

SITE PLAN INFORMATION

EXISTING ZONING: PD [PLANNED DEVELOPMENT DISTRICT]
 NEW ZONING: PD [PLANNED DEVELOPMENT DISTRICT]
 SITE AREA: 1.8036 ACRES [78,565 SF]
 BUILDINGS: 4 TOTAL
 DWELLING UNITS: 31 TOTAL
 NUMBER OF BEDROOMS PER UNIT: 3 TOTAL

DWELLING UNIT SIZE [CONDITIONED SPACE]:
 MINIMUM 1,400 SF
 MAXIMUM 2,600 SF
 LOT SIZES AND DIMENSIONS:
 MINIMUM SIZE NONE
 MINIMUM WIDTH 20'-0"
 MINIMUM DEPTH NONE
 MAXIMUM LOT COVERAGE 100%
 MINIMUM SETBACKS:
 FRONT YARD NONE
 SIDE YARD NONE
 REAR YARD NONE
 PERIMETER SETBACK 5'-0", FRONT YARDS FACING BELTWAY DRIVE
 PERIMETER SETBACK 10'-0", FRONT YARDS FACING GREENBELT PARK
 PERIMETER SETBACK 65'-0", WESTERN BOUNDARY OF DEVELOPMENT TO UNITS FACING GREENBELT PARK

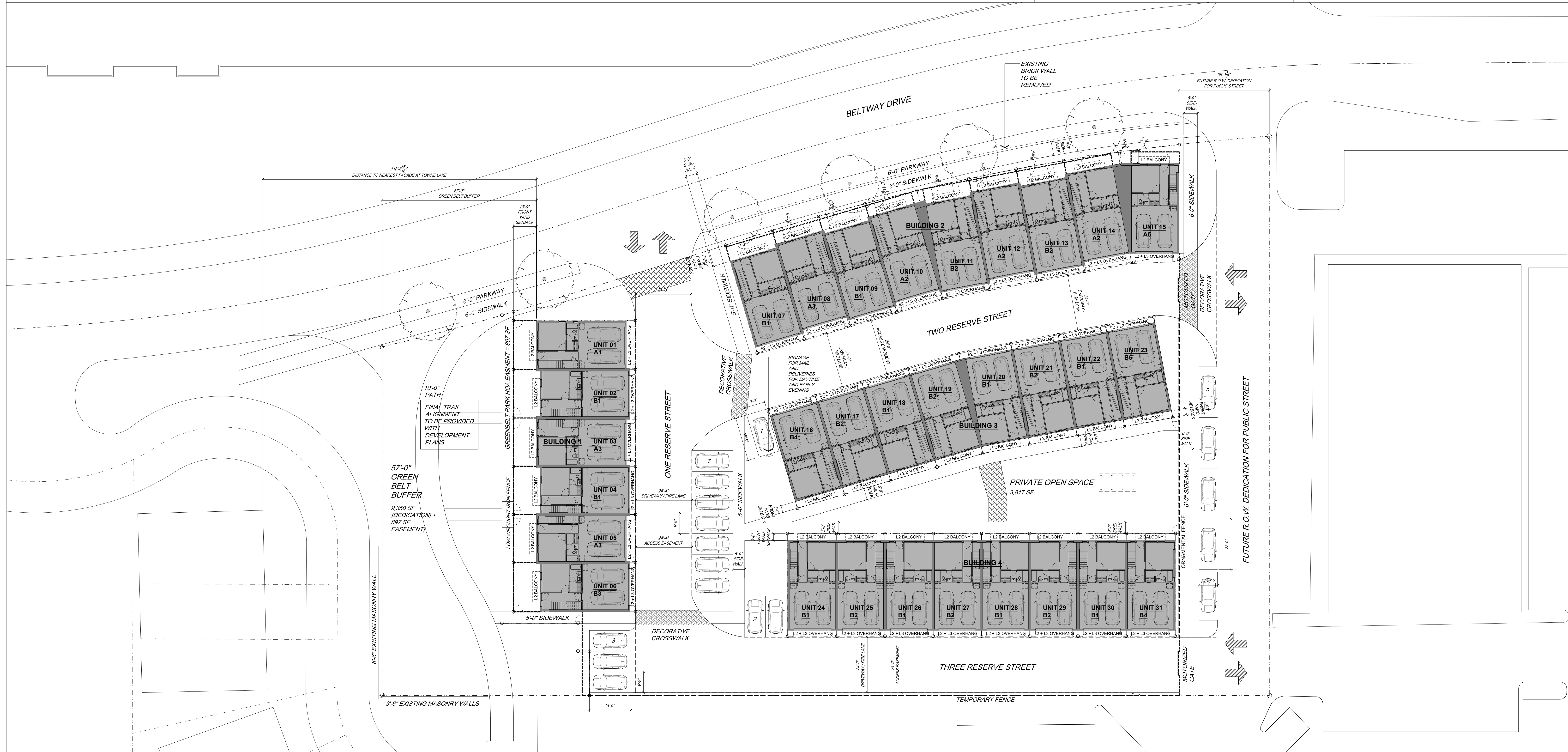
AREAS:
 GREENBELT PARK DEDICATION 9,350 SF
 GREENBELT PARK HOA EASEMENT 897 SF
 RESERVE PARK 3,817 SF
 PRIVATE YARD SPACE 2,405 SF
 INTERIOR PARKING SPACES 2,115 SF
 STREETS 16,219 SF
 DEDICATED RIGHT-OF-WAY ON EASTERN SIDE 9,421 SF
 OTHER HOA PROPERTY 15,128 SF
 BUILDING FOOTPRINTS 25,730 SF
 OPEN SPACE AREA:
 GREENBELT PARK DEDICATION 9,350 SF
 GREENBELT PARK HOA EASEMENT 897 SF
 RESERVE PARK, PRIVATE OPEN SPACE 3,817 SF [EX. PERIMETER SIDEWALK]
 PRIVATE YARD SPACE 2,405 SF
 OTHER HOA LANDSCAPE AREAS 2,332 SF [EXCLUDING SIDEWALK]
 TOTAL 18,801 SF
 18,801 SF / 78,565 SF = 23.9% OPEN SPACE

