

ORDINANCE NO. _____

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, PROVIDING FOR APPROVAL OF A DEVELOPMENT PLAN FOR BLOCK D OF THE ADDISON GROVE ADDITION, PART OF A PLANNED DEVELOPMENT ZONING DISTRICT (O16-003), AND SITUATED ON 2.08± ACRES GENERALLY LOCATED AT THE SOUTHWEST CORNER OF MAGNOLIA STREET AND RUNYON ROAD, TO ALLOW FOR THE DEVELOPMENT OF 54 TOWNHOME LOTS AND ONE OPEN SPACE LOT; PROVIDING A PENALTY NOT TO EXCEED TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00); PROVIDING FOR SAVINGS, NO SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on June 21, 2022 the Planning & Zoning Commission considered and made recommendations on Case No.1833-Z, being a request to approve a Development Plan (defined herein below) for Addison Grove, Block D, comprising 2.08± acres generally located at the southwest corner of Magnolia Street and Runyon Road, to allow for the development of 54 townhome lots and one open space lot; and

WHEREAS, Planned Development District O16-003 requires Development Plan approval prior to the issuance of a building permit; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at a public hearing, and other relevant information and materials, the City Council of the Town of Addison, Texas finds that approval of this Development Plan promotes the general welfare and safety of this community.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the recitals and findings set forth above are hereby found to be true and correct and incorporated as if fully set forth herein.

SECTION 2. Addison Grove, Block D shall be improved in accordance with the Development Plan, which is comprised of a site plan, landscape plan, façade and floor plans (the “Development Plan”), which is attached hereto as **Exhibit A** and made a part hereof for all purposes.

SECTION 3. Execution of the Development Plan is permitted subject to the following conditions:

- A. A replat and associated air rights easements are approved and filed prior to release of any Block D building permits in order to account for required street and alley name modifications and off-lot building aerial encroachments at alley entryways.
- B. An 8-inch waterline connection is made between existing waterlines within the Magnolia Street and Beltway Drive rights-of-way prior to release of any Block D

building permits. The required public safety connection and associated bollards that are co-located at this location may be installed concurrently or at the time of construction of the closest adjacent lots.

- C. The public park situated within Block A is completed and accepted by the Town prior to the release of any Block D building permits.
- D. No portion of the existing screening wall fronting towards Beltway Drive may be removed without providing at least two weeks of prior notice to the Town. A temporary 6 foot tall wood fence will be installed prior to construction on adjacent lots commencing and will be removed upon substantial completion of exterior improvements associated with those lots.
- E. Completion of the Addison Grove development will adhere to the completion plan included in **Exhibit A**. Any deviation from the development phasing illustrated in this plan must be approved by the Director of Development Services prior to execution.

SECTION 4. Any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, Section 1-7 of the Code of Ordinances for the Town of Addison.

SECTION 5. The provisions of this Ordinance are severable, and should any section, subsection, paragraph, sentence, phrase or word of this Ordinance, or application thereof to any person, firm, corporation or other business entity or any circumstance, be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of the remaining or other parts or portions of this Ordinance, and the City Council hereby declares that it would have passed such remaining parts or portions of this Ordinance despite such unconstitutionality, illegality, or invalidity, which remaining portions shall remain in full force and effect.

SECTION 6. All ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 7. This Ordinance shall become effective from and after its passage and approval and after publication as may be required by law or by the City Charter or ordinance.

PASSED AND APPROVED by the City Council of the Town of Addison, Texas, on this the 9TH day of AUGUST 2022.

TOWN OF ADDISON, TEXAS

Joe Chow, Mayor

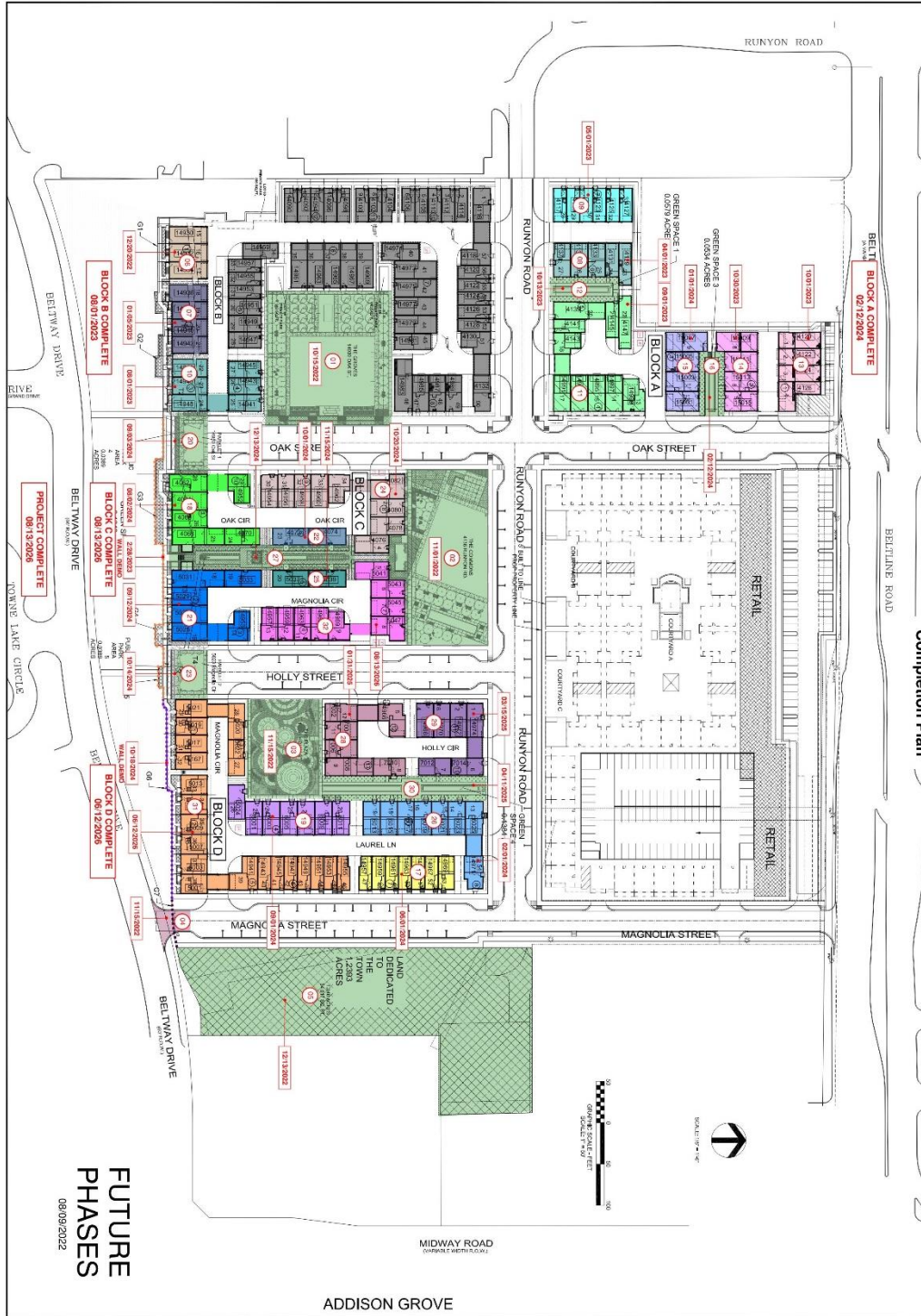
ATTEST:

APPROVED AS TO FORM:

Irma Parker, City Secretary

Whitt Wyatt, City Attorney

Exhibit A



FUTURE PHASES
08/09/2022

A-1	ADDISON	URBANTOWNHOMES	
	SITE PLAN		
		2410 Polk St, Ste 200 Houston, Tx 77003 (713) 961-3877	
			REVISIONS: 1.

Exhibit A

Surround Shrub Planting with Deeproot Universal Barriers

12" WIDE
12" DEEP
12" HIGH

6" CONCRETE CURB
6" CONCRETE BARRIER
6" CONCRETE CURB

12" MIN. FROM EDGE OF CURB

NTS

LIB 262 Specifications

262 Deeproot® Tree Root Barrier

262 Deeproot® Tree Root Barrier is a high-strength, polypropylene fabric that is designed to prevent tree roots from growing into sidewalks, driveways, and other paved areas. It is made of a woven polypropylene fabric that is 12 inches wide, 12 inches deep, and 12 inches high. The barrier is installed around the tree trunk and extends 12 inches from the edge of the curb.

262 Deeproot® Tree Root Barrier is made of a woven polypropylene fabric that is 12 inches wide, 12 inches deep, and 12 inches high. The barrier is installed around the tree trunk and extends 12 inches from the edge of the curb.

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TYP. ROOT BARRIER DETAIL @ SIDEWALK

NTS

TYP. ROOT BARRIER DETAIL @ SIDEWALK

NTS

TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

NTS

TYP. VINE PLANTING DETAIL

NTS

1 TYP. ROOT BARRIER DETAIL @ SIDEWALK

NTS

2 TYP. ROOT BARRIER DETAIL @ SIDEWALK

NTS

3 TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

NTS

4 TYP. VINE PLANTING DETAIL

NTS

5 TYPICAL PAVING DETAIL

NTS

ASAKURA ROBINSON

LANDSCAPE ARCHITECTS

20100 Westpark Drive, Suite 100

Westport, Texas 75086

PH: 972.336.1111

WWW.ASAKURAROBINSON.COM

ADDISON GROVE

BLOCK A LOTS 1-23, BLOCK B LOTS 1-57, BLOCK C LOTS 1-58, BLOCK D LOTS 1-58

US SURVEYOR 6273

TOWN PROJECT NUMBER: 1833-Z

DATE PREPARED: JUNE 03, 2022

ASAKURA ROBINSON COMPANY

1400 SUMMIT STREET, SUITE 202B

IRVING, TEXAS 75038

CONTACT: NEHA HANUMANI

PHONE: 972.336.1111

WWW.ASAKURAROBINSON.COM

LANDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-23, BLOCK B LOTS 1-57, BLOCK C LOTS 1-58, BLOCK D LOTS 1-58

US SURVEYOR 6273

TOWN PROJECT NUMBER: 1833-Z

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Exhibit A

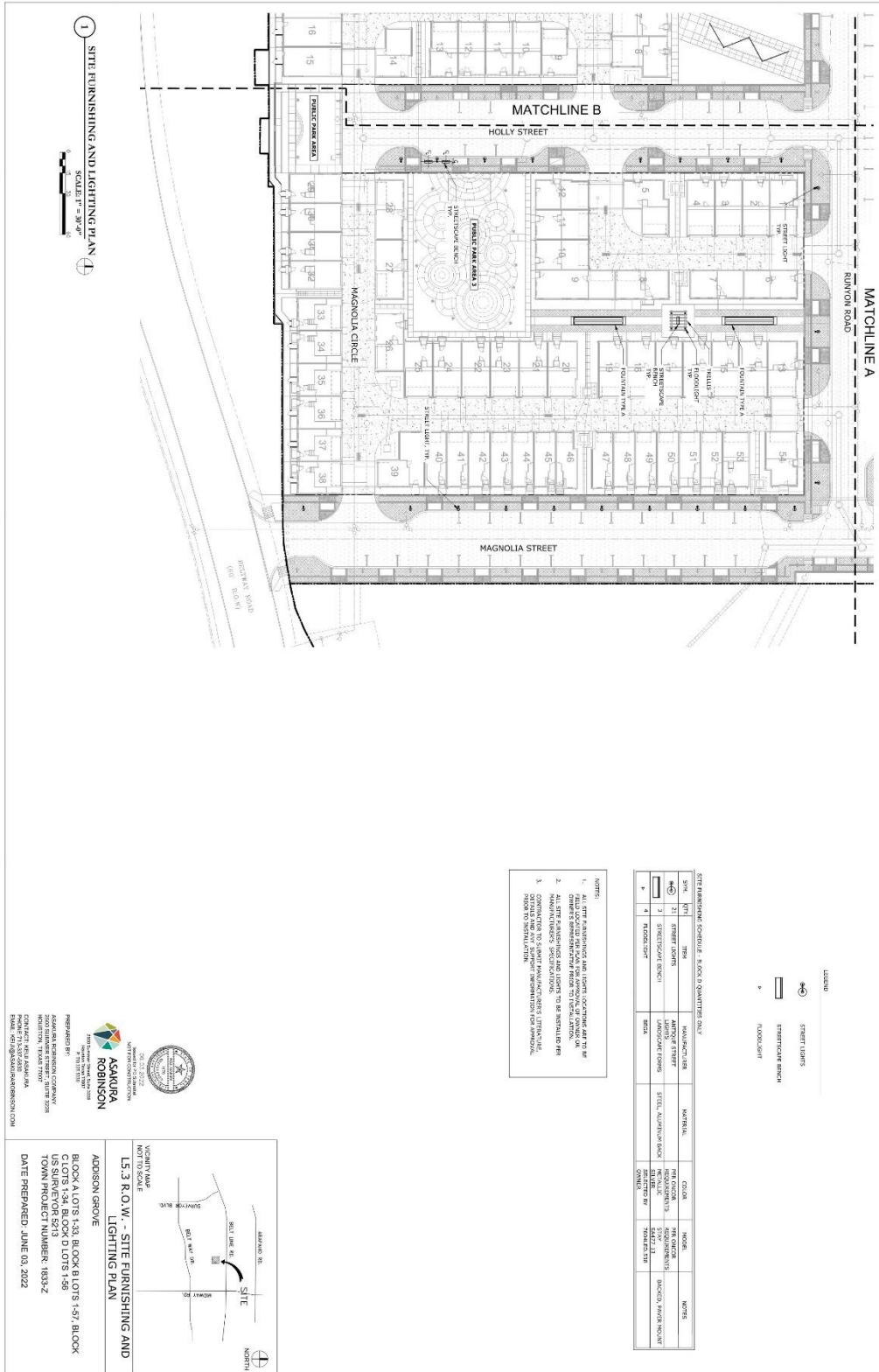


Exhibit A

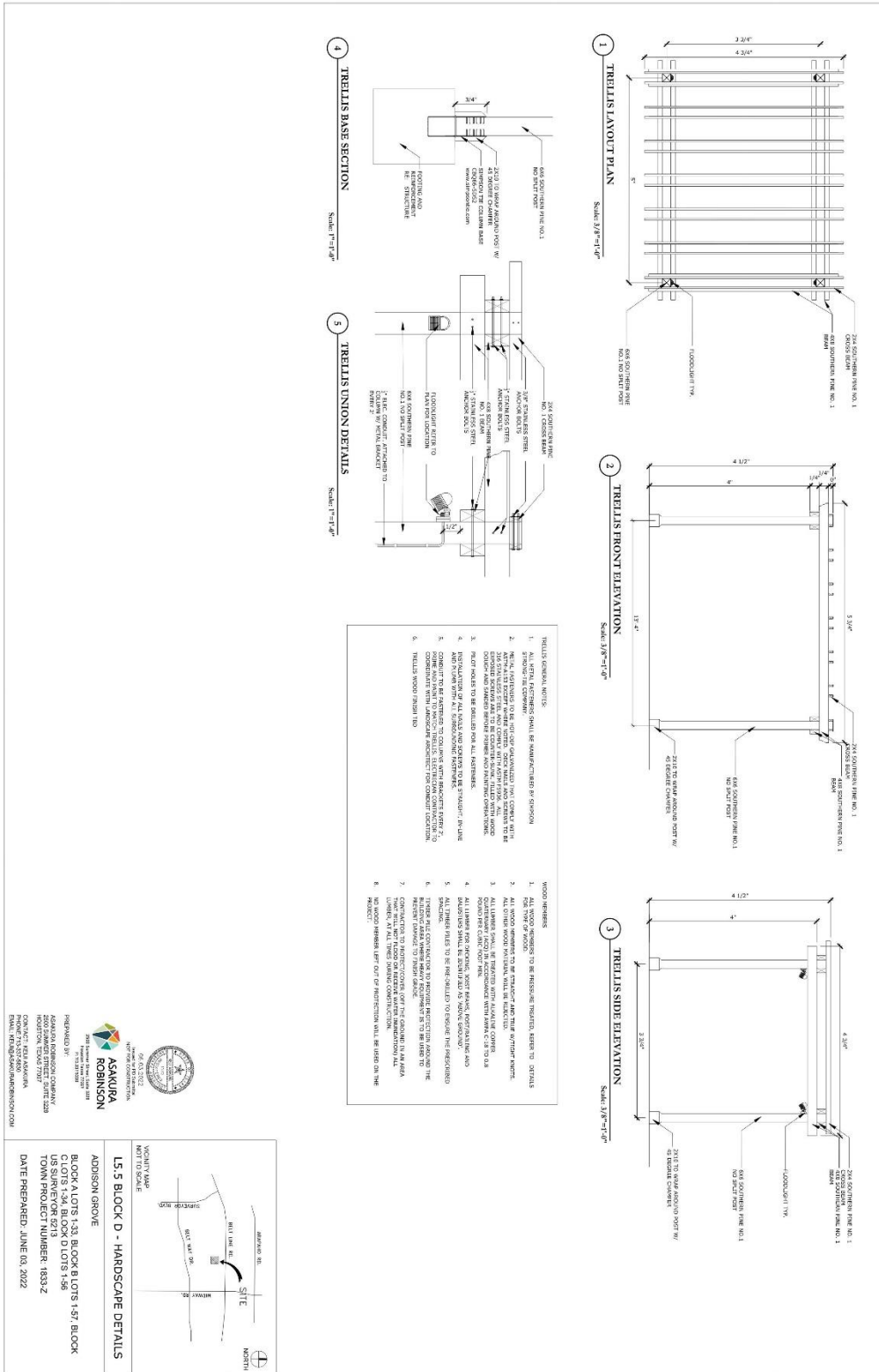


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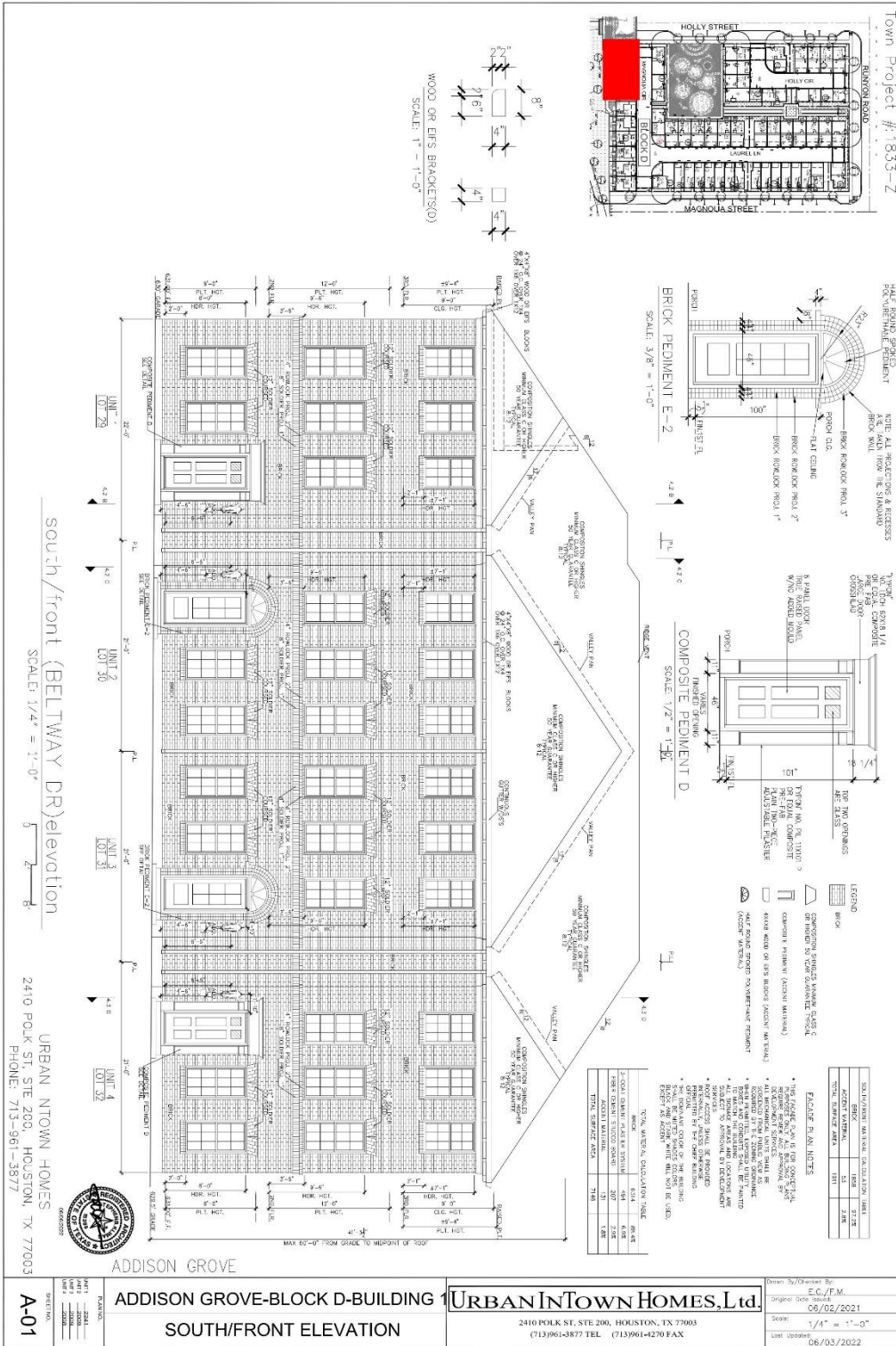
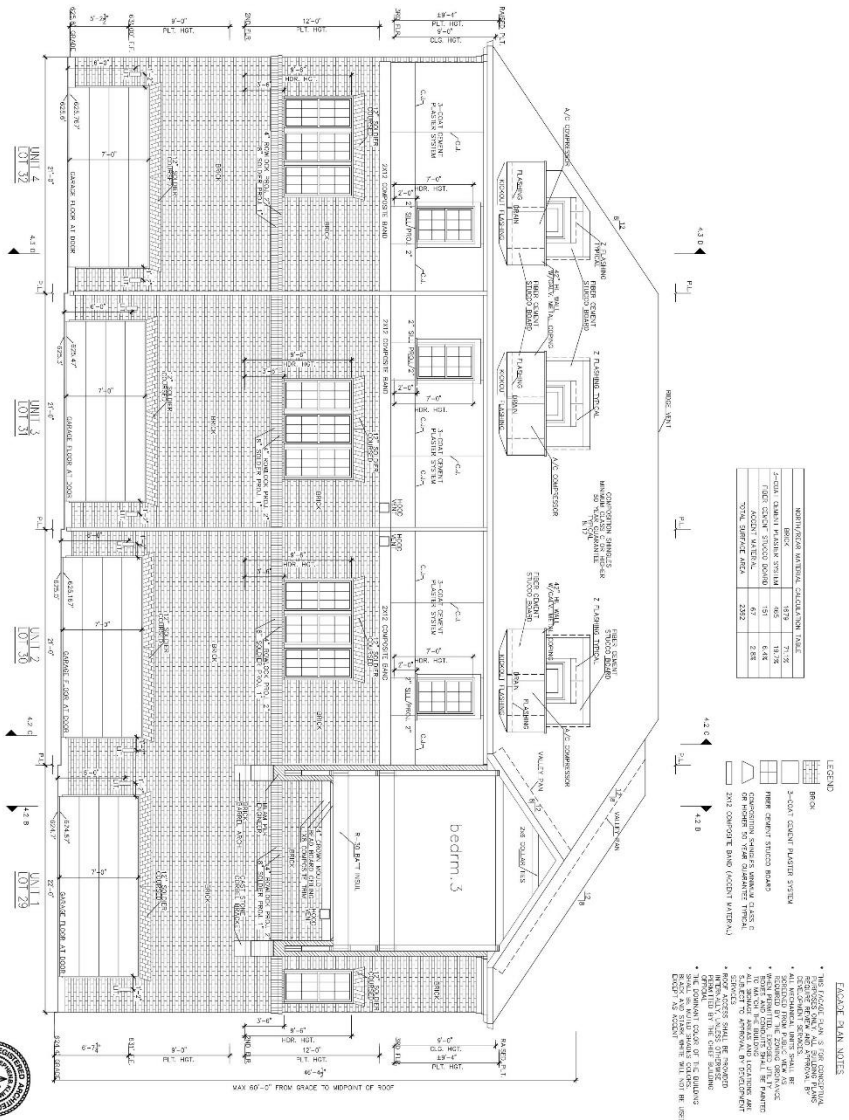
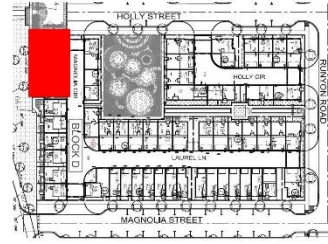


Exhibit A

Town Project #1833-Z



DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
BRICK	1879	71.32		134,095.28
3-4"x6" CONCRETE FLUTED SYSTEM	15	6.64		99.60
CONCRETE STAIRS (BLOCK)	47	2.88		135.36
CONCRETE STAIRS (SMALL STAIRS)	1	2.88		2.88
200' CONCRETE SAND (CONCRETE SYSTEM)	2322			2322.00
TOTAL				135,655.04

LEGEND

- BRICK
- 3-4"x6" CONCRETE FLUTED SYSTEM
- CONCRETE STAIRS (BLOCK)
- CONCRETE STAIRS (SMALL STAIRS)
- 200' CONCRETE SAND (CONCRETE SYSTEM)

EXPLANATORY NOTES

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. FINISH GRADE SHALL BE AS SHOWN ON THE SITE PLAN.
- 3. ALL FOUNDATION WORK SHALL BE AS SHOWN ON THE FOUNDATION PLAN.
- 4. ALL STRUCTURAL WORK SHALL BE AS SHOWN ON THE STRUCTURAL DRAWINGS.
- 5. ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE AS SHOWN ON THE RESPECTIVE SYSTEM DRAWINGS.
- 6. ALL MATERIALS AND WORKMANSHIP SHALL BE AS SPECIFIED IN THE SPECIFICATIONS.
- 7. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY ENGINEER.
- 8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- 9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
- 10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.

