOOR	875
THIRD FLOOR	875
ROOF TERRACE	648
TOTAL LIVING AREA	2705
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE BUILDING. THE SQUARE FOOTAGE MAY VARY FROM THE ACTUAL SQUARE FOOTAGE MAY VARY.

unit 5 square footage

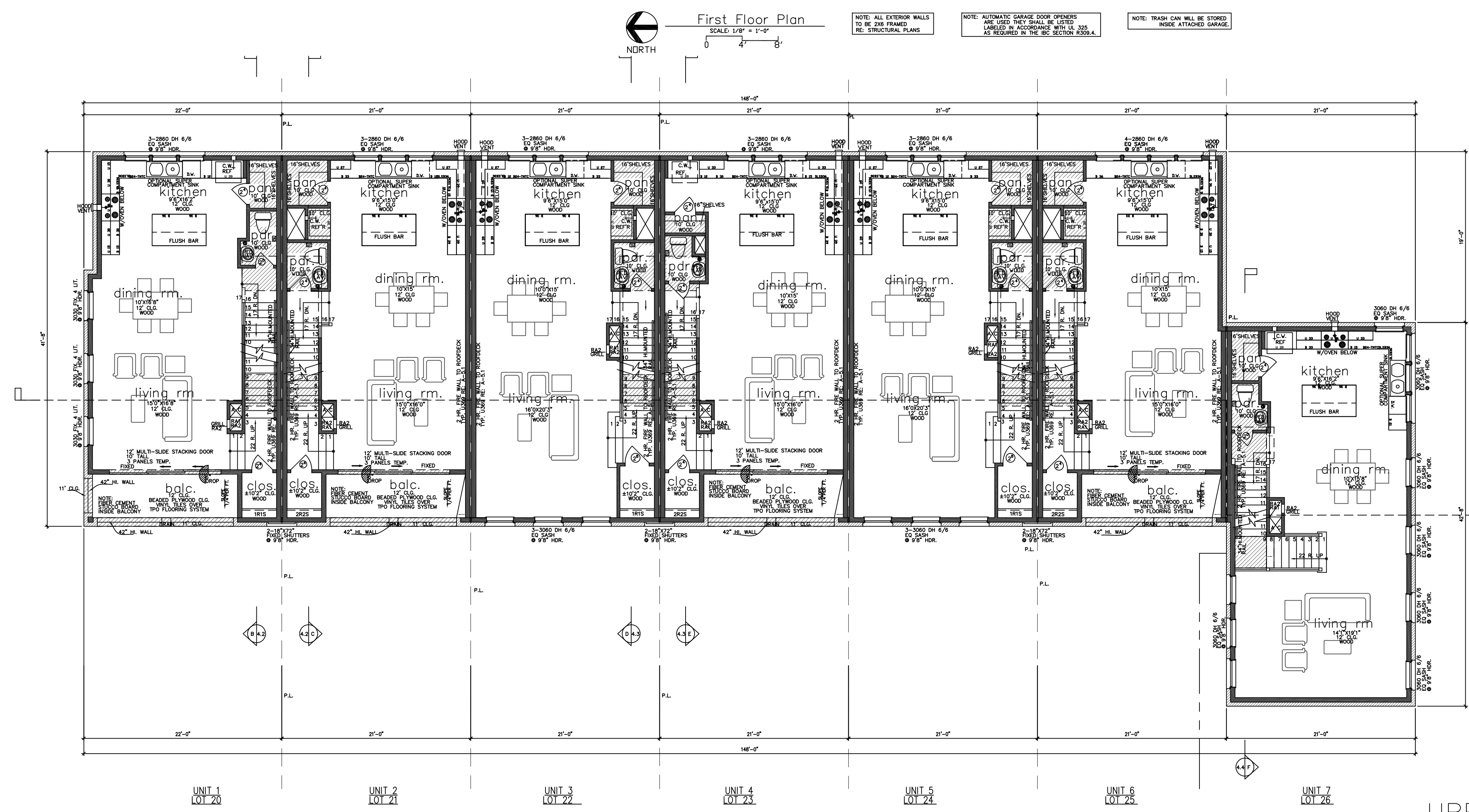
FIRST FLOOR	384
SECOND FLOOR	875
THIRD FLOOR	875
ROOF TERRACE	648
TOTAL LIVING AREA	2802
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE BUILDING. THE SQUARE FOOTAGE MAY VARY FROM THE ACTUAL SQUARE FOOTAGE MAY VARY.

unit 7 square footage

FIRST FLOOR	400
SECOND FLOOR	896
THIRD FLOOR	896
ROOF TERRACE	648
TOTAL LIVING AREA	2830
PORCH	15
GARAGE	476
BALCONY	10
COVERED ROOF BECK	73
UNCOVERED ROOF BECK	73
AC BECK	86
TOTAL SLAB AREA	975

THE SQUARE FOOTAGES SHOWN HAVE BEEN OBTAINED FROM THE MEASURED DIMENSIONS OF THE BUILDING. THE SQUARE FOOTAGE MAY VARY FROM THE ACTUAL SQUARE FOOTAGE MAY VARY.



Second Floor Plan
SCALE: 1/8" = 1'-0"
NORTH

Drawn By/Checked By: E.L.F.M.
Original Date Issued: 06/10/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

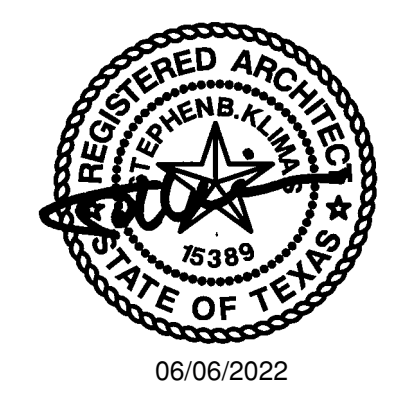
URBAN INTOWN HOMES, Ltd.
2410 POLK ST., STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 4

FLOOR PLAN

PLAN NO.
UNIT 1 - 2805
UNIT 2 - 2713
UNIT 3 - 2798
UNIT 4 - 2705
UNIT 5 - 2802
UNIT 6 - 2713
UNIT 7 - 2830

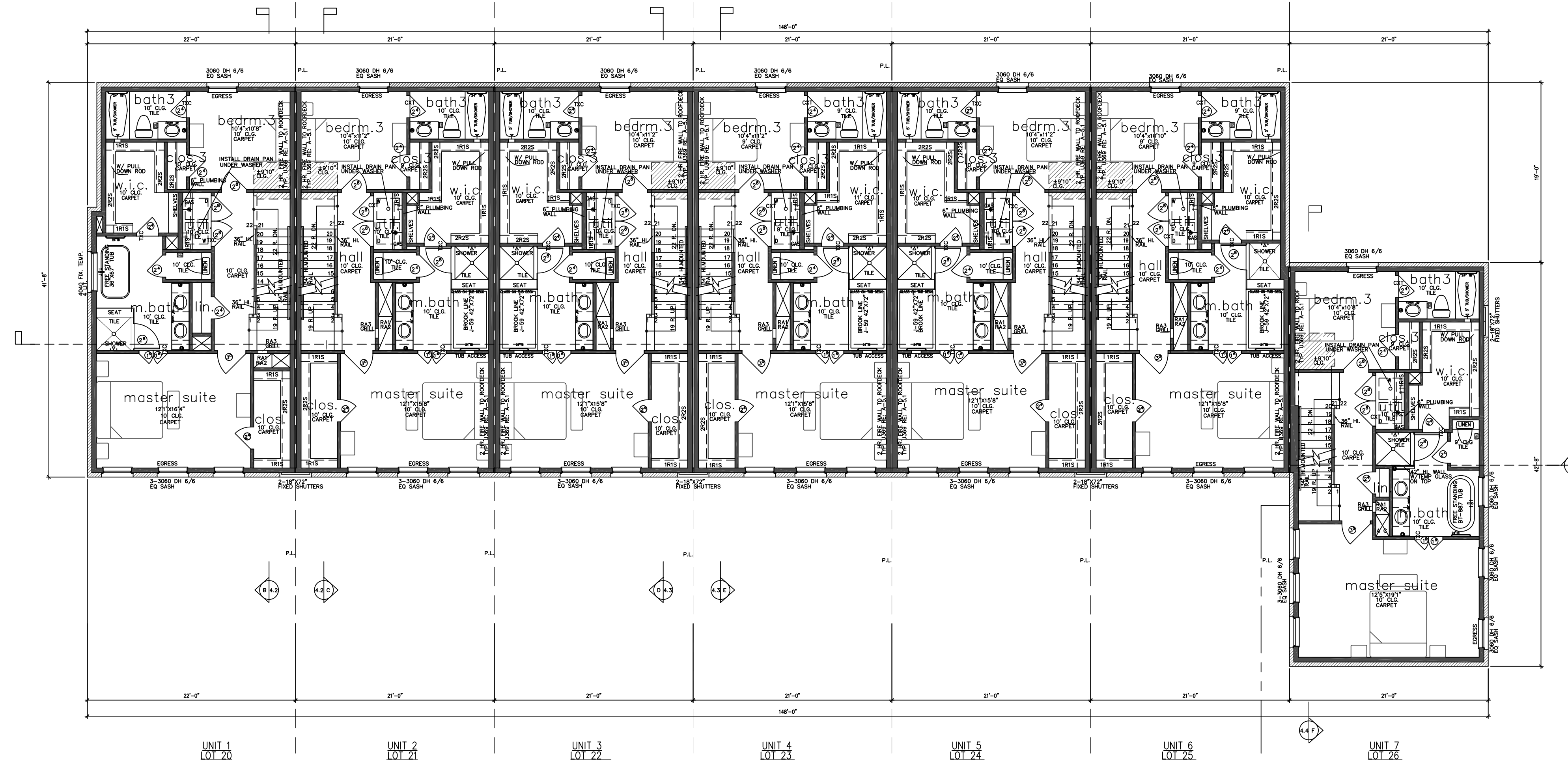
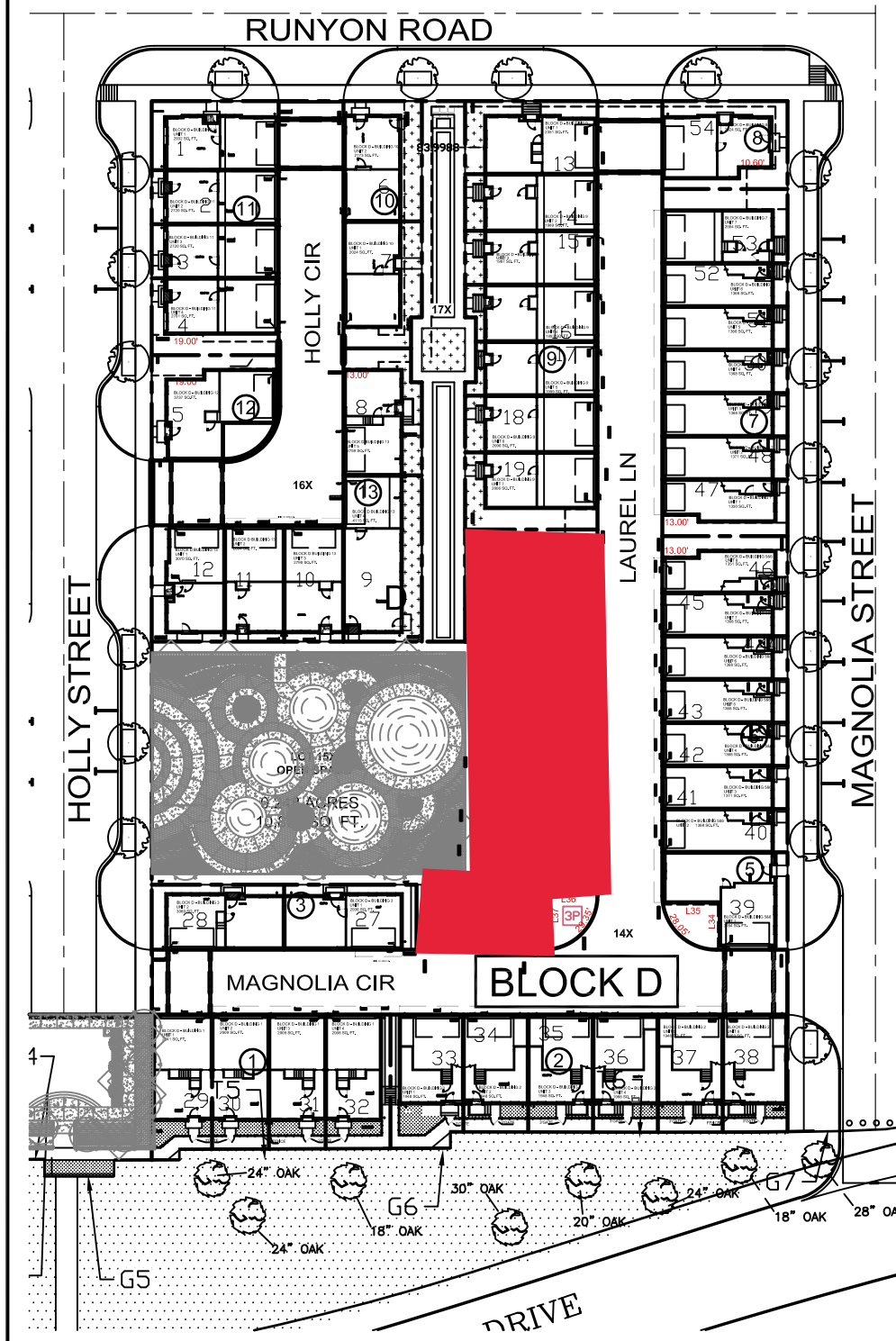
SHEET NO. **A-23**



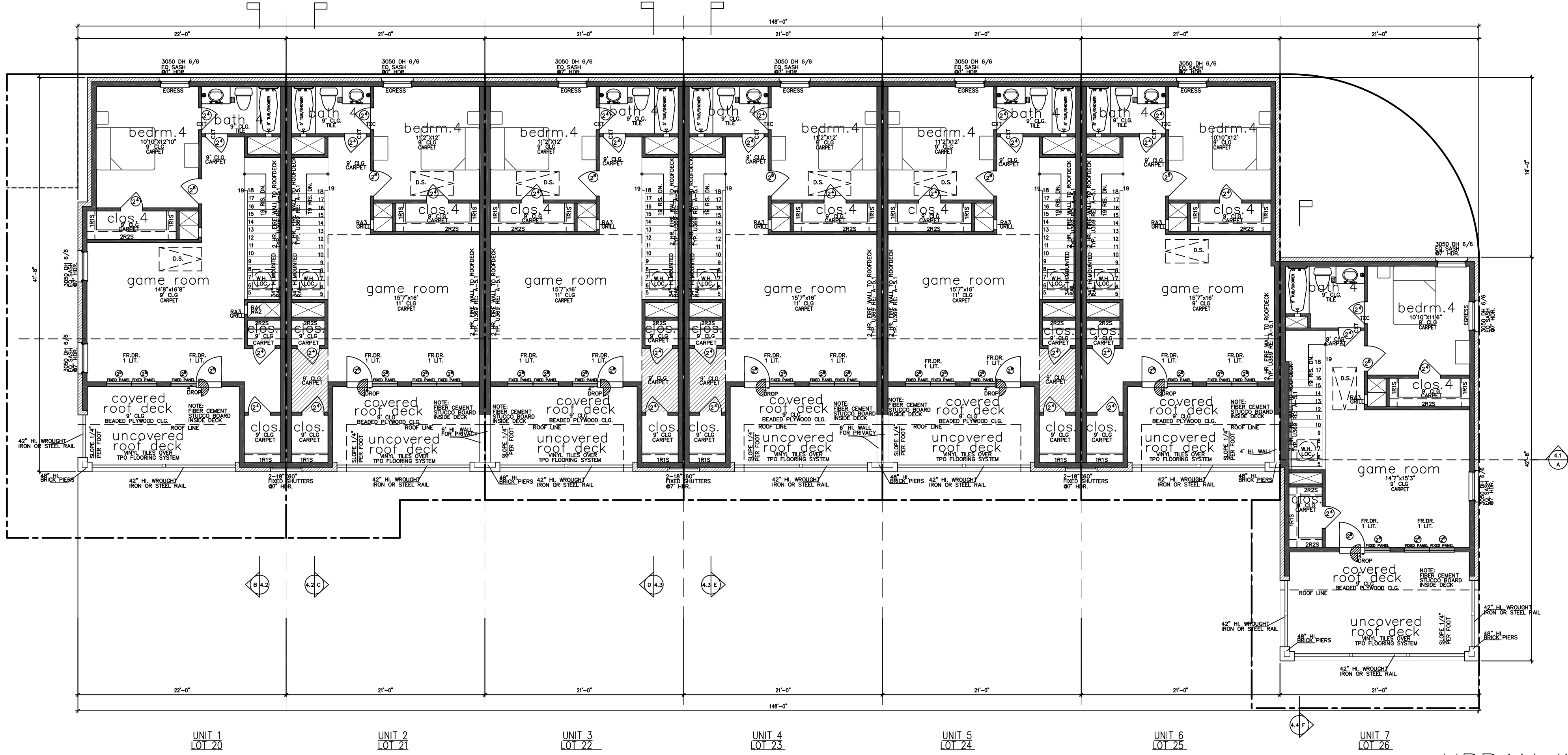
06/06/2022

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2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

Town Project #:1833-Z



Third Floor Plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED W/ STRUCTURAL PLANS



Second Floor Plan
SCALE: 1/8" = 1'-0"
NOTE: ALL EXTERIOR WALLS TO BE 2X6 FRAMED

URBANINTOWNHOMES, Ltd.

ADDISON GROVE - BLOCK D - BUILDING 4

PLAN NO.
UNIT 1 - 2805
UNIT 2 - 2713
UNIT 3 - 2708
UNIT 4 - 2705
UNIT 5 - 2802
UNIT 6 - 2243
UNIT 7 - 2830

SHEET NO.