PARKING DATA:
 TENANT PARKING 2 TOTAL PER UNIT [2-CAR GARAGE]
 GUEST PARKING 0.5 PARKING SPACES / UNIT REQUIRED [15.5] 18 PROVIDED

SITE PLAN LEGEND

----- ORNAMENTAL FENCING, 8'-0" HIGH
 ----- WROUGHT IRON FENCE, 4'-0" HIGH, HORIZONTAL BARS, 50% OPEN

REFERENCE *LANDSCAPE PLAN* AND *UNIT PLANS* FOR MORE INFORMATION REGARDING LANDSCAPE ELEMENTS AND UNIT PLAN INFORMATION.



SCALE: 1" = 20'-0"

CONCEPTUAL SITE PLAN 01

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Date: 02.09.2022
 Issue: SITE PLAN REVIEW PACKAGE

TOWN PROJECT NO. 1846-Z

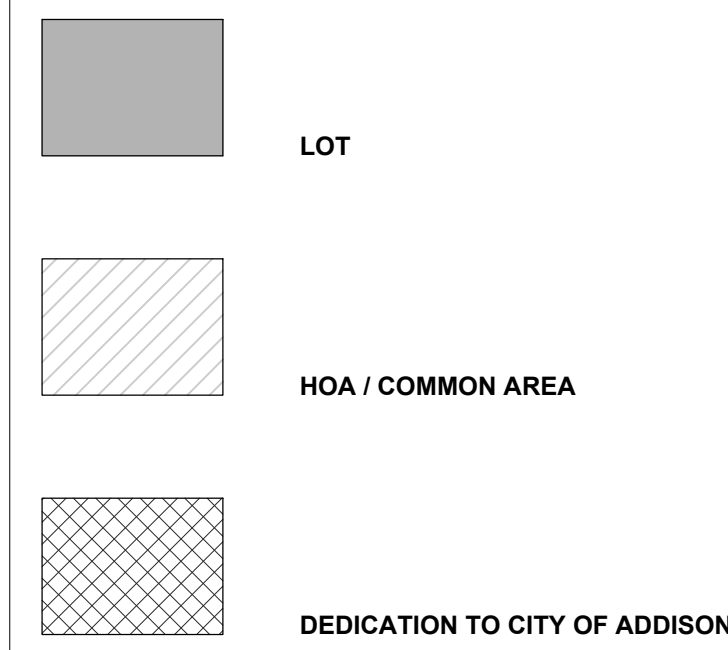
ADDISON RESERVE
 33-UNIT MULTIFAMILY DEVELOPMENT
 4150 BELTWAY DRIVE ADDISON, TEXAS 75001