URBAN INTOWN HOMES
2410 POLK ST., STE. 200, HOUSTON, TX 77003
PHONE: 713-961-3877

A-02

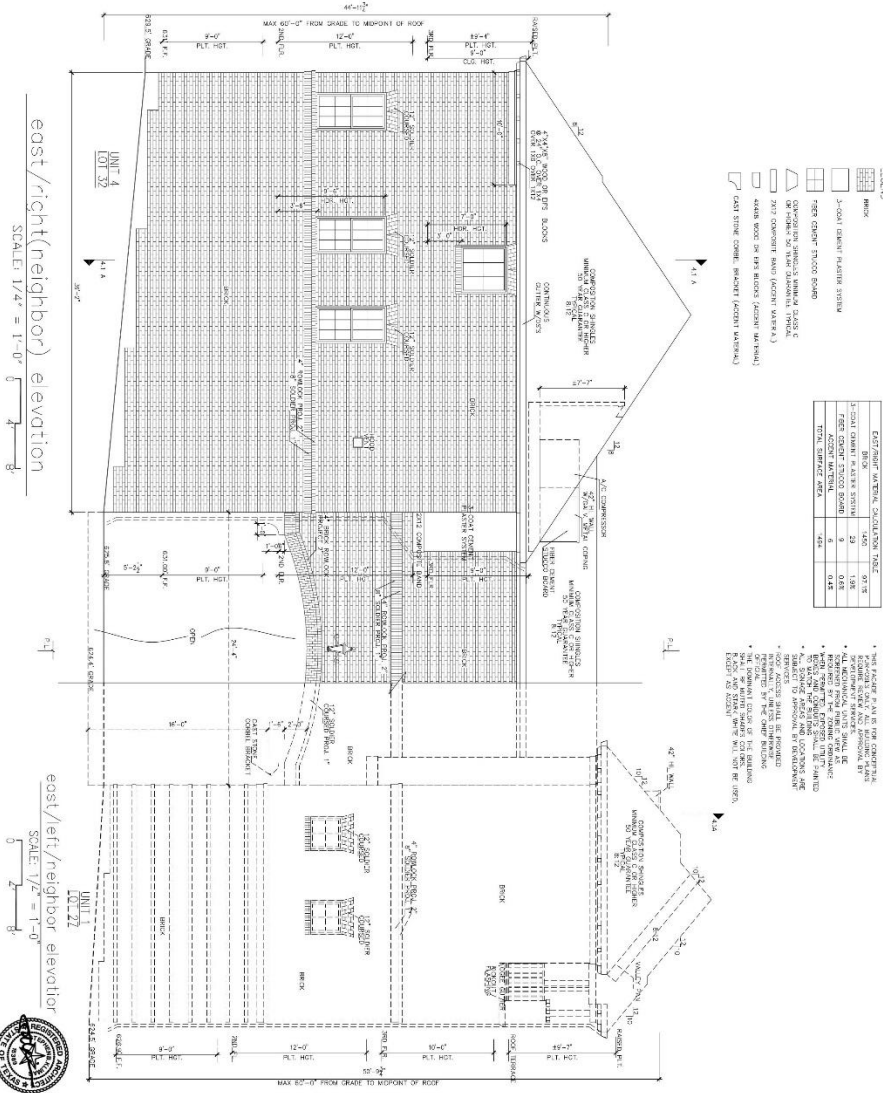
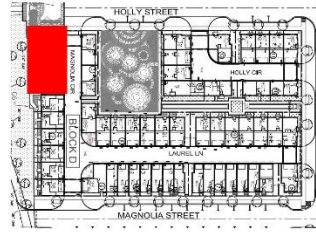
ADDISON GROVE-BLOCK D-BUILDING
NORTH/REAR ELEVATION

URBAN INTOWN HOMES, L.P.
2410 POLK ST., STE. 200, HOUSTON, TX 77003
(713)961-3877 TEL. (713)961-4270 FAX

Drawn By/Checked By: **E.C./E.M.**
Original Date Issued: **06/03/2022**
Scale: **1/4" = 1'-0"**
Last Update: **06/03/2022**

Exhibit A

Town Project #: 1833-Z



URBAN INTOWN HOMES
 2410 POLK ST., STE 200, HOUSTON, TX 77003
 PHONE: 713-961-3877

	ADDISON GROVE-BLOCK D-BUILDING EAST/RIGHT ELEVATIONS	URBAN INTOWN HOMES, Ltd. 2410 POLK ST., STE 200, HOUSTON, TX 77003 (713)961-3877 TEL. (713)961-4270 FAX	Drawn By/Checked By: F.C./T.M. Original Date Issued: 06/02/2021 Scale: 1/4" = 1'-0" Last Update: 06/03/2022
A-03			

Exhibit A

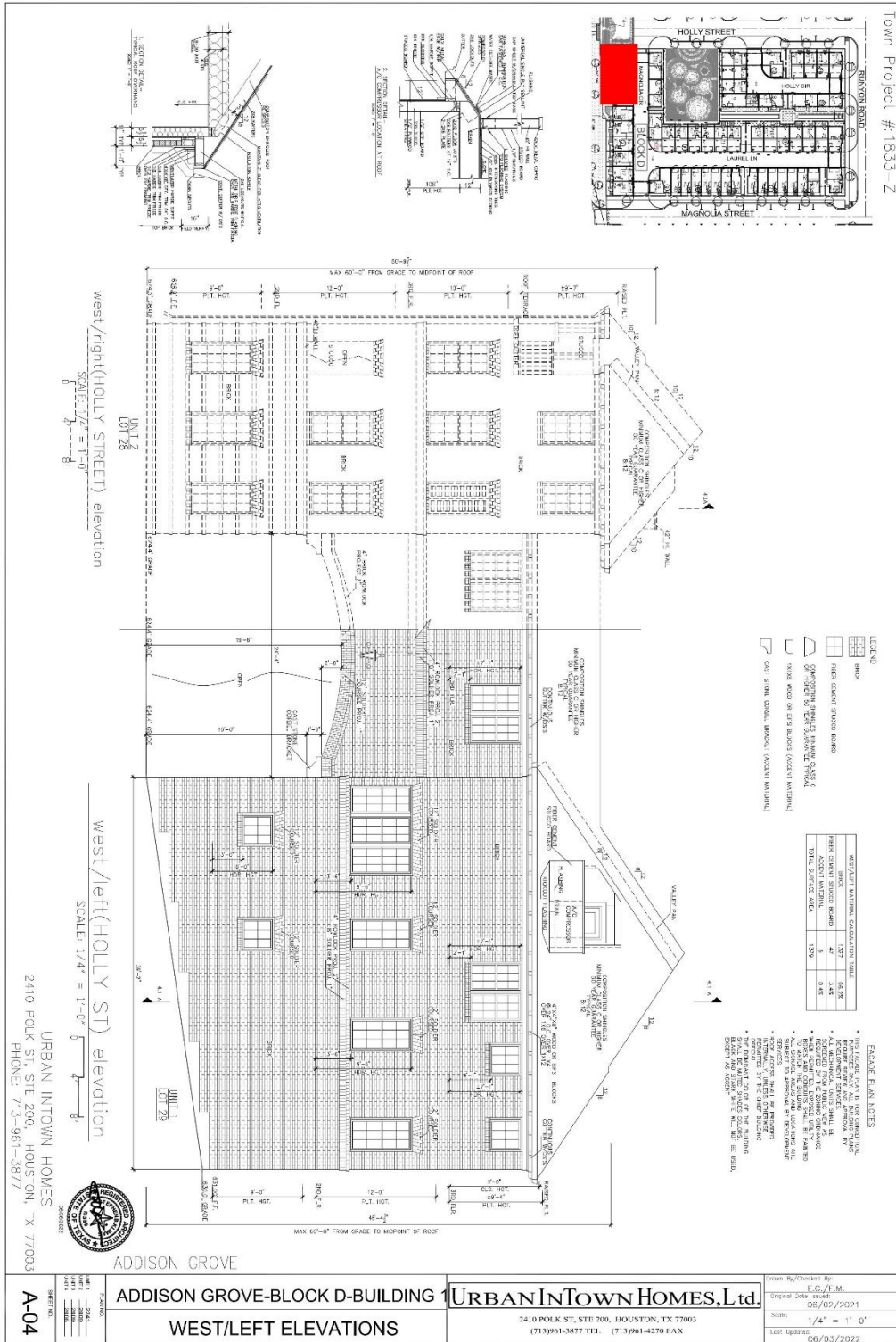


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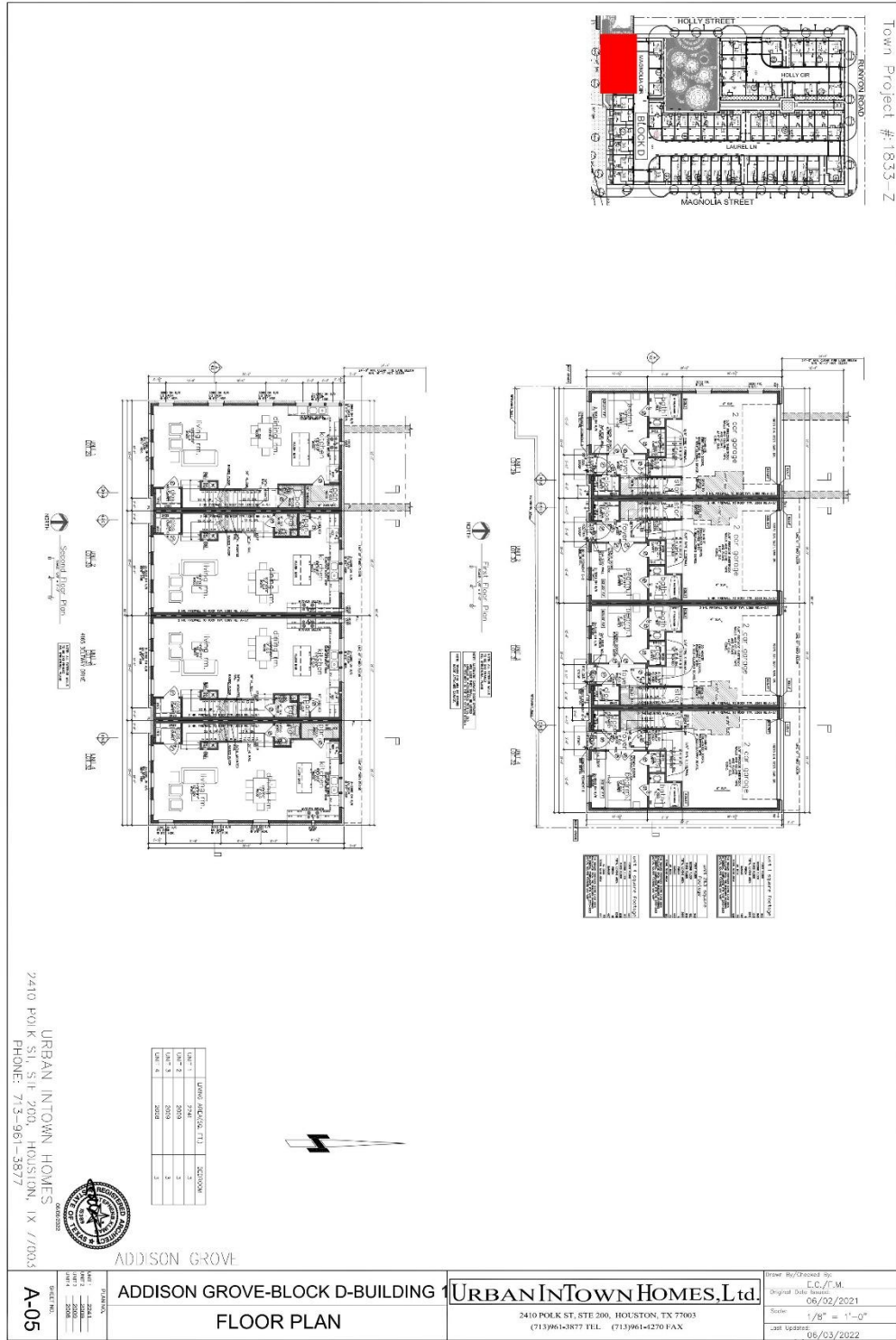


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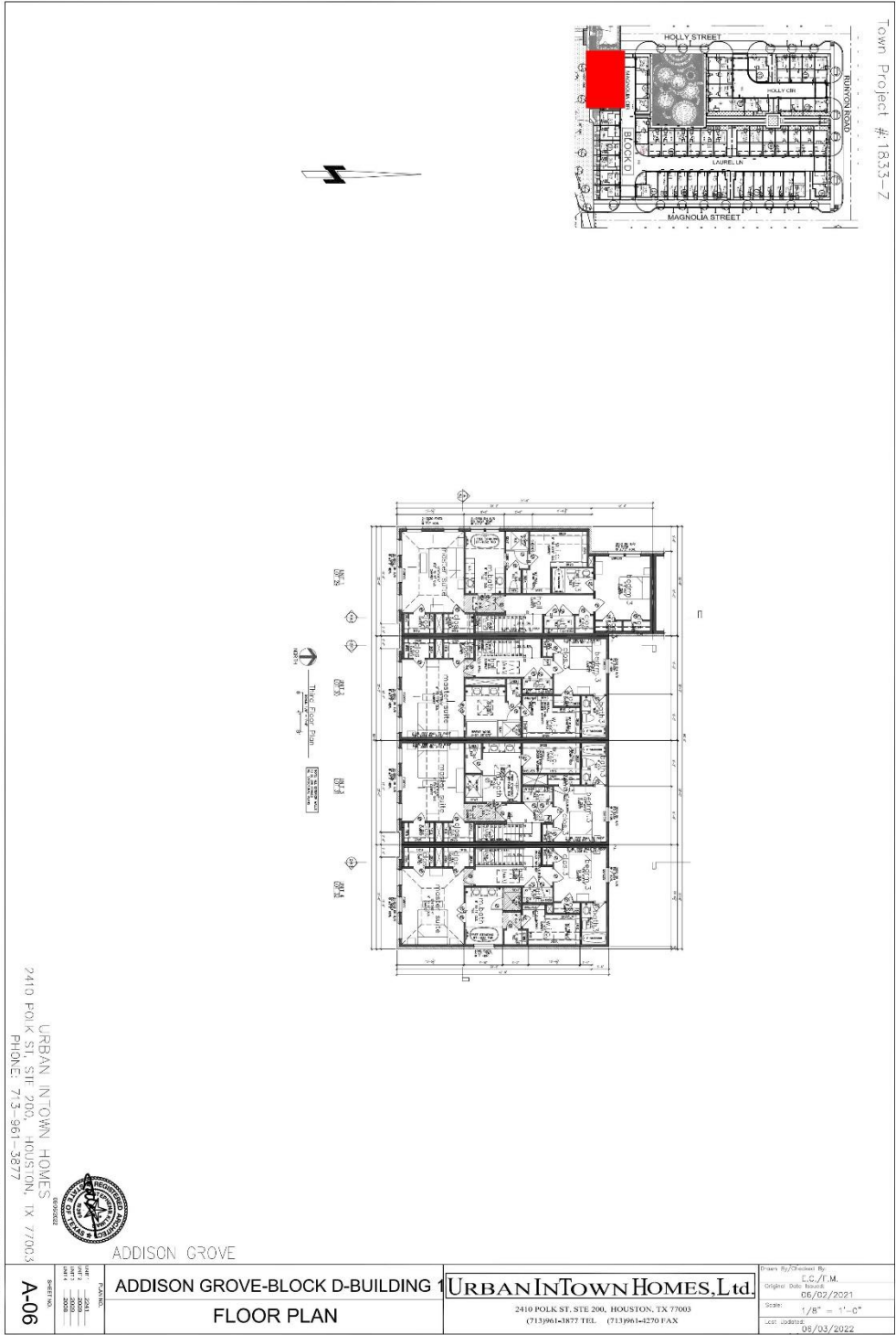


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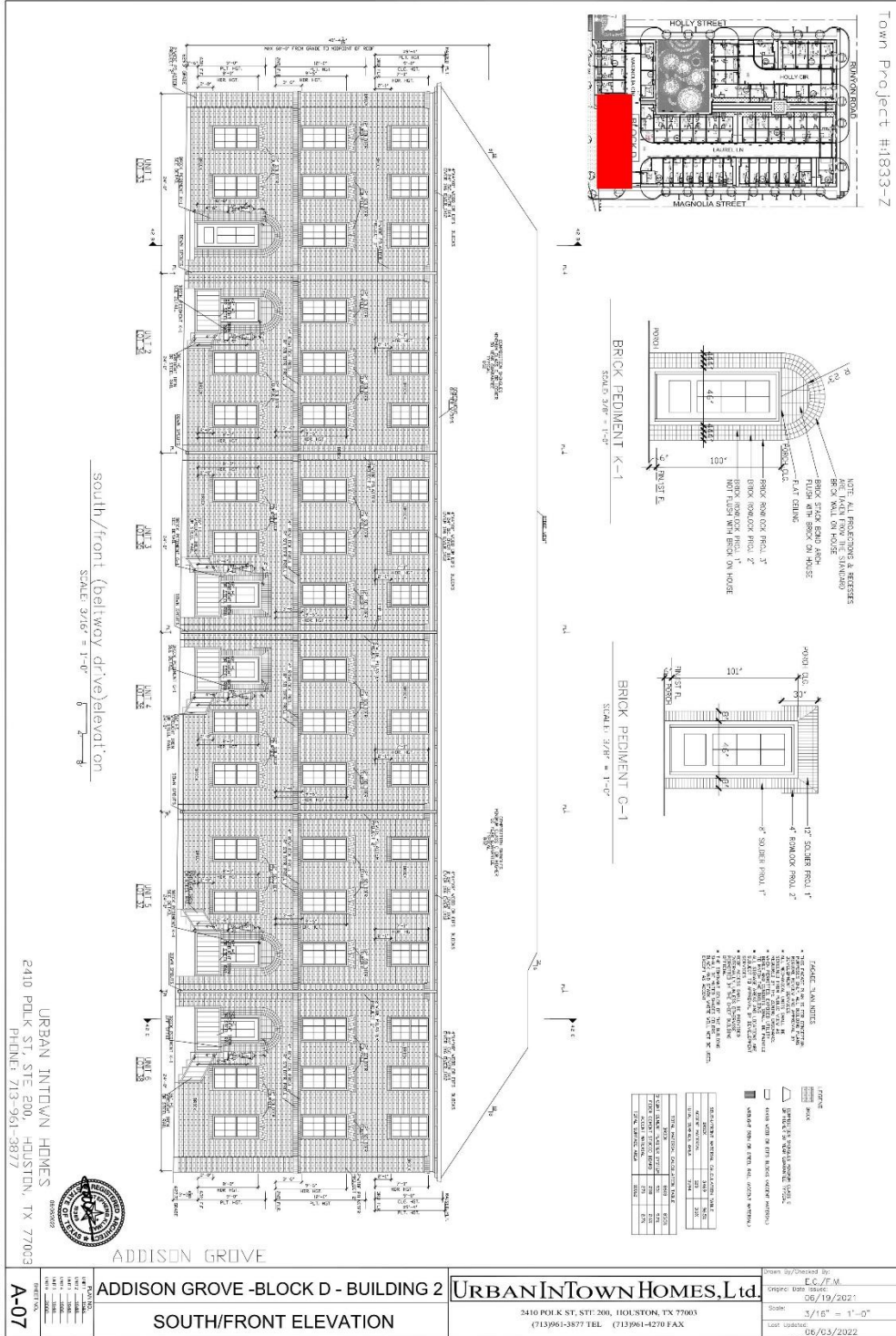


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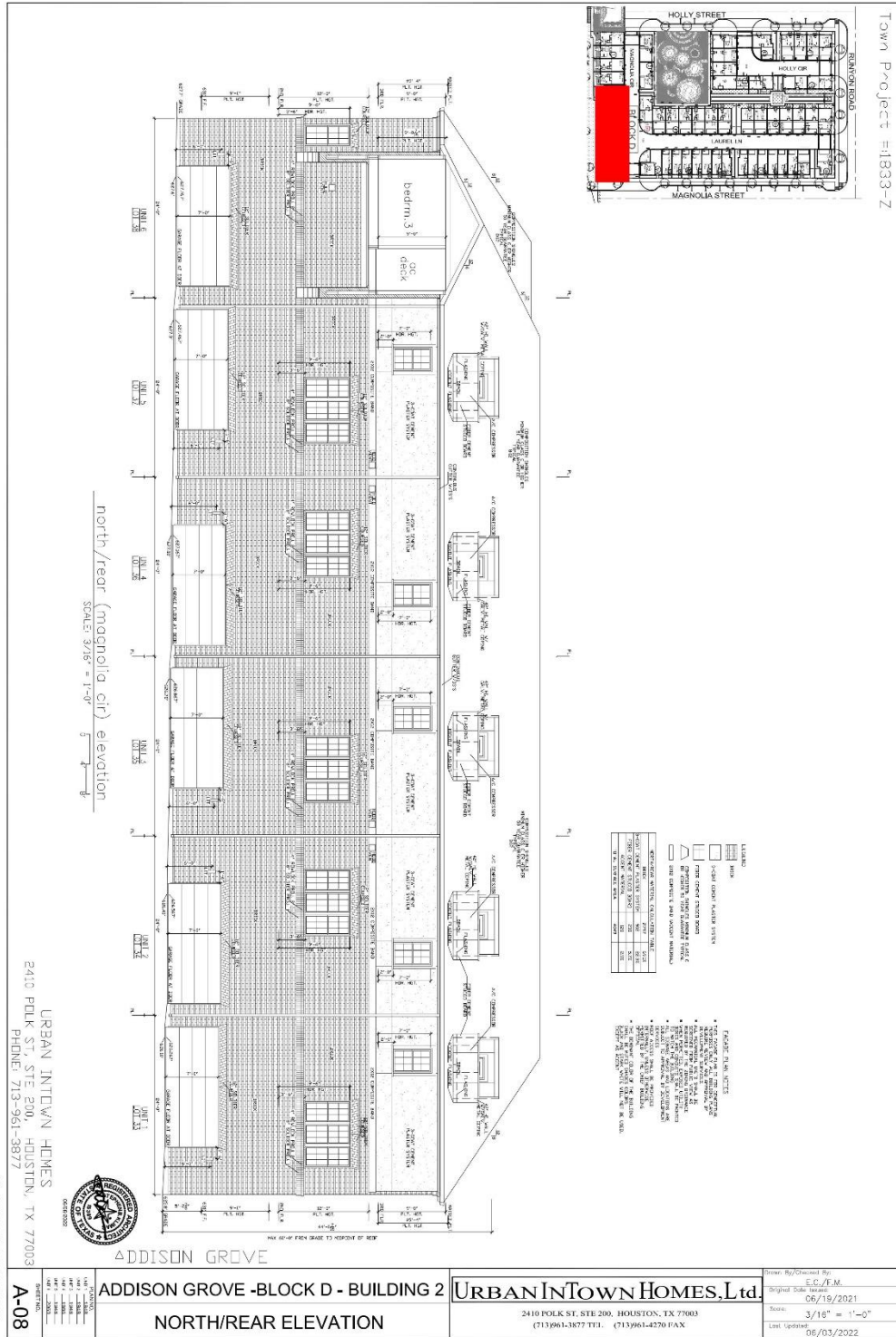