A-24

2410 POLK ST., STE 200, HOUSTON, TX 77003
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FLOOR PLAN

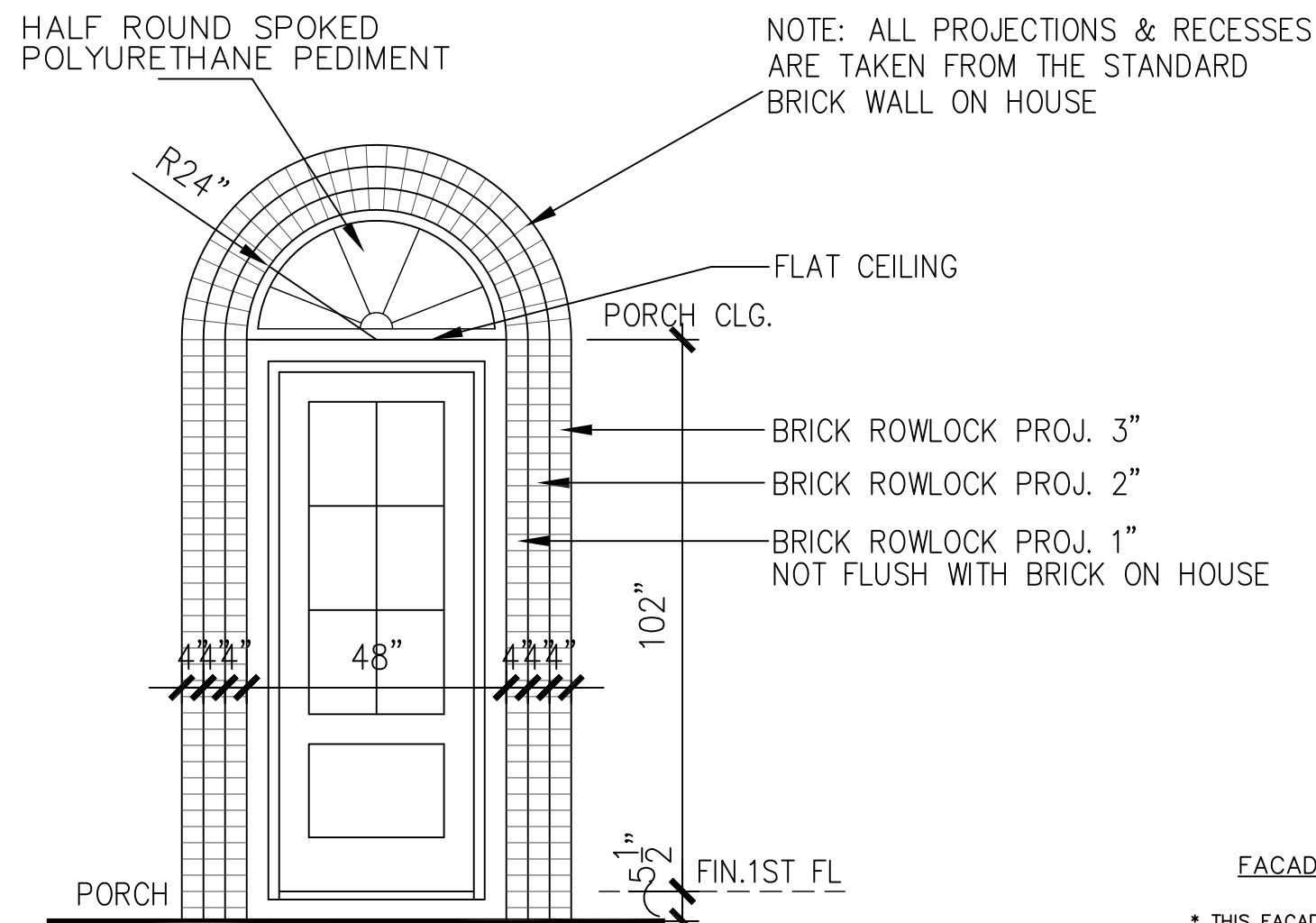
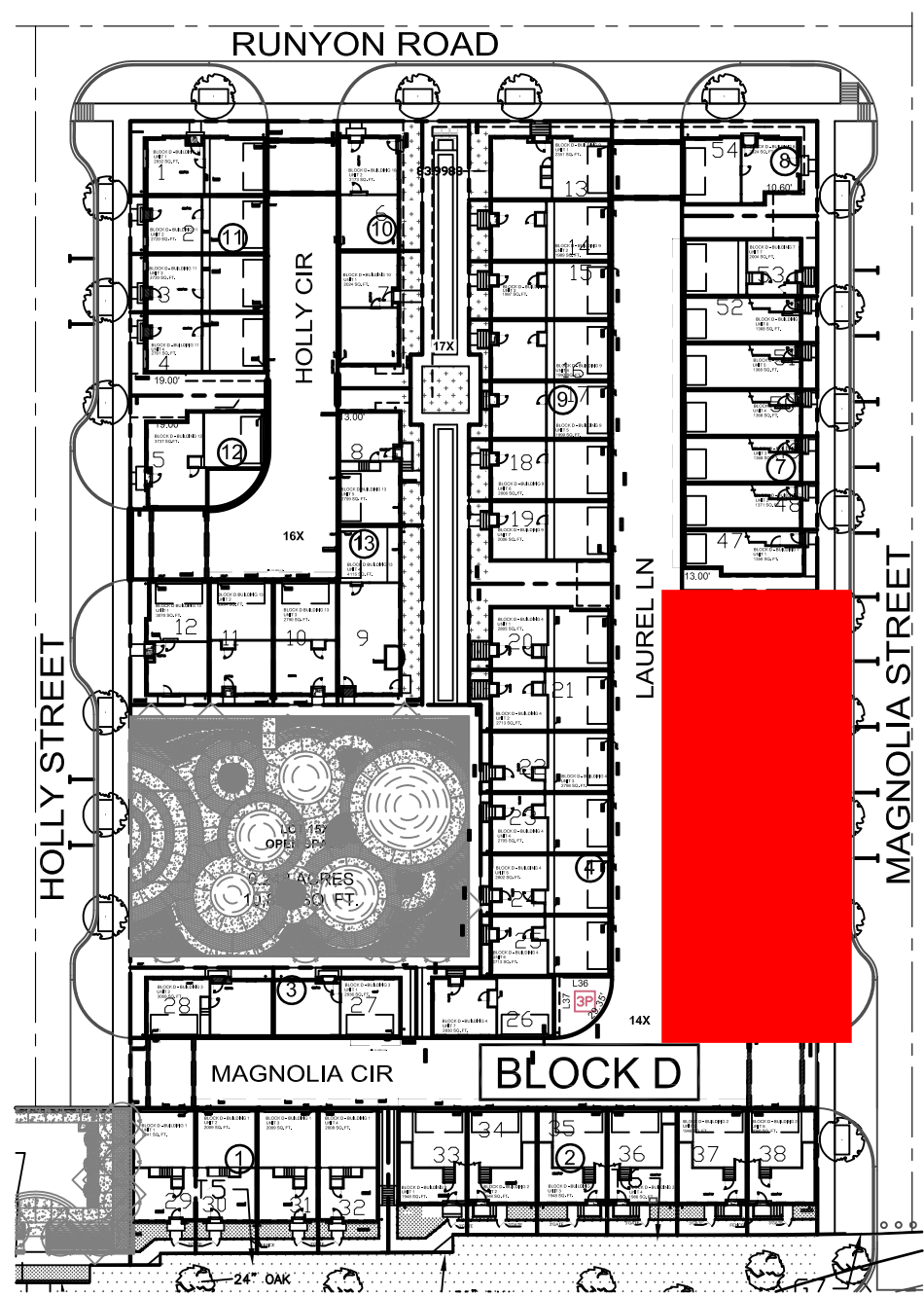
ADDISON GROVE



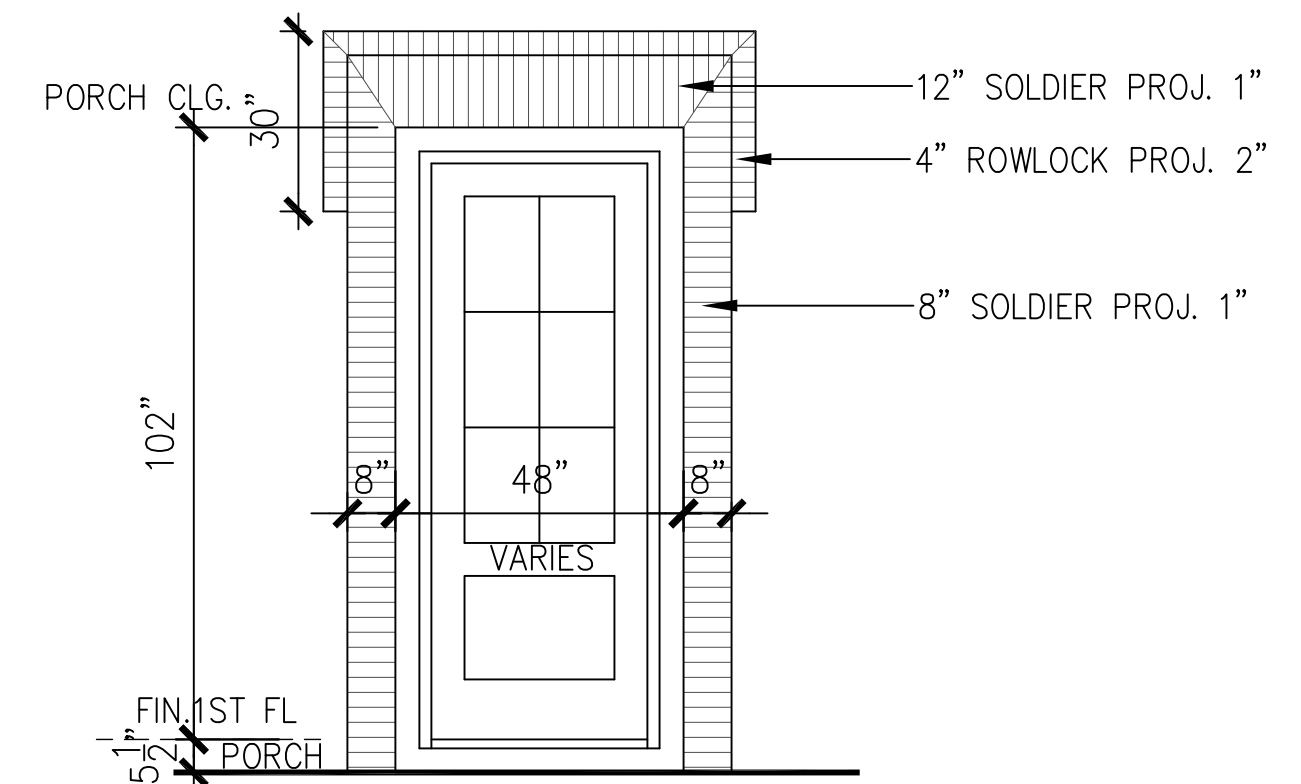
06/06/2022

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Drawn By/Checked By: E.L./F.M.
Original Date Issued: 06/10/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022



BRICK PEDIMENT K-2
SCALE: 3/8" = 1'-0"



BRICK PEDIMENT G-1
SCALE: 1/2" = 1'-0"

FACADE PLAN NOTES

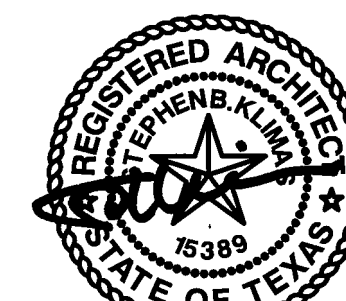
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LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)
- HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

TOTAL MATERIAL CALCULATION TABLE		
BRICK	9189	84.3%
3-COAT CEMENT PLASTER SYSTEM	1118	10.4%
STUCCO BOARD	401	3.7%
ACCENT MATERIAL	172	1.6%
TOTAL SURFACE AREA	10880	

EAST/FRONT MATERIAL CALCULATION TABLE		
BRICK	3736	98.8%
STUCCO BOARD	10	0.3%
ACCENT MATERIAL	34	0.9%
TOTAL SURFACE AREA	3780	



06/06/2022



SCALE: 3/16" = 1'-0"

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

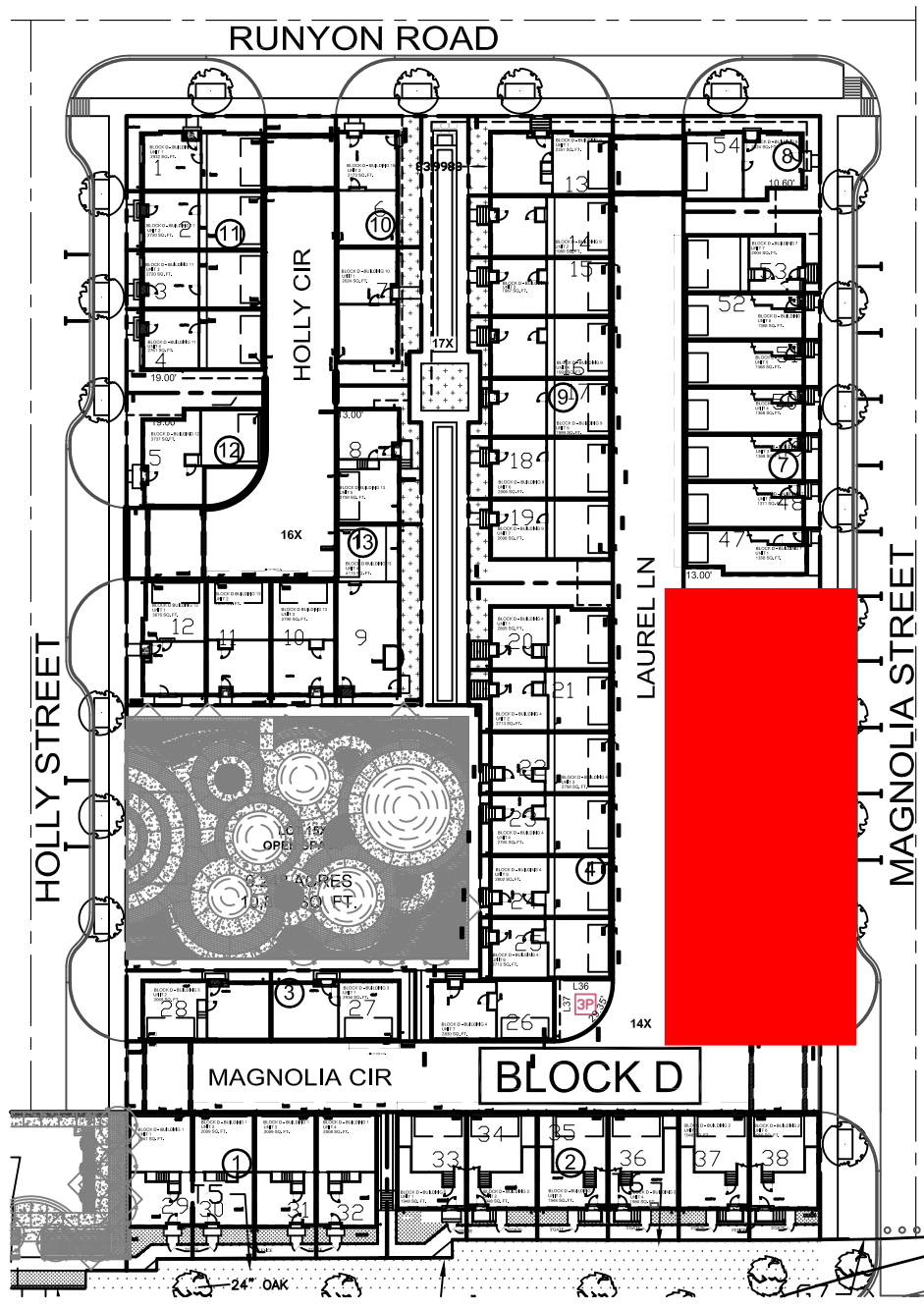
Drawn By/Checked By: E.Z./F.M.
Original Date Issued: 06/11/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

URBANINTOWNHOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 5&6
EAST/FRONT ELEVATION

PLAN NO.	REVISION
UNIT 1	1316A
UNIT 2	1368
UNIT 3	1371
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	1368
UNIT 8	1351

SHEET NO. **A-25**



LEGEND

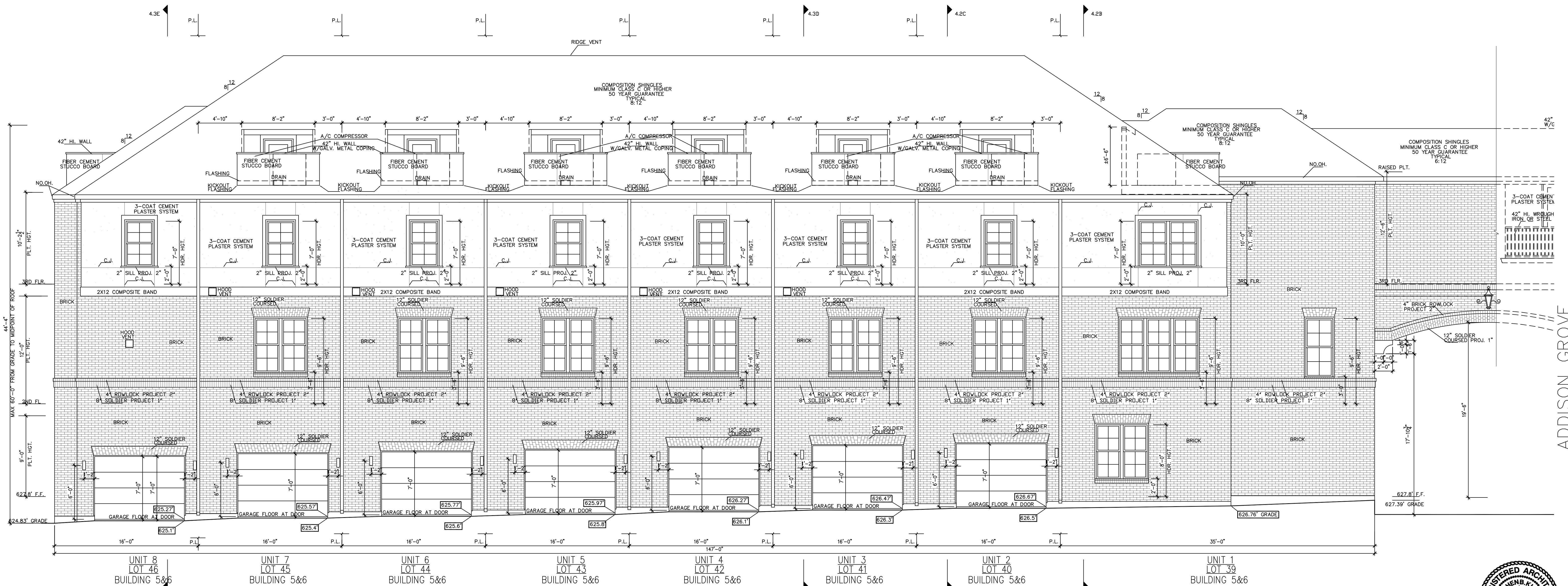
- BRICK
- 3-COAT CEMENT PLASTER SYSTEM
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)
- CAST STONE CORBEL BRACKET (ACCENT MATERIAL)

FACADE PLAN NOTES

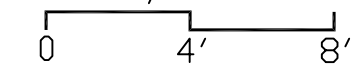
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.
- THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT.