A1.00

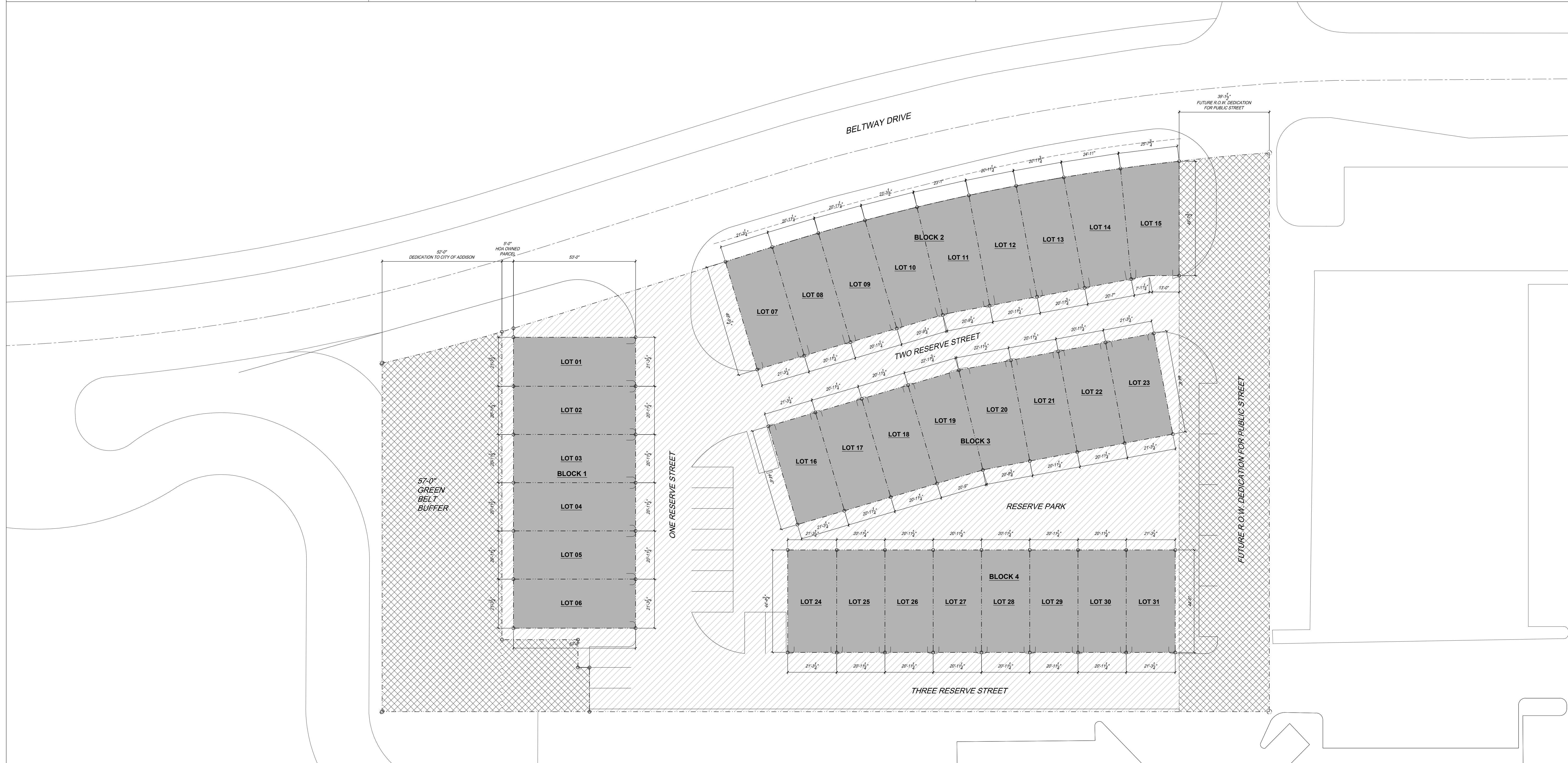
LOT LAYOUT INFORMATION

SITE AREA: 1.8036 ACRES [78,565 SF]
HOA / COMMON AREA: 45,376 SF
 44,126 SF / 78,565 SF = 56.2% HOA / COMMON AREA

LOT LAYOUT LEGEND



REFERENCE *SITE PLAN* AND *LANDSCAPE PLAN* FOR MORE