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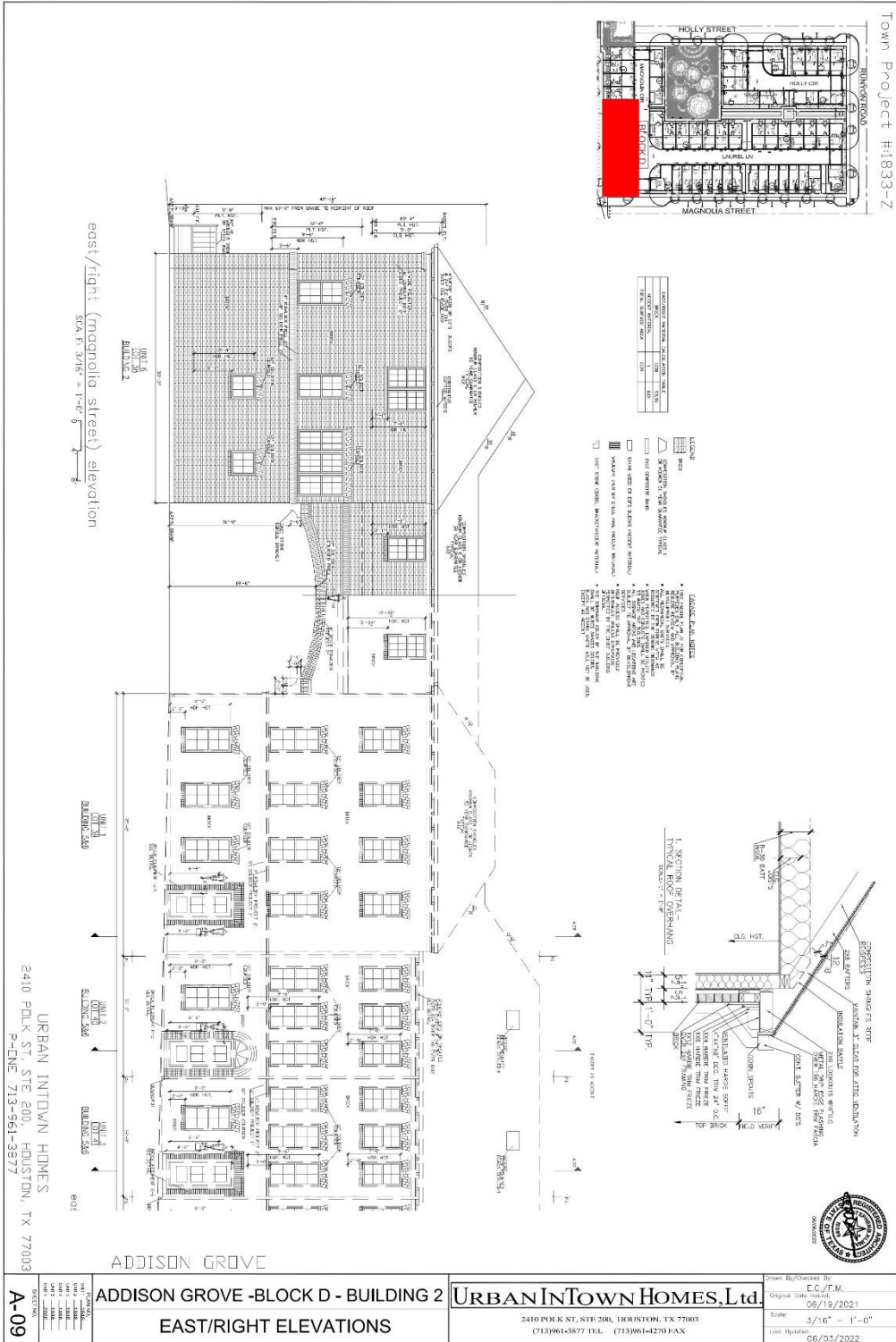


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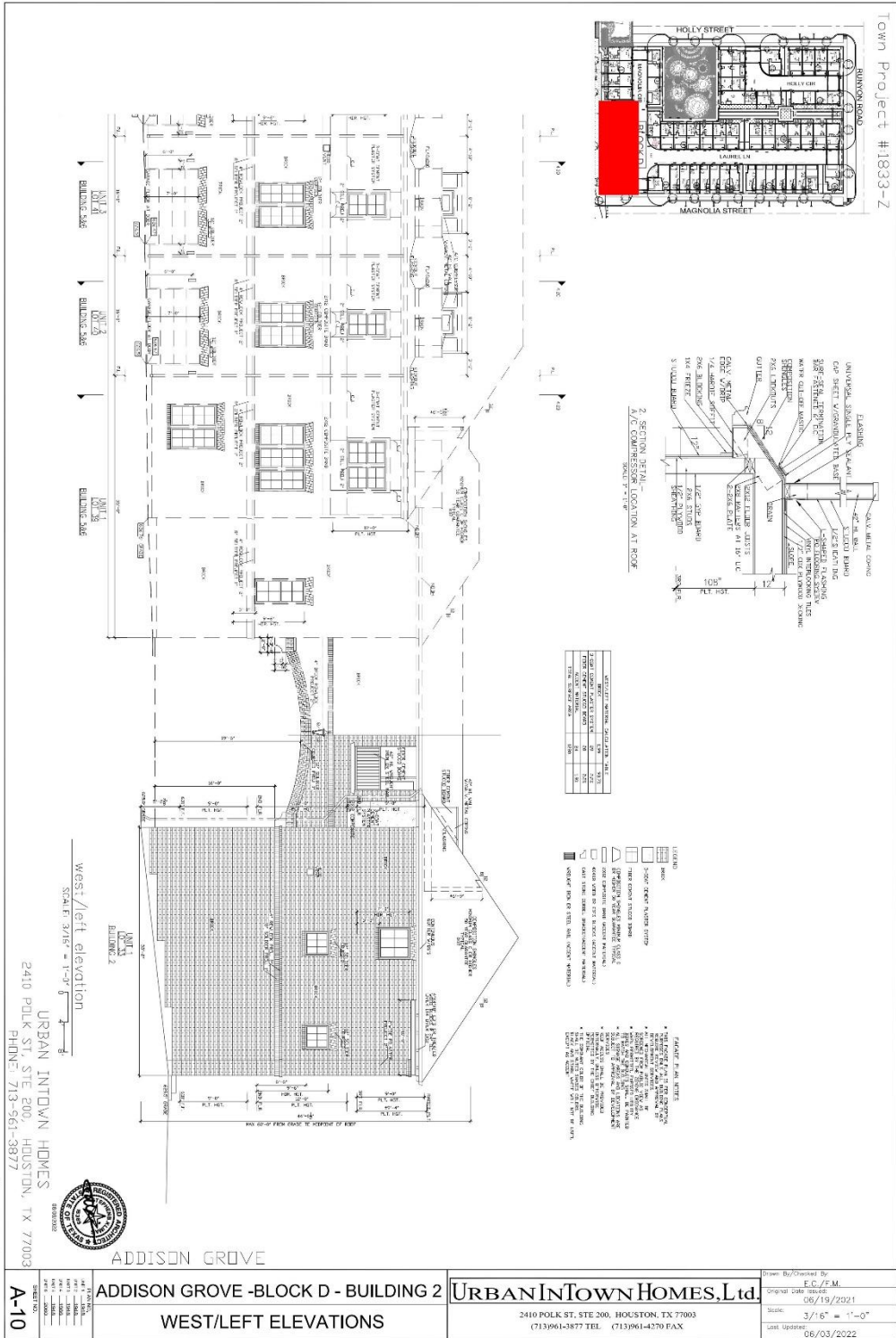


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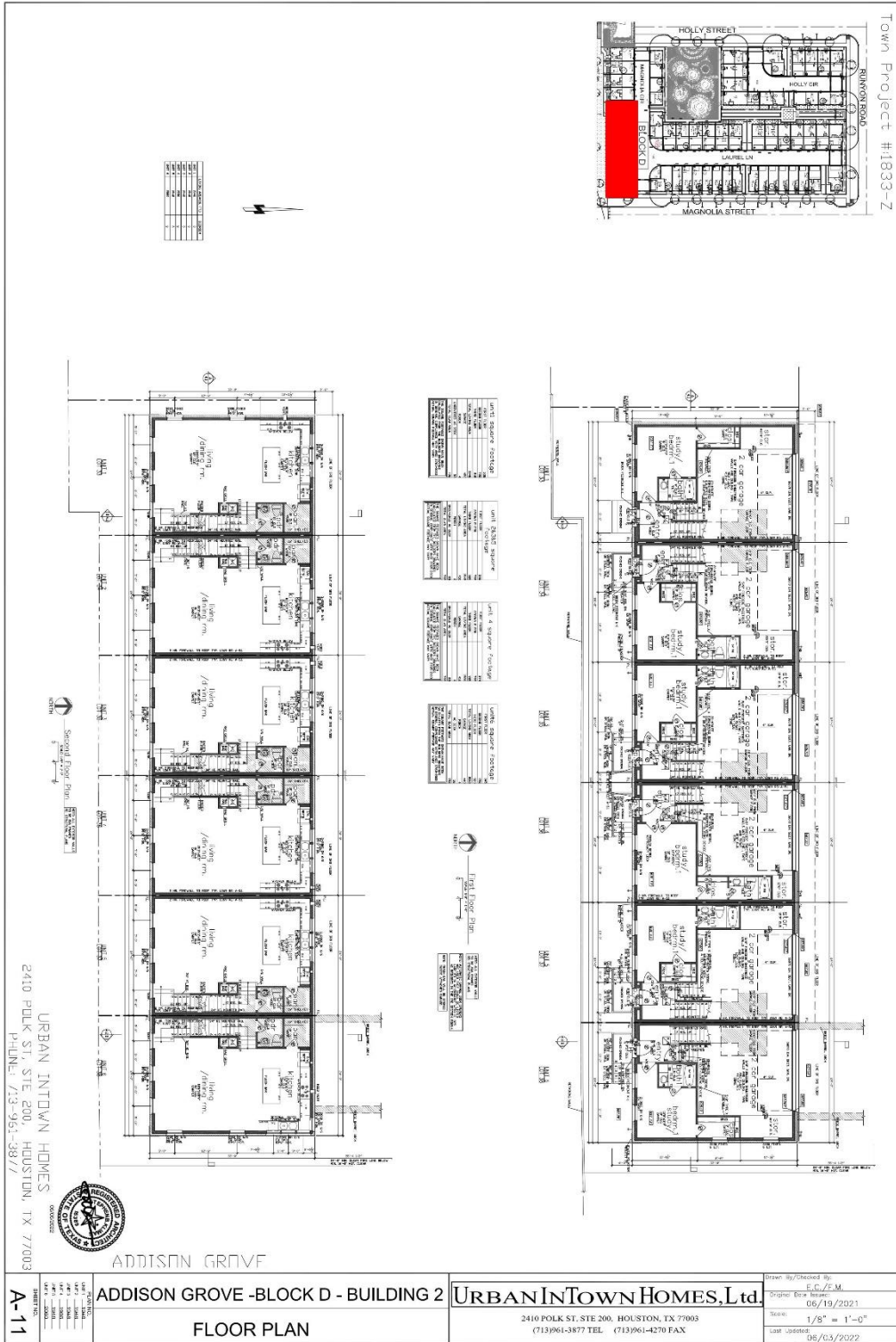


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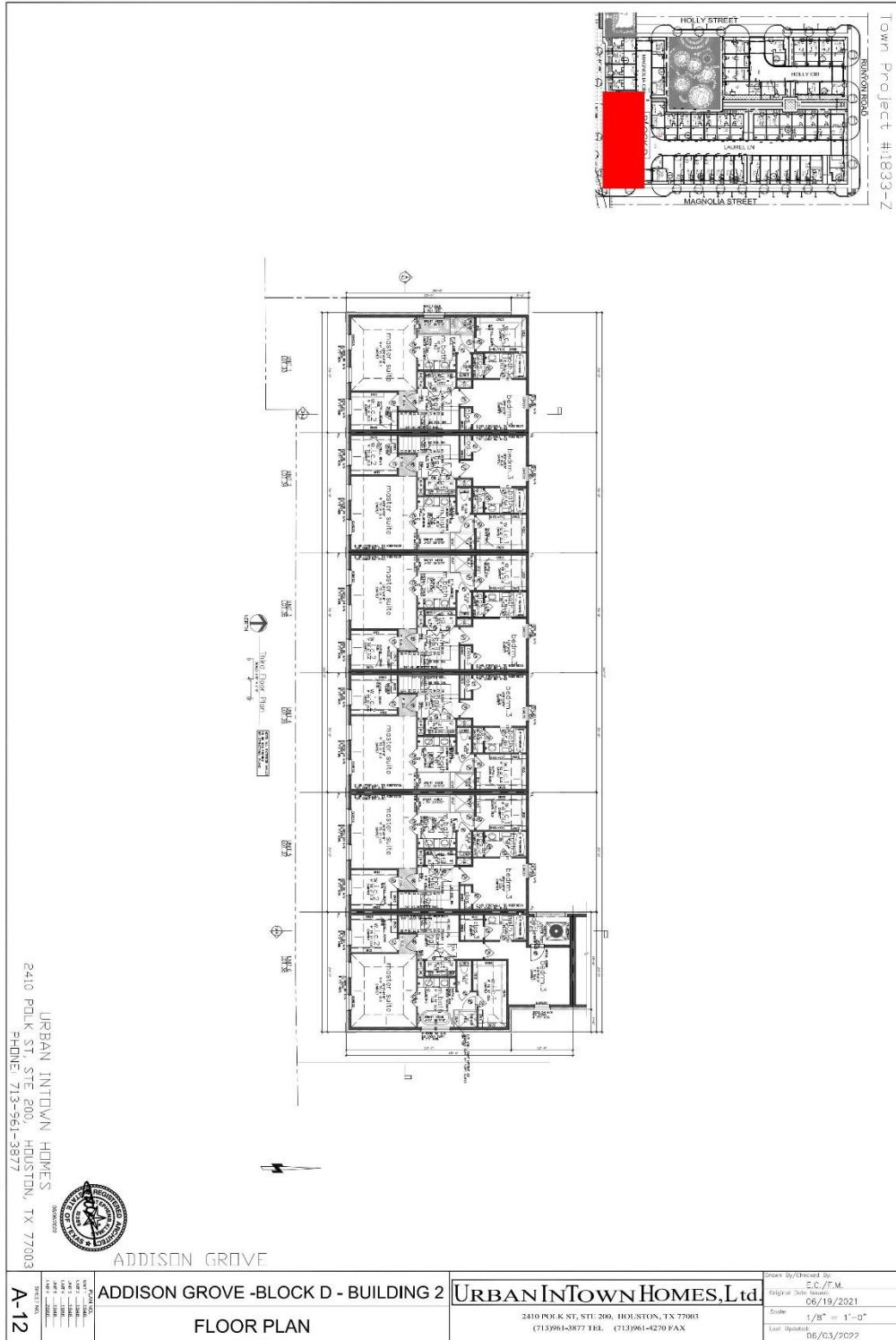


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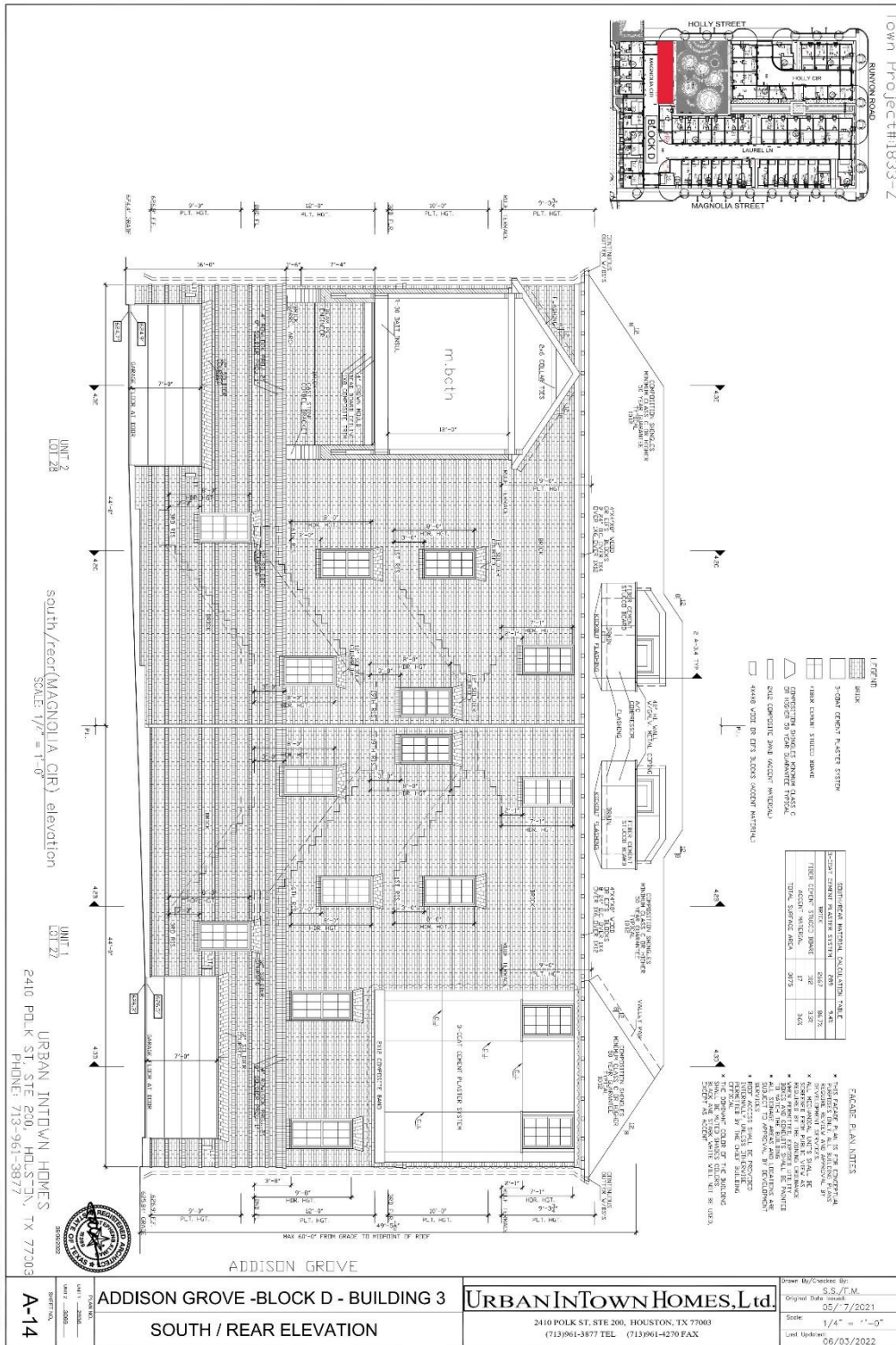


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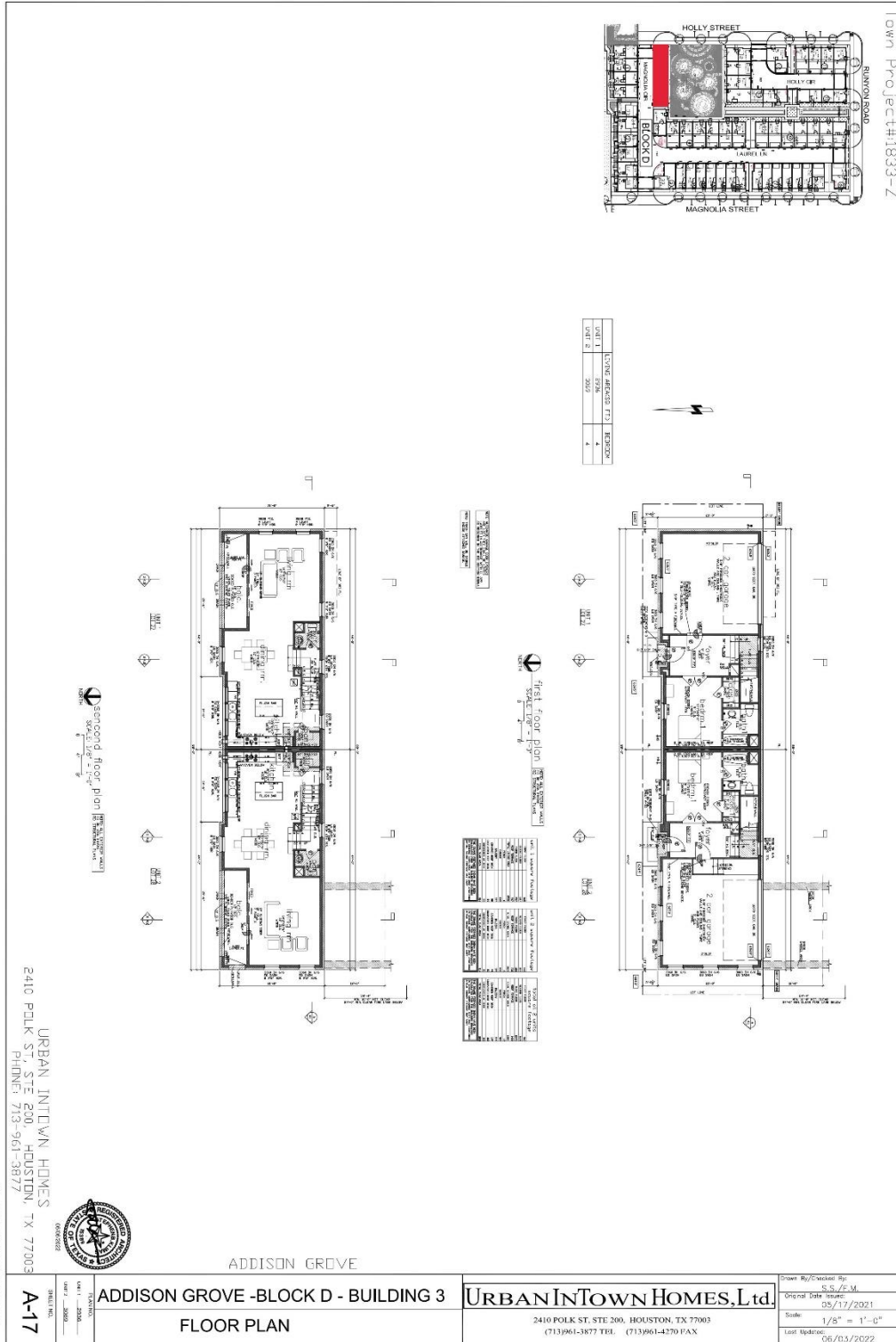


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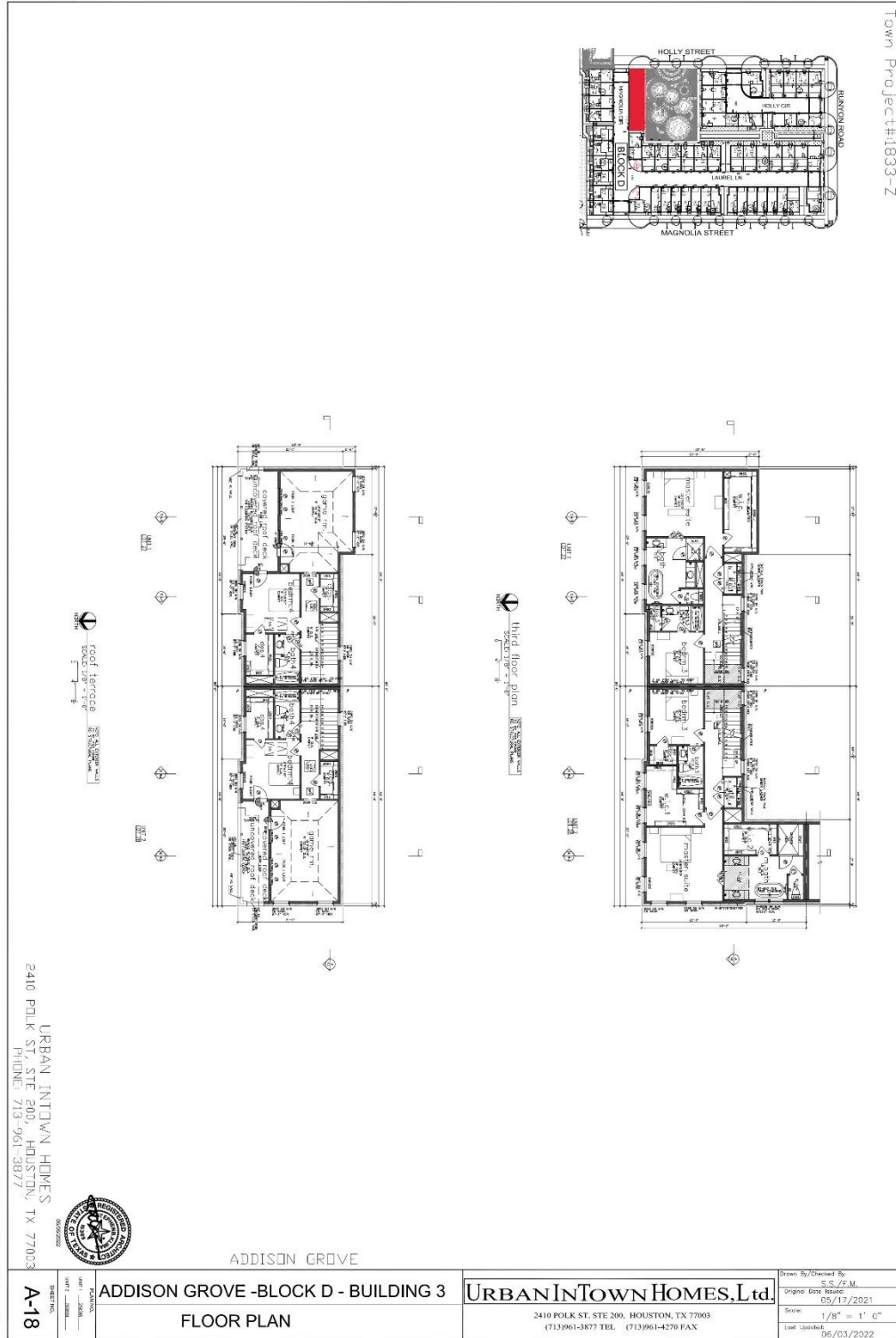