WEST/REAR MATERIAL CALCULATION TABLE

BRICK	3077	67.7%
3-COAT CEMENT PLASTER SYSTEM	1052	23.2%
STUCCO BOARD	284	6.2%
ACCENT MATERIAL	130	2.9%
TOTAL SURFACE AREA	4543	



west/rear(LAUREL LN) elevation
SCALE: 3/16" = 1'-0"



06/06/2022

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 5&6

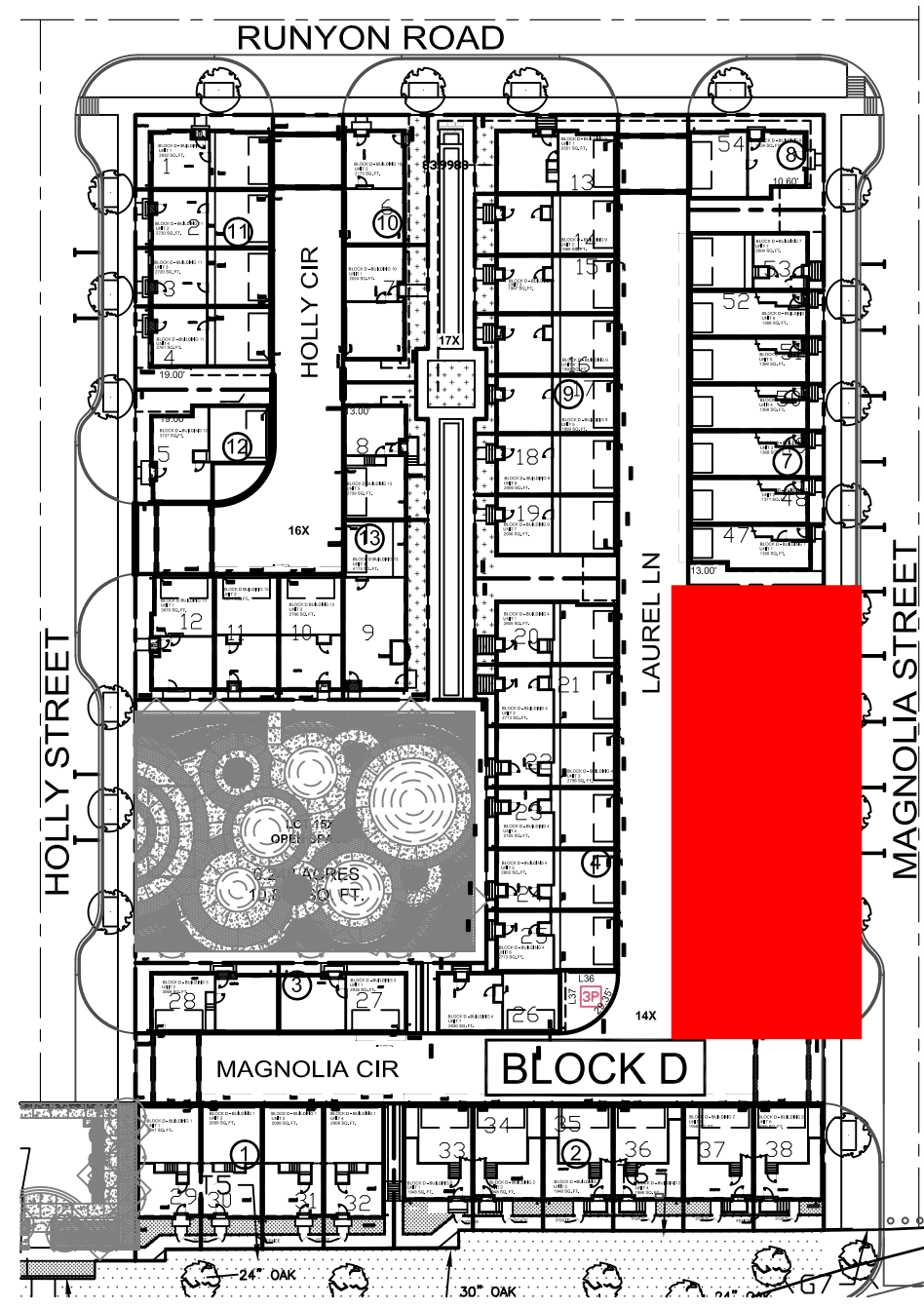
PLAN NO.

UNIT 1	13184
UNIT 2	1368
UNIT 3	1371
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	1368
UNIT 8	1351

SHEET NO.

A-26

URBAN INTOWN HOMES
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PHONE: 713-961-3877

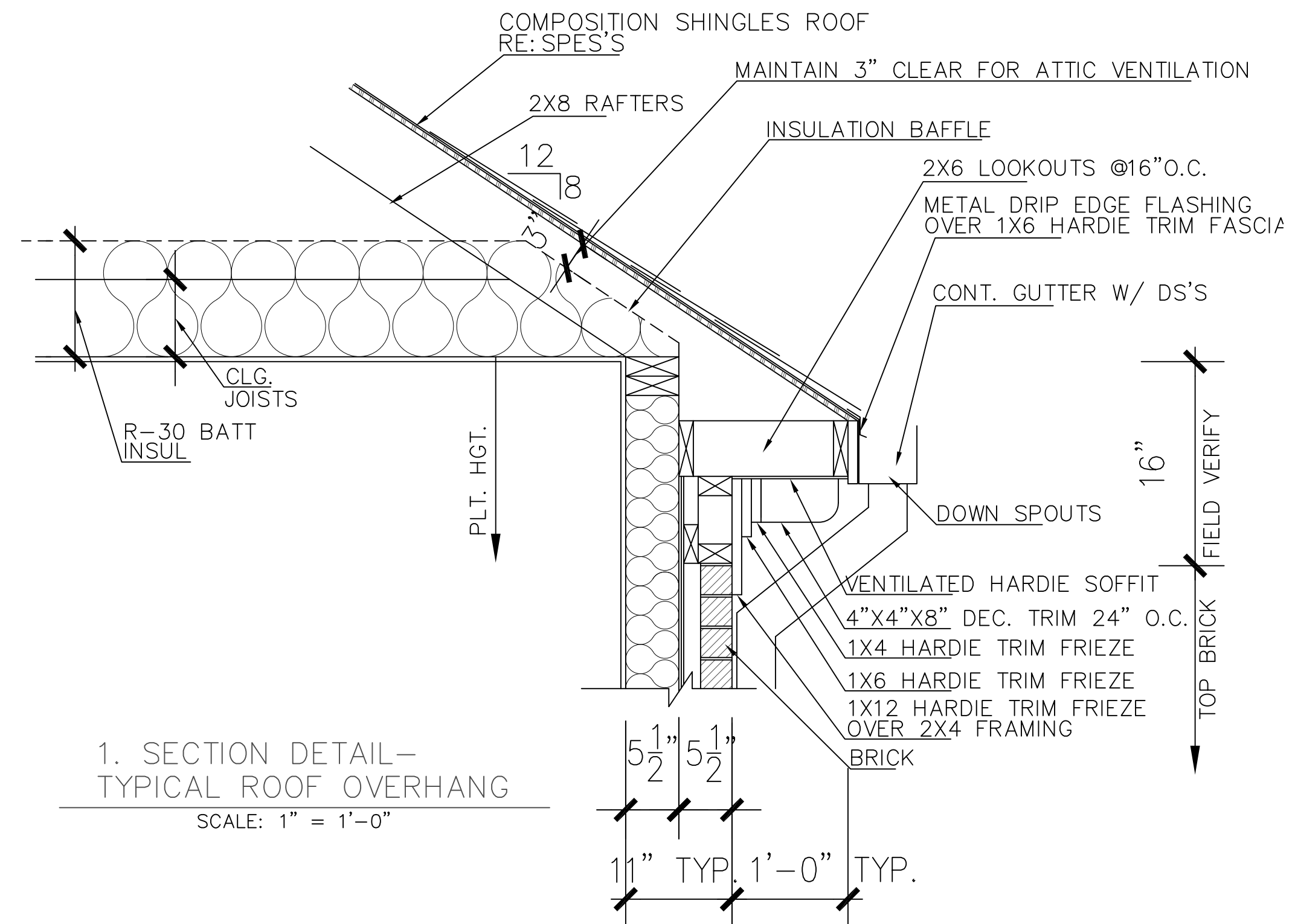
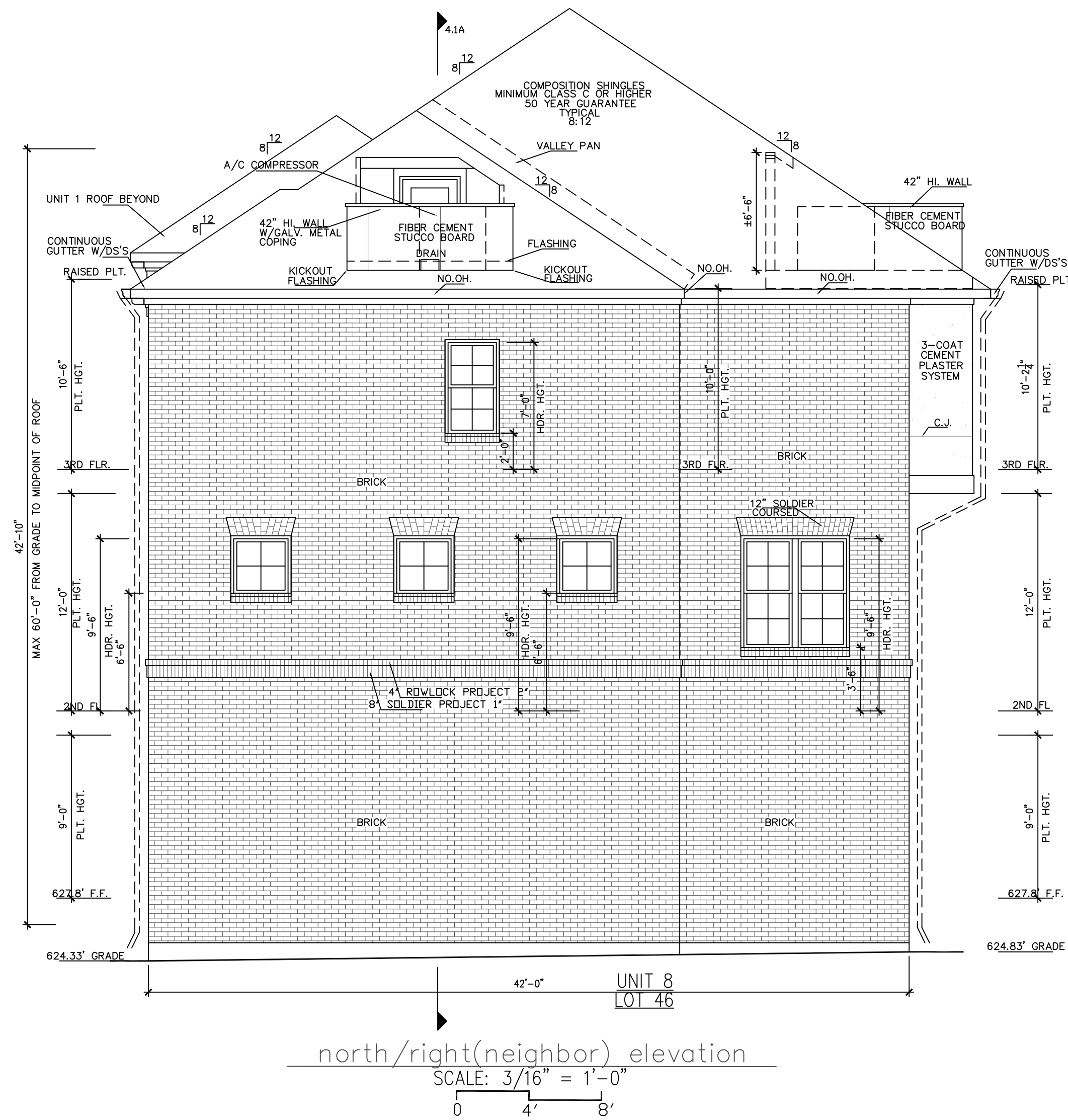


NORTH/RIGHT MATERIAL CALCULATION TABLE		
BRICK	1395	93.9%
3-COAT CEMENT PLASTER SYSTEM	33	2.2%
STUCCO BOARD	53	3.6%
ACCENT MATERIAL	4	0.3%
TOTAL SURFACE AREA	1485	

- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

FACADE PLAN NOTES

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1. SECTION DETAIL - TYPICAL ROOF OVERHANG
SCALE: 1" = 1'-0"

ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 5&6

NORTH / RIGHT ELEVATIONS

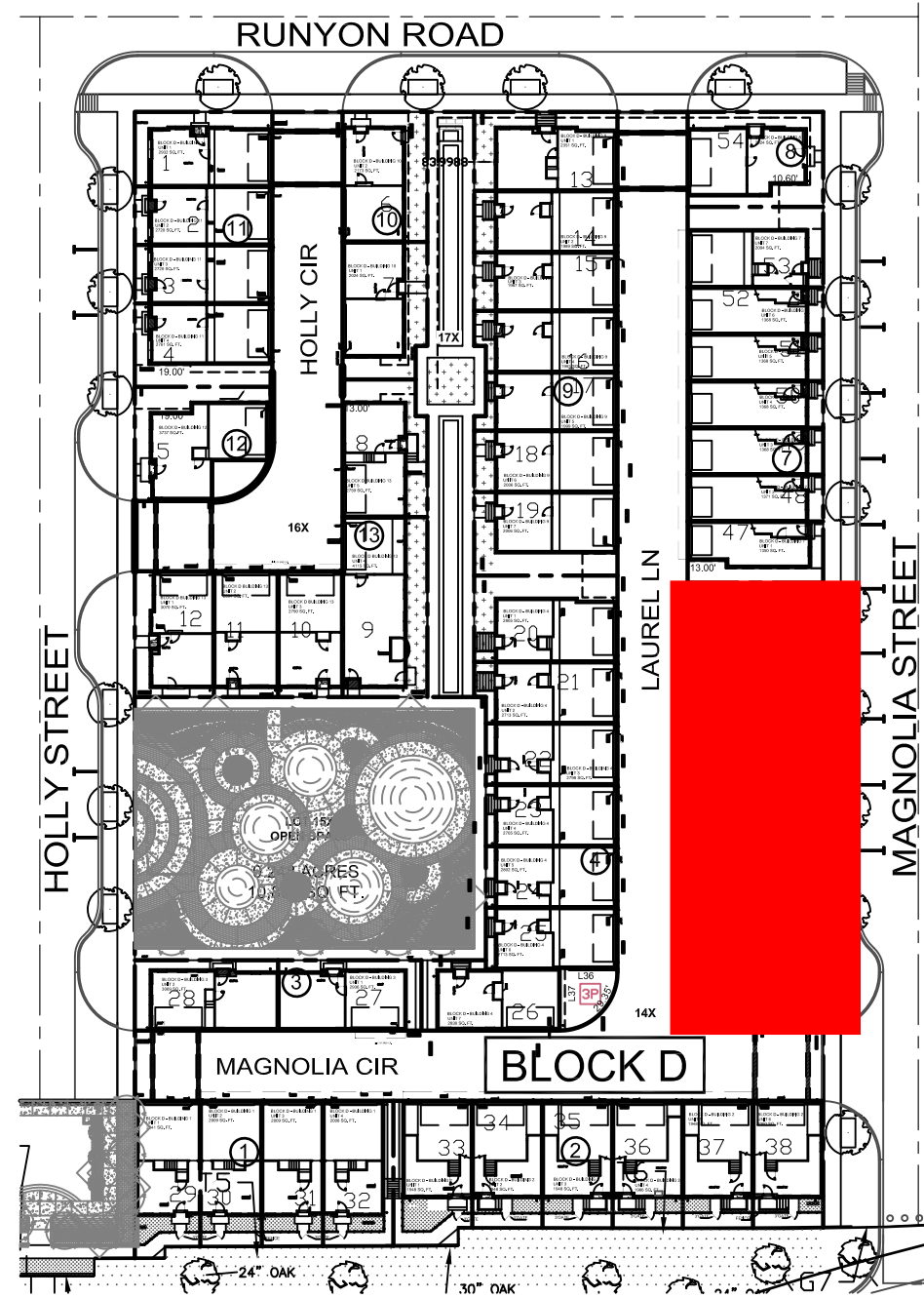
Drawn By/Checked By: E.Z./F.M.
Original Date Issued: 06/11/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

PLAN NO.	UNIT
13184	UNIT 1
13688	UNIT 2
13721	UNIT 3
13688	UNIT 4
13688	UNIT 5
13688	UNIT 6
13688	UNIT 7
13551	UNIT 8

SHEET NO. A-27



URBAN INTOWN HOMES
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PHONE: 713-961-3877

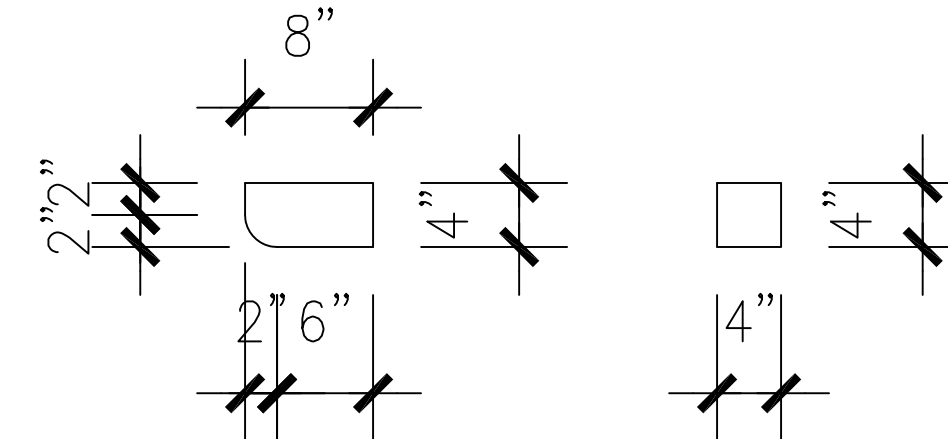


Material	Quantity	Percentage
BRICK	981	91.5%
3-COAT CEMENT PLASTER SYSTEM	33	3.1%
STUCCO BOARD	54	5.0%
ACCENT MATERIAL	4	0.4%
TOTAL SURFACE AREA	1072	

