



**REGULAR MEETING OF THE
PLANNING AND ZONING COMMISSION**

TUESDAY, OCTOBER 19, 2021

**ADDISON TREEHOUSE
14681 MIDWAY ROAD, SUITE 200, ADDISON, TX 75001**

6:00 PM REGULAR MEETING

The Planning and Zoning Commission meeting and public hearing will be held at the Addison Tree House, 14681 Midway Road, Suite 200, Addison, Texas 75001 on Tuesday, October 19, 2021 at 6PM. Seating for the public will be available using CDC recommended social distancing measures. Telephonic or videoconferencing capabilities will be utilized to allow individuals to address the Commission. For more information on meeting location and ways to view and/or present comments, please contact Jenifer Tedrick prior to 3:00 pm on the day of the meeting at 972-450-2823 or by emailing jtedrick@addisontx.gov. Members of the public are entitled to participate remotely via Toll-Free Dial-in Number: 346.248.7799; Meeting ID: 883 3781 4776; Participant ID: #. For more detailed instructions on how to participate in this meeting, visit our Agenda Page. The meeting will be live streamed on Addison's website at www.addisontexas.net.

Call Meeting to Order

Pledge of Allegiance

Regular Agenda:

1. Consider Action on the **Minutes from the September 21, 2021 Planning and Zoning Commission Meeting.**

2. Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance on Property Located at 4141 Spring Valley Road, currently zoned R-1 Single Family Dwelling and Planned Development (PD) through Ordinance 084-092, for a Special Use Permit to Allow a New Private School Building. Case 1836-SUP/4141 Spring Valley Road (Greenhill School Science Building).
3. Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance, on Property located at 5100 Belt Line Road, Suite 868, currently zoned Planned Development (PD), through Ordinance O12-002 and Ordinance O20-08, for a Special Use Permit to allow for the Expansion of an Existing Restaurant with the Sale of Alcoholic Beverages for On Premises Consumption Only. Case 1837-SUP/5100 Belt Line Road (Low Key Poke Joint).
4. Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance, on Property Located at 3719 Belt Line Road, currently Zoned Planned Development (PD) through Ordinance O92-037, for a Special Use Permit to allow a Restaurant. Case 1840-SUP/3719 Belt Line Road (Poke Works).
5. Provide an Update on the Status of Case 1831-Z/4150 Kellway Circle.

Adjourn Meeting

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

**THE TOWN OF ADDISON IS ACCESSIBLE TO PERSONS WITH
DISABILITIES. PLEASE CALL (972) 450-7017 AT LEAST 48 HOURS IN
ADVANCE IF YOU NEED ASSISTANCE.**

POSTED BY: _____
Irma G. Parker, City Secretary

DATE POSTED: _____

TIME POSTED: _____

DATE REMOVED FROM BULLETIN BOARD: _____

REMOVED BY: _____

Planning & Zoning Commission
Meeting Date: 10/19/2021

2.

Agenda Caption:

Consider Action on the **Minutes from the September 21, 2021 Planning and Zoning Commission Meeting.**

Staff Report:

The minutes from the September 21, 2021 Planning and Zoning Commission Meeting have been prepared for consideration.

Recommendation:

Administration recommends approval.

Attachments

Minutes of the September 21, 2021 Planning and Zoning Commission Meeting

DRAFT

OFFICIAL ACTIONS OF THE ADDISON PLANNING AND ZONING COMMISSION

September 21, 2021

6:00 P.M. - Addison TreeHouse

Addison TreeHouse, 14681 Midway Road, Suite 200, Addison, TX 75001

Present: Chair Eileen Resnik; Vice Chair Tom Souers; Commissioner Robert Catalani;
Commissioner Nancy Craig; Commissioner Chris DeFrancisco; Commissioner Denise
Fansler; Commissioner John Meleky

Call Meeting to Order

Pledge of Allegiance

Regular Agenda:

1. Consider Action on the **Minutes from the August 17, 2021 Planning and Zoning Commission Meeting.**

Motion: Approval of the minutes as presented.

Moved by Commissioner Nancy Craig, Seconded by Commissioner John Meleky

AYE: Chair Eileen Resnik, Vice Chair Tom Souers, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Chris DeFrancisco, Commissioner Denise Fansler, Commissioner John Meleky

Passed

2. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Amending Planned Development (PD) District Ordinance O20-54 for a 2.034-Acre Property Located at 3820 Belt Line Road, to Modify Minimum Lot Size Requirements and to Establish Future Cross-Access**

Requirements. Case 1838-Z/3820 Belt Line Road.

Discussion:

Ken Schmidt, Director of Development Services, presented the Staff Report.

Commissioner DeFrancisco inquired about parking being lost if the property were to be subdivided in the future. Mr. Schmidt clarified that each lot would be required to comply with the minimum parking requirements of the applicable zoning district, and if they wished to redevelop the existing vacant restaurant in the future, any future uses would need to comply with those requirements.