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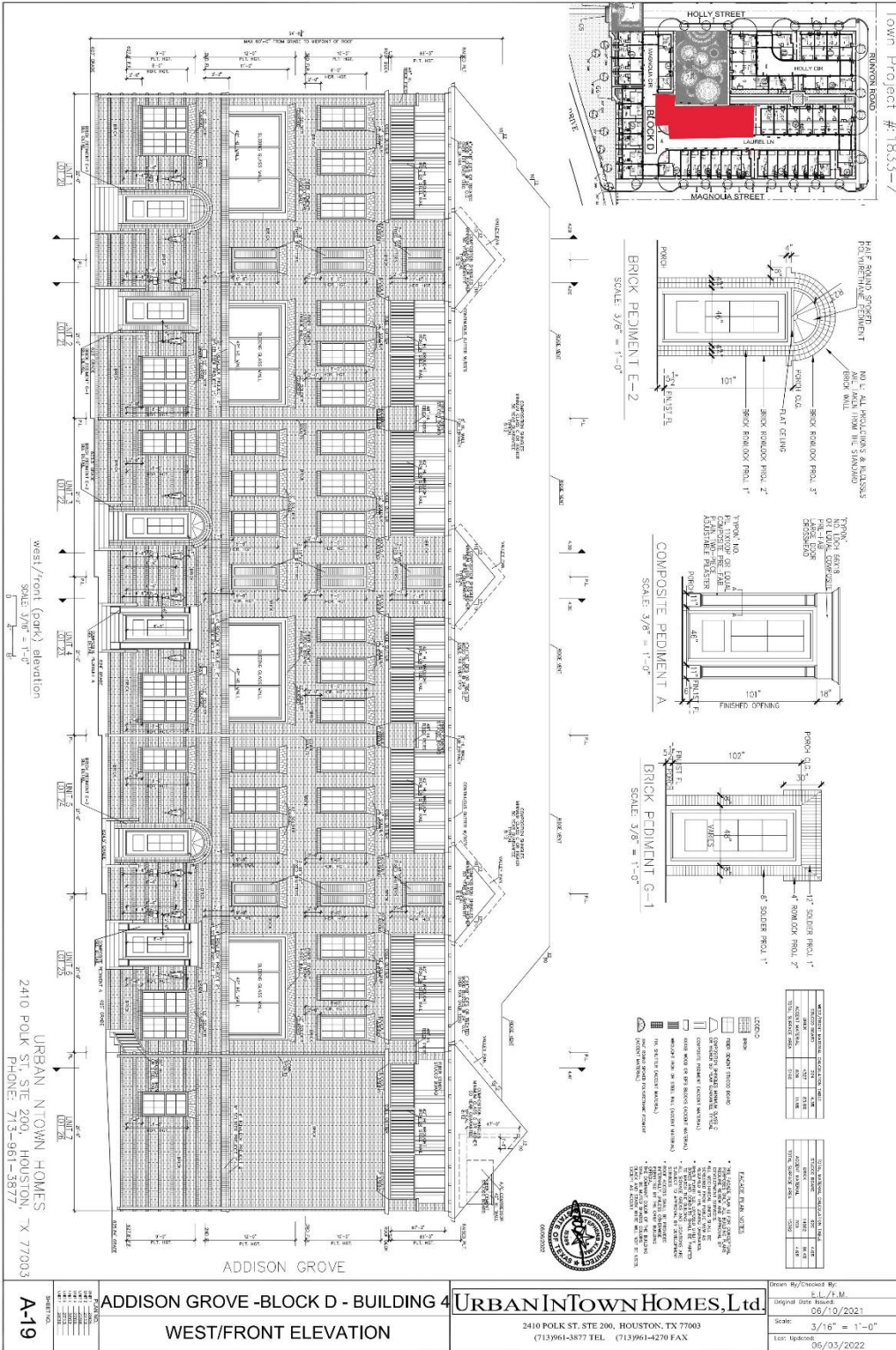


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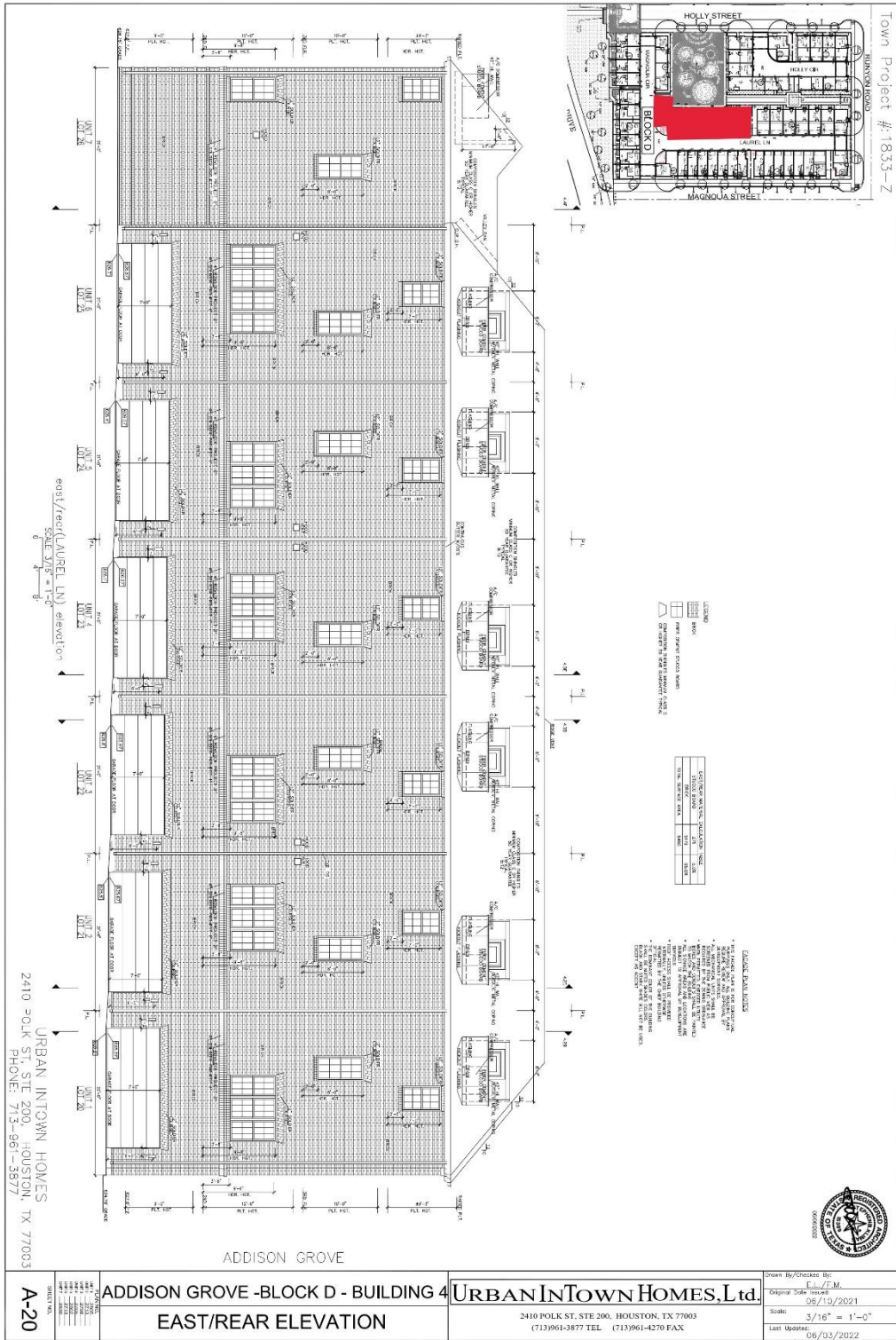


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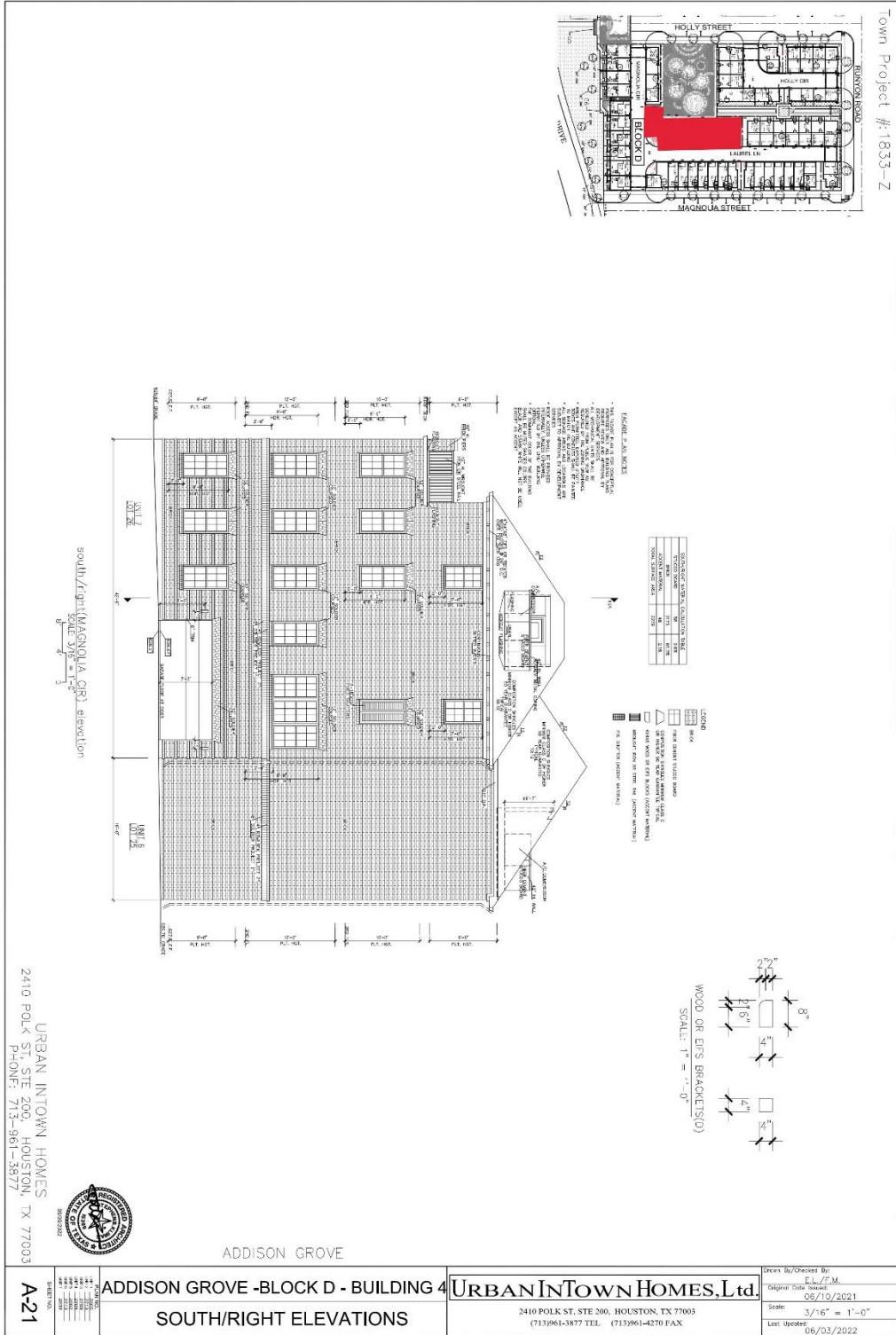


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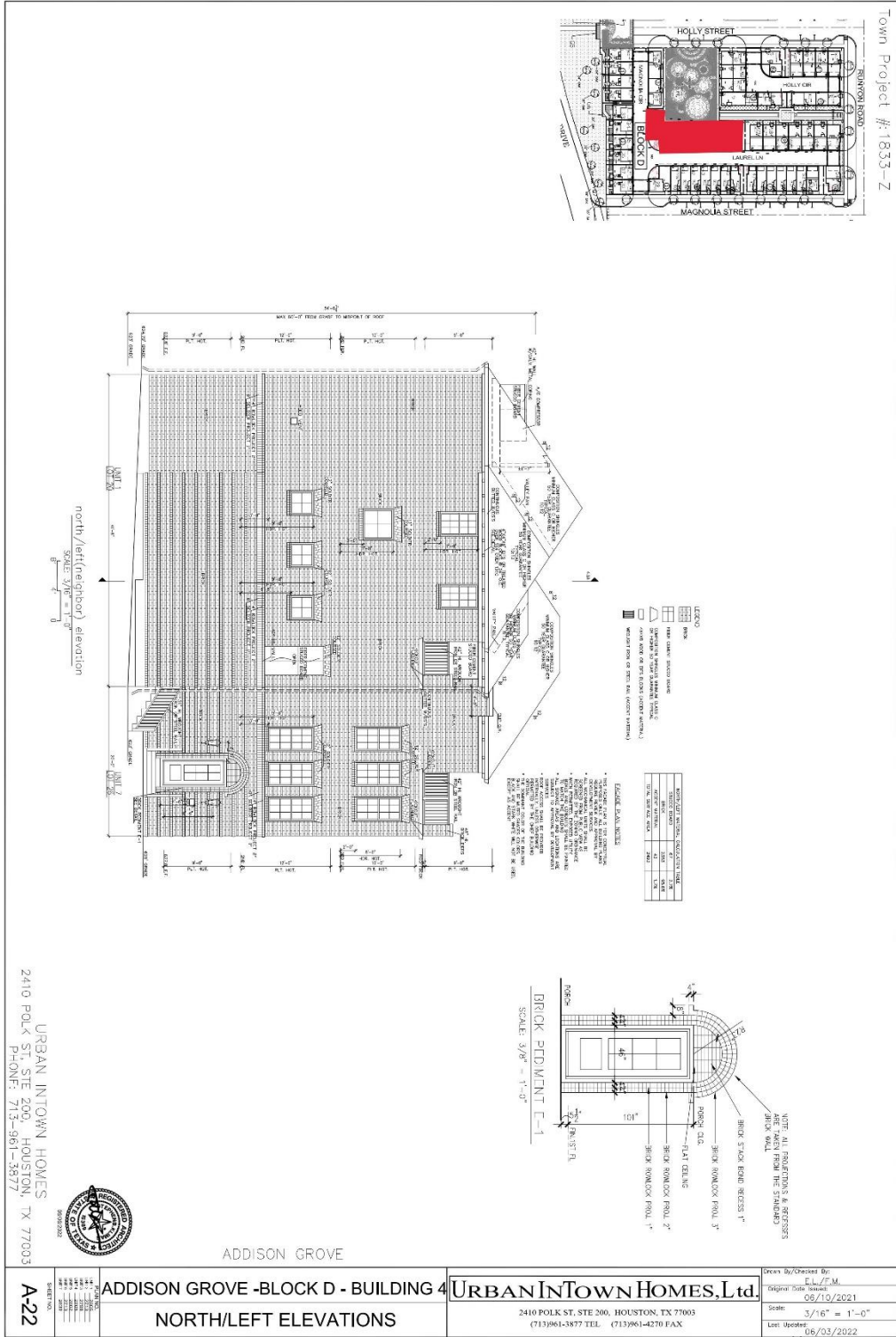


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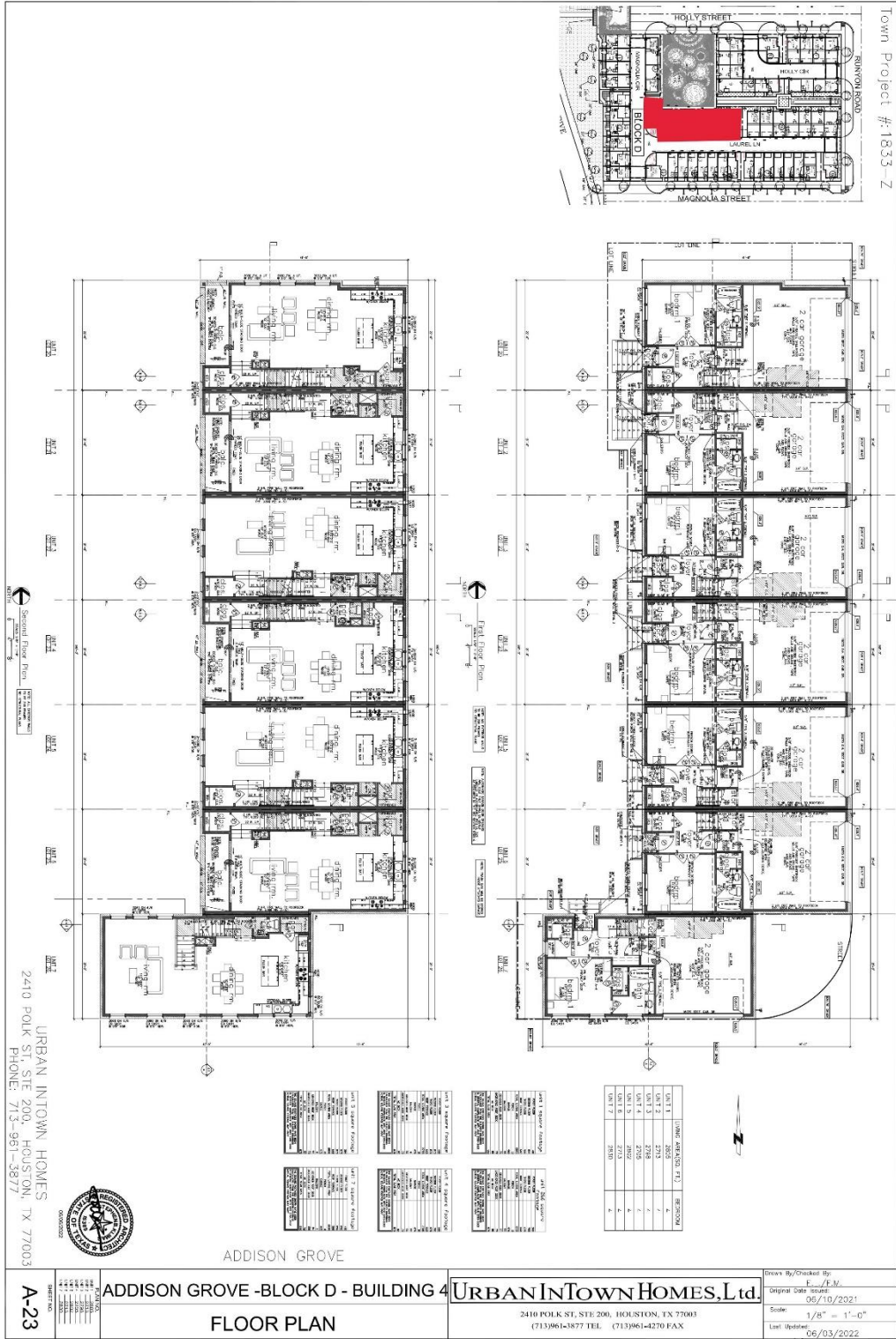


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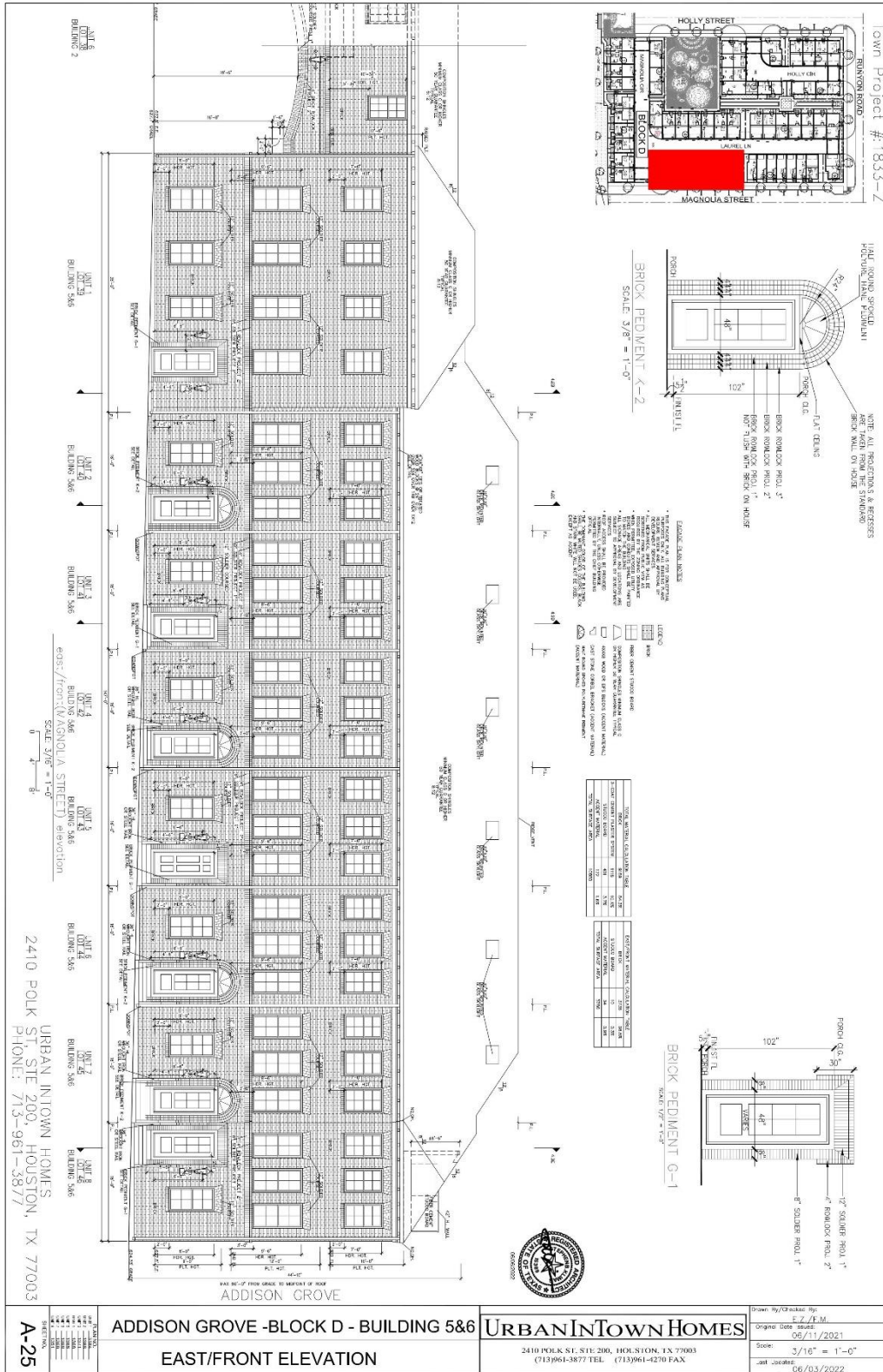
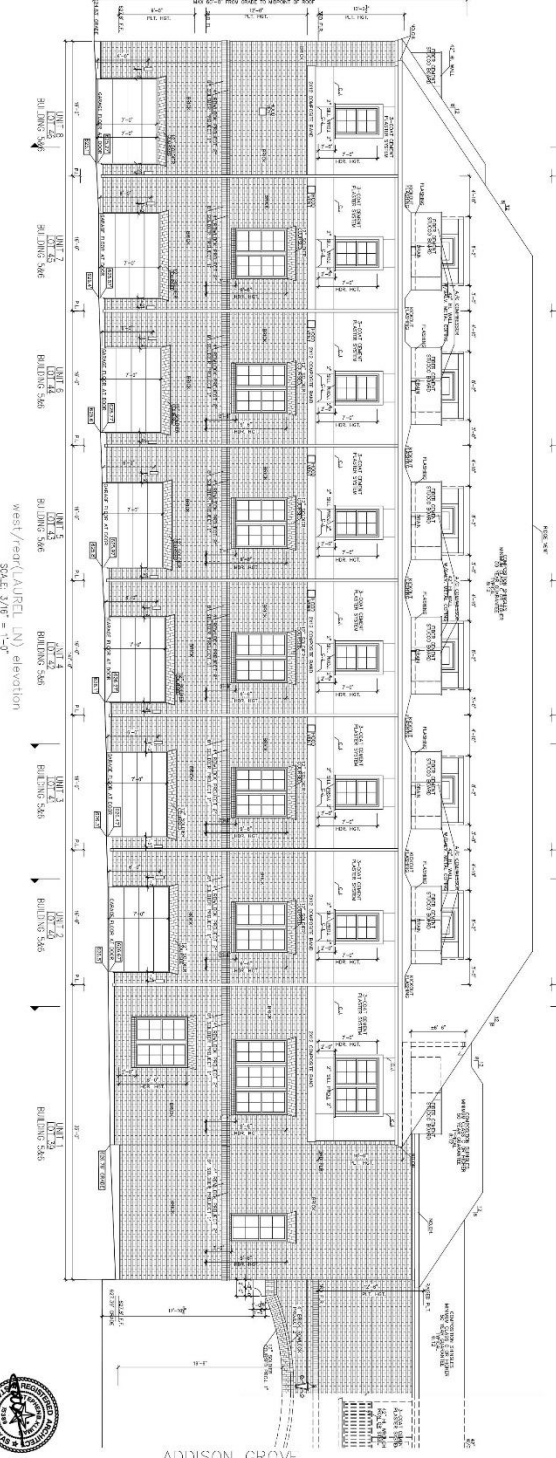
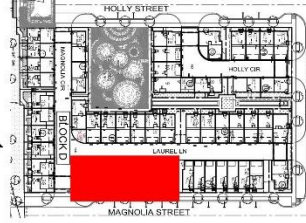


Exhibit A

Town Project #: 1833-Z



West/Rear (LAUREL LN) elevation
SCALE 3/16" = 1'-0"

URBAN INTOWN HOMES
2410 POLK ST. SITE 200 HOUSTON, TX 77003
PHONE: 713-961-3877

© OLIVER PLAN CORPORATION 2022

- LEGEND**
- 1.00 BRICK
 - 1.01 BRICK WITH FISHSCALE STAIR
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 - 2.00 BRICK WITH FISHSCALE STAIR

ITEM	DESCRIPTION	QTY	UNIT
1	BRICK	1000	SQ YD
2	CONCRETE	100	CY
3	CEMENT	100	TON
4	STEEL	100	LB
5	WOOD	100	CU YD
6	GLASS	100	SQ FT
7	PAINT	100	GA
8	ROOFING	100	SQ FT
9	MECHANICAL	100	HR
10	ELECTRICAL	100	HR
11	PLUMBING	100	HR
12	LANDSCAPE	100	HR
13	CONCRETE	100	CY
14	CEMENT	100	TON
15	STEEL	100	LB
16	WOOD	100	CU YD
17	GLASS	100	SQ FT
18	PAINT	100	GA
19	ROOFING	100	SQ FT
20	MECHANICAL	100	HR
21	ELECTRICAL	100	HR
22	PLUMBING	100	HR
23	LANDSCAPE	100	HR