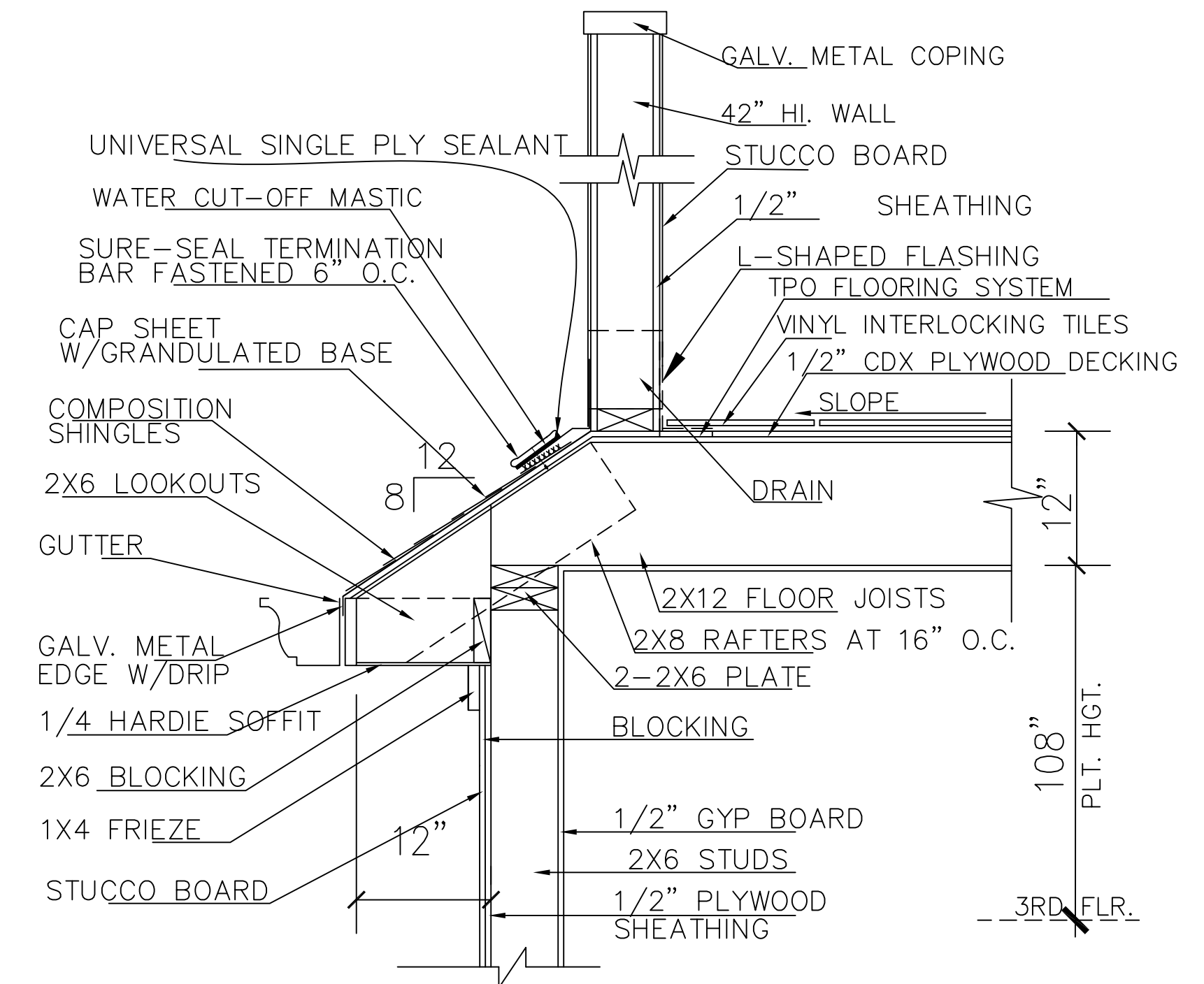
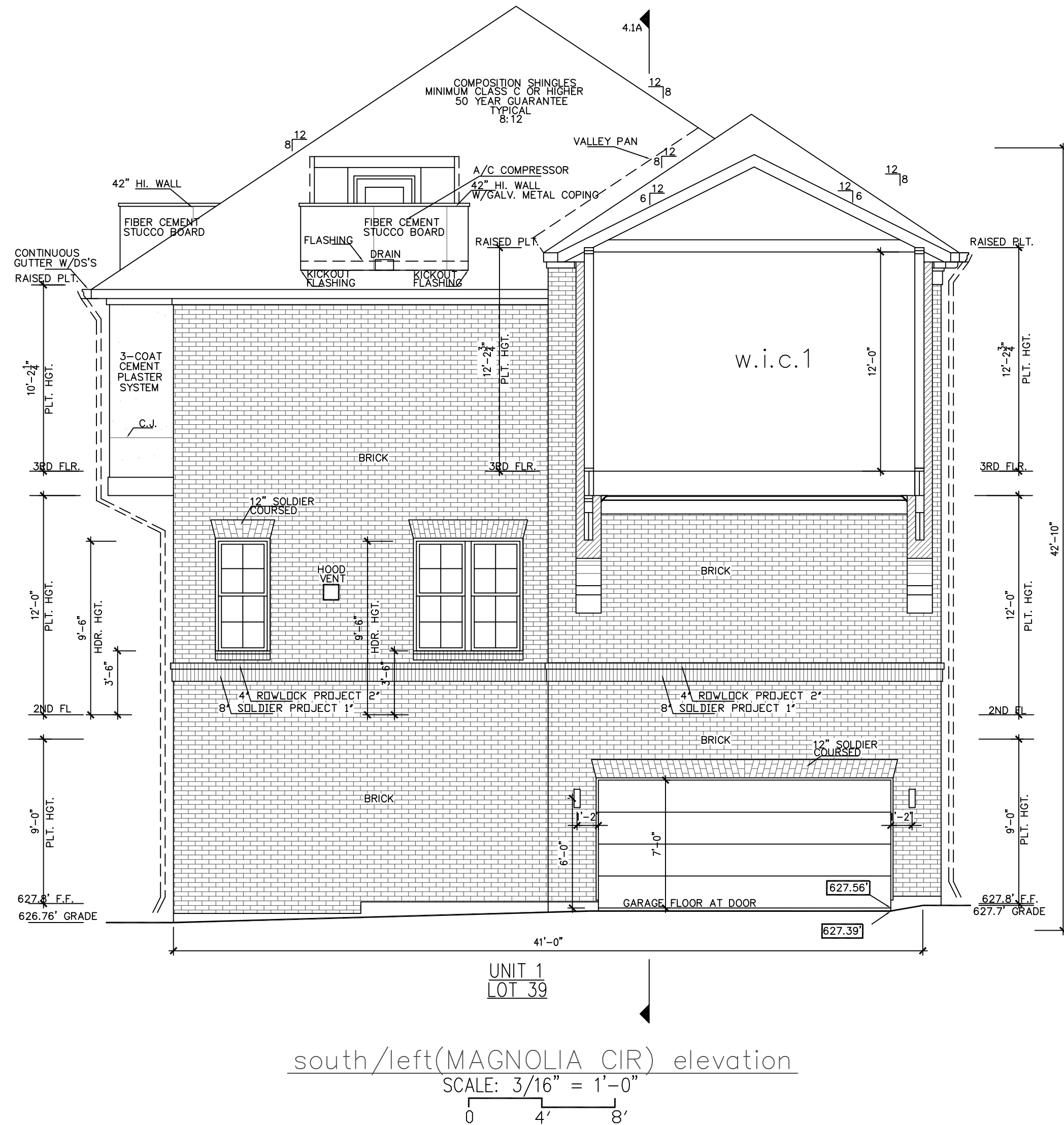
- LEGEND**
- BRICK
 - 3-COAT CEMENT PLASTER SYSTEM
 - FIBER CEMENT STUCCO BOARD
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)
 - 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)

FACADE PLAN NOTES

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WOOD OR EIFS BRACKETS(D)
SCALE: 1" = 1'-0"



2. SECTION DETAIL-
A/C COMPRESSOR LOCATION AT ROOF
SCALE: 1" = 1'-0"

Drawn By/Checked By: E.Z./E.M.
Original Date Issued: 06/11/2021
Scale: 3/16" = 1'-0"
Last Updated: 06/03/2022

URBANINTOWNHOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 5&6
SOUTH /LEFT ELEVATIONS

ADDISON GROVE



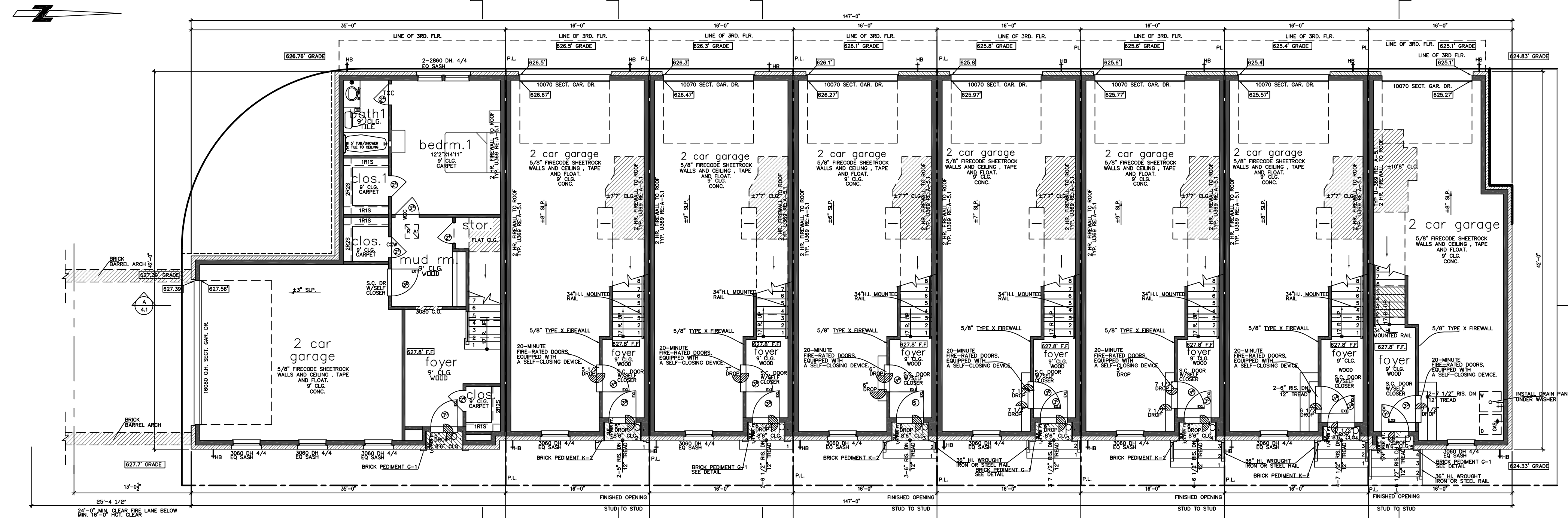
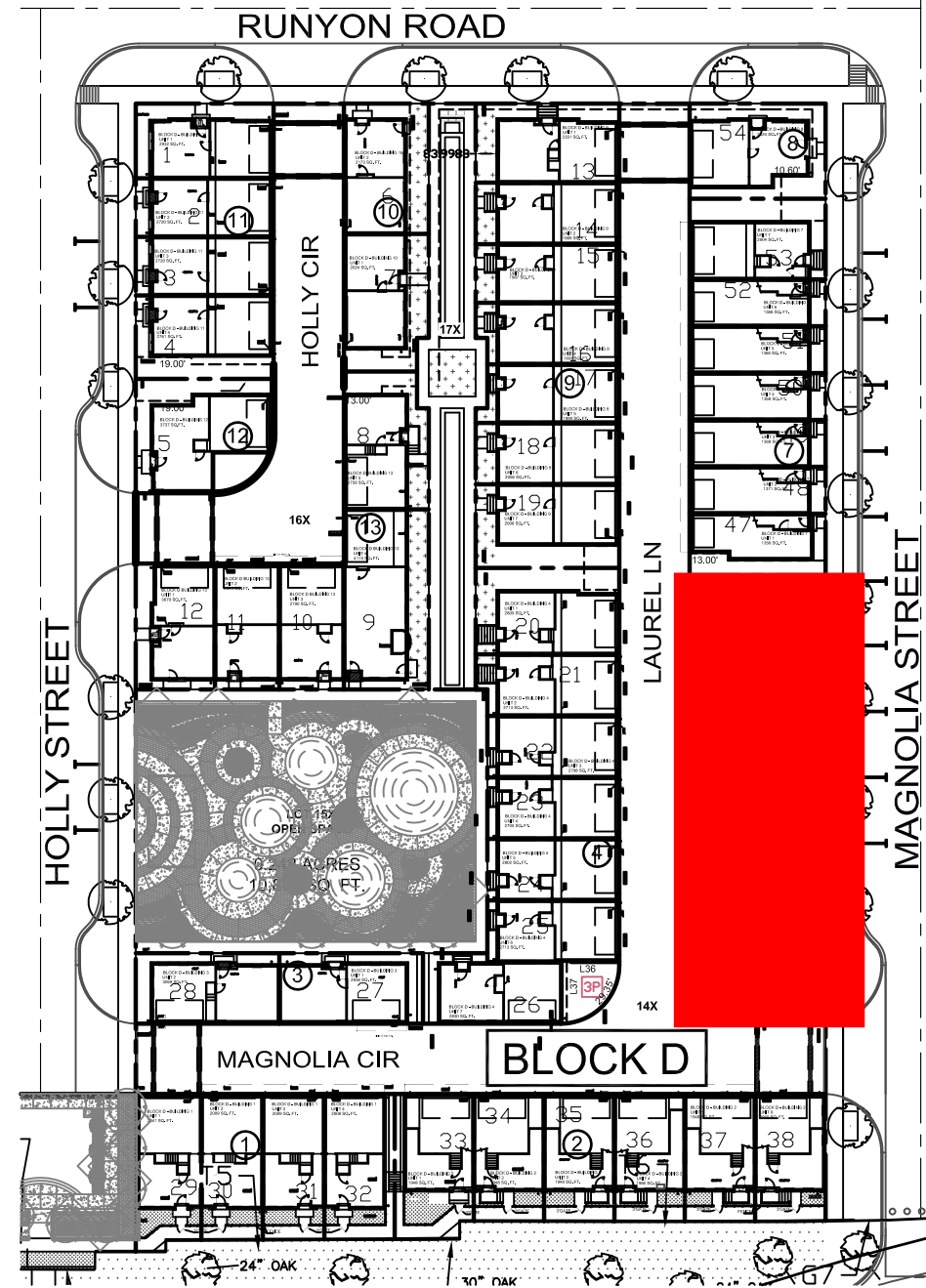
06/06/2022

URBAN INTOWN HOMES
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PHONE: 713-961-3877

PLAN NO.	UNIT 1	13184
	UNIT 2	13668
	UNIT 3	13721
	UNIT 4	13668
	UNIT 5	13668
	UNIT 6	13668
	UNIT 7	13668
	UNIT 8	13511

SHEET NO. **A-28**

Town Project #:1833-Z



	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	3184	3
UNIT 2	1368	2
UNIT 3	1371	2
UNIT 4	1368	2
UNIT 5	1368	2
UNIT 6	1368	2
UNIT 7	1368	2
UNIT 8	1351	2

UNIT 1 square footage

FIRST FLOOR	631
SECOND FLOOR	1141
THIRD FLOOR	1452
TOTAL LIVING AREA	3224
GARAGE	490
PORCH	8
AC BECK	80
TOTAL SLAB AREA	1142

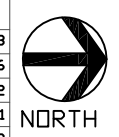
THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

UNIT 3 square footage

FIRST FLOOR	53
SECOND FLOOR	656
THIRD FLOOR	662
TOTAL LIVING AREA	1371
GARAGE	593
PORCH	8
AC BECK	80
TOTAL SLAB AREA	656

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

First Floor Plan



SCALE: 1/8" = 1'-0"

NOTE: ALL EXTERIOR WALLS TO BE 2M FRAMED PER STRUCTURAL PLANS

NOTE: AUTOMATIC GARAGE DOOR OPENERS ARE USED. THEY SHALL BE LISTED LABELED IN ACCORDANCE WITH UL-325 AS REQUIRED IN THE IRC SECTION R508.4.

NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

UNIT 2&4&5&6&7 square footage

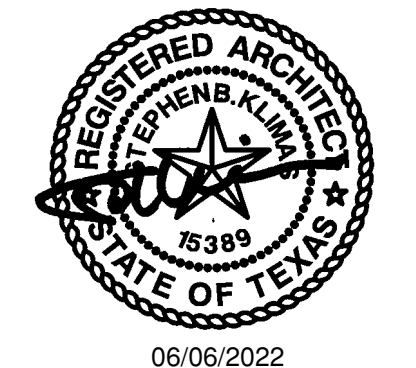
FIRST FLOOR	53
SECOND FLOOR	656
THIRD FLOOR	659
TOTAL LIVING AREA	1368
GARAGE	593
PORCH	8
AC BECK	80
TOTAL SLAB AREA	656

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.

UNIT 8 square footage

FIRST FLOOR	78
SECOND FLOOR	640
THIRD FLOOR	630
TOTAL LIVING AREA	1351
GARAGE	563
PORCH	8
AC BECK	80
TOTAL SLAB AREA	640

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDERS DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z765-2003. ACTUAL SQUARE FOOTAGE MAY VARY.



06/06/2022

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

PLAN NO.

UNIT 1	3184
UNIT 2	1368
UNIT 3	1371
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	1368
UNIT 8	1351

SHEET NO.