Vice Chair Souers inquired about the nature of the changes being proposed and whether the applicant would still be required to comply with the Master Transportation Plan and other Town zoning requirements. Mr. Schmidt confirmed that the proposed PD amendments only include the elimination of the minimum lot size requirement and the requirement to provide cross-access between any future lots, and that all other Town requirements would still apply. Mr. Schmidt stated that this request was driven by the applicants need to maintain flexibility to support potential reinvestment in this property.

Chair Resnik opened the meeting as a public hearing.

Public Hearing: There were no speakers on this item.

Chair Resnik closed the public hearing.

Motion: Recommend approval of the zoning amendment.

Moved by Commissioner John Meleky, Seconded by Commissioner Robert Catalani

AYE: Chair Eileen Resnik, Vice Chair Tom Souers, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Chris DeFrancisco, Commissioner Denise Fansler, Commissioner John Meleky

Passed

3. Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance Changing the Zoning on a 2.99-Acre Properties Located at 4150 Kellway Circle, from Industrial-1 (I-1) to Planned Development (PD) District with Modified I-1 District Regulations.** Case 1831-Z/4150 Kellway Circle.

Discussion:

Ken Schmidt, Director of Development Services, informed the Commission that the applicant has requested to table consideration of the request to a future meeting to allow staff and the applicant to work through additional details of the request. Mr. Schmidt shared with the Commission that staff will mail out updated notification letters to surrounding property owners, which will also allow staff to correct a deficiency with the previous notice.

No further discussion occurred on this item.

Motion: Table consideration until the next Planning and Zoning Commission meeting.

Moved by Commissioner Nancy Craig, Seconded by Commissioner Denise Fansler

AYE: Chair Eileen Resnik, Vice Chair Tom Souers, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Chris DeFrancisco, Commissioner Denise Fansler, Commissioner John Meleky

Passed

Adjourn Meeting

There being no further business before the Commission, the meeting was adjourned.

Planning & Zoning Commission

3.

Meeting Date: 10/19/2021

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance on Property Located at 4141 Spring Valley Road, currently zoned R-1 Single Family Dwelling and Planned Development (PD) through Ordinance 084-092, for a Special Use Permit to Allow a New Private School Building.** Case 1836-SUP/4141 Spring Valley Road (Greenhill School Science Building).