INFORMATION REGARDING *SITE PLAN* AND *LANDSCAPE PLAN* ELEMENTS.



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CONCEPTUAL LOT LAYOUT 01

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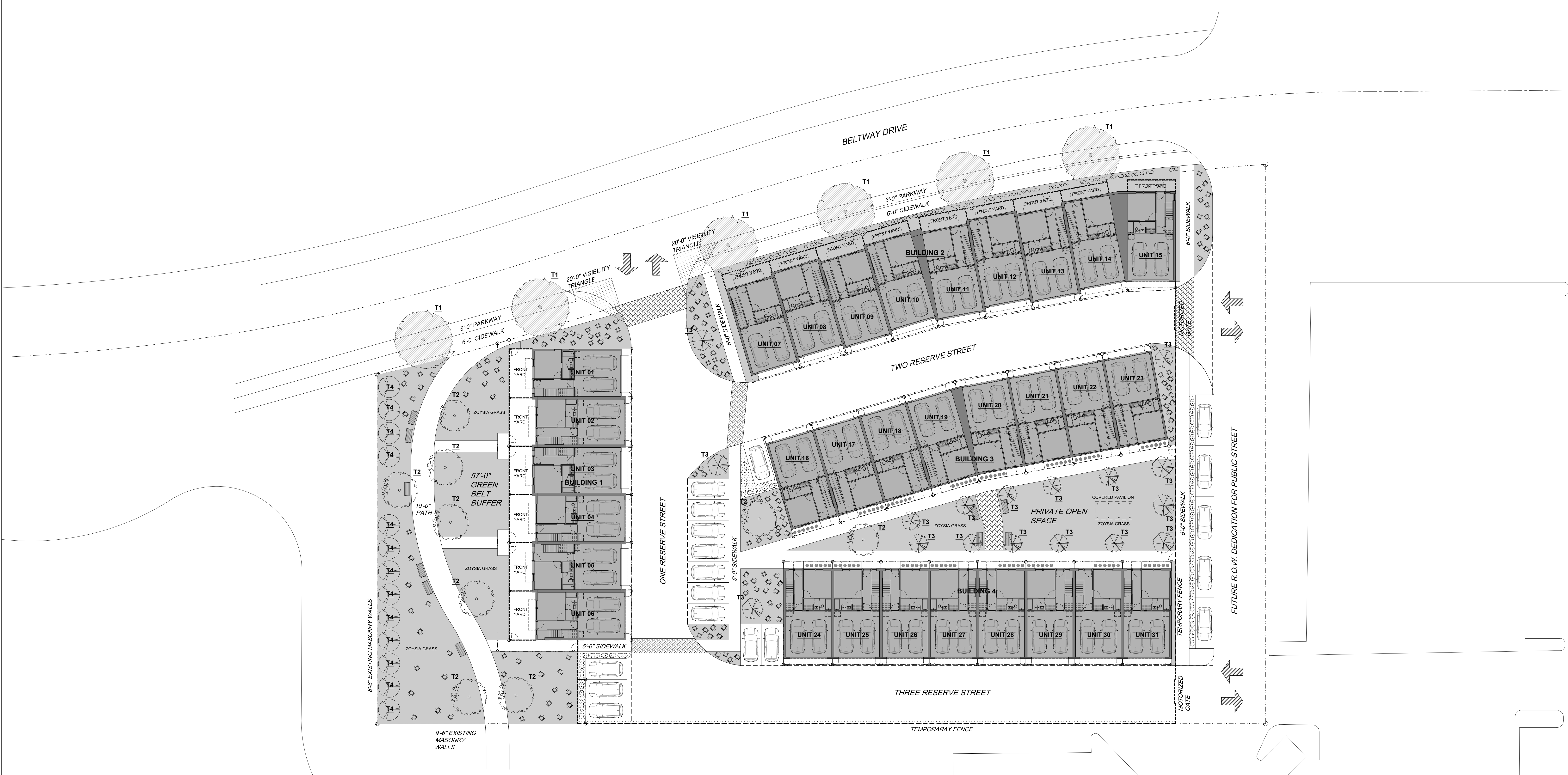
LANDSCAPE PLAN INFORMATION