A-29

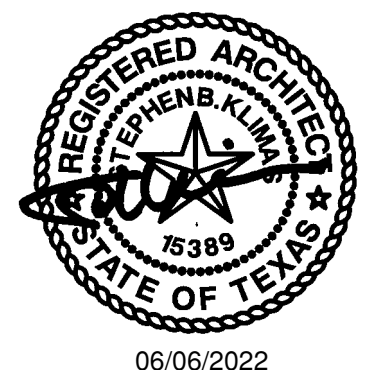
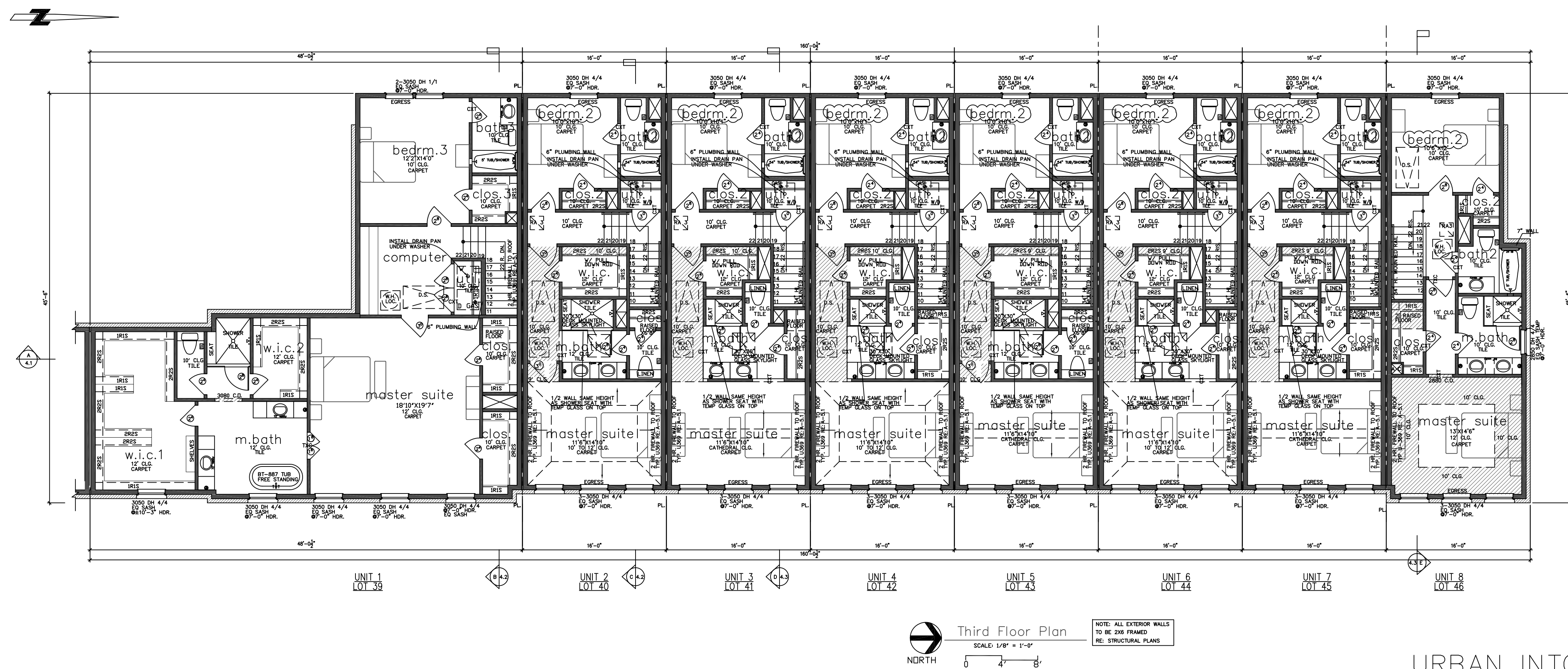
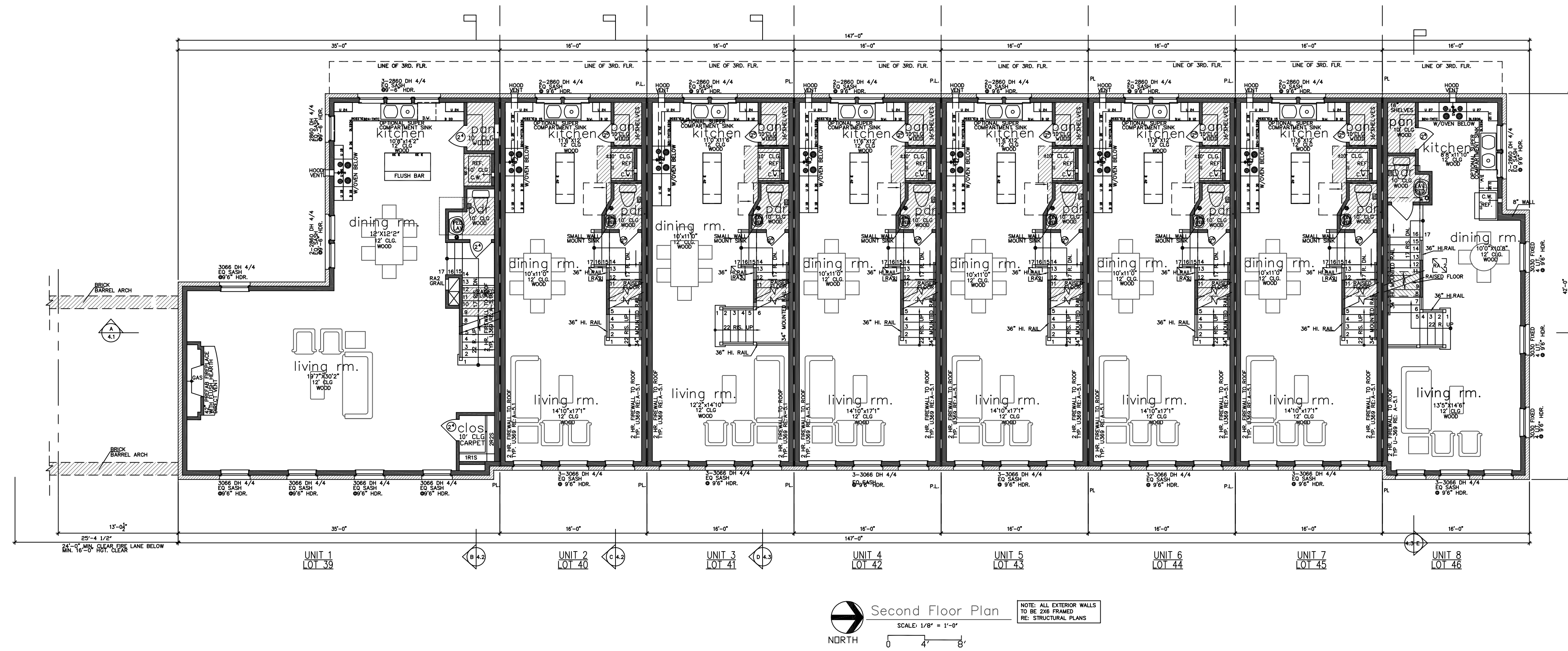
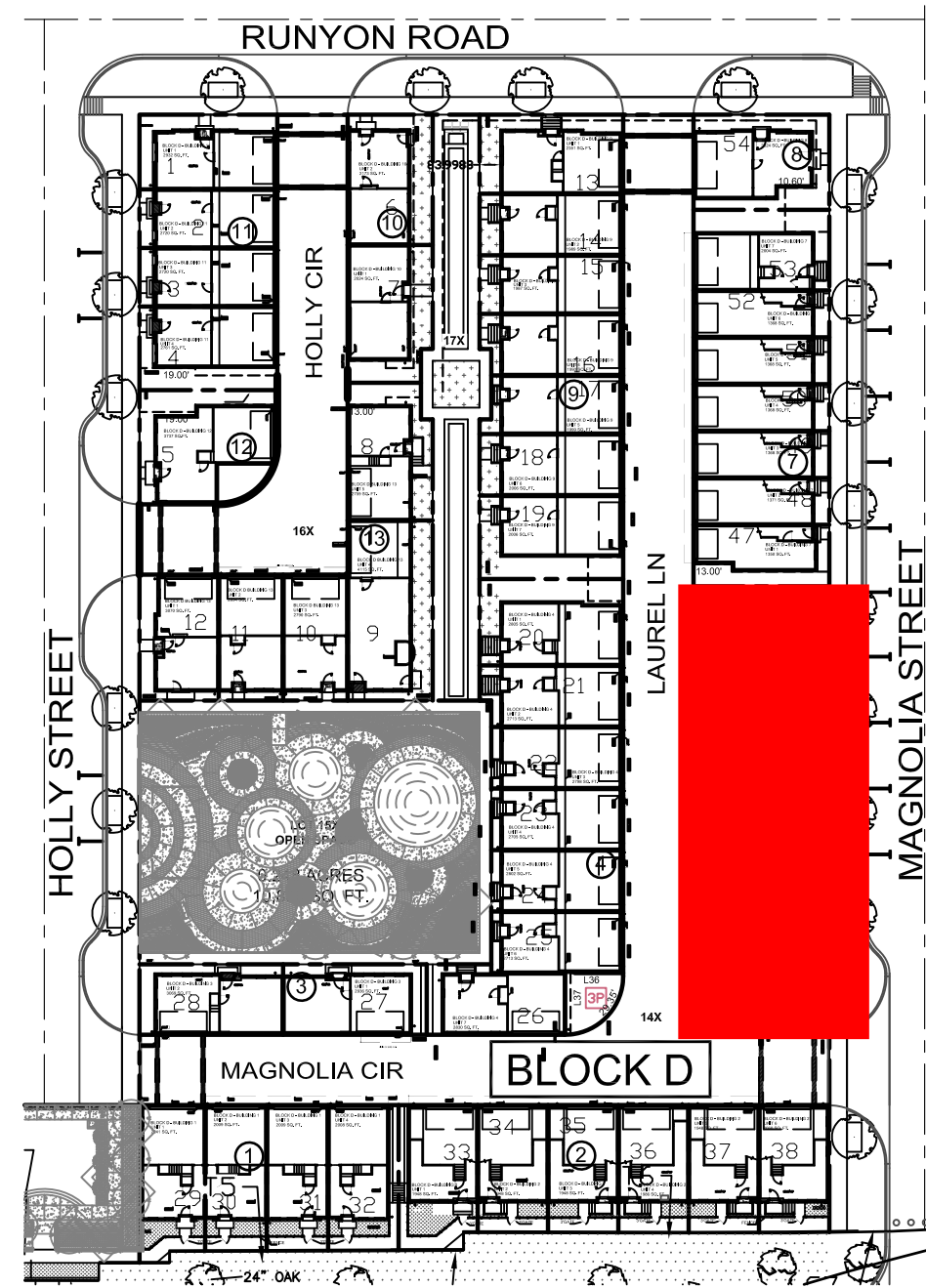
ADDISON GROVE - BLOCK D - BUILDING 5&6

FLOOR PLAN

URBAN INTOWN HOMES

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By:
E.Z./F.M.
Original Date Issued:
06/11/2021
Scale:
1/8" = 1'-0"
Last Updated:
06/03/2022



06/06/2022

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877

ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 5&6

URBAN INTOWN HOMES

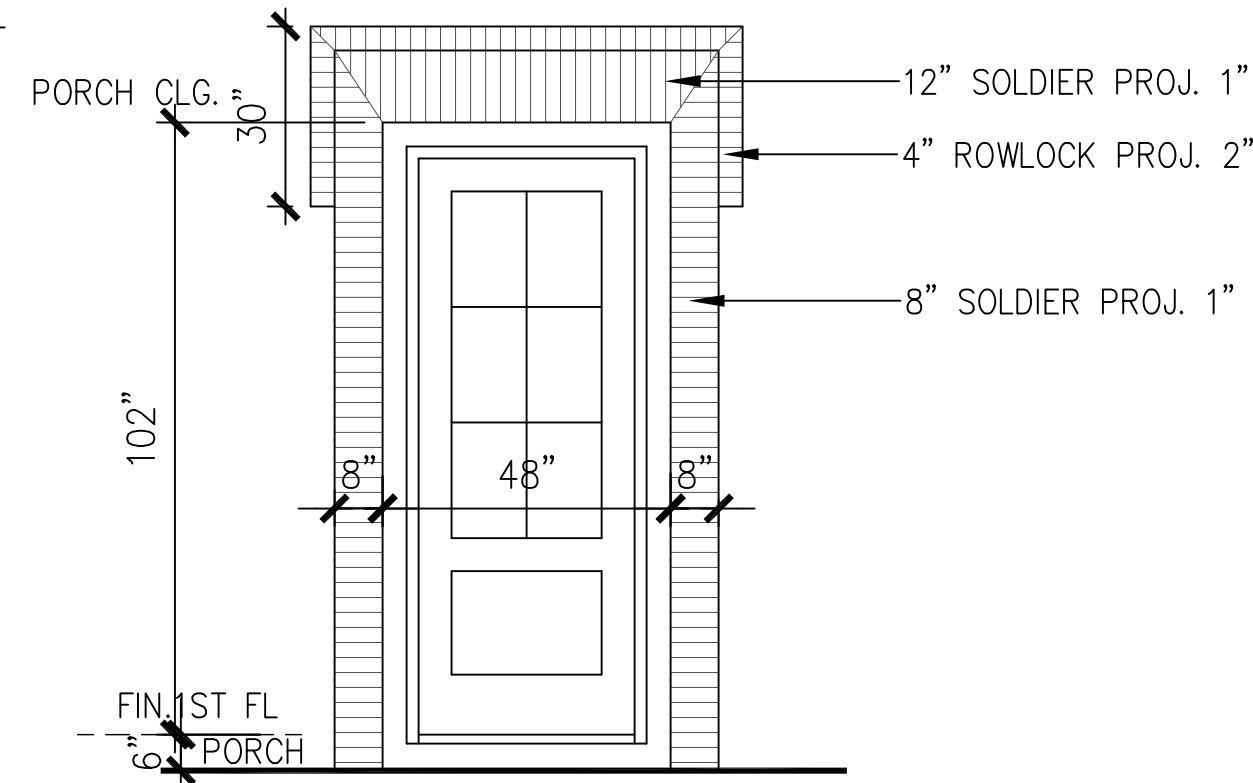
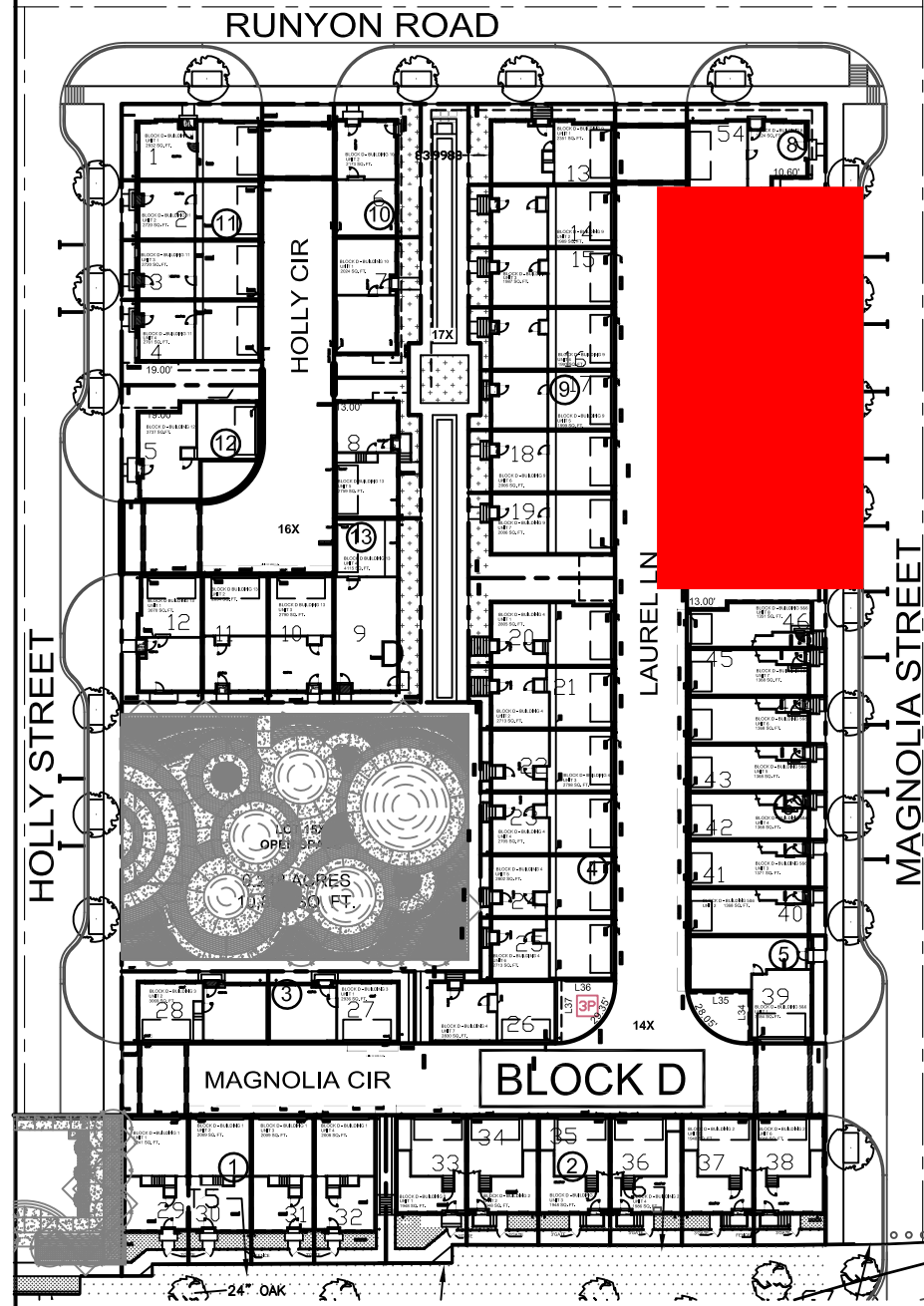
FLOOR PLAN

PLAN NO.	UNIT 1 - 1368A
UNIT 2 - 1368B	UNIT 3 - 1371
UNIT 4 - 1368C	UNIT 5 - 1368D
UNIT 6 - 1368E	UNIT 7 - 1368F
UNIT 8 - 1351	

SHEET NO. A-30

Drawn/Checked By: E.Z./F.M.
Original Date Issued: 06/11/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022

2410 POLK ST, STE 200, HOUSTON, TX 77003
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BRICK PEDIMENT G-1
SCALE: 3/8" = 1'-0"

TOTAL MATERIAL CALCULATION TABLE		
STUCCO BOARD	365	4.3%
3-COAT CEMENT PLASTER SYSTEM	875	10.2%
BRICK	7182	83.8%
ACCENT MATERIAL	150	1.7%
TOTAL SURFACE AREA	8572	

EAST/FRONT MATERIAL CALCULATION TABLE		
STUCCO BOARD	20	0.8%
BRICK	2597	98.1%
ACCENT MATERIAL	29	1.1%
TOTAL SURFACE AREA	2646	

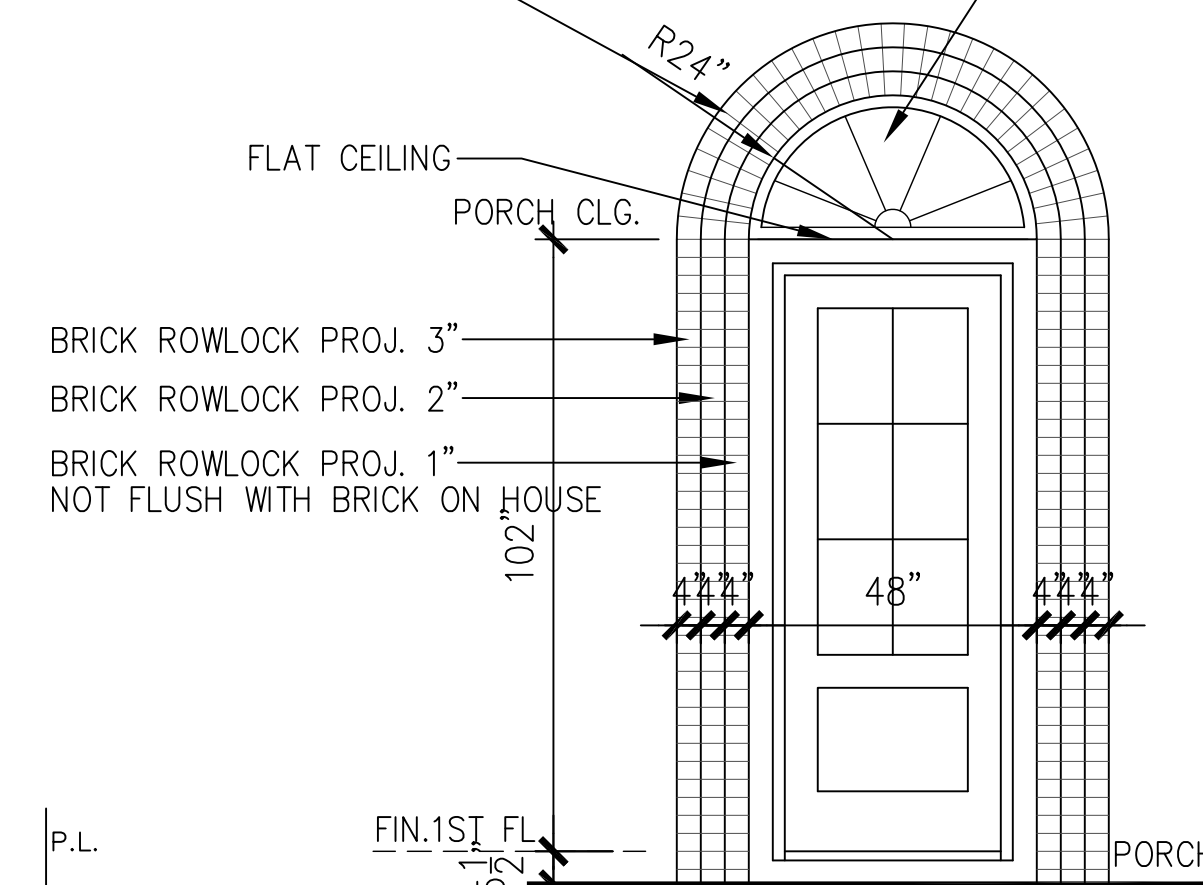
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 4X4X8 WOOD OR EIFS BLOCKS (ACCENT MATERIAL)
- HALF ROUND SPOKED POLYURETHANE PEDIMENT (ACCENT MATERIAL)

FAÇADE PLAN NOTES

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NOTE: ALL PROJECTIONS & RECESSES ARE TAKEN FROM THE STANDARD BRICK WALL ON HOUSE

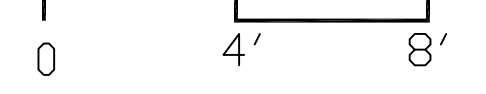


BRICK PEDIMENT K-2
SCALE: 3/8" = 1'-0"



east/front(MAGNOLIA STREET) elevation

SCALE: 1/4" = 1'-0"



URBAN INTOWN HOMES
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PHONE: 713-961-3877