ADDISON GROVE - BLOCK D - BUILDING 5&6
WEST/REAR ELEVATION

URBAN INTOWN HOMES
2410 POLK ST. SITE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn by/Checked by: **E.Z.F.M.**
Original Date: **06/11/2021**
Scale: **3/16" = 1'-0"**
Last Updated: **06/03/2022**

Exhibit A

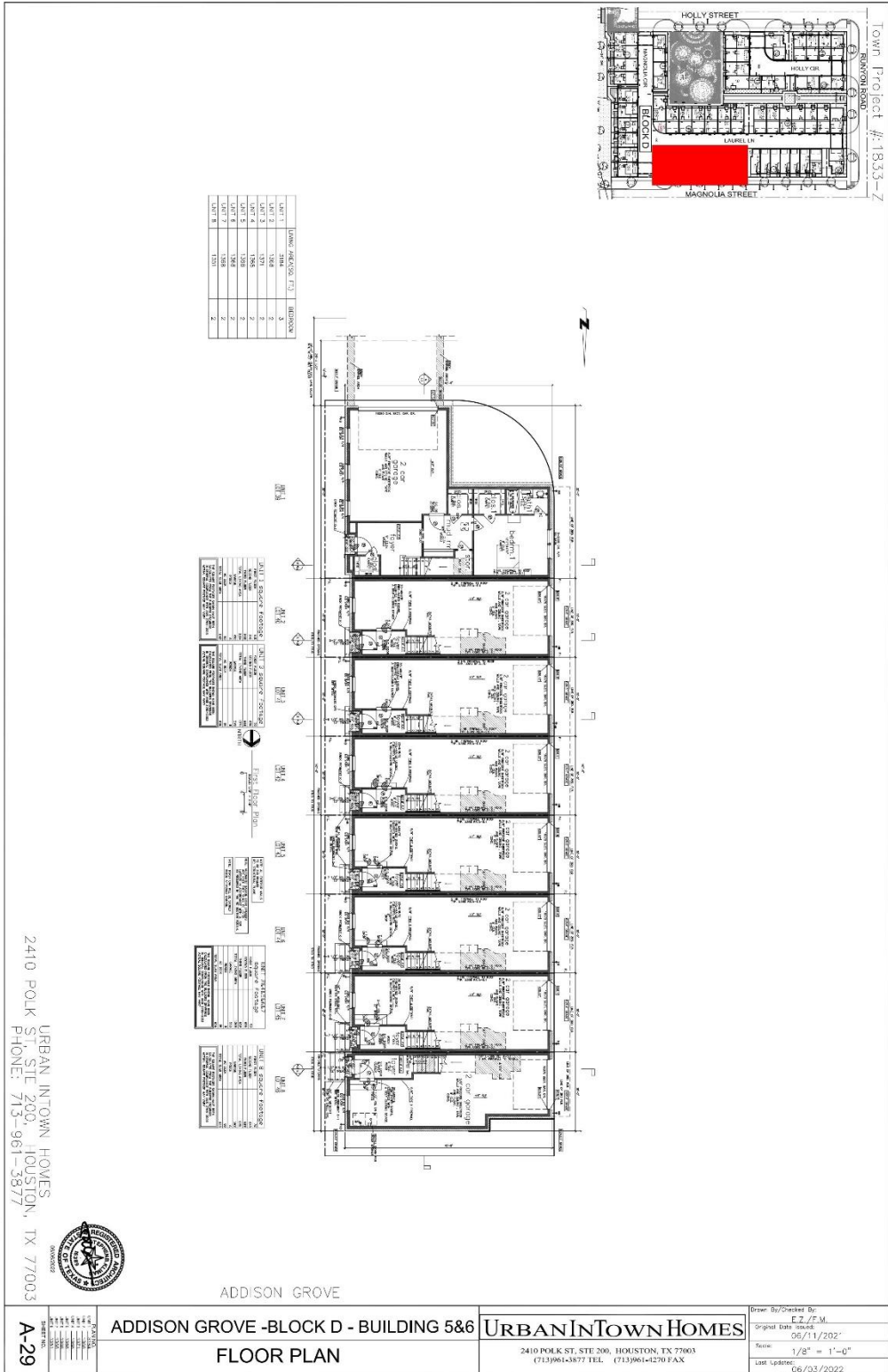


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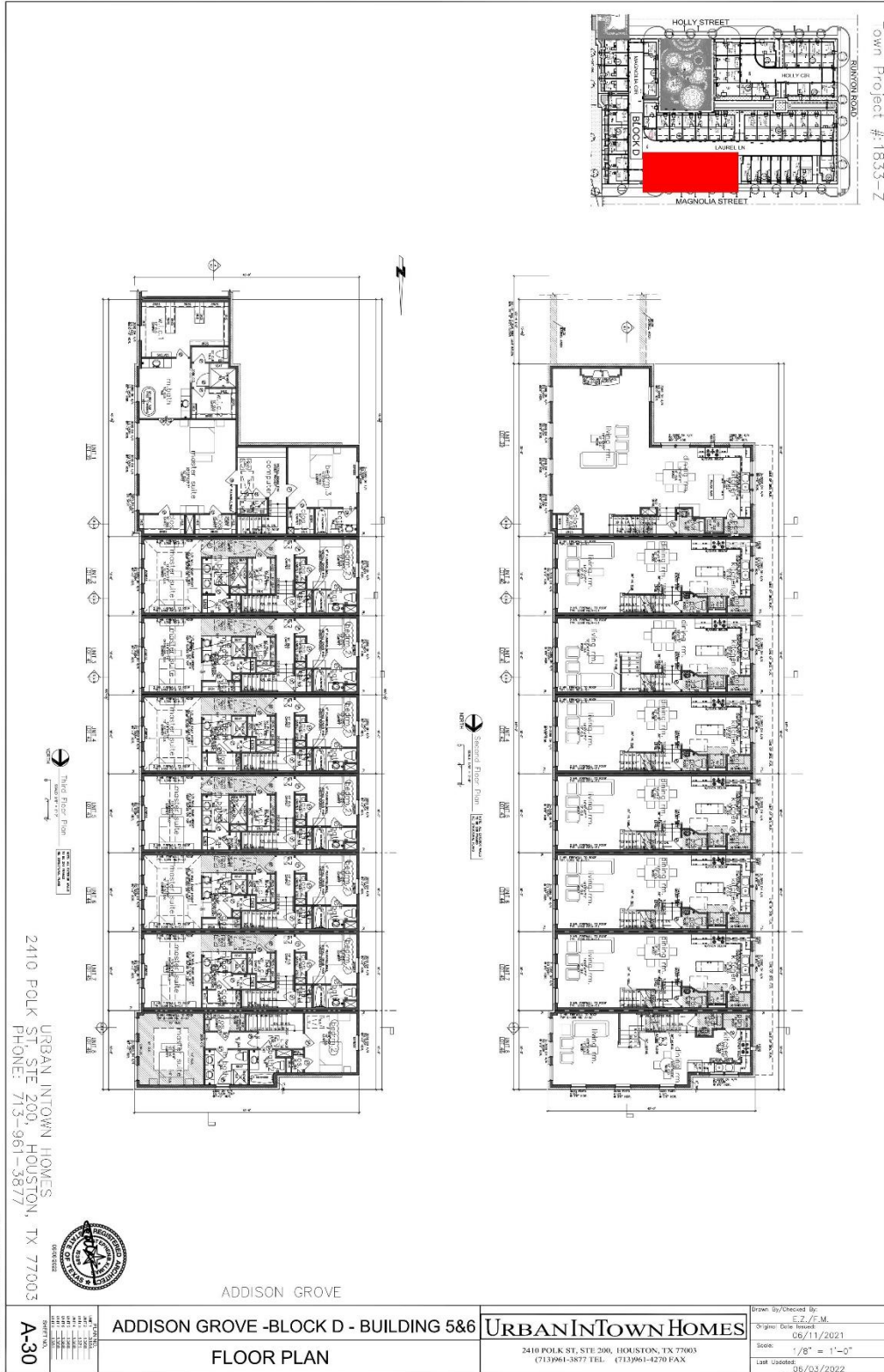


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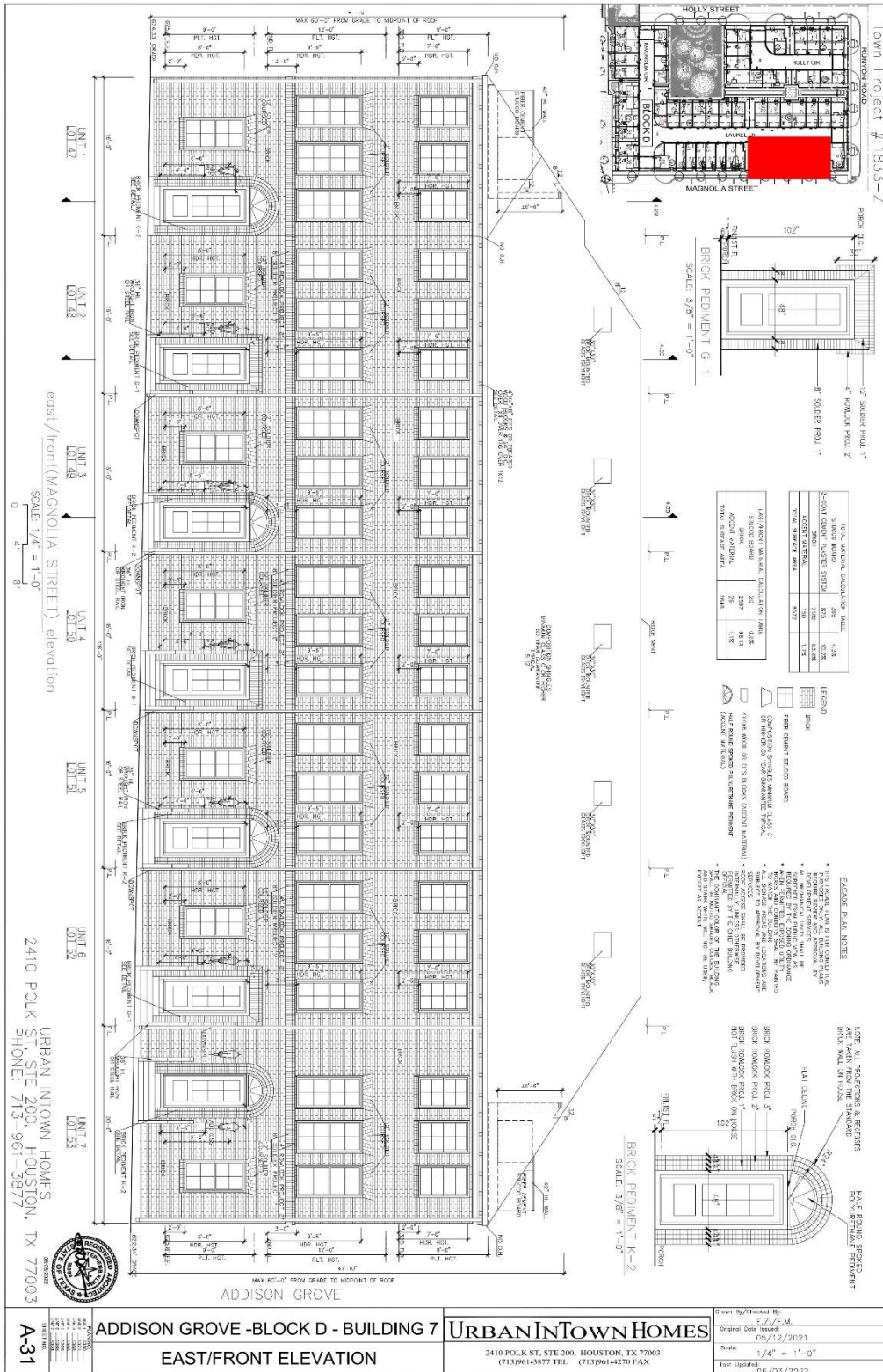
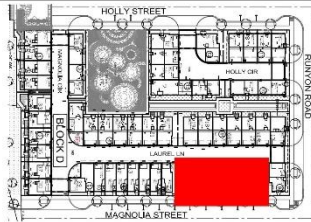
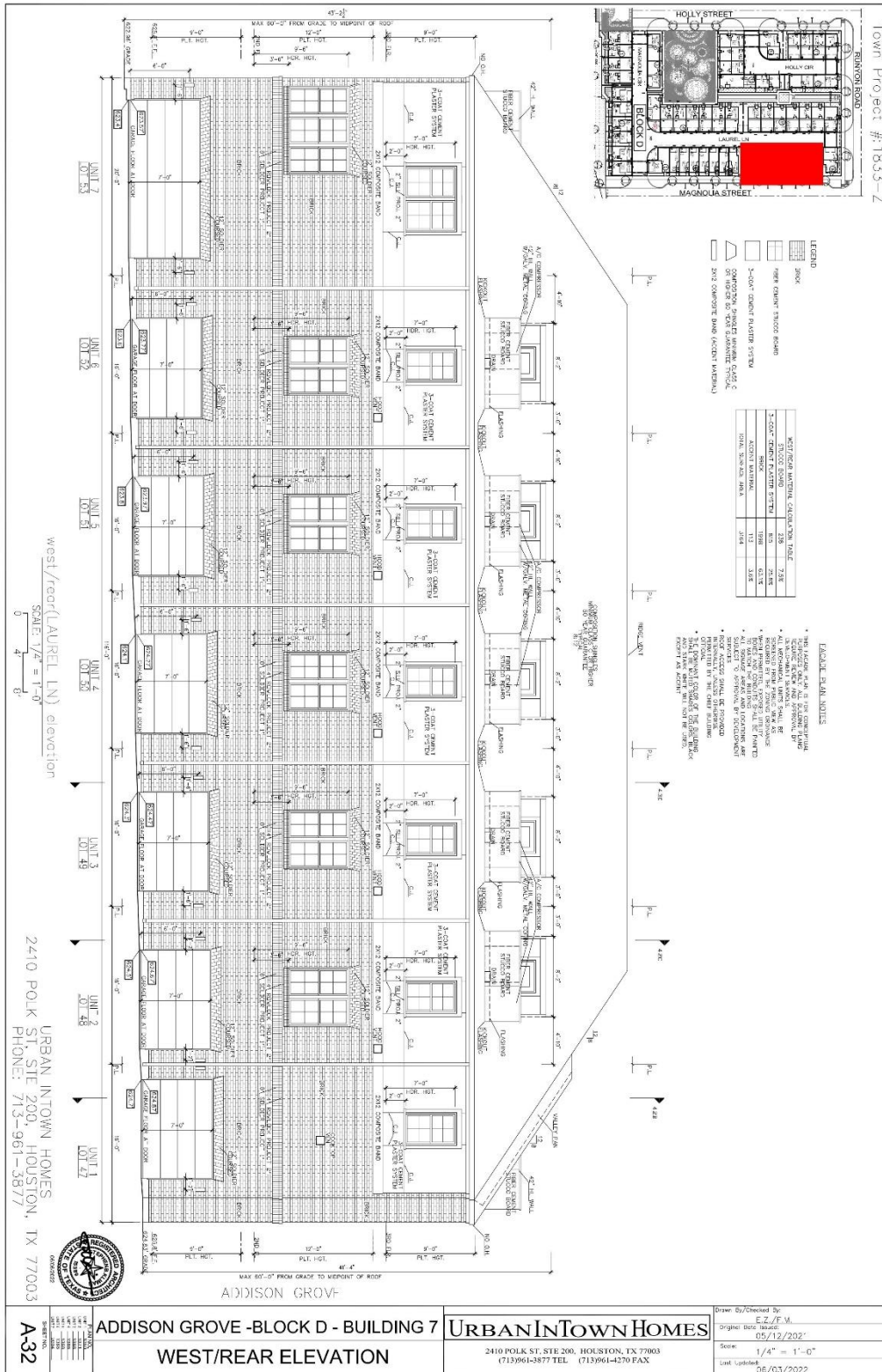


Exhibit A



Town Project #1833-Z

LEGEND

[Symbol]	BRICK
[Symbol]	3'-0\"/>
[Symbol]	2'-0\"/>
[Symbol]	2'-0\"/>

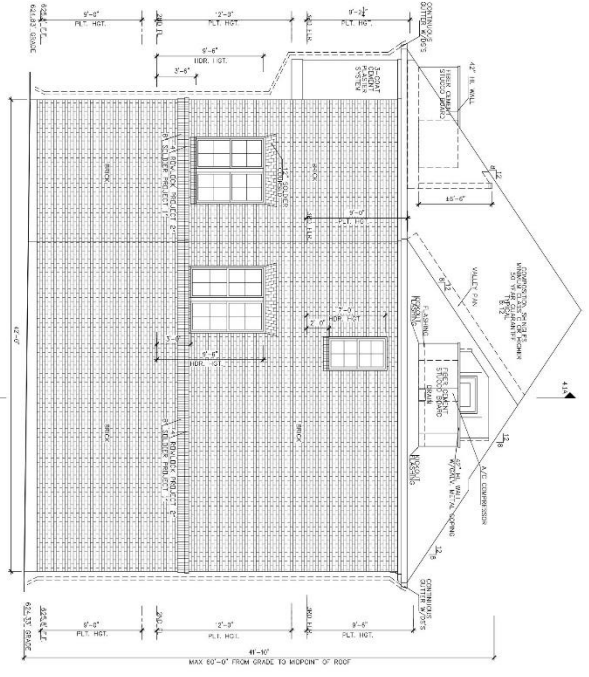
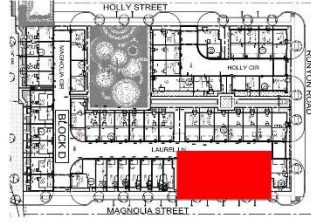
NOTED MATERIAL	QUANTITY	UNIT
3'-0\"/>		
2'-0\"/>		
2'-0\"/>		

- FACILE SHDN. NOTES**
- THE FACILE SHDN. IS FOR CONSTRUCTION PURPOSES ONLY AND SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
 - ALL DIMENSIONS UNLESS SHOWN OTHERWISE SHALL BE TO FACE UNLESS NOTED OTHERWISE.
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<p>ADDISON GROVE - BLOCK D - BUILDING 7</p> <p>WEST/REAR ELEVATION</p>	<p>URBANTOWN HOMES</p> <p>2410 POLK ST. STE 200, HOUSTON, TX 77003 (713)961-3877 TEL. (713)961-4270 FAX</p>	<p>Drawn By/Checked By: F.Z.F.M.</p> <p>Original Issue Date: 05/12/2021</p> <p>Scale: 1/4" = 1'-0"</p> <p>Last Updated: 06/03/2022</p>
<p>A-32</p>	<p>URBAN INTOWN HOMES 2410 POLK ST. STE 200, HOUSTON, TX 77003 PHONE: 713-961-3877</p>	

Exhibit A

Town Project #1833-Z

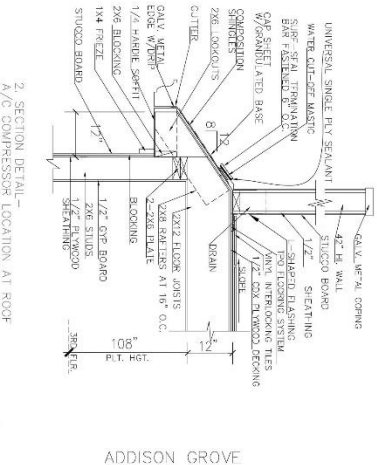
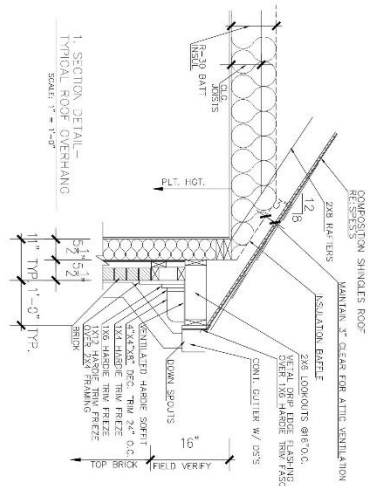


south/left(neighbor) elevation
SCALE 1/4" = 1'-0"

- FACADE PLAN NOTES**
- 1. THIS FACADE PLAN IS FOR CONFORMANCE WITH THE TOWN OF ADDISON ORDINANCE #1833-Z.
 - 2. ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE FACADE PLAN UNLESS OTHERWISE NOTED.
 - 3. THE FACADE PLAN SHALL BE SUBJECT TO APPROVAL BY THE TOWN ENGINEER.
 - 4. THE FACADE PLAN SHALL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
 - 5. THE FACADE PLAN SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT.
 - 6. THE FACADE PLAN SHALL BE SUBJECT TO APPROVAL BY THE OWNER.

ITEM	DESCRIPTION	QTY	UNIT
1	SMOKE EXHAUST SYSTEM	1	SYSTEM
2	SMOKE EXHAUST DUCT	1	DUCT
3	SMOKE EXHAUST CAP	1	CAP
4	SMOKE EXHAUST RISER	1	RISER
5	SMOKE EXHAUST DOWNSPOUT	1	DOWNSPOUT

- LEGEND**
- SMOKE EXHAUST SYSTEM
 - SMOKE EXHAUST DUCT
 - SMOKE EXHAUST CAP
 - SMOKE EXHAUST RISER
 - SMOKE EXHAUST DOWNSPOUT



URBAN INTOWN HOMES
2410 POLK ST., STE 200, HOUSTON, TX 77003
PHONE: 713-961-3877



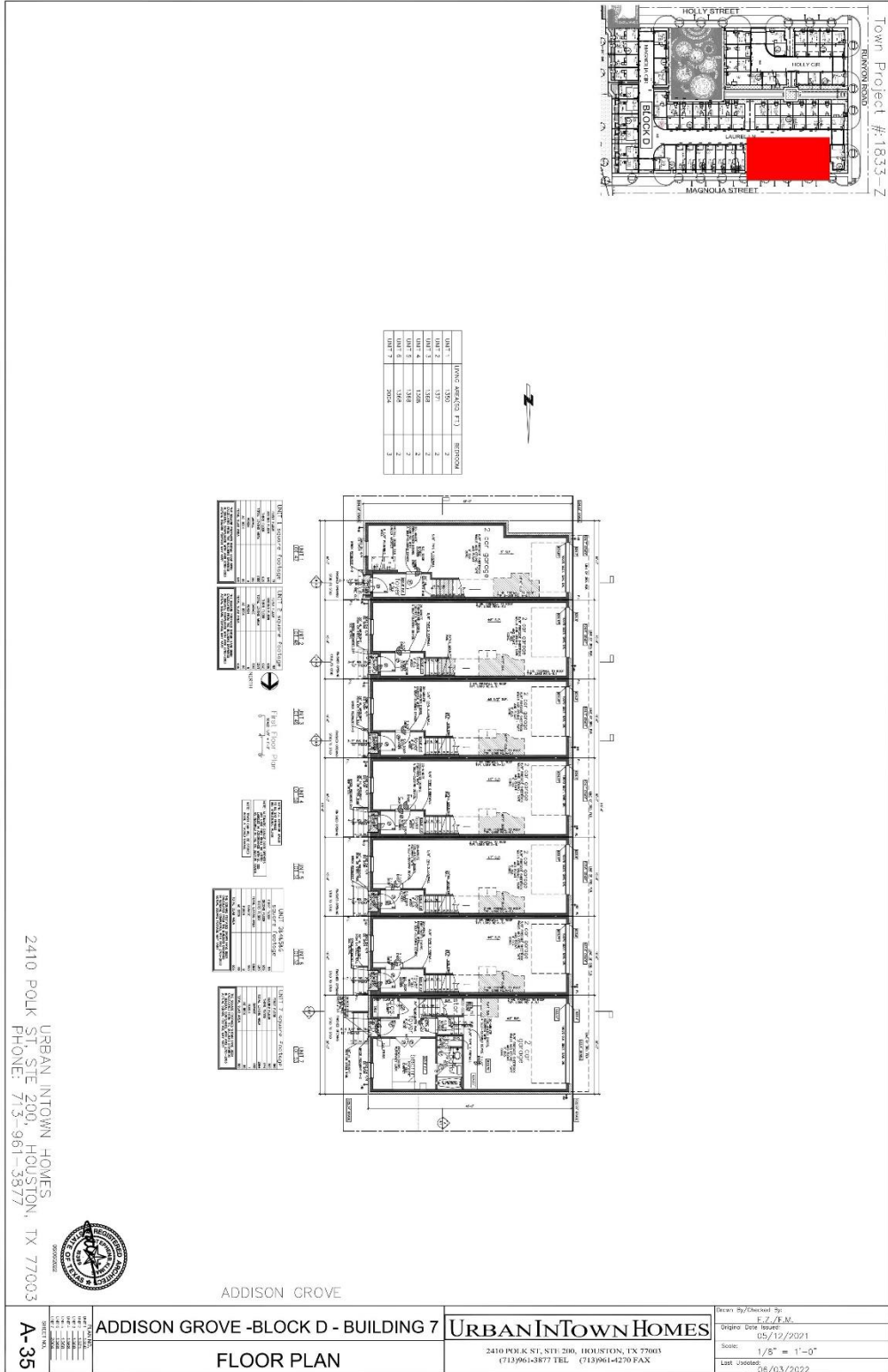
A-34

ADDISON GROVE - BLOCK D - BUILDING 7

URBAN INTOWN HOMES
2410 POLK ST, STE 200, HOUSTON, TX 77003
(713)961-3877 TEL (713)961-4270 FAX

Drawn By: **E.Z.T.V.**
Original Date: **03/12/2021**
Scale: **1/4" = 1'-0"**
Last Updated: **06/03/2022**