SITE AREA: 1.8036 ACRES [78,565 SF]
 LANDSCAPE AREA: 18,801 SF
 18,801 SF / 78,565 SF = 23.9%

LANDSCAPE PLAN LEGEND

	T1 [6 TOTAL] EXISTING LARGE CANOPY TREE TO REMAIN		T4 [13 TOTAL] NEW ORNAMENTAL TREE, LITTLE GEM MAGNOLIA		DECORATIVE CROSSWALK		ORNAMENTAL FENCING, 8'-0" HIGH		WOOD BENCH
	T2 [9 TOTAL] NEW SHADE TREE, RED OAK		PLANTING STRIP WITH HIGH BUSHES [SCREENS PARKING]		LANDSCAPE AREA WITH GROUND COVER AND SHRUBS		WROUGHT IRON FENCE, 4'-0" HIGH, HORIZONTAL BARS, 50% OPEN		
	T3 [17 TOTAL] NEW ORNAMENTAL TREE, DESSERT WILLOW		PLANTERS NEXT TO UNITS						

REFERENCE *SITE PLAN* FOR MORE INFORMATION REGARDING SITE PLAN ELEMENTS.



SCALE: 1/20" = 1'-0"

CONCEPTUAL LANDSCAPE PLAN 01

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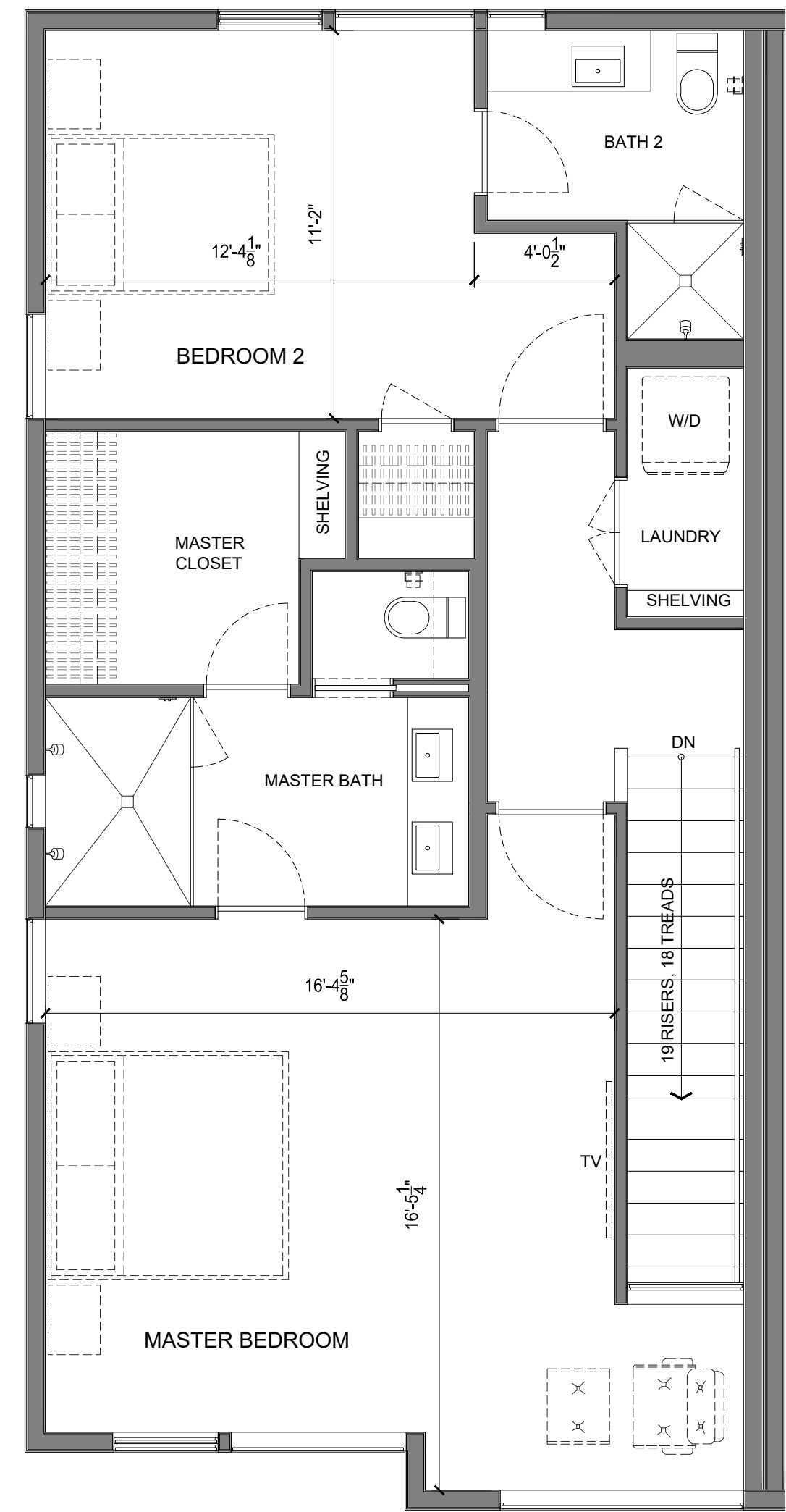
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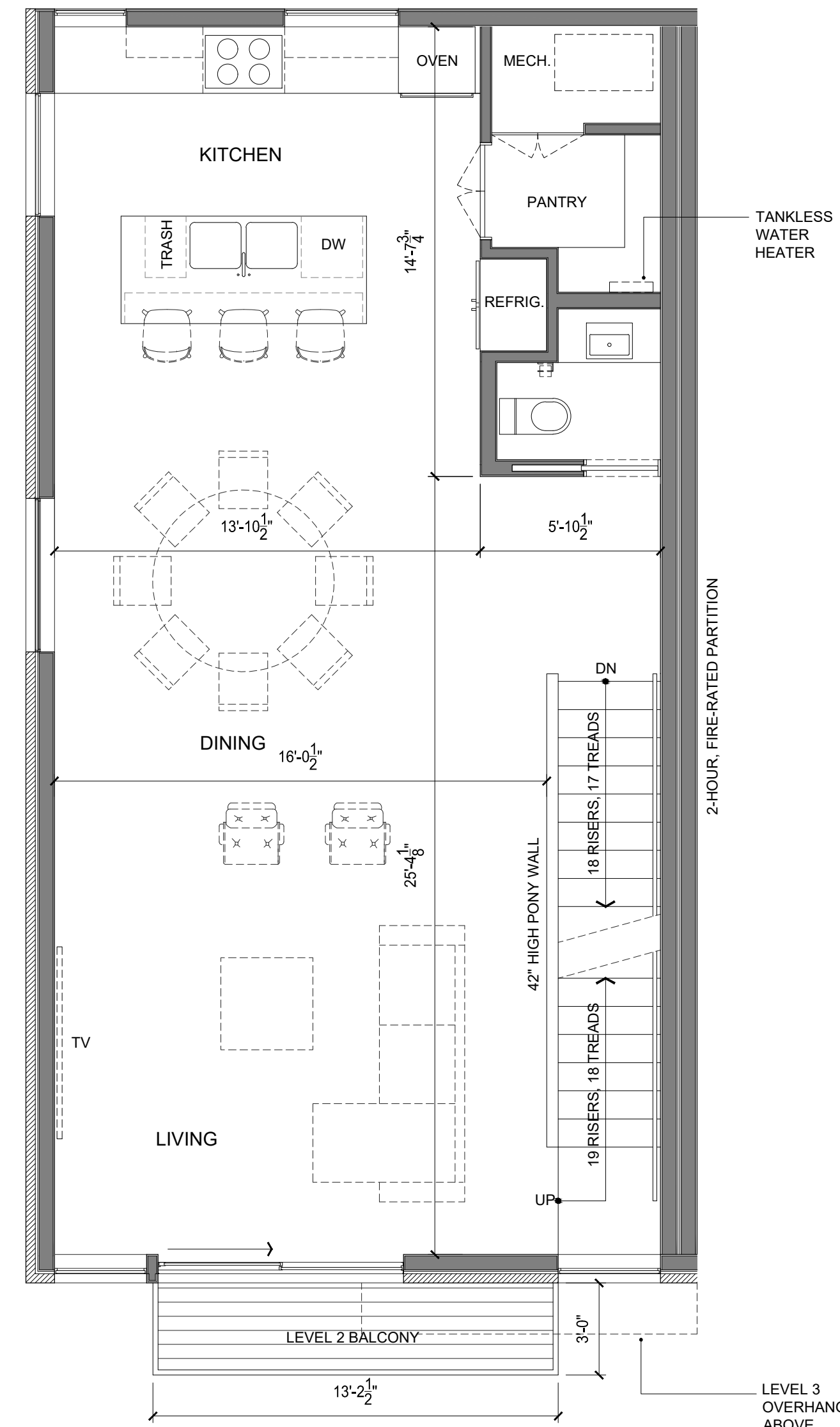
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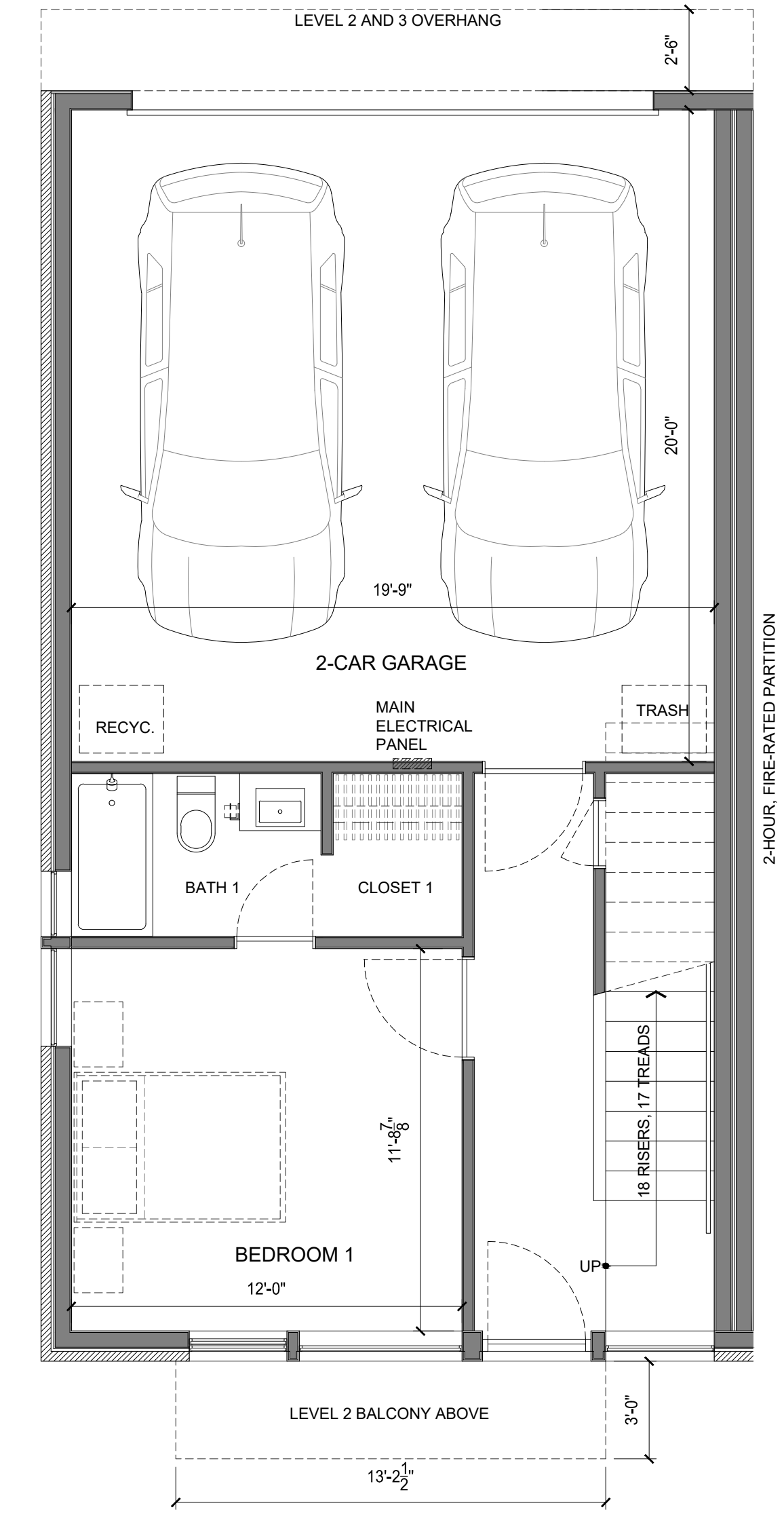
L1.01