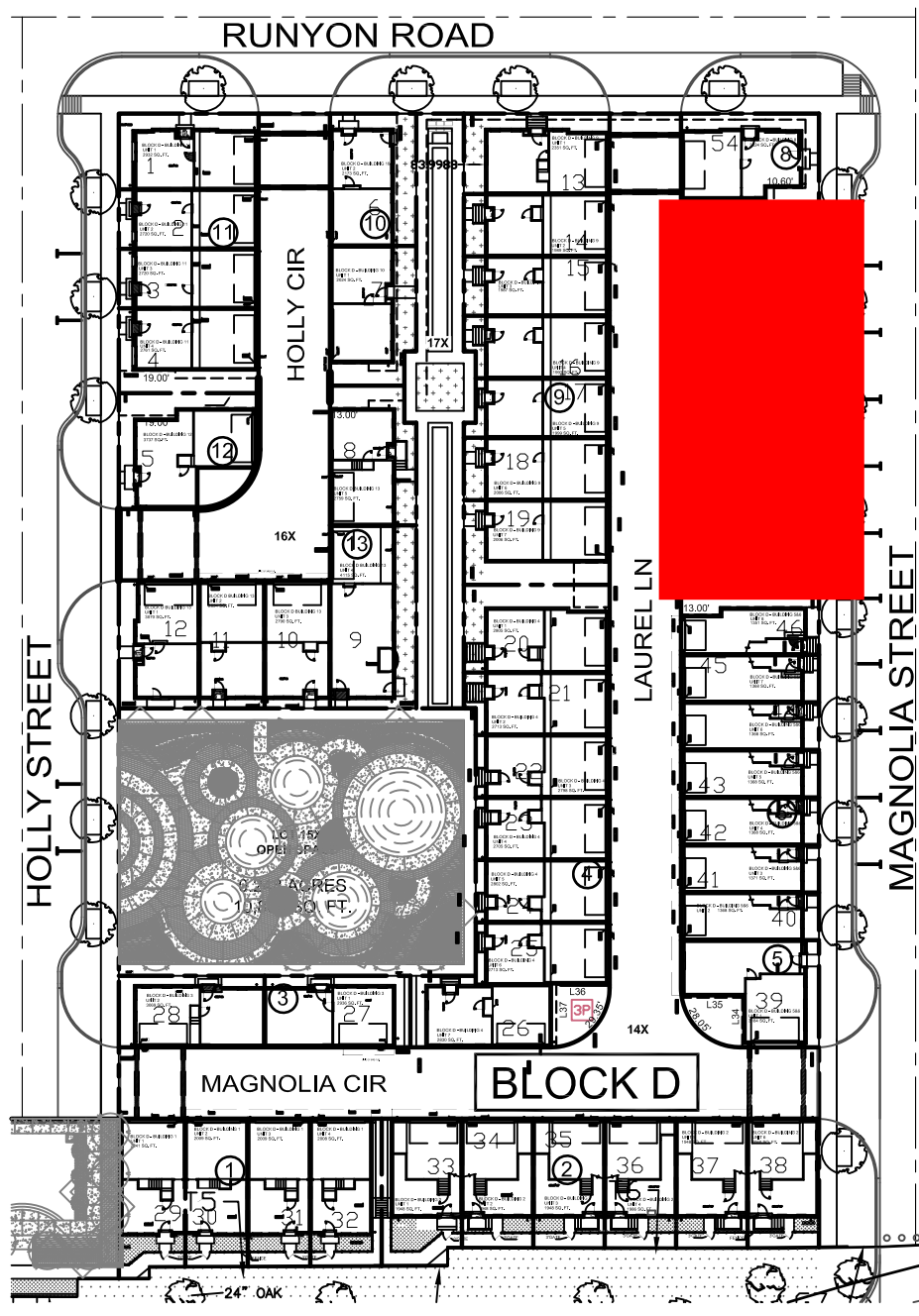
Drawn By/Checked By: E.Z./F.M.
Original Date Issued: 05/12/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

URBANINTOWNHOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

ADDISON GROVE - BLOCK D - BUILDING 7
ADDISON GROVE
EAST/FRONT ELEVATION

PLAN NO.	DATE
UNIT 1	1360
UNIT 2	1371
UNIT 3	1368
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	2004

SHEET NO. **A-31**



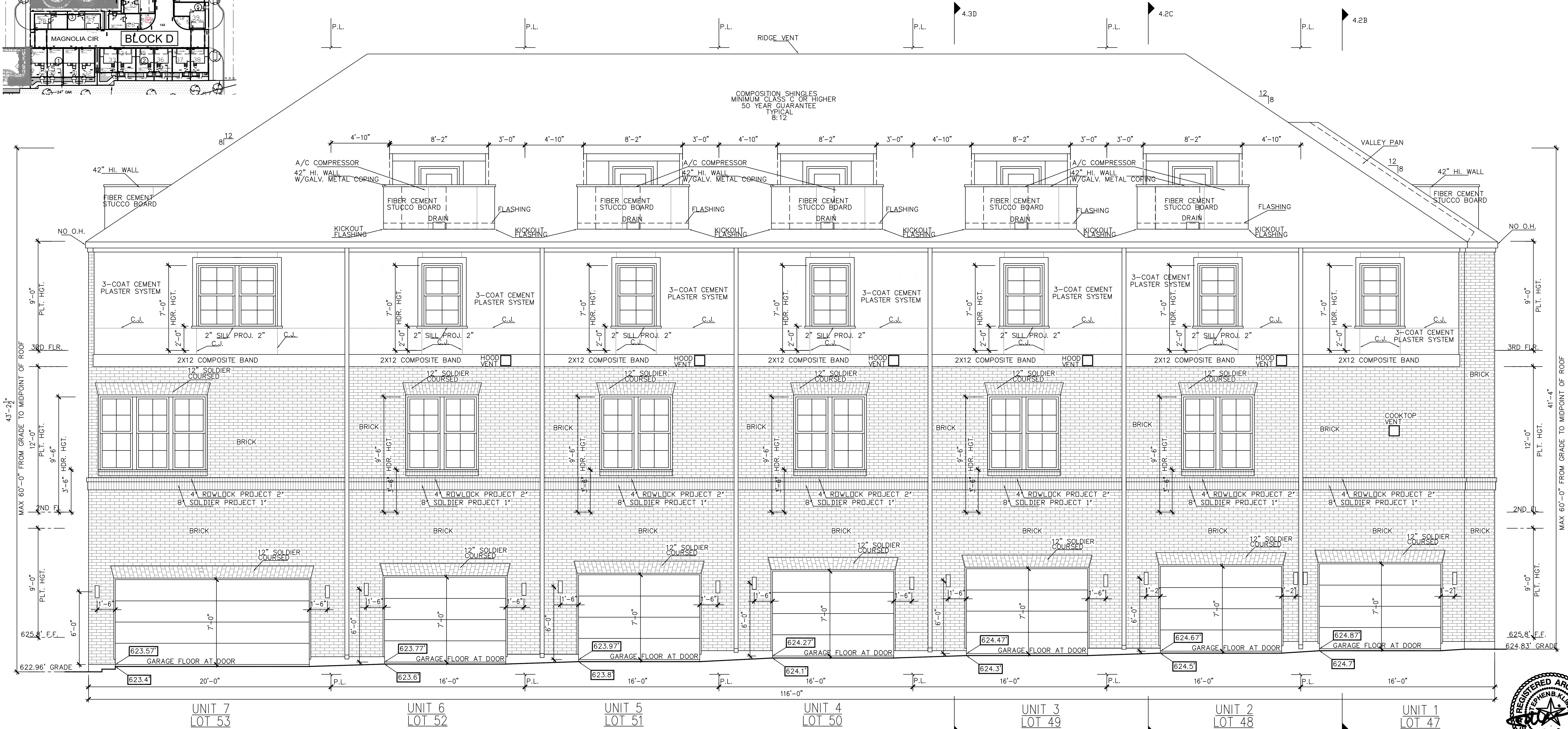
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- 3-COAT CEMENT PLASTER SYSTEM
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)

WEST/REAR MATERIAL CALCULATION TABLE		
STUCCO BOARD	238	7.5%
3-COAT CEMENT PLASTER SYSTEM	815	25.8%
BRICK	1998	63.1%
ACCENT MATERIAL	113	3.6%
TOTAL SURFACE AREA	3164	

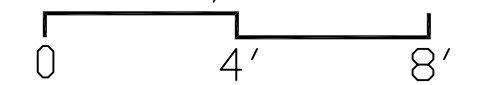
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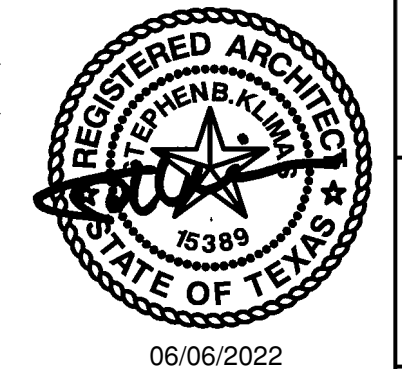


west/rear(LAUREL LN) elevation

SCALE: 1/4" = 1'-0"



URBAN INTOWN HOMES
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PHONE: 713-961-3877



PLAN NO.	DATE
UNIT 1 - 1350	
UNIT 2 - 1371	
UNIT 3 - 1368	
UNIT 4 - 1368	
UNIT 5 - 1368	
UNIT 6 - 1368	
UNIT 7 - 2004	

SHEET NO.

A-32

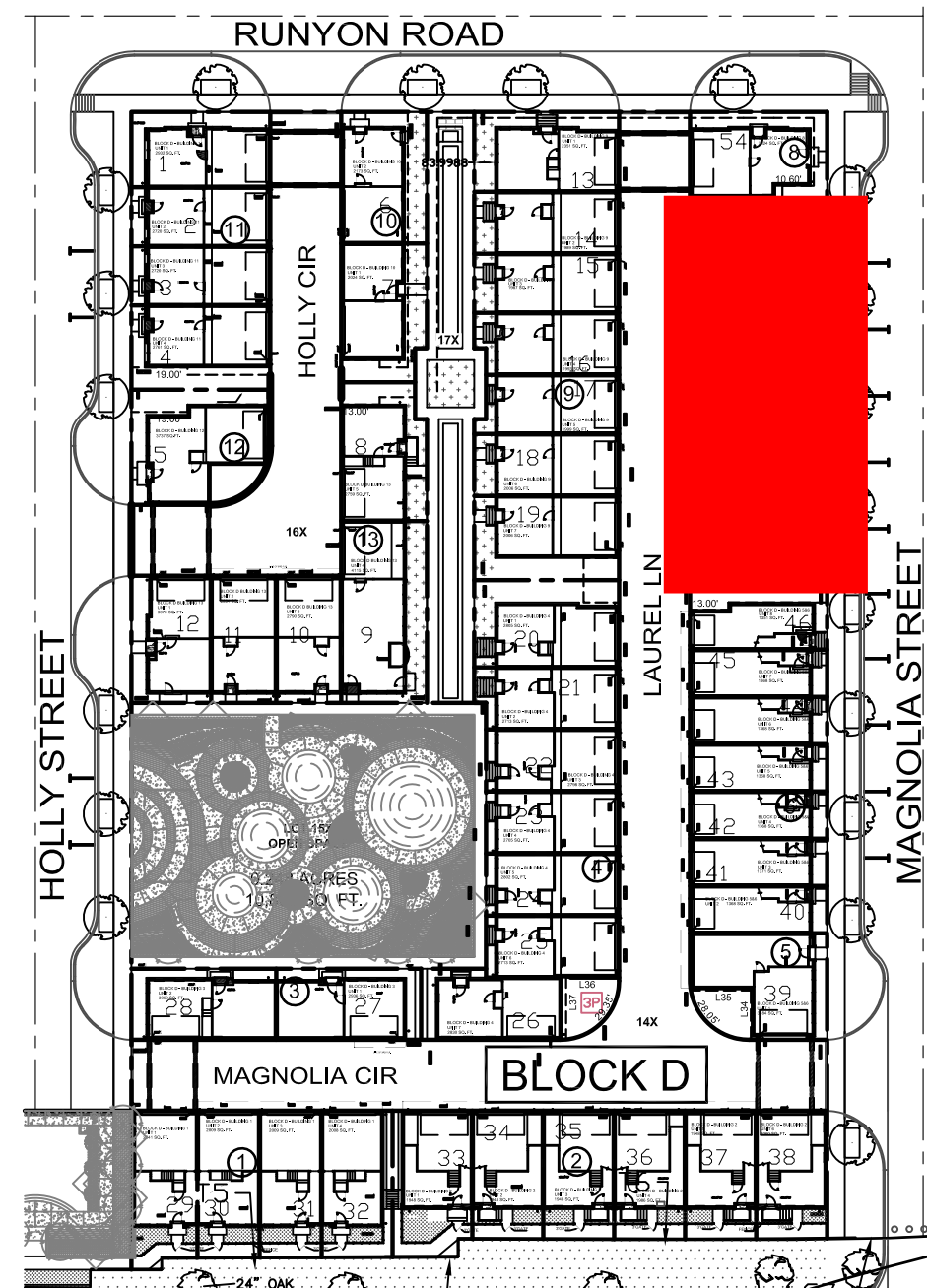
URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 7

WEST/REAR ELEVATION

2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By: E.Z./E.M.
Original Date Issued: 05/12/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

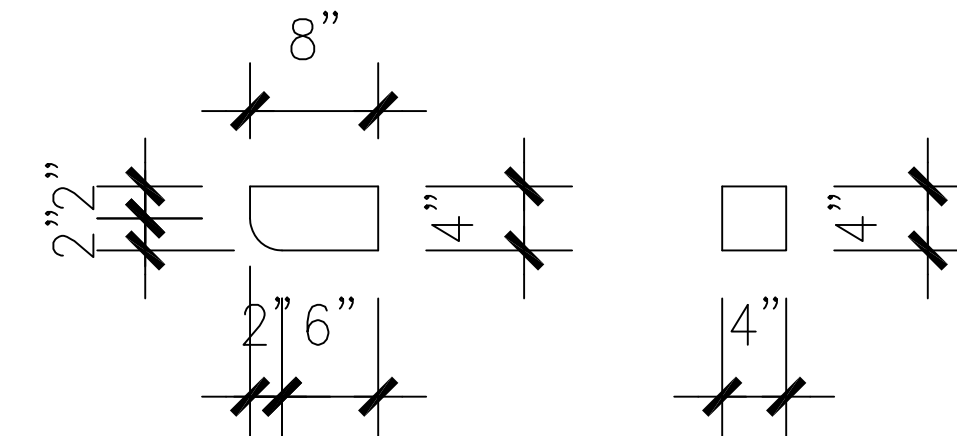


NORTH/RIGHT MATERIAL CALCULATION TABLE		
STUCCO BOARD	54	3.8%
3-COAT CEMENT PLASTER SYSTEM	30	2.1%
BRICK	1332	93.8%
ACCENT MATERIAL	4	0.3%
TOTAL SURFACE AREA	1420	

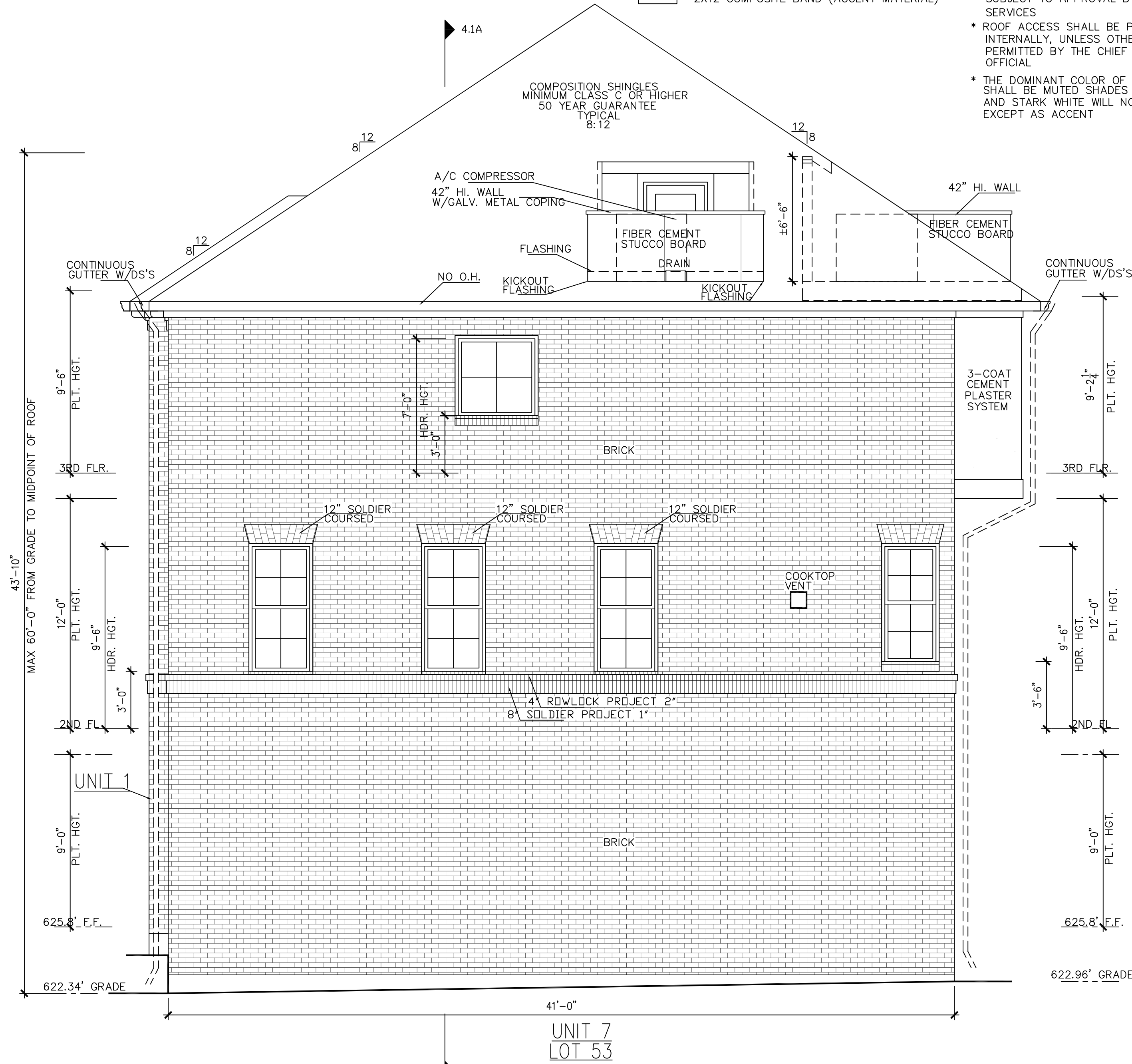
- LEGEND
- BRICK
 - FIBER CEMENT STUCCO BOARD
 - 3-COAT CEMENT PLASTER SYSTEM
 - COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
 - 2X12 COMPOSITE BAND (ACCENT MATERIAL)

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- * THE DOMINANT COLOR OF THE BUILDING SHALL BE Muted SHADES COLORS. BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT

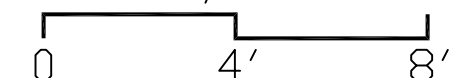


WOOD OR EIFS BRACKETS(D)
SCALE: 1" = 1'-0"



north/right(neighbor) elevation

SCALE: 1/4" = 1'-0"



ADDISON GROVE

URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 7

NORTH / RIGHT ELEVATION

PLAN NO.	UNIT
1350	UNIT 1
1371	UNIT 2
1368	UNIT 3
1368	UNIT 4
1368	UNIT 5
1368	UNIT 6
2004	UNIT 7

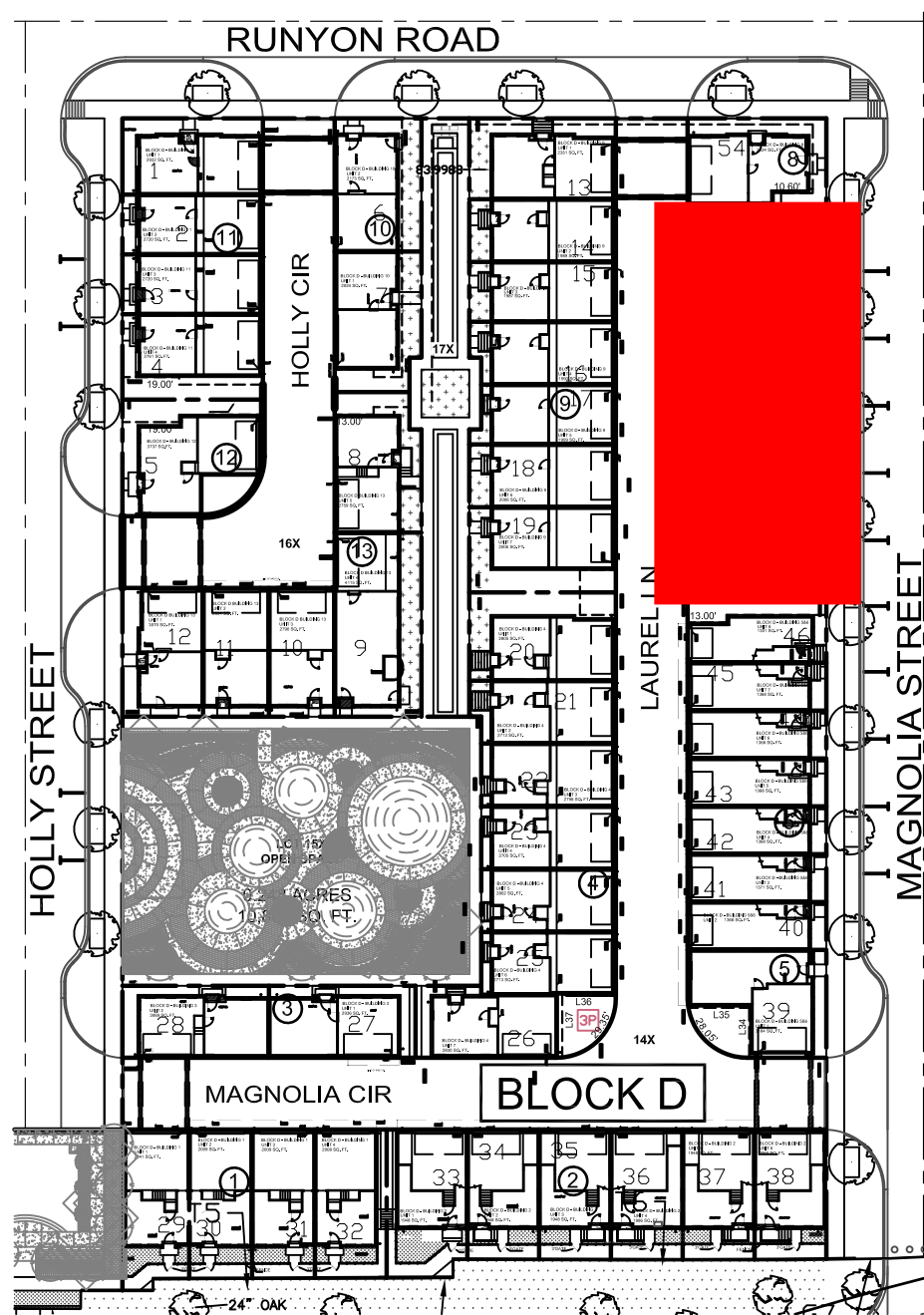
SHEET NO.