Exhibit A



URBAN INTOWN HOMES
 2410 POLK ST. STE 200 HOUSTON, TX 77003
 PHONE: 713-961-3877



ADDISON GROVE - BLOCK D - BUILDING 7
FLOOR PLAN

URBAN INTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713)961-3877 TEL (713)961-4270 FAX

Drawn By/Checked By:	F.T./F.M.
Original Issue Number:	05/12/2021
Scale:	1/8" = 1'-0"
Last Updated:	08/03/2022

Exhibit A

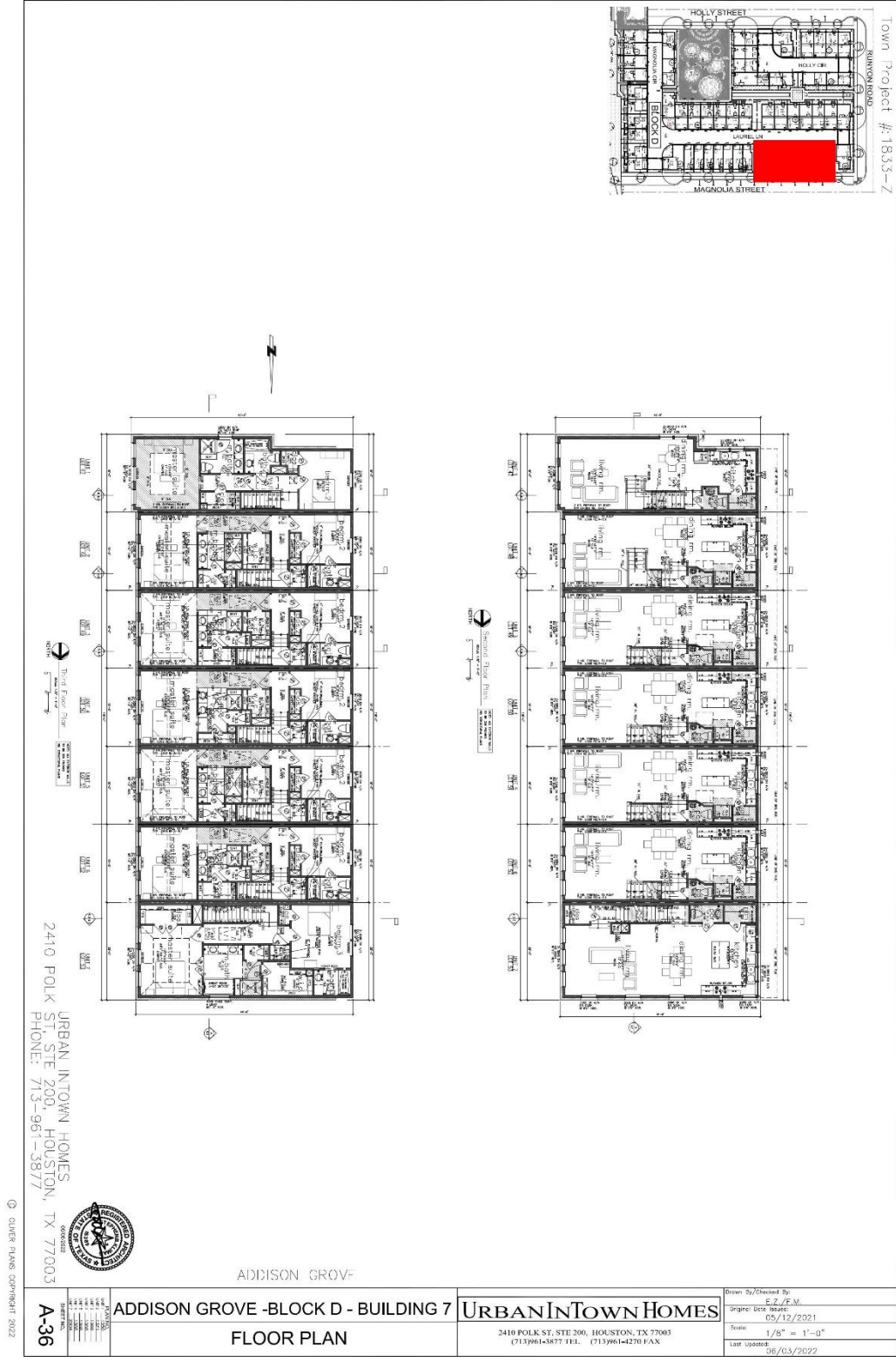


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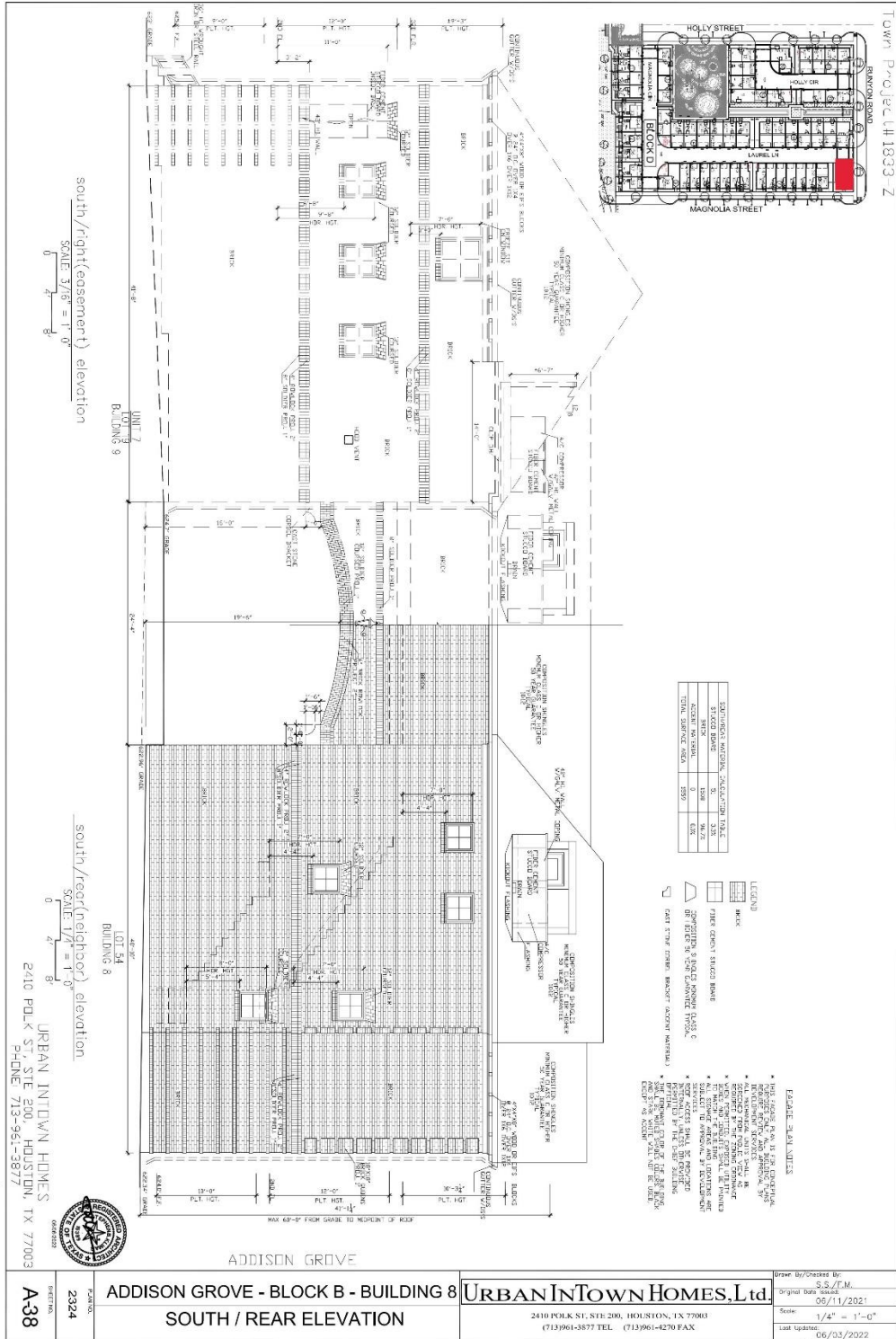


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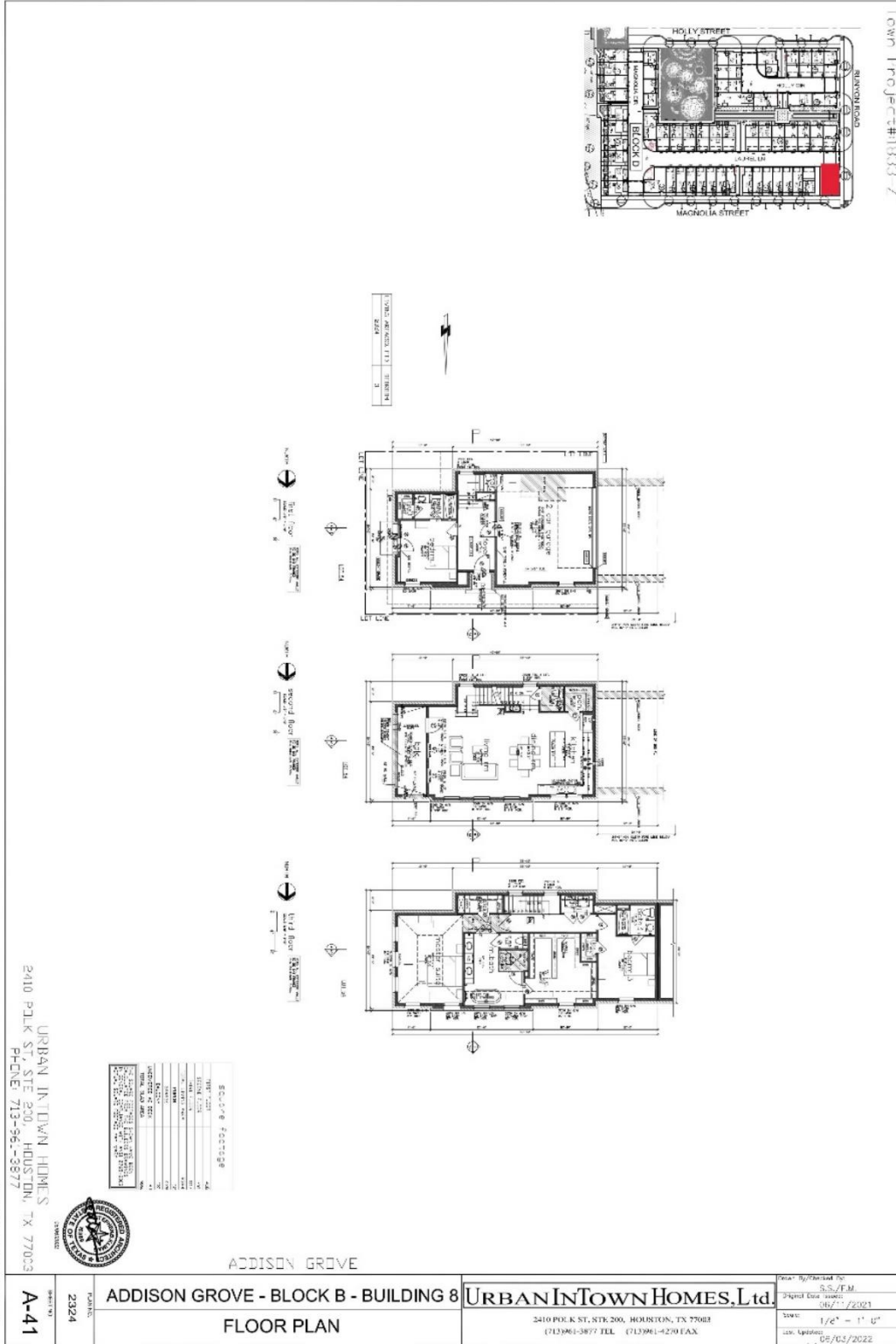


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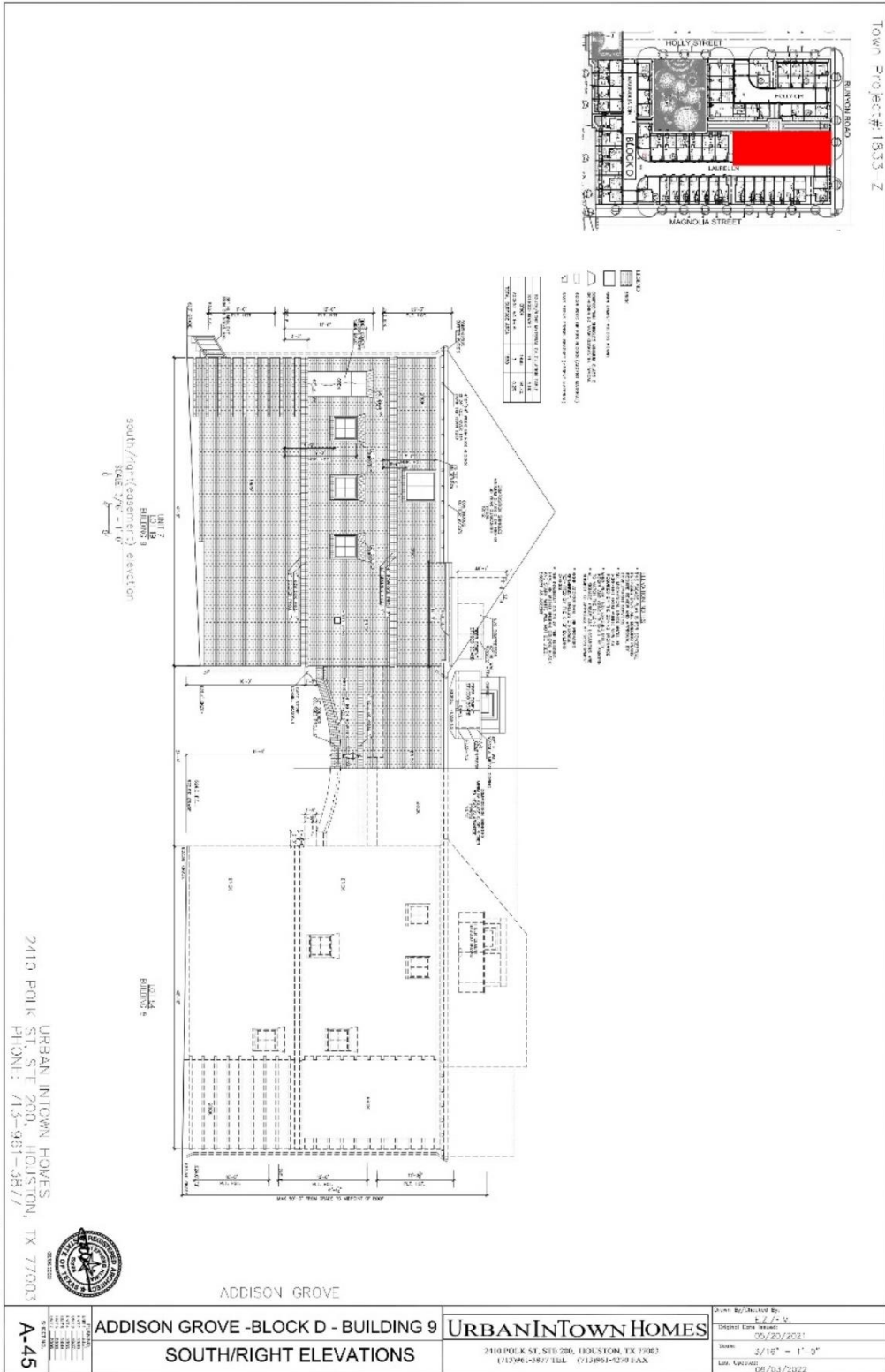
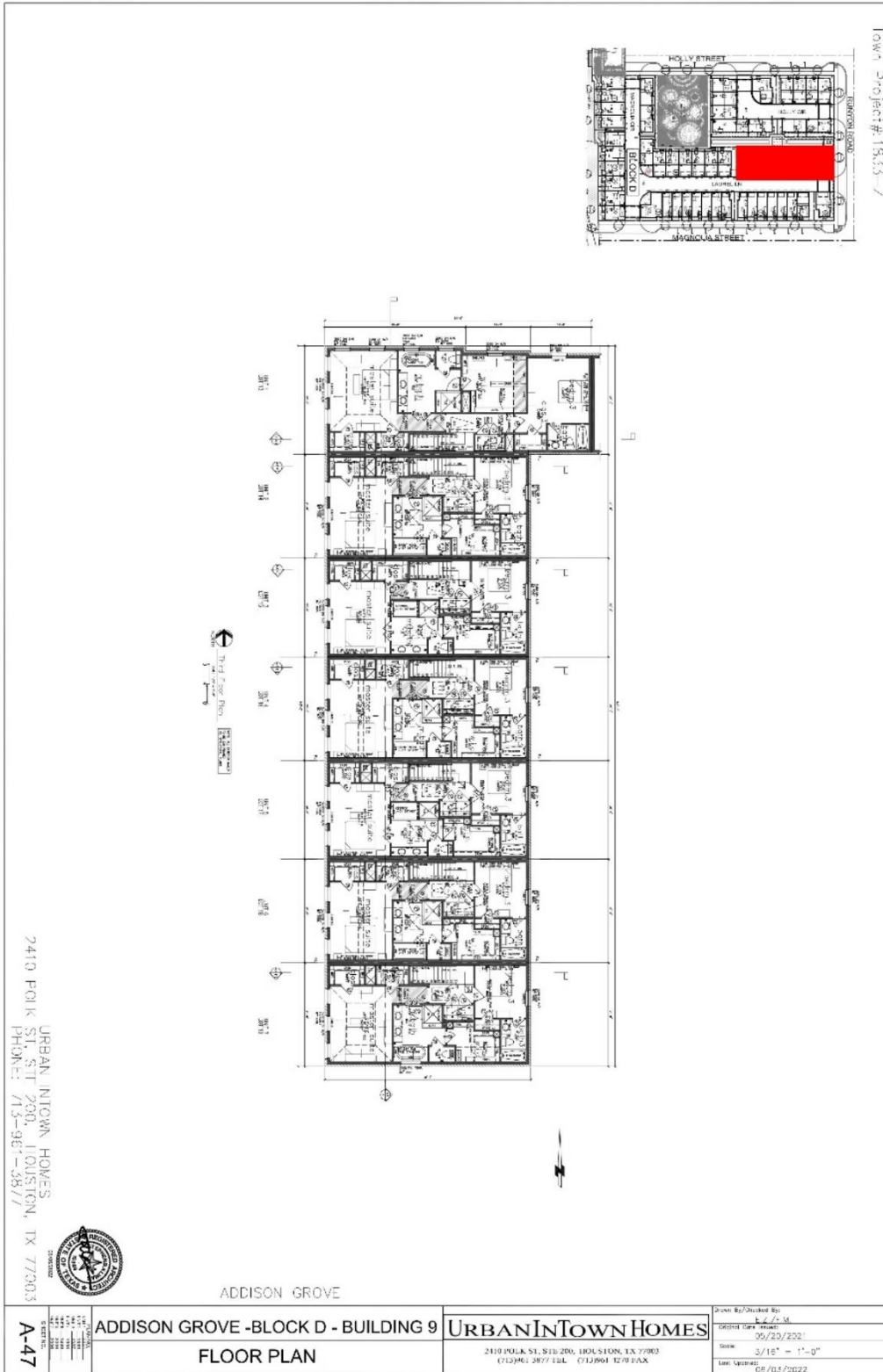


Exhibit A



Town Project # 1833-Z

URBAN INTOWN HOMES
 2410 POLK ST, ST 230, HOUSTON, TX 77003
 PHONE: 713-961-2877



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ADDISON GROVE

ADDISON GROVE - BLOCK D - BUILDING 9
FLOOR PLAN

URBANINTOWN HOMES
 2410 POLK ST, STE 200, HOUSTON, TX 77003
 (713) 961-2877 FAX (713) 961-1270 TX

Drawn By/Checked By	J.F./M.
DESIGN DATE	05/20/2022
Scale	3/16" = 1'-0"
Last Update	05/05/2022

Exhibit A

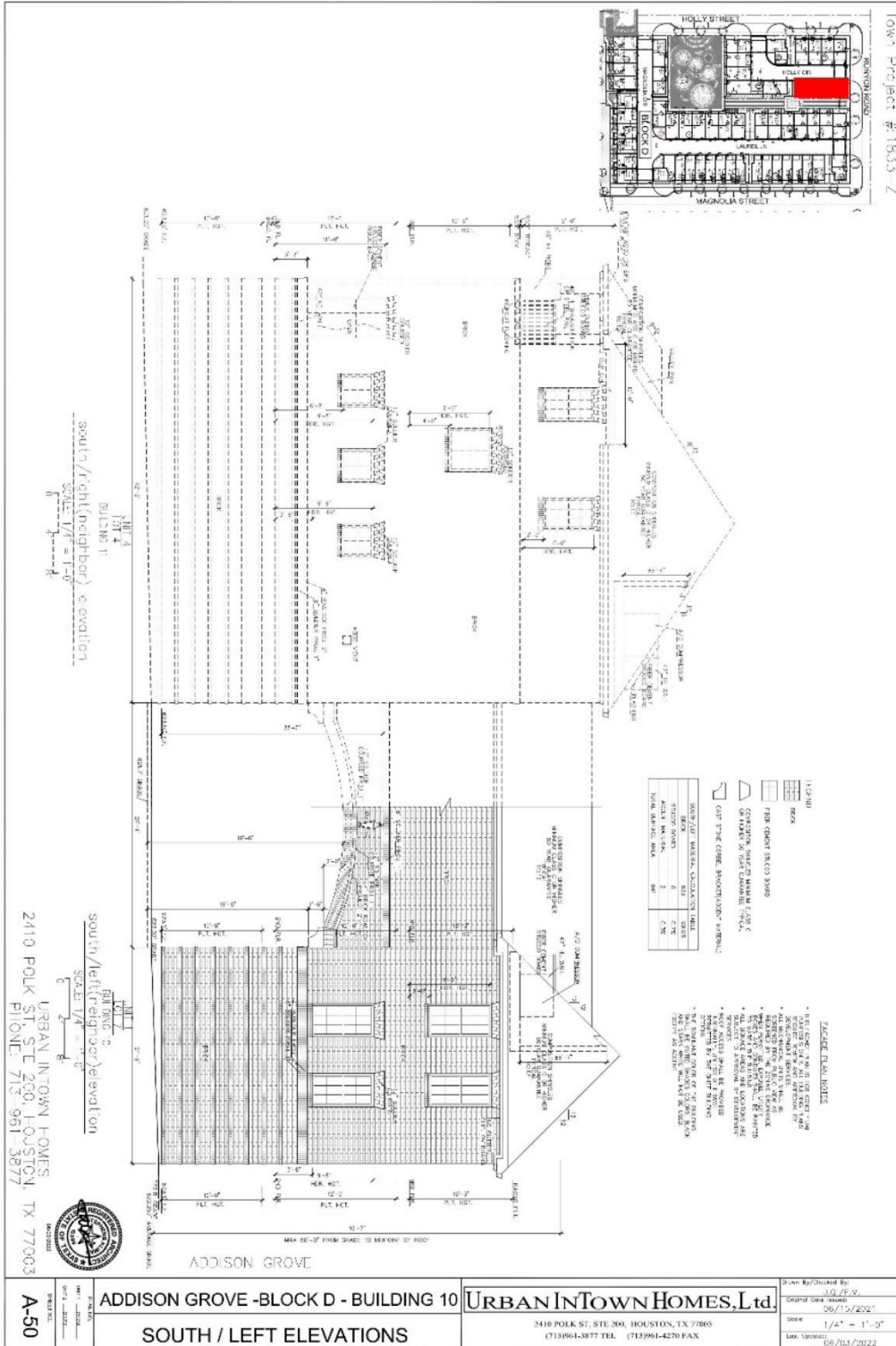


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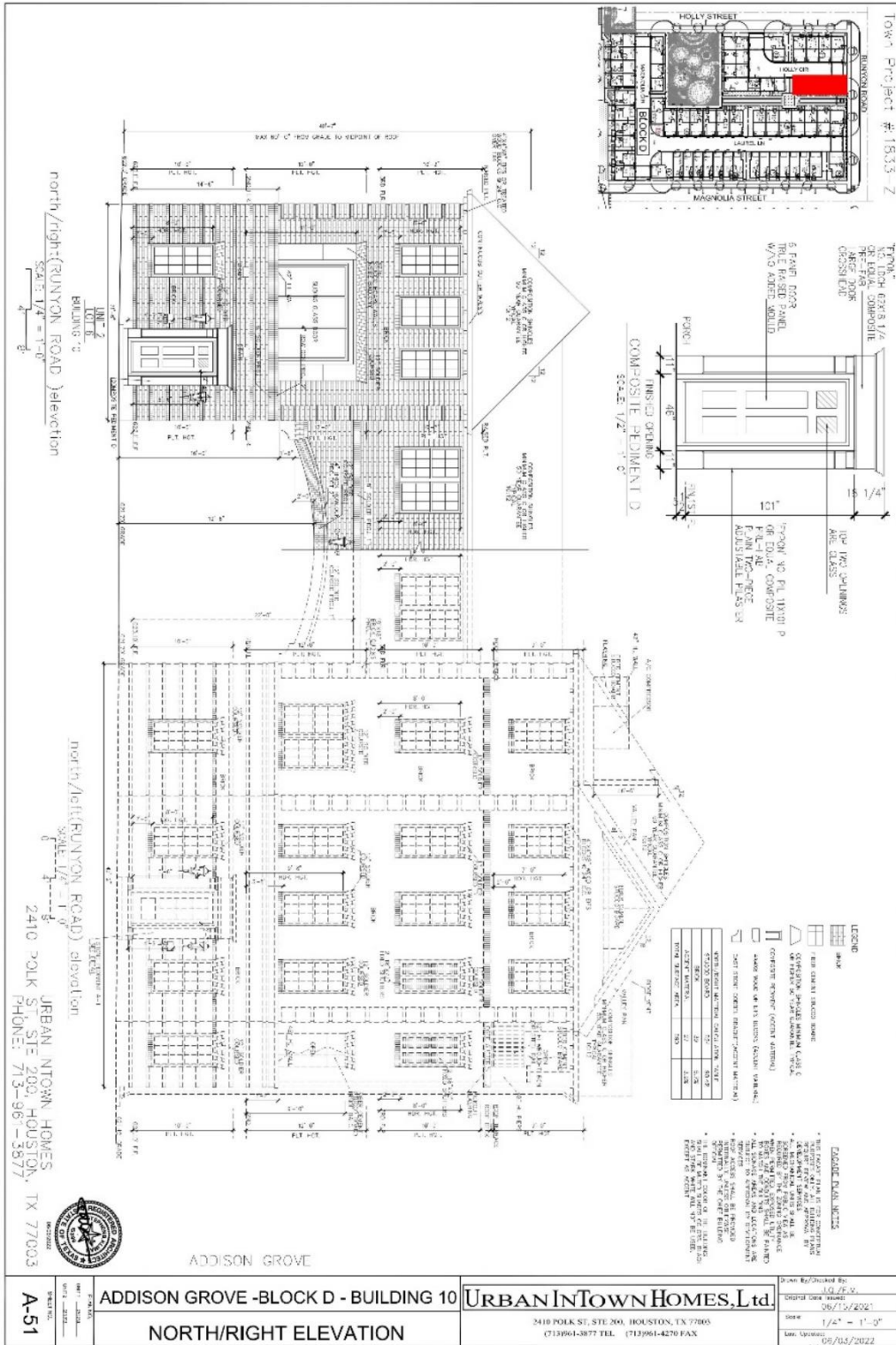