LEVEL 3 CONDITIONED SPACE: 841 SF



LEVEL 2 CONDITIONED SPACE: 883 SF



LEVEL 1 CONDITIONED SPACE: 392 SF
 TOTAL CONDITIONED SPACE: 2,116 SF

SCALE: 1/4" = 1'-0"

UNIT TYPE A1 - FLOOR PLAN - LEVEL 3 03

SCALE: 1/4" = 1'-0"

UNIT TYPE A1 - FLOOR PLAN - LEVEL 2 02

SCALE: 1/4" = 1'-0"

UNIT TYPE A1 - FLOOR PLAN - LEVEL 1 01

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A3.01



MATERIAL LEGEND:  BRICK  WOOD  BOARD AND BATTEN HARDIE

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COG DALLAS HOMES III

BUILDING 1 - WEST ELEVATION FACING THE GREEN BELT

ADDISON RESERVE



MATERIAL LEGEND:  BRICK  BOARD AND BATTEN HARDIE



MATERIAL LEGEND:  BRICK  BOARD AND BATTEN HARDIE



MATERIAL LEGEND:  BRICK  BOARD AND BATTEN HARDIE

APPROXIMATE MATERIAL PERCENTAGES:

WOOD FRONT DOOR:	203 SF	4.3%
GLAZING:	1,800 SF	38.3%
MASONRY:	1,823 SF	38.8%
BOARD AND BATTEN HARDIE:	870 SF	18.5%
TOTAL FACADE:	4,696 SF	100.0%
% OF FACADE FRONT DOOR, GLAZING AND MASONRY:	3,826 SF	81.5%

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

RAIN GUTTER
 METAL RAIN GUTTER,
 SQUARE

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 ZIP SYSTEM WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

GUARDRAIL
 STEEL BAR GUARDRAIL

WINDOW
 ALUMINUM FRAME WINDOW,
 WITH 3/4" INSULATED,
 LOW-E, GLASS

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 ZIP SYSTEM SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD



SCALE: 1/4" = 1'-0"

WEST ELEVATION - BUILDING 1 01

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A5.01



SCALE: 1/4" = 1'-0"

WEST ELEVATION - BUILDING 1 01

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A5.02

ROOF 01
 ASPHALT SHINGLE ROOF
 ICE AND WATER SHIELD
 ROOF SHEATHING PER STRUCTURAL
 ROOF FRAMING PER STRUCTURAL
 OPEN CELL SPRAY FOAM INSULATION,
 MINIMUM R-38
 5/8" GYPSUM BOARD

RAIN GUTTER
 METAL RAIN GUTTER,
 SQUARE

DOWNSPOUT
 METAL DOWNSPOUT,
 SQUARE

EXTERIOR WALL 02
 FIBER CEMENT SIDING, INSTALLED
 VERTICALLY
 'ZIP SYSTEM' WALL SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

WINDOW
 ALUMINUM FRAME WINDOW,
 WITH 3/4" INSULATED,
 LOW-E, GLASS

EXTERIOR WALL 01
 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
 'ZIP SYSTEM' SHEATHING
 2x6 WOOD STUDS AT 16" O.C.
 BATT INSULATION, MINIMUM R-19
 1/2" GYPSUM BOARD

GARAGE DOOR
 THERMALLY INSULATED STEEL
 GARAGE DOOR, FLUSH PANEL



SCALE: 1/4" = 1'-0"

EAST ELEVATION - BUILDING 1 | 01

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A5.03



SCALE: 1/4" = 1'-0"

EAST ELEVATION - BUILDING 1 01

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A5.04

APPROXIMATE MATERIAL PERCENTAGES:

GLAZING:	10.6%
BRICK:	45.0%
BOARD AND BATTEN HARDIE:	40.5%
% OF GLAZING AND MASONRY:	55.6%

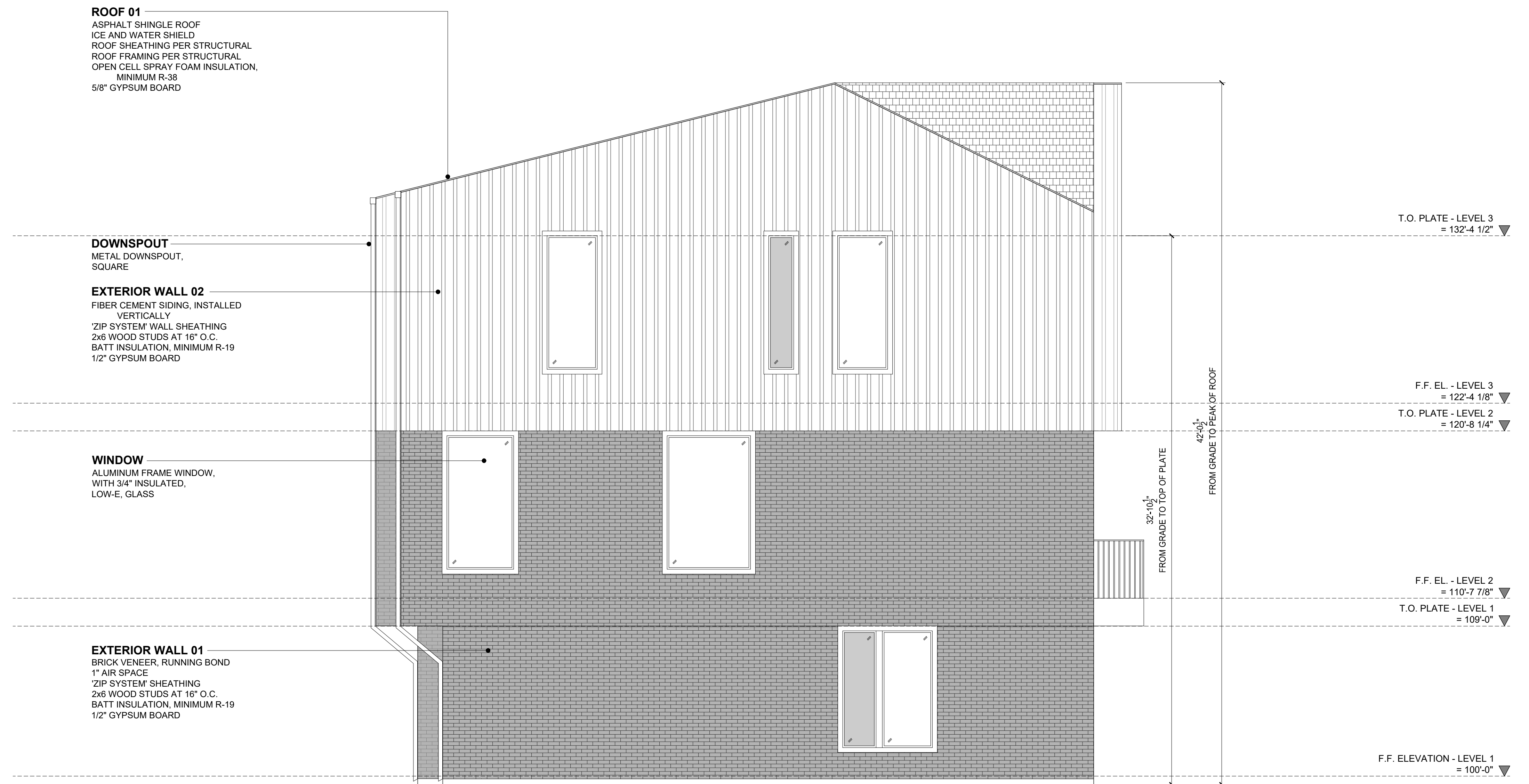
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 WITH 3/4" INSULATED,
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 BRICK VENEER, RUNNING BOND
 1" AIR SPACE
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SCALE: 1/4" = 1'-0"