Attachments

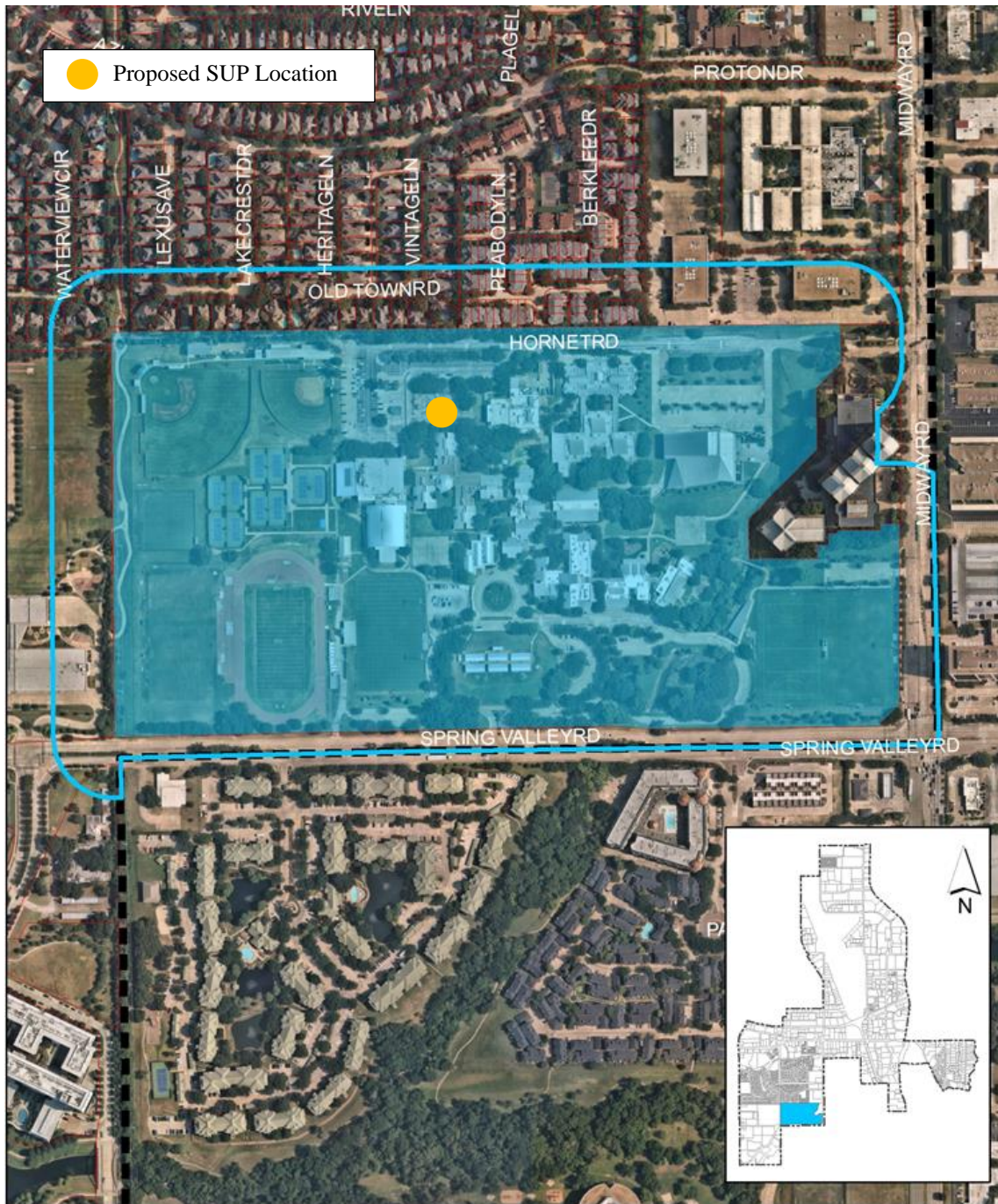
1836-SUP P&Z Packet

1836-SUP Plans

1836-SUP Property Owner Notification Response

PUBLIC HEARING Case 1836-Z/4141 Spring Valley Road (Greenhill School Science Building). Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance on Property Located at 4141 Spring Valley Road, currently zoned R-1 Single Family Dwelling and Planned Development (PD) through Ordinance 084-092, for a Special Use Permit to Allow a New Private School Building.

LOCATION MAP





October 14, 2021

STAFF REPORT

RE: Case 1836-SUP/4141 Spring Valley Road (Greenhill School Science Building)

LOCATION: 4141 Spring Valley Road

REQUEST: Approval of a Special Use Permit for a new building for Greenhill School

APPLICANT: Margaret Sledge, Bohlin Cywinski Jackson

DISCUSSION:

Background: Greenhill School is an established private school that has been in Addison since 1959, and that is primarily zoned R-1 Single-Family Dwelling District. A small segment at the southeastern corner of the property is zoned Planned Development (PD), through Ordinance 084-092. In Addison, private schools are only permitted by Special Use Permits (SUP). SUPs for Greenhill School have been approved and amended over the years to revise the development plans and uses within the campus, through Ordinances 085-035, 087-043, 091-064, 094-025, 004-010, 013-053, 018-39, and 021-20.

The most recent SUP ordinance allowed the use of temporary buildings to accommodate temporary classroom space following the demolition of the existing Science Building. With this SUP request, the school is proposing the addition of a Math, Science, and Innovation (MSI) building at the northwest quadrant of the campus, replacing the former Agnich Science Hall, which was constructed in 1964 and was recently demolished. This new building will offer classrooms and facilities in science, math, engineering, and technology for Middle and Upper School students of Greenhill.

The Greenhill School campus is made up of 75 acres and consists of 15 buildings, including an athletic complex, library, and performing arts center that total over 356,000 square feet of floor area and serves 1,300+ Greenhill School students, ranging from prekindergarten to 12th grade.

Proposed Plans: The applicant is proposing to build a two-story 59,200 square foot building, above a basement level (7,300 square feet), at the northwest quadrant of the campus, north of Levy Middle School and west of Crossman Hall Cafeteria.

On the first and second levels of the building, faculty offices, classrooms and labs for math, science, and other innovation/technology related subjects, including computer science and

robotics, are proposed. A courtyard is proposed at the center of the building that will be accessible from the first level and open to the second level.

The basement level of the building is proposed to serve as the community storm shelter that is required for schools by the 2018 International Building Code (IBC), which has been adopted by the Town of Addison. Further refinement to the basement level may be necessary during the building permit review to ensure compliance with the IBC.

To ensure proper separation from adjacent properties, school buildings are required to be setback two feet for each foot of building height. The proposed MSI building is located to the south of the Westfield Court and Townhomes of Addison neighborhoods. The building has an overall height of 43'-8" and is setback 154 feet from the southern boundary of these neighborhoods, which is three times the overall height of the building, significantly exceeding this minimum setback requirement.

Parking: Schools in the R-1 Single-Family Dwelling District require parking for assembly areas such as theaters, auditoriums, gymnasiums, stadiums, and field houses, based on the following parking ratios:

- Soccer fields, baseball fields and stadiums, one parking space for every four seats.
- Theaters, auditoriums, gymnasiums, and field houses, public or private, one space for every three seats.

Based on the assembly buildings located on campus, the school is required a total of 744 parking spaces. The campus will exceed this minimum parking requirement by maintain 762 parking spaces throughout the campus.

Exterior Facades: The proposed building will be comprised primarily of tan-colored brick masonry with accents of metal window shrouds, that provide sun shading. Window glazing is also used throughout the building, with prominent glass curtain walls at the south and east side of the building, opening to the plaza area and main entry.

The roof is proposed to be a standing seam metal pitched roof. The applicant is proposing future installation of photovoltaic solar panels on the roof, on the portion sloped to the south.

Landscaping: The Town's Landscape Ordinance does not apply to single-family dwelling districts. However, the applicant is proposing to provide landscape area encompassing 30 percent of the project area.