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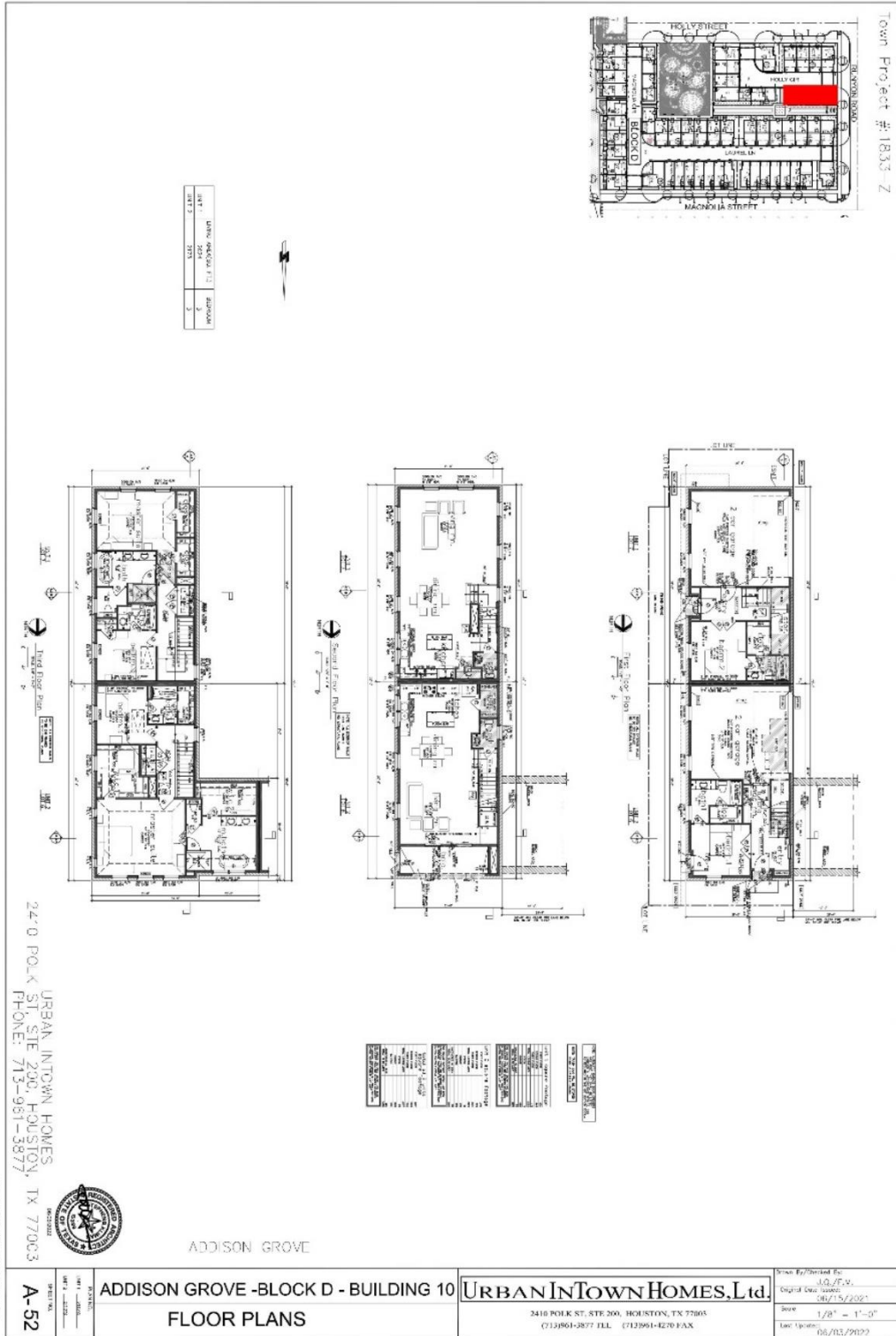


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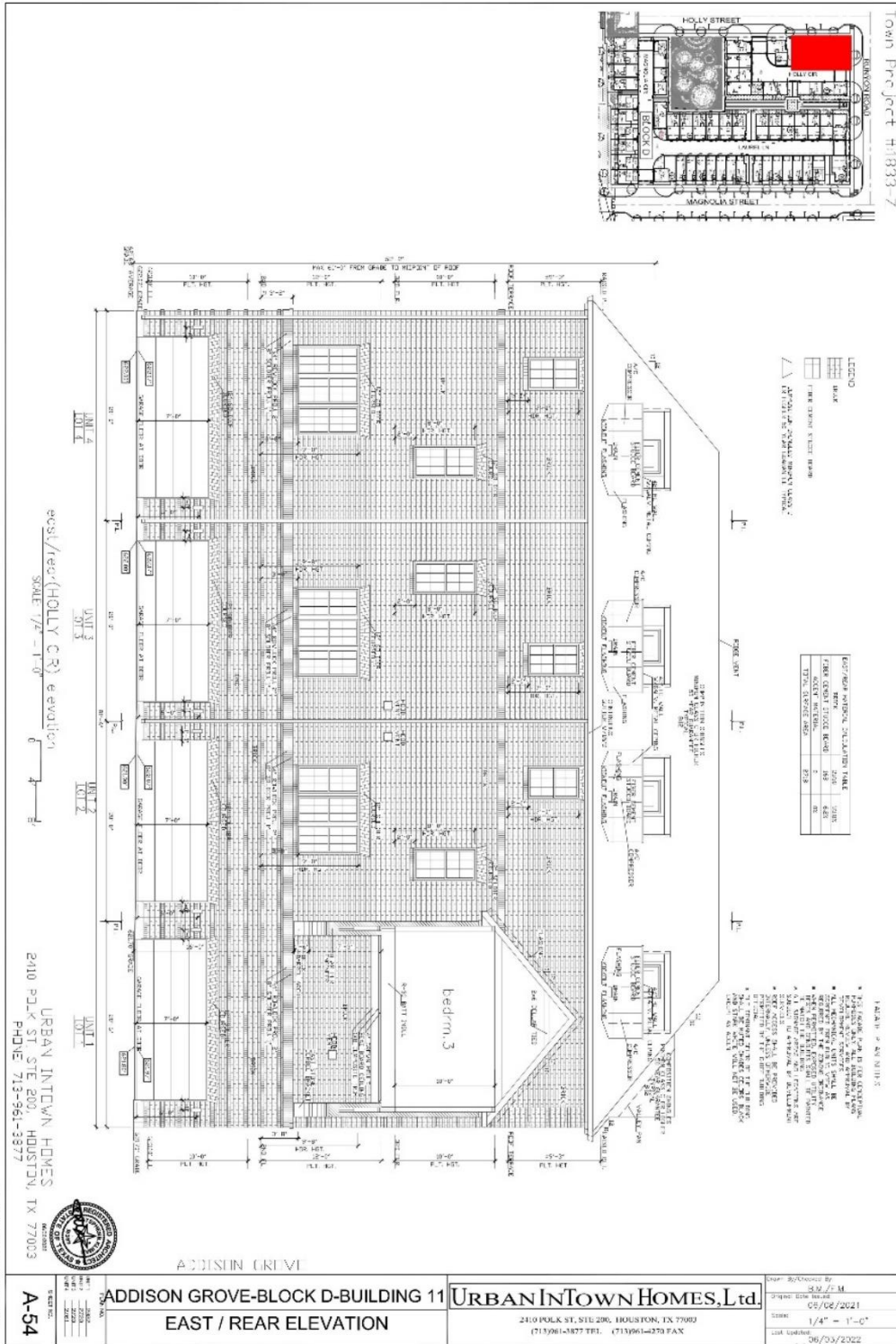


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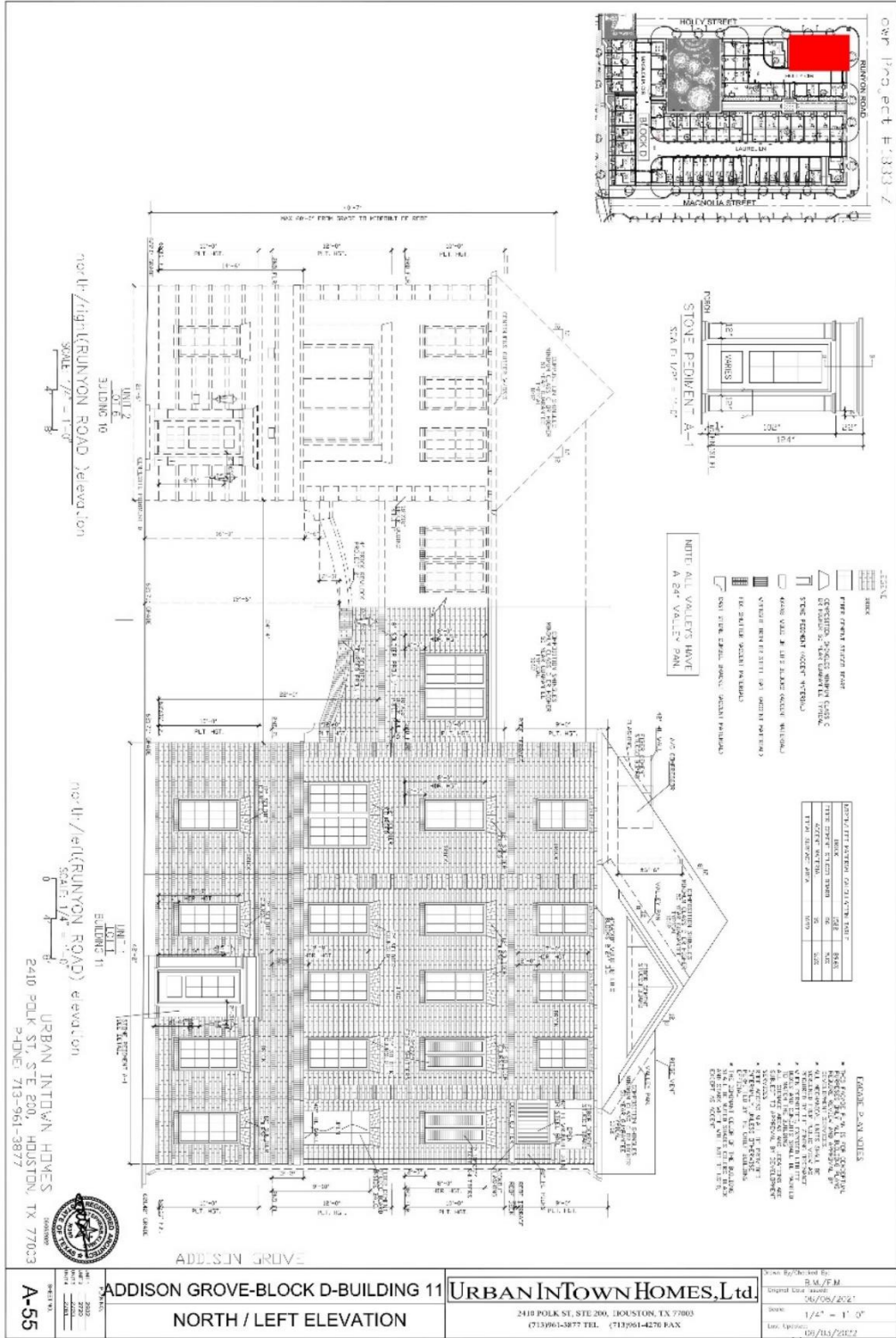


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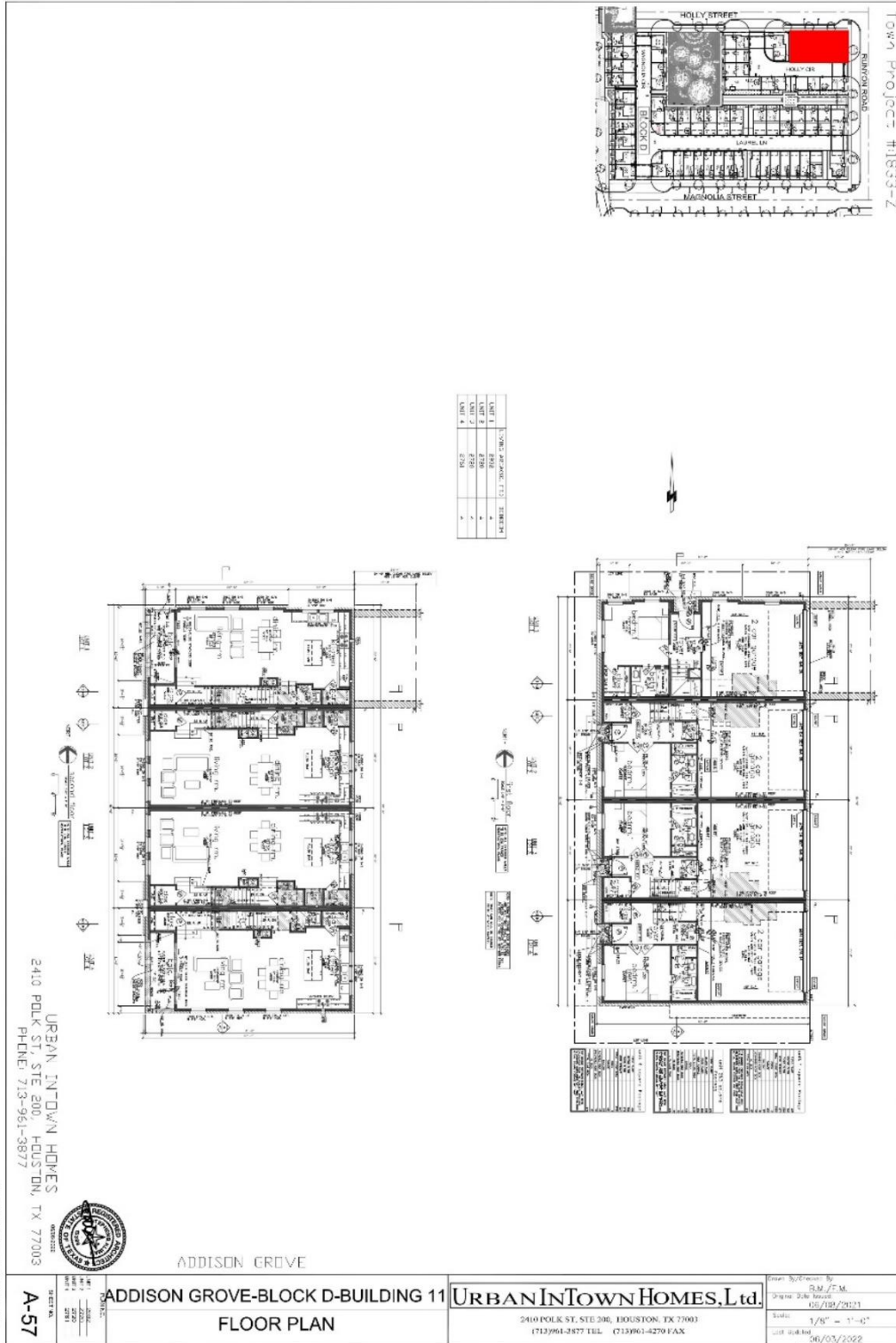


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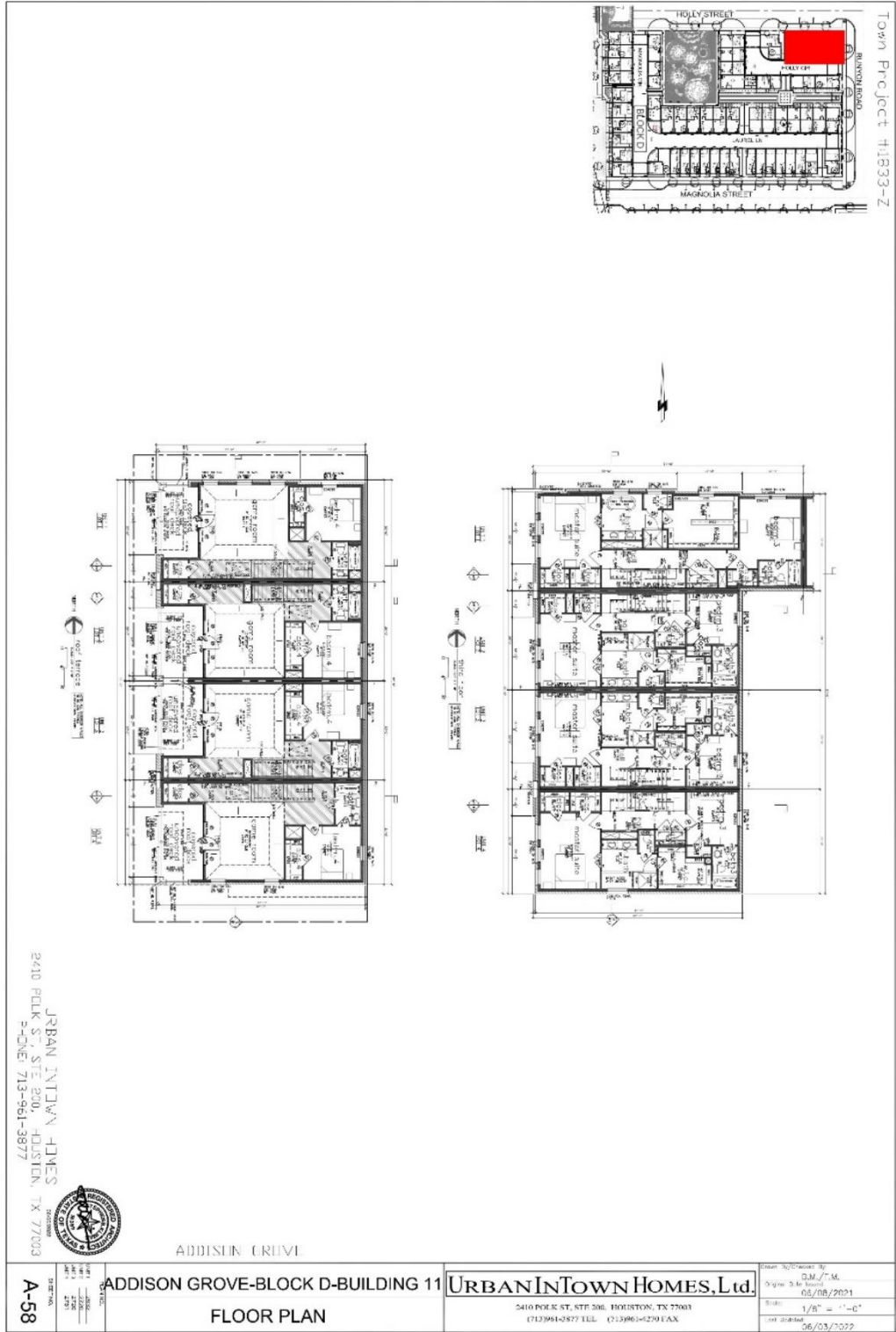


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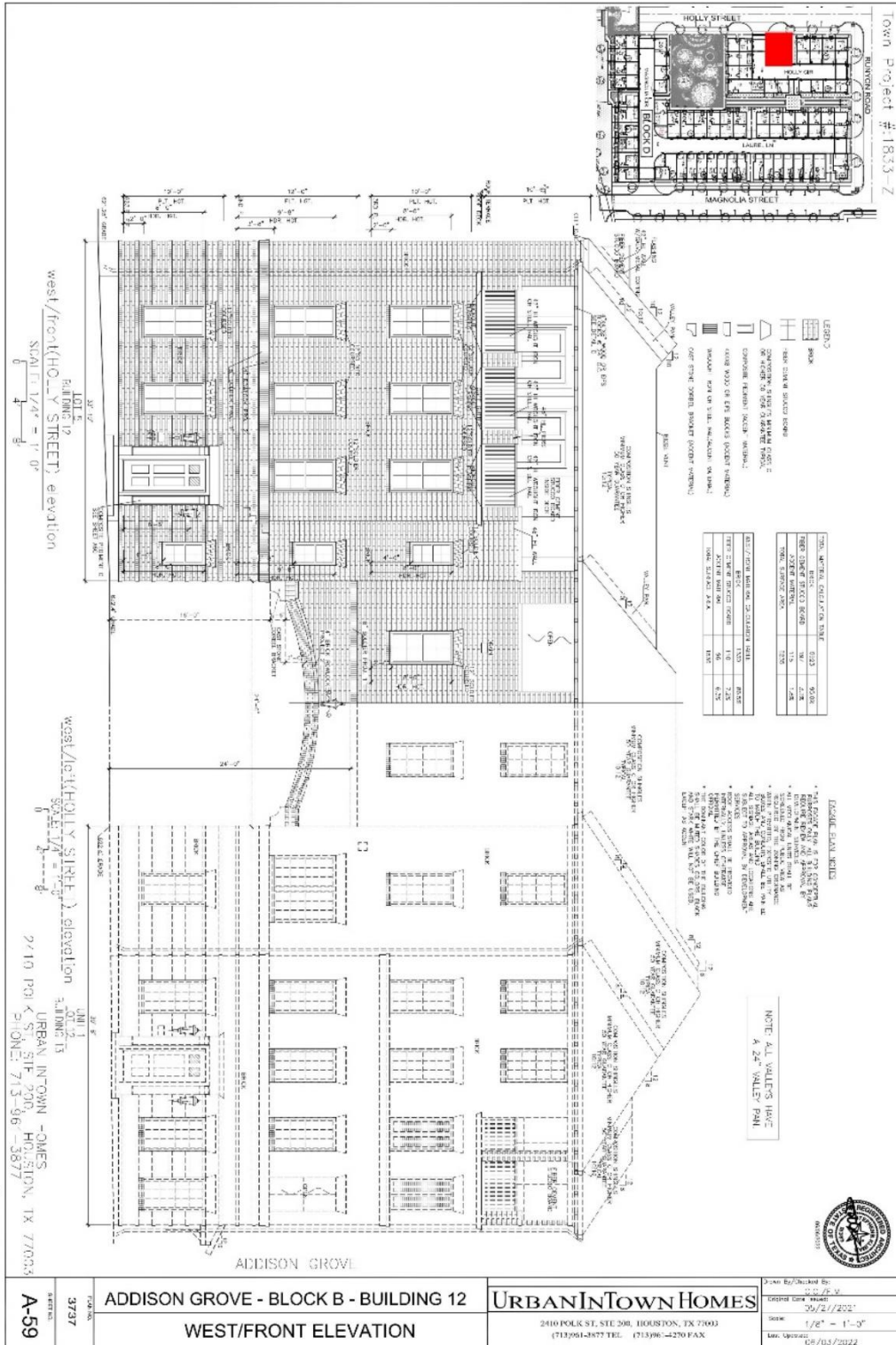