A-33



06/06/2022

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PHONE: 713-961-3877



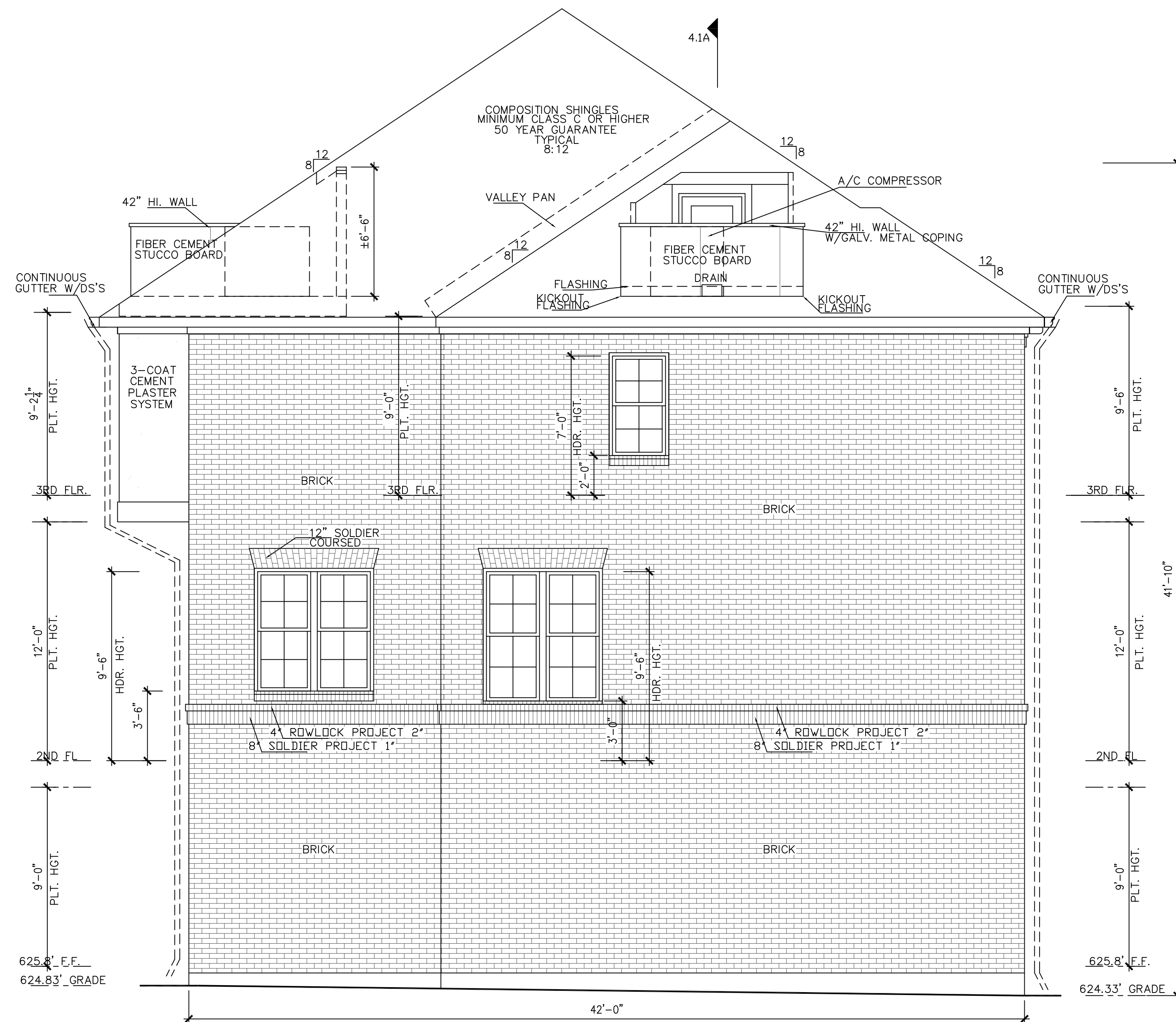
FACADE PLAN NOTES

- * THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- * ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE
- * WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
- * ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
- * ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL
- * THE DOMINANT COLOR OF THE BUILDING SHALL BE MUTED SHADES, COLORS, BLACK AND STARK WHITE WILL NOT BE USED, EXCEPT AS ACCENT

SOUTH/LEFT MATERIAL CALCULATION TABLE		
STUCCO BOARD	53	3.9%
3-COAT CEMENT PLASTER SYSTEM	30	2.3%
BRICK	1255	93.5%
ACCENT MATERIAL	4	0.3%
TOTAL SURFACE AREA	1342	

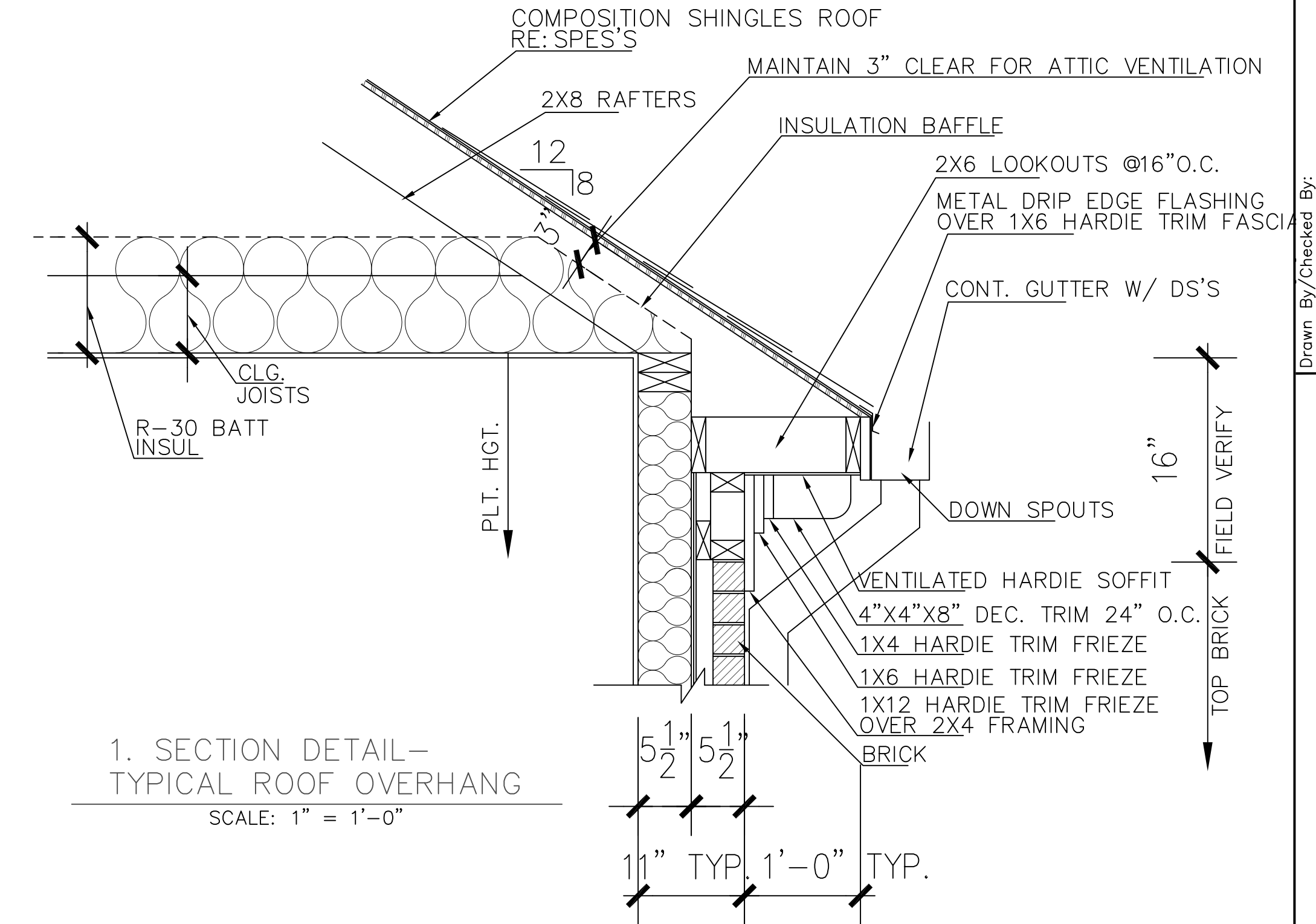
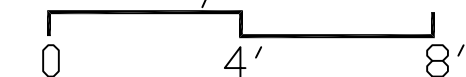
LEGEND

- BRICK
- FIBER CEMENT STUCCO BOARD
- 3-COAT CEMENT PLASTER SYSTEM
- COMPOSITION SHINGLES MINIMUM CLASS C OR HIGHER 50 YEAR GUARANTEE TYPICAL
- 2X12 COMPOSITE BAND (ACCENT MATERIAL)



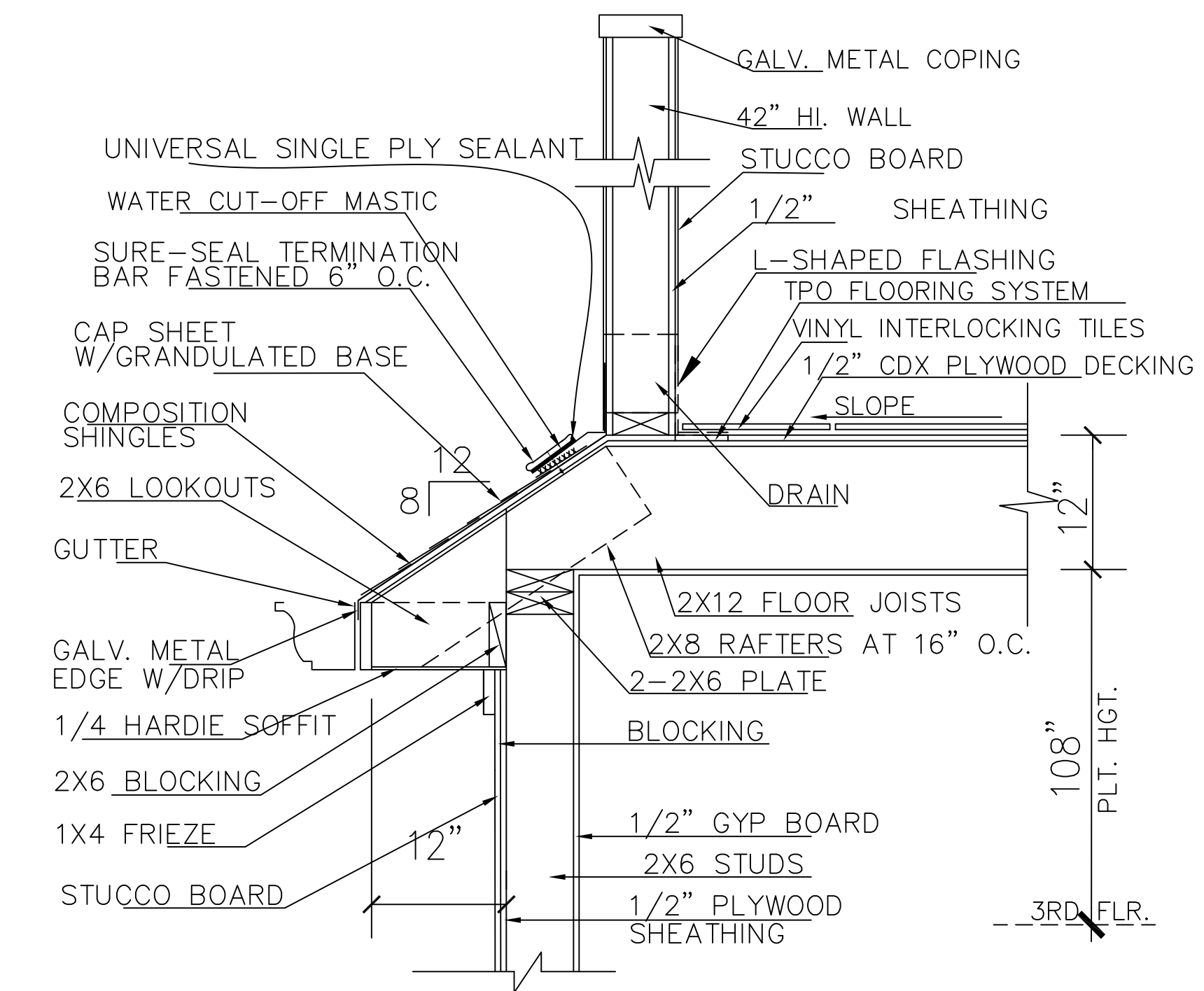
south/left(neighbor) elevation

SCALE: 1/4" = 1'-0"



1. SECTION DETAIL - TYPICAL ROOF OVERHANG

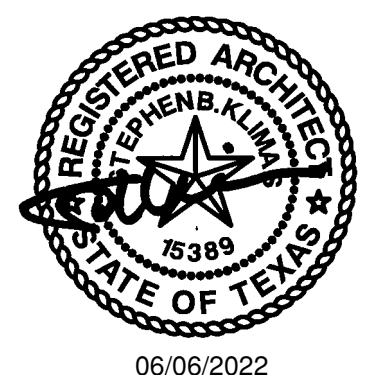
SCALE: 1" = 1'-0"



2. SECTION DETAIL - A/C COMPRESSOR LOCATION AT ROOF

SCALE: 1" = 1'-0"

ADDISON GROVE



URBANINTOWNHOMES

ADDISON GROVE - BLOCK D - BUILDING 7

SOUTH /LEFT ELEVATION

Drawn By/Checked By: E.Z./E.M.
Original Date Issued: 05/12/2021
Scale: 1/4" = 1'-0"
Last Updated: 06/03/2022

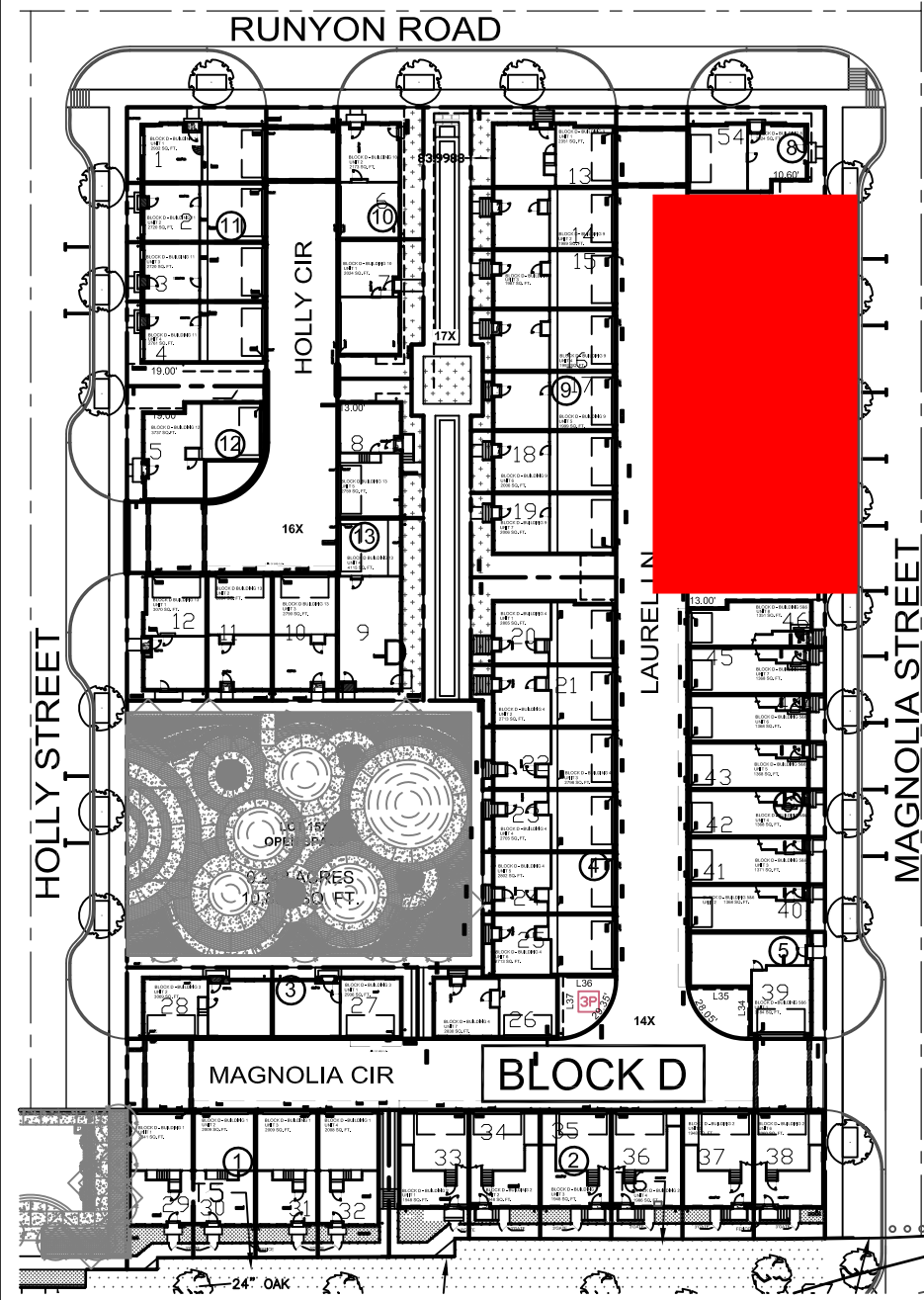
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PLAN NO.	1350
UNIT 1	1371
UNIT 2	1368
UNIT 3	1368
UNIT 4	1368
UNIT 5	1368
UNIT 6	1368
UNIT 7	2004