The landscape plan shows the installation of new plantings and site elements to create an enhanced outdoor space, such as courtyards, plazas, and pedestrian walkways. This includes activating the interior building courtyard that will serve as a stormwater garden, accommodating elevated walkways over the rain gardens, and limestone block seat benches and plantings throughout.

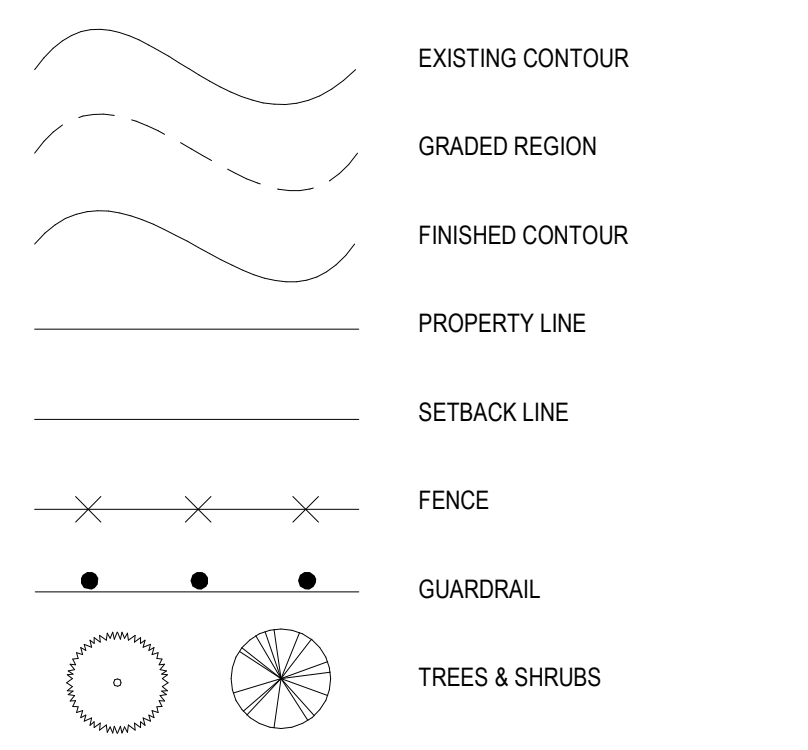
RECOMMENDATION: **APPROVAL**

Greenhill School is a longtime stakeholder in Addison and is widely respected as a high-quality academic institution. The new building will make way for a new STEM and innovation center to provide a leading-edge learning space for current and future Greenhill students.

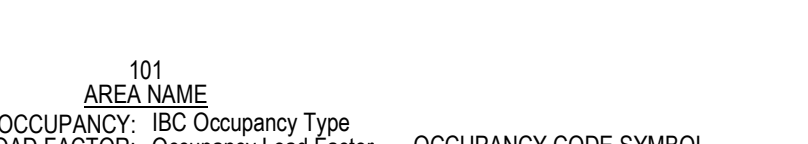
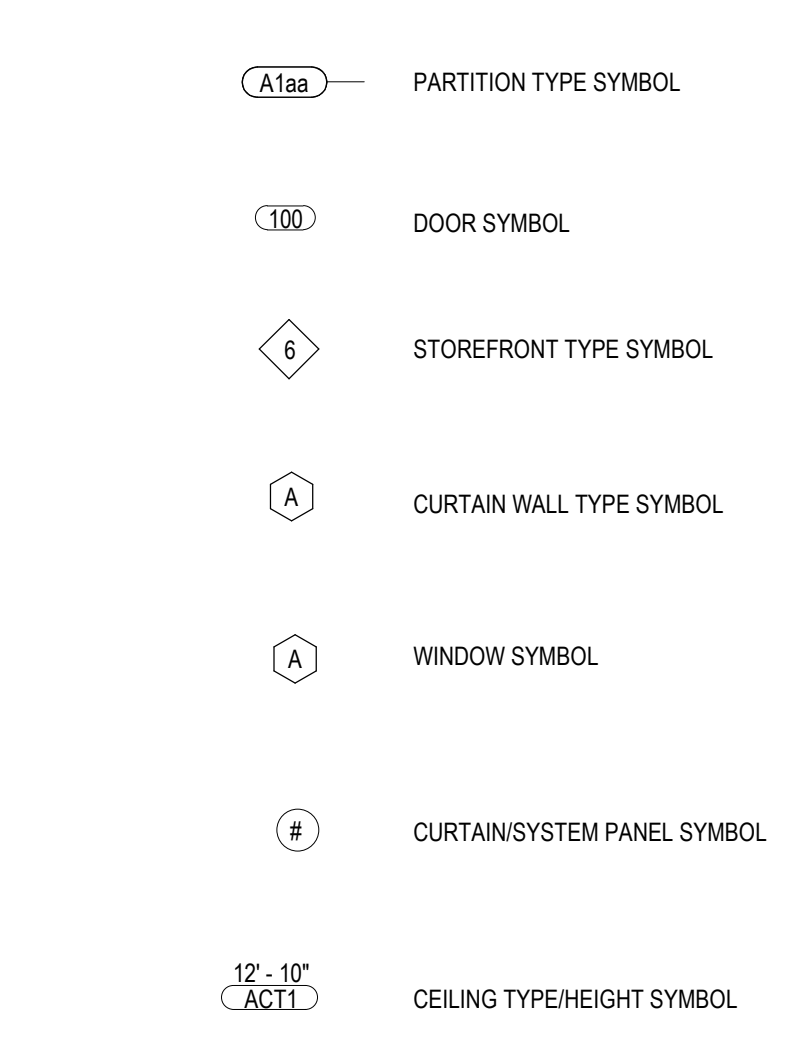
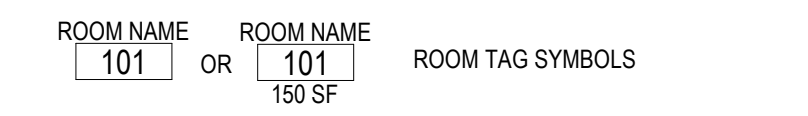
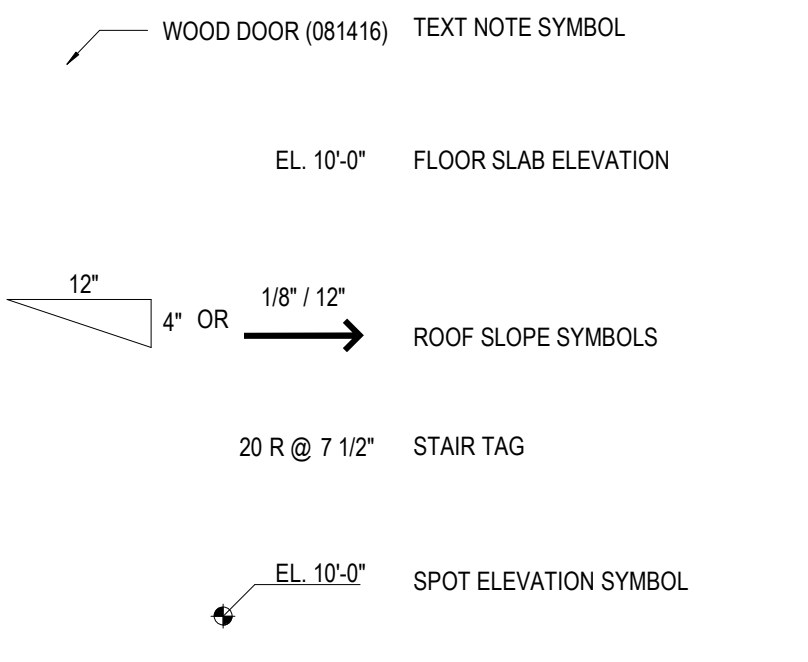
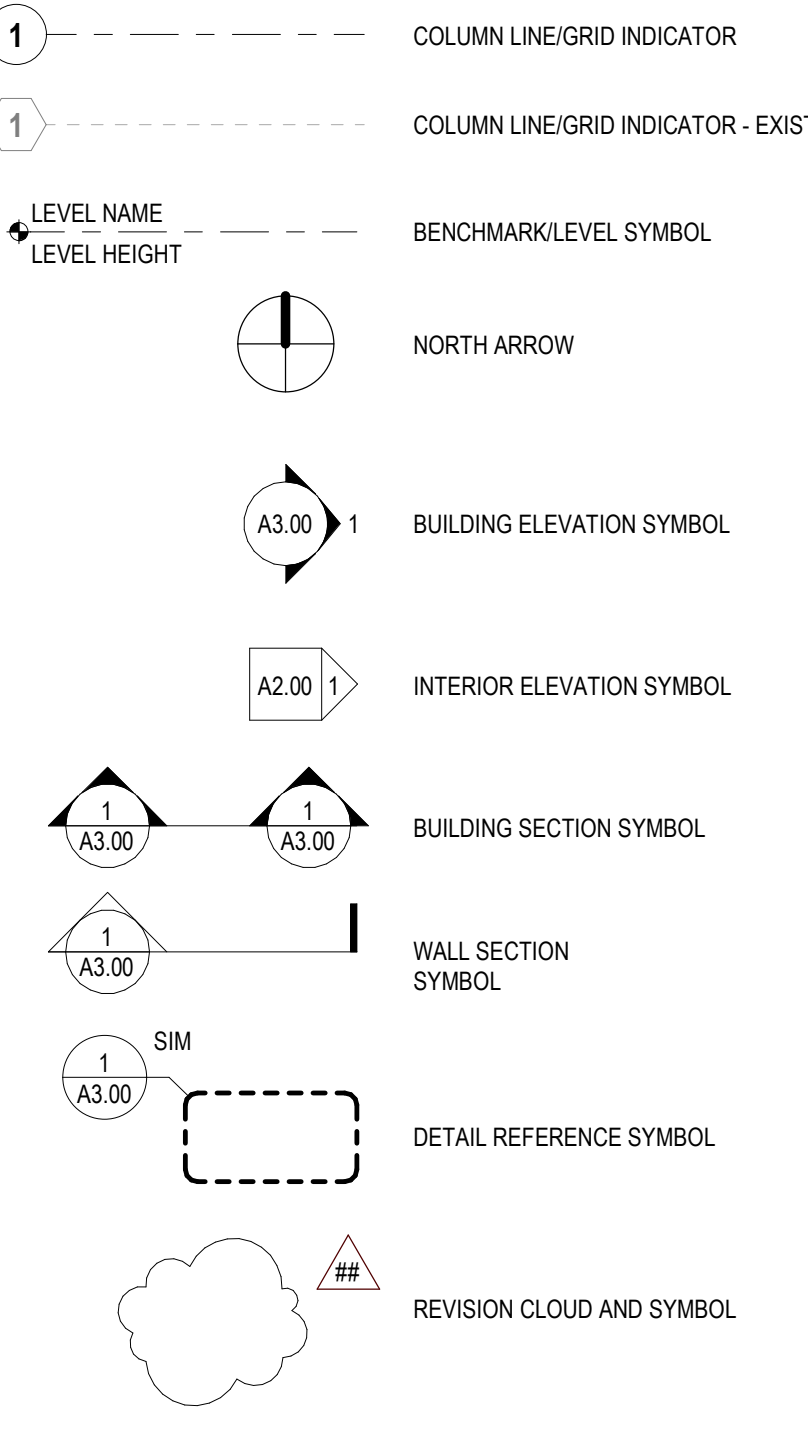
Staff recommends approval of the request.

ABBREVIATIONS

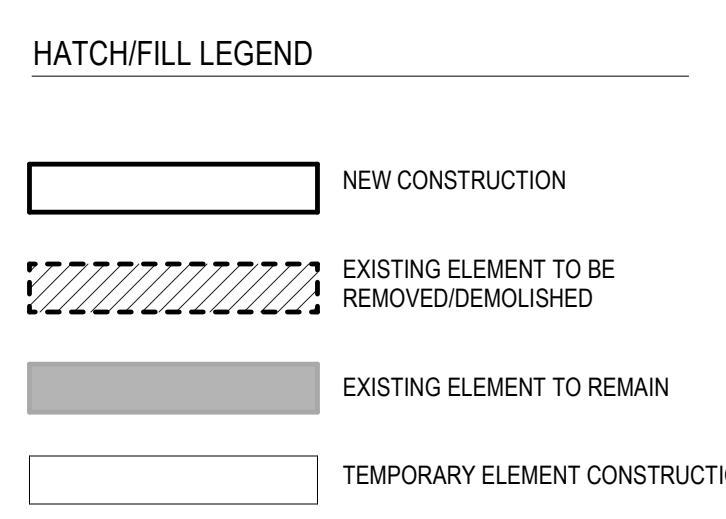
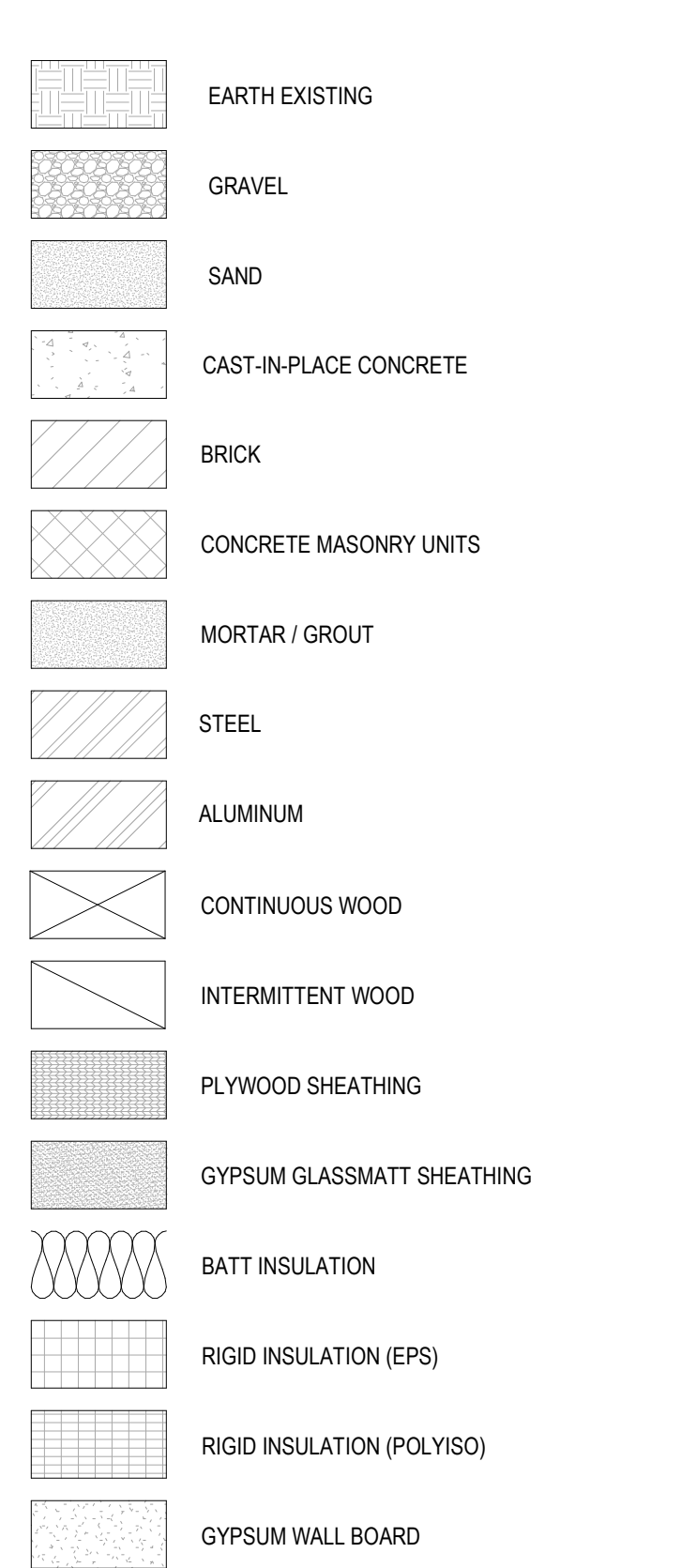
Table of abbreviations with columns for Key Name, Abbreviation, and the corresponding full name for various construction and architectural terms.



SYMBOLS - SITE PLAN



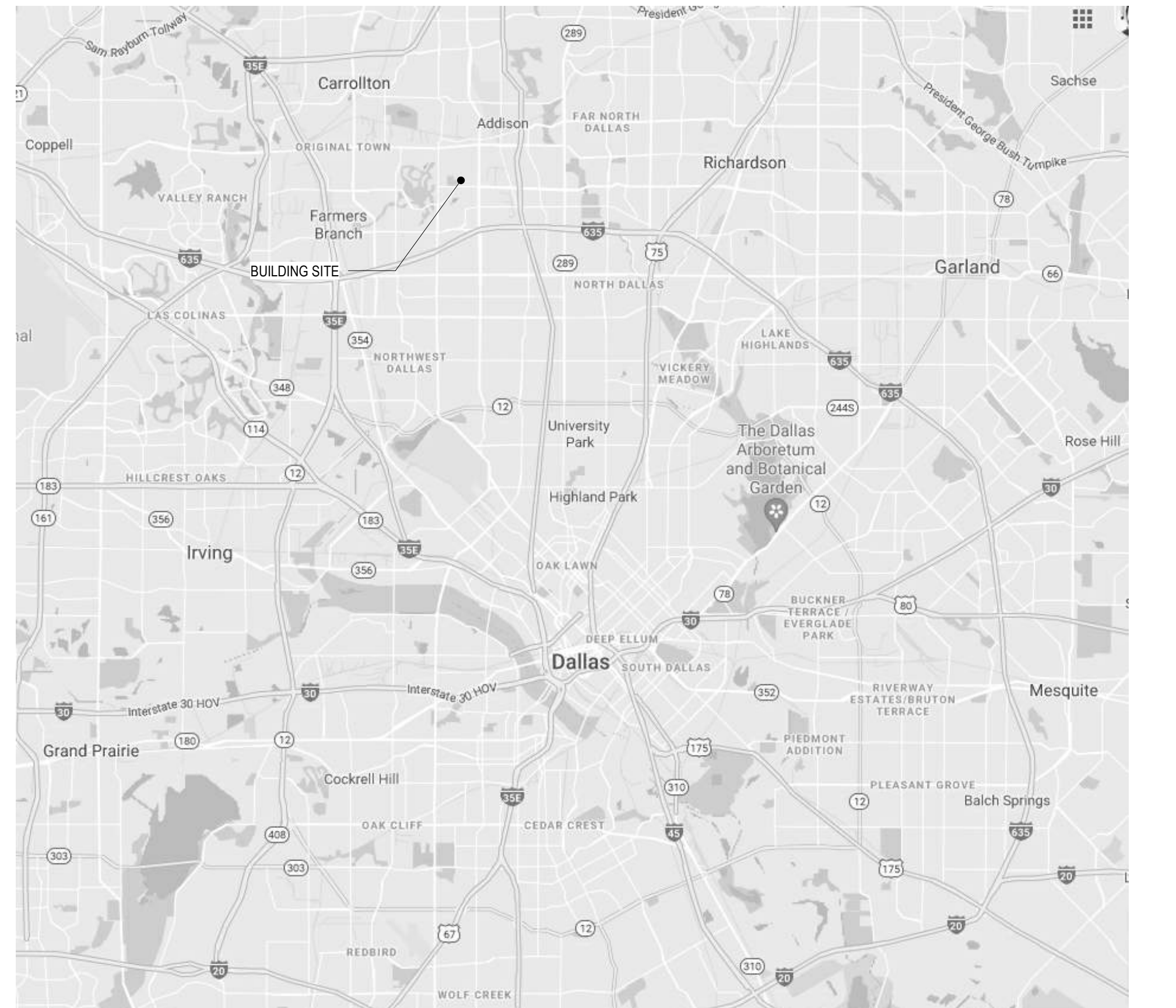
01 GENERAL



SYMBOLS - BUILDING WALL PHASING

Greenhill School MSI

REGIONAL MAP



LOCAL MAP



Bohlin Cywinski Jackson logo and contact information.

Architect Bohlin Cywinski Jackson, 1100 Ludlow Street, Suite 600 Philadelphia, PA 19107.

Structural Engineer Waller P. Moore, 500 North Akard, Ste 2300 Dallas, TX 75201.

MEPP Engineer DBR Engineering Consultants, 15301 Spectrum Drive, Ste 350 Addison, TX 75001.

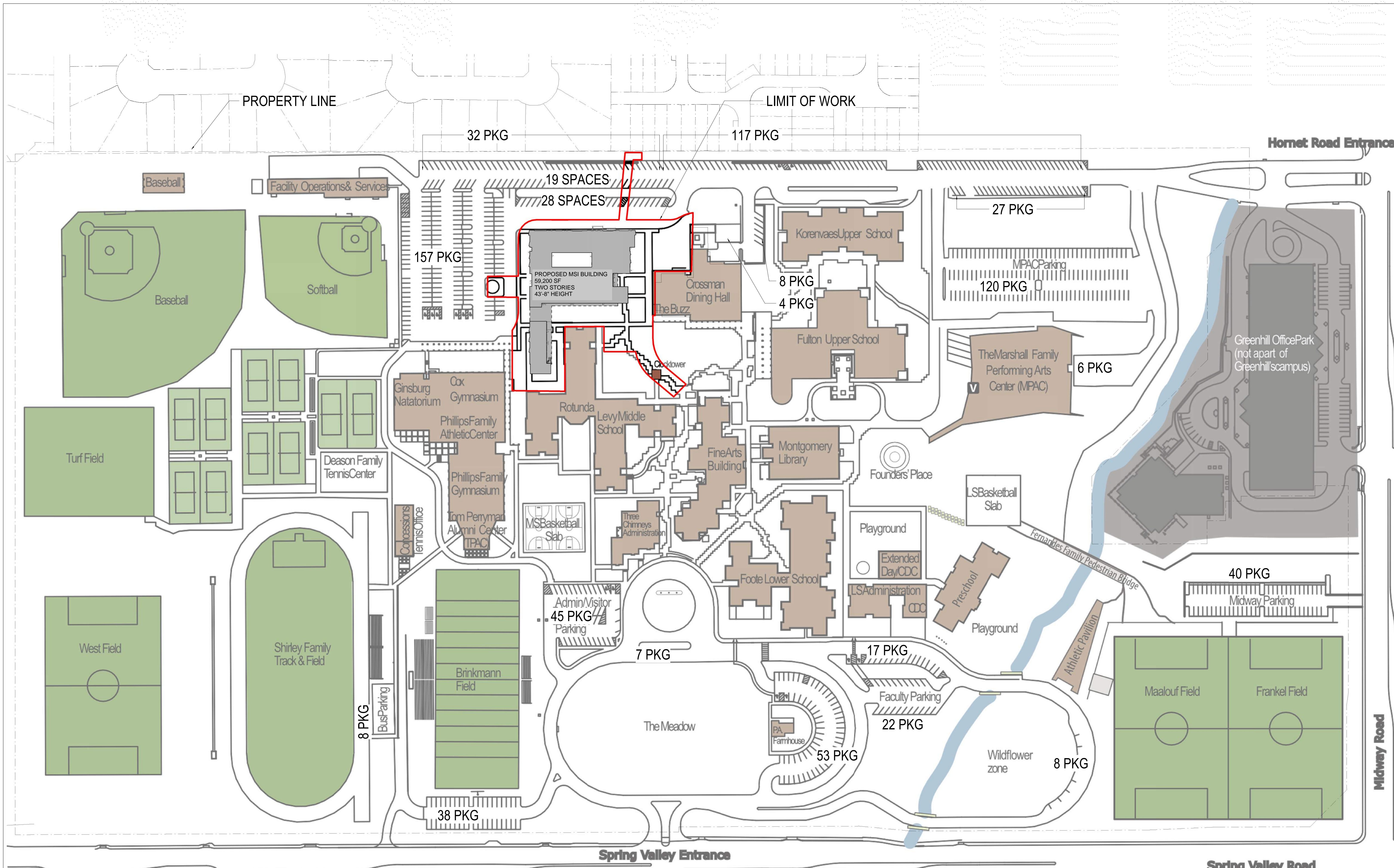
Code Consultant Holmes Keogh Associates LLC, 526 East 20th Street, Apt 4D New York, NY 10009.

Landscapes Architect OJB Landscapes Architecture, 1845 Woodhill Rodgers, Ste 1225 Dallas, TX 75201.

NOT FOR PERMITTING OR CONSTRUCTION

Greenhill School logo and address: 4141 Spring Valley Rd, Addison, TX 75001.

GRAPHIC SYMBOLS & ABBREVIATIONS, SPECIAL USE PERMIT, OCTOBER, 2021, Scale As indicated, 21307 BCJ Project Number, SUP-A01 Sheet Number.



SITE DATA SUMMARY