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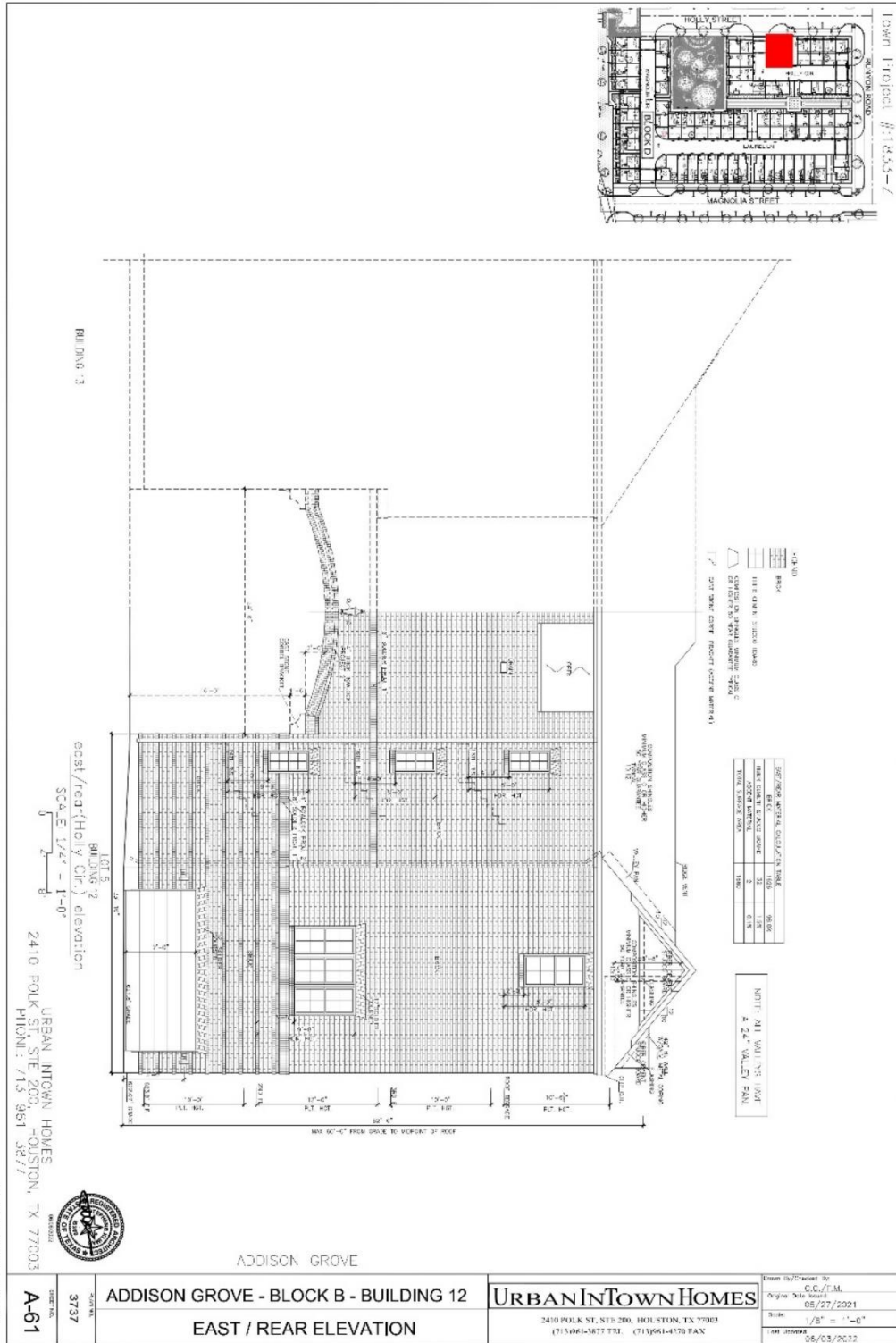


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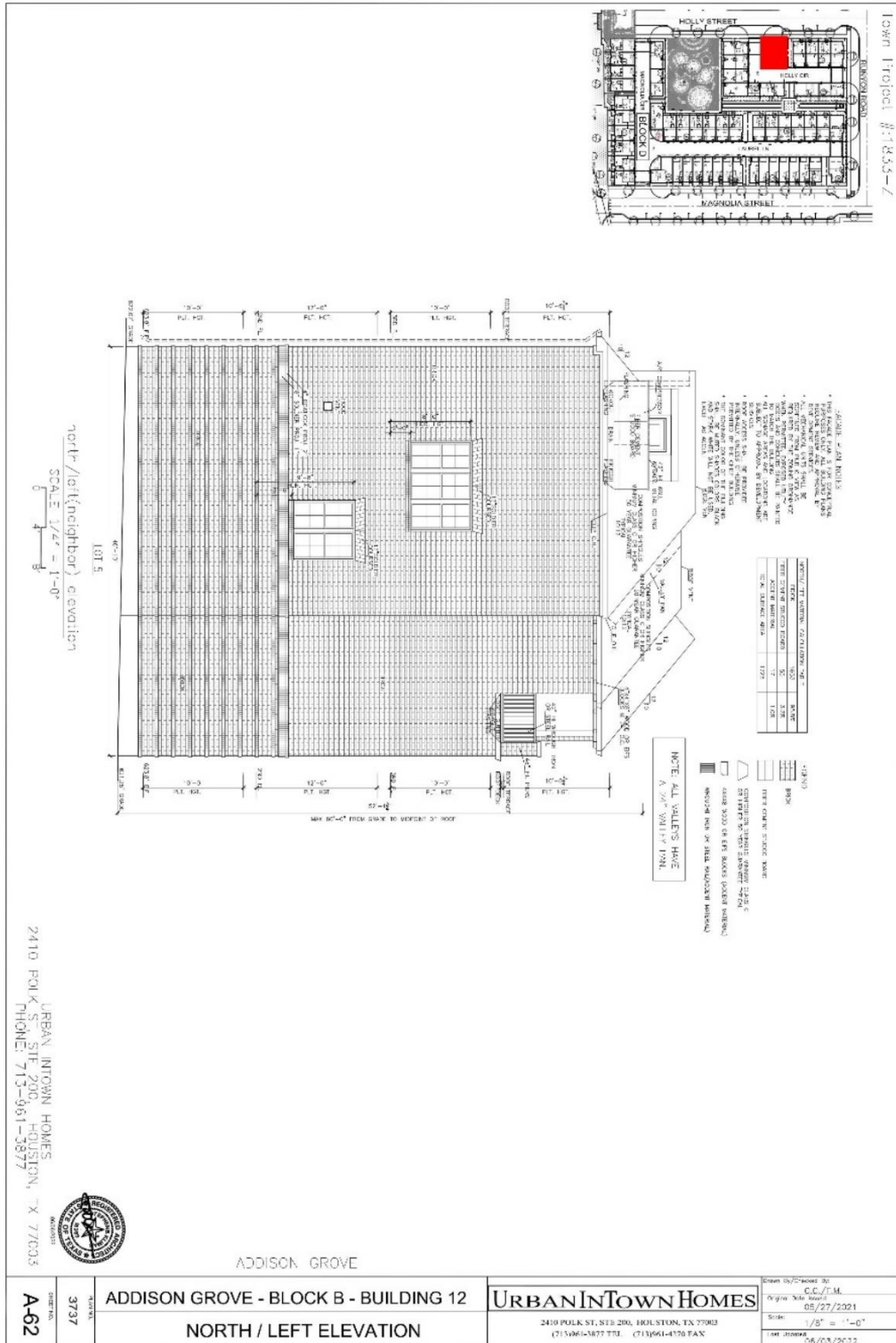


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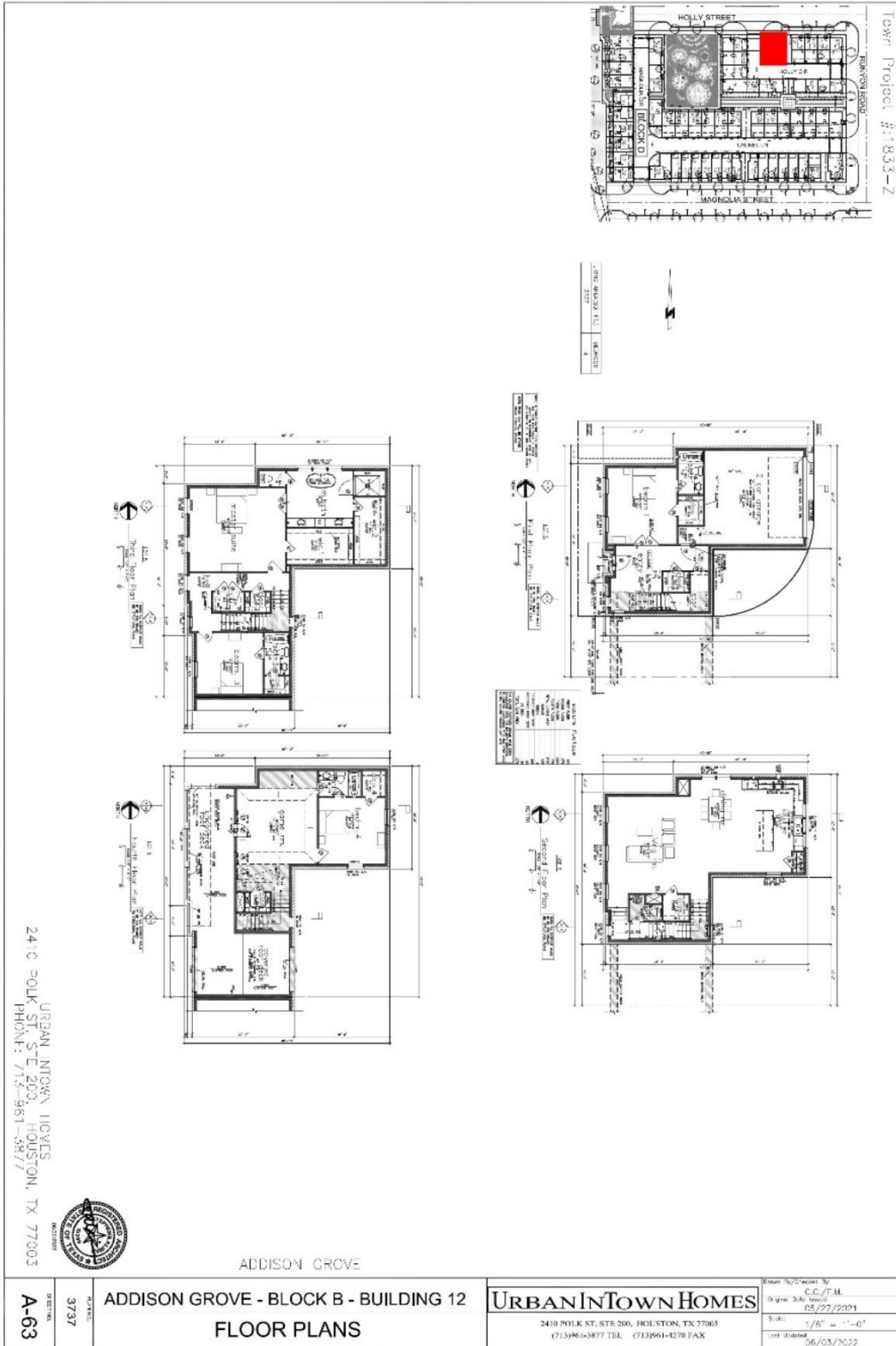


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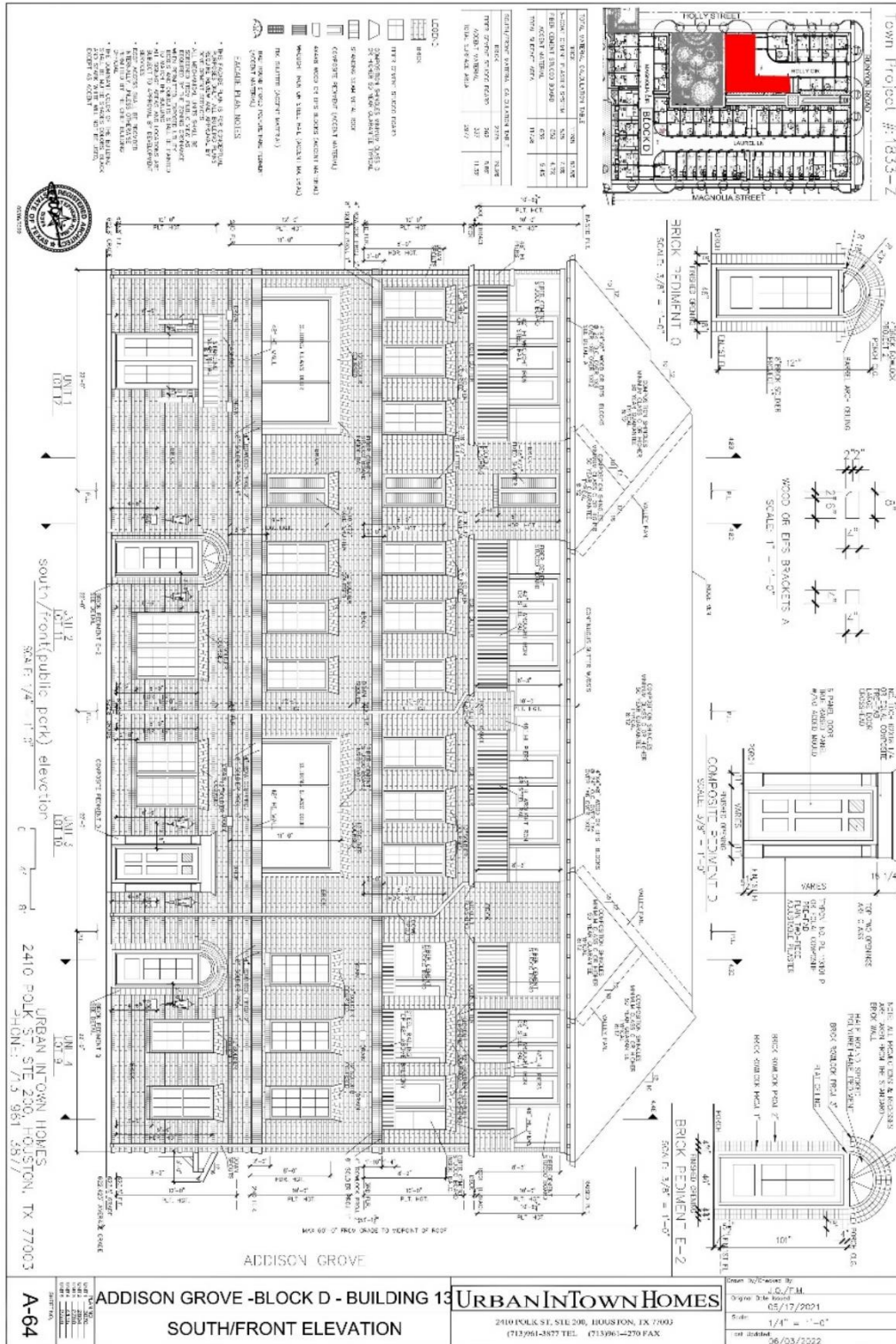


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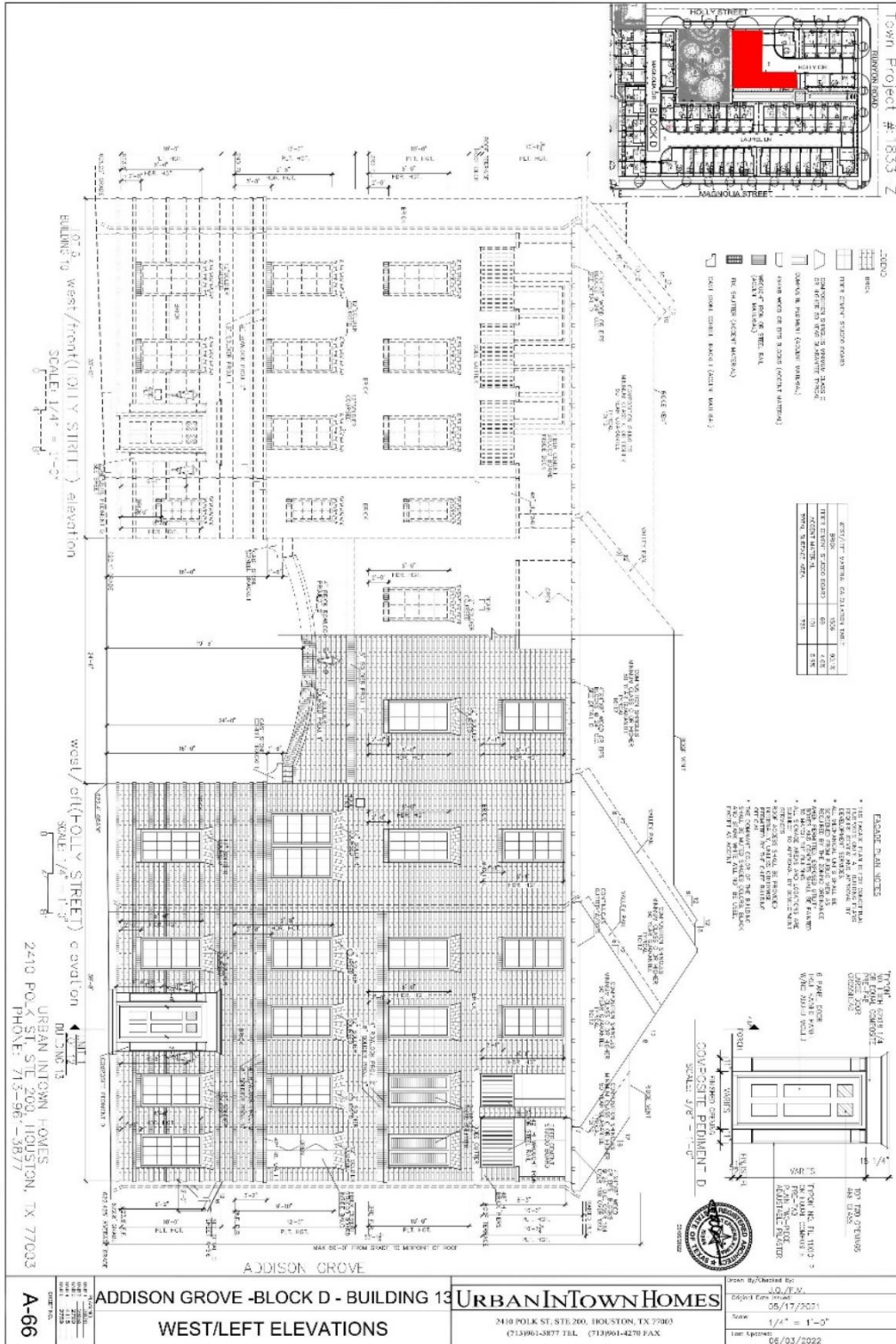


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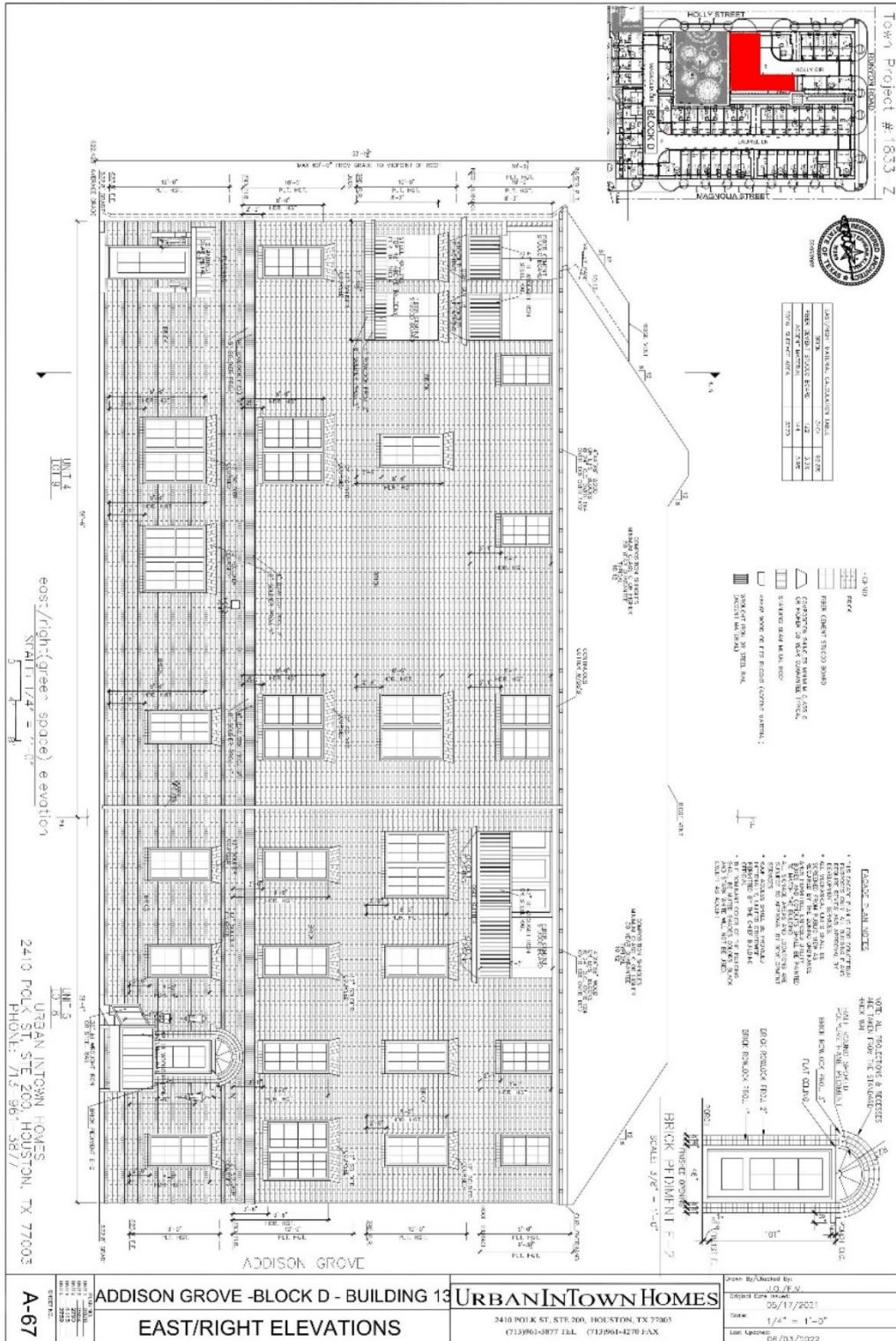


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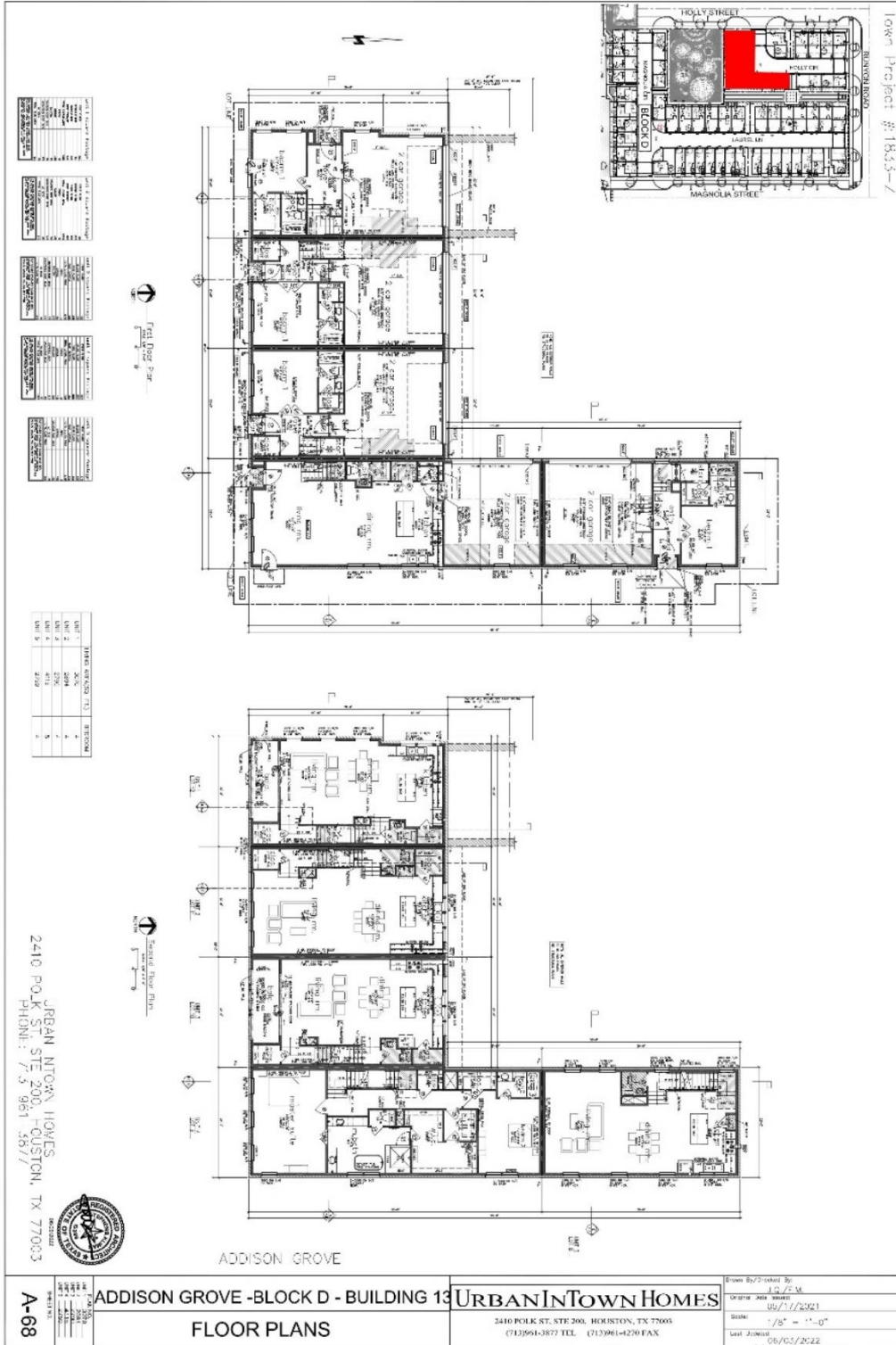


Exhibit A