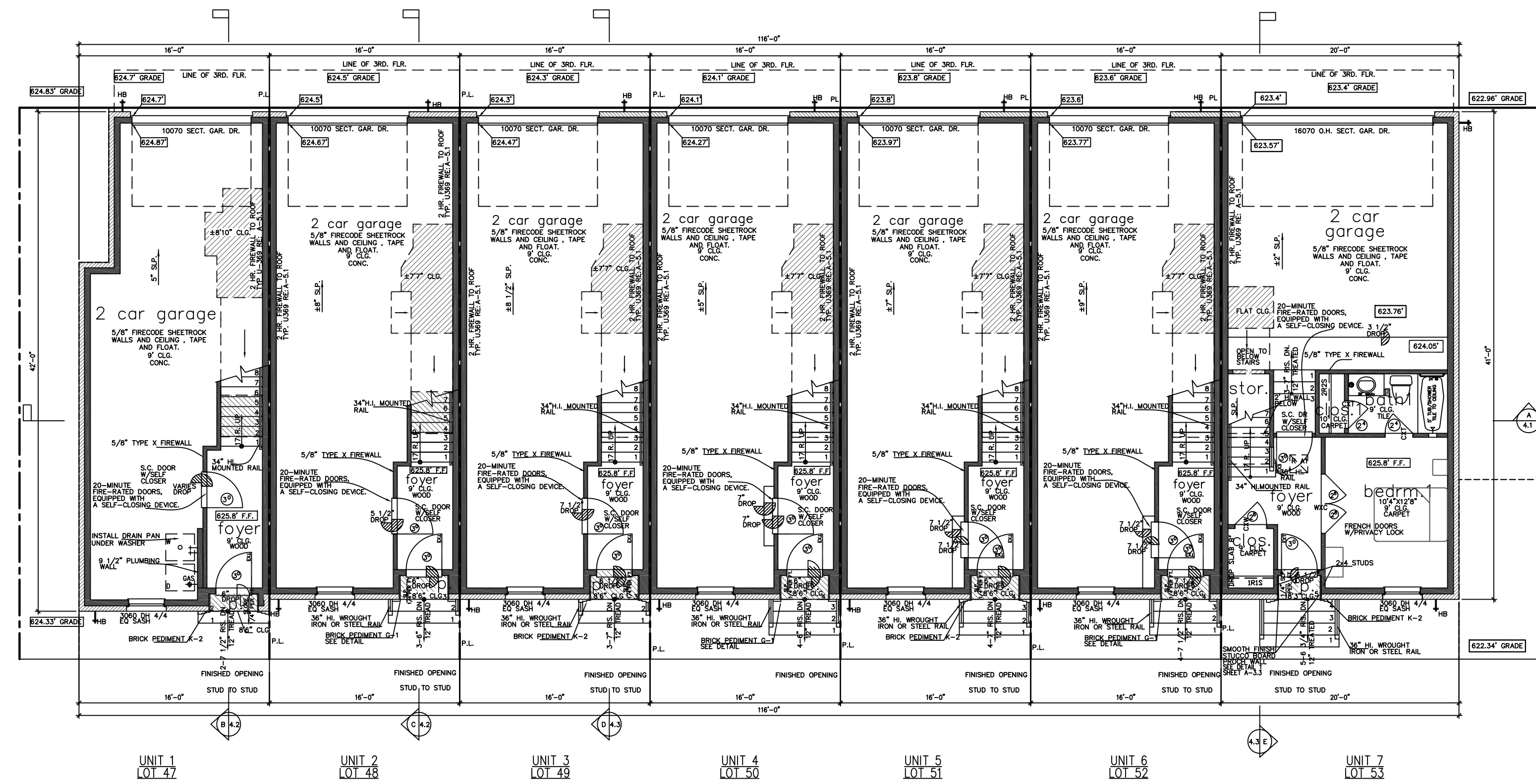
SHEET NO.

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	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	1350	2
UNIT 2	1371	2
UNIT 3	1368	2
UNIT 4	1368	2
UNIT 5	1368	2
UNIT 6	1368	2
UNIT 7	2004	3

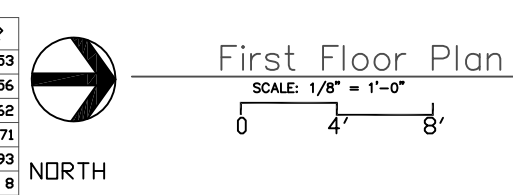


UNIT 1 square footage

FIRST FLOOR	71
SECOND FLOOR	640
THIRD FLOOR	629
TOTAL LIVING AREA	1350
GARAGE	260
PORCH	6
AC DECK	80
TOTAL SLAB AREA	644

UNIT 2 square footage

FIRST FLOOR	53
SECOND FLOOR	656
THIRD FLOOR	668
TOTAL LIVING AREA	1371
GARAGE	292
PORCH	6
AC DECK	80
TOTAL SLAB AREA	626



NOTE: ALL EXTERIOR WALLS TO BE 20# BRN'D RE: STRUCTURAL PLANS

NOTE: AUTOMATIC GARAGE DOOR OPENERS AND LIDS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL 2036 AS REQUIRED IN THE IRC SECTION R308.4.

NOTE: TRASH CAN WILL BE STORED INSIDE ATTACHED GARAGE.

UNIT 3&4&5&6 square footage

FIRST FLOOR	53
SECOND FLOOR	656
THIRD FLOOR	659
TOTAL LIVING AREA	1368
GARAGE	292
PORCH	6
AC DECK	80
TOTAL SLAB AREA	626

UNIT 7 square footage

FIRST FLOOR	340
SECOND FLOOR	820
THIRD FLOOR	824
TOTAL LIVING AREA	1984
GARAGE	453
PORCH	7
AC DECK	80
TOTAL SLAB AREA	2524

THE SQUARE FOOTAGES SHOWN HAVE BEEN CALCULATED FROM THE BUILDER'S DRAWINGS IN GENERAL COMPLIANCE WITH ANSI Z390-2003 ACTUAL SQUARE FOOTAGE MAY VARY

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ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 7

FLOOR PLAN

URBAN INTOWN HOMES

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Original Date: 05/12/2021
Scale: 1/8" = 1'-0"
Last Updated: 06/03/2022



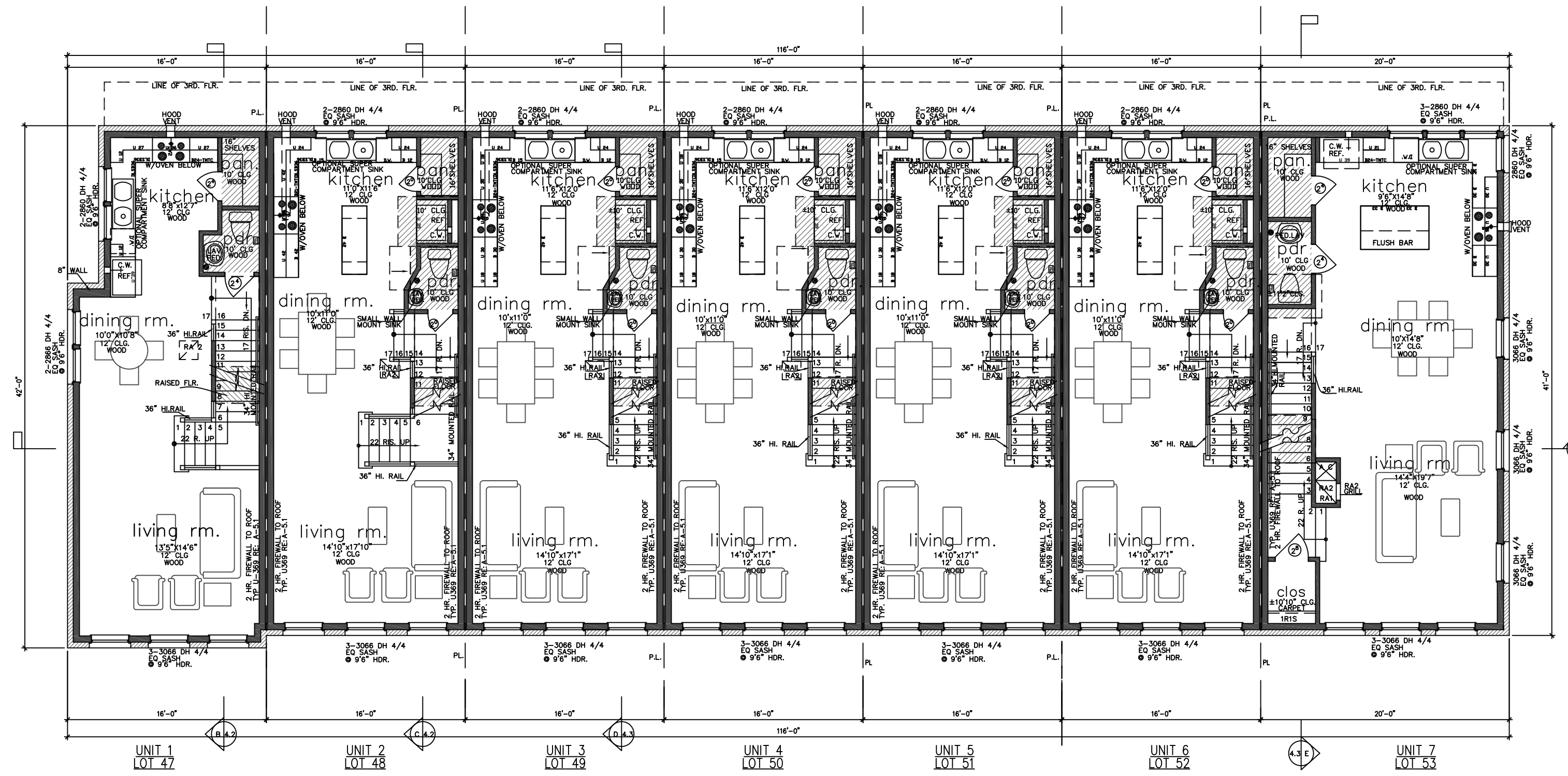
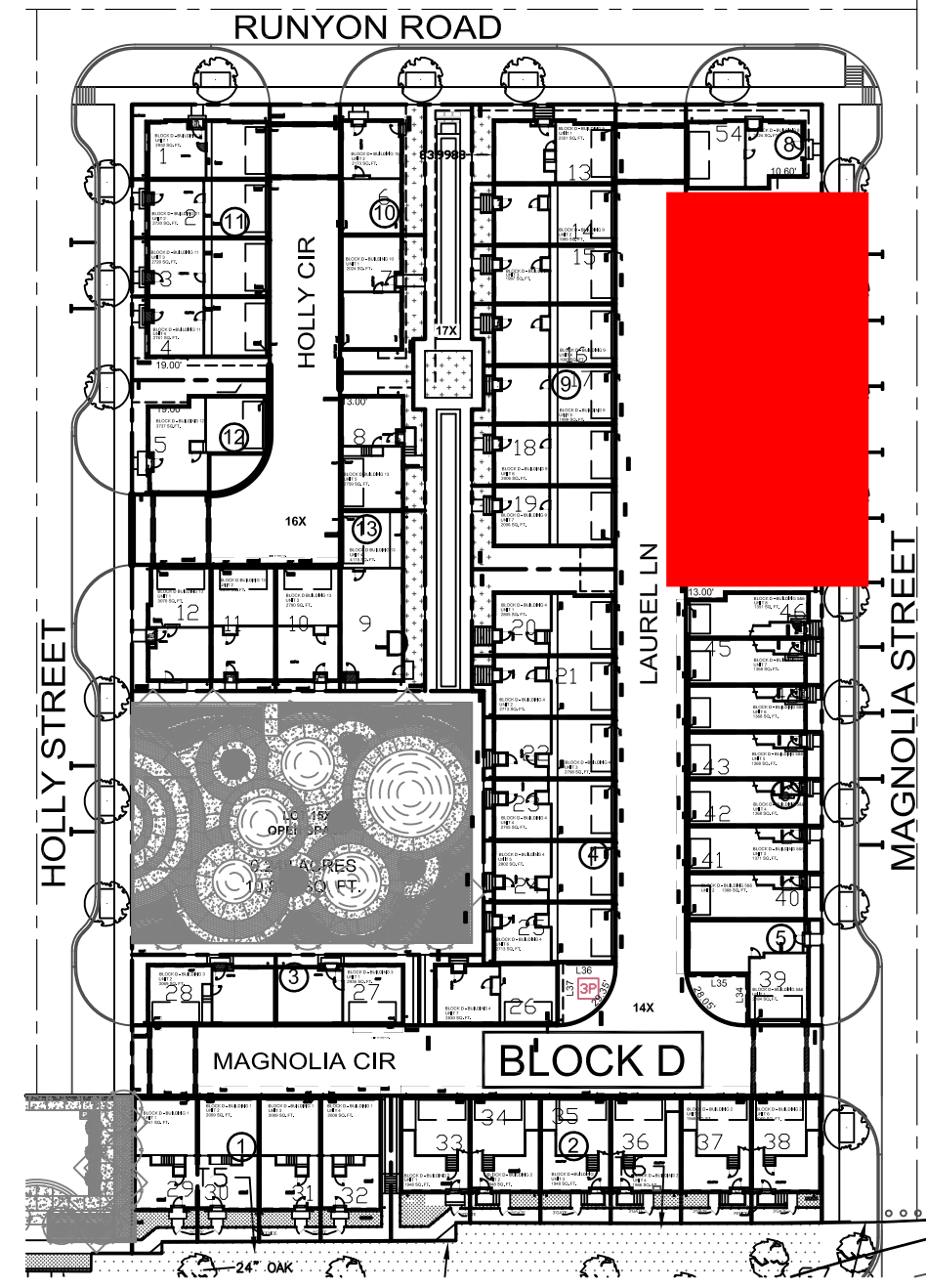
06/06/2022

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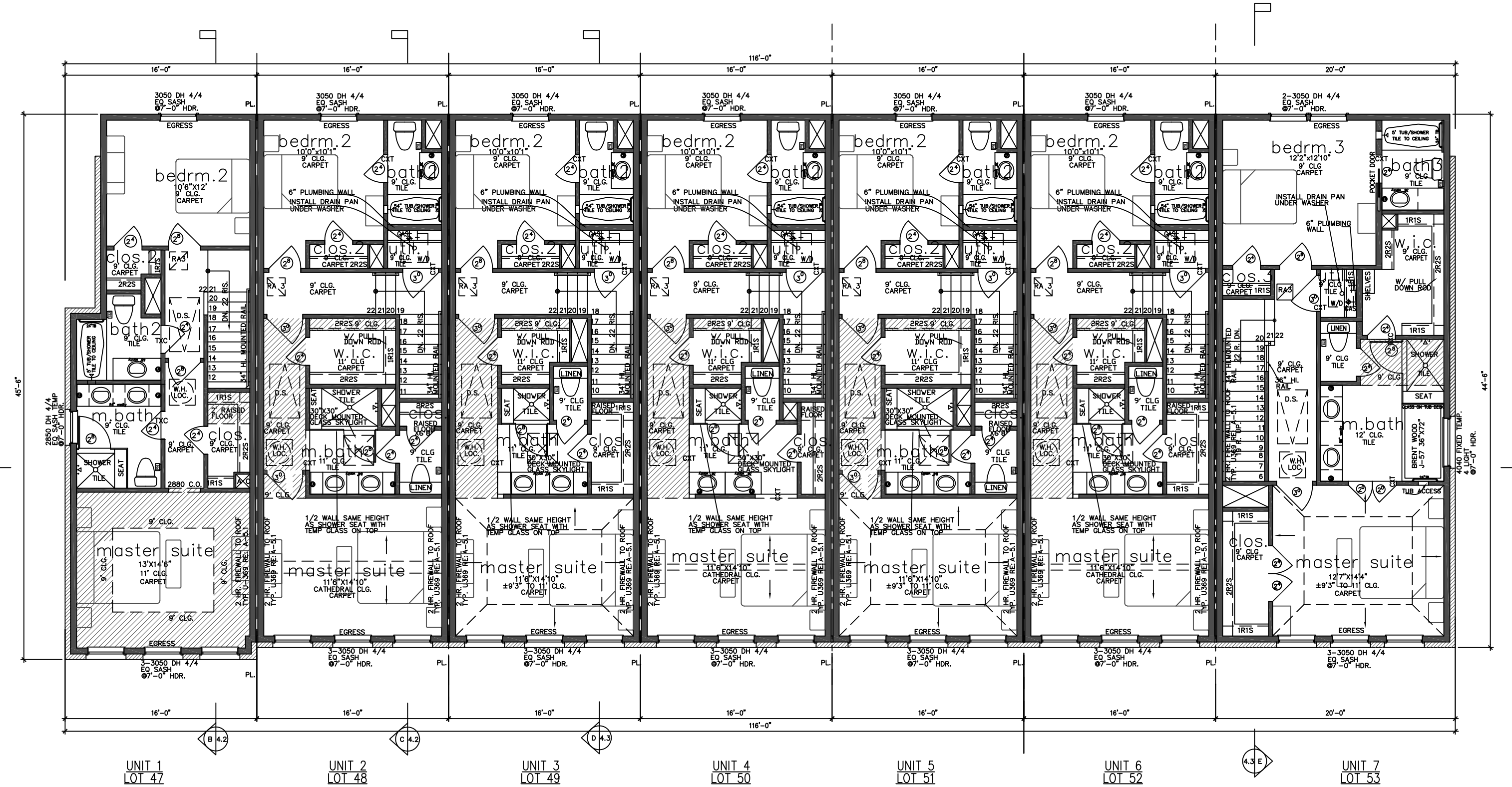
PLAN NO.	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7
	1350	1371	1368	1368	1368	1368	2004

SHEET NO. A-35

Town Project #:1833-Z



Second Floor Plan
 NOTE: ALL EXTERIOR WALLS TO BE 2X8 FRAMED RE. STRUCTURAL PLANS
 SCALE: 1/8" = 1'-0"
 NORTH



Third Floor Plan
 NOTE: ALL EXTERIOR WALLS TO BE 2X8 FRAMED RE. STRUCTURAL PLANS
 SCALE: 1/8" = 1'-0"
 NORTH

ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 7

FLOOR PLAN



URBAN INTOWN HOMES
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 PHONE: 713-961-3877

PLAN NO.	UNIT 1 - 1350
	UNIT 2 - 1323
	UNIT 3 - 1368
	UNIT 4 - 1368
	UNIT 5 - 1368
	UNIT 6 - 1368
	UNIT 7 - 2004

SHEET NO.
A-36

Drawn By/Checked By: E.Z./F.M.
 Original Date Issued: 05/12/2021

Scale: 1/8" = 1'-0"
 Last Updated: 06/03/2022

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06/06/2022