NORTH ELEVATION - BUILDING 1 01

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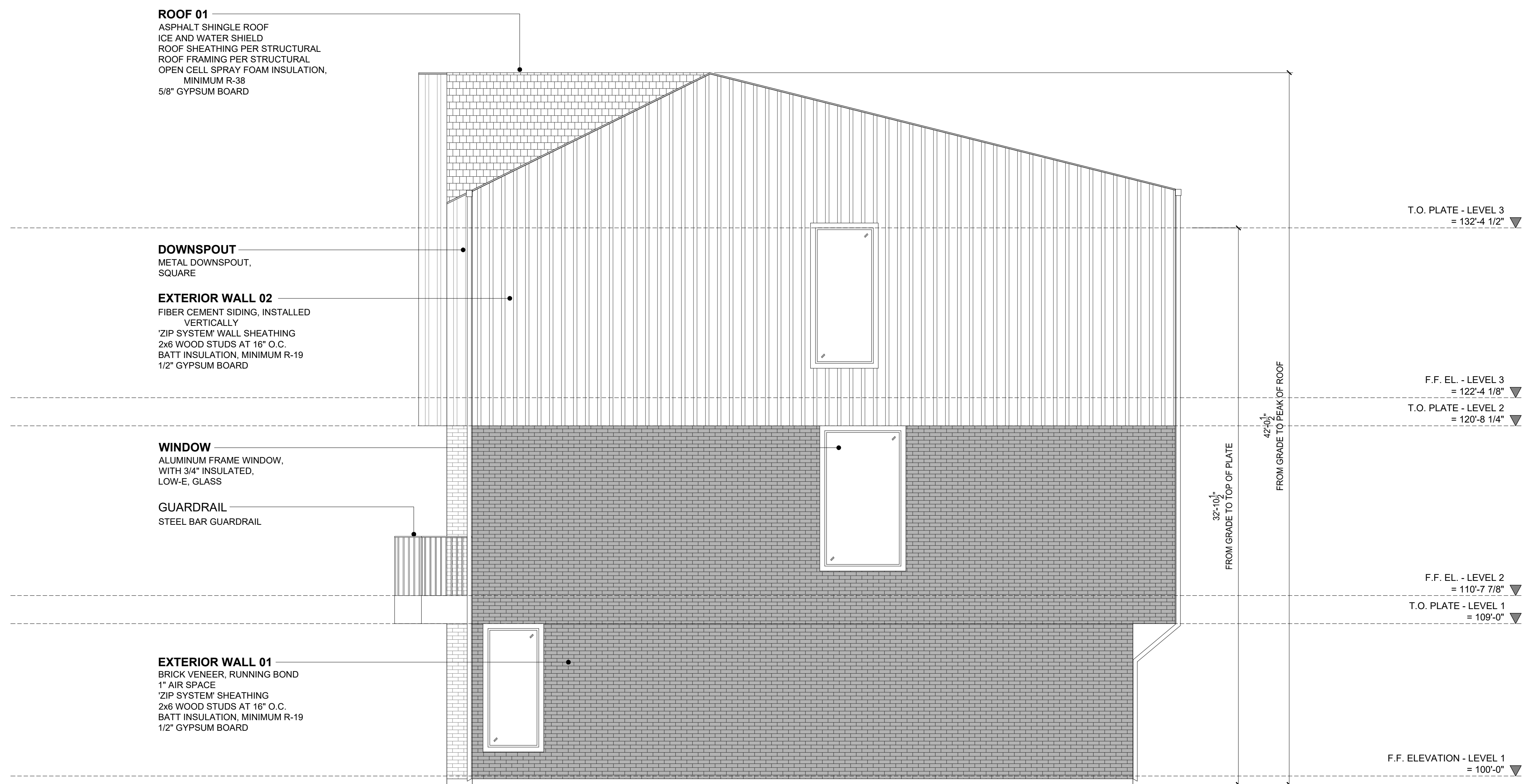
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A5.05



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SOUTH ELEVATION - BUILDING 1 01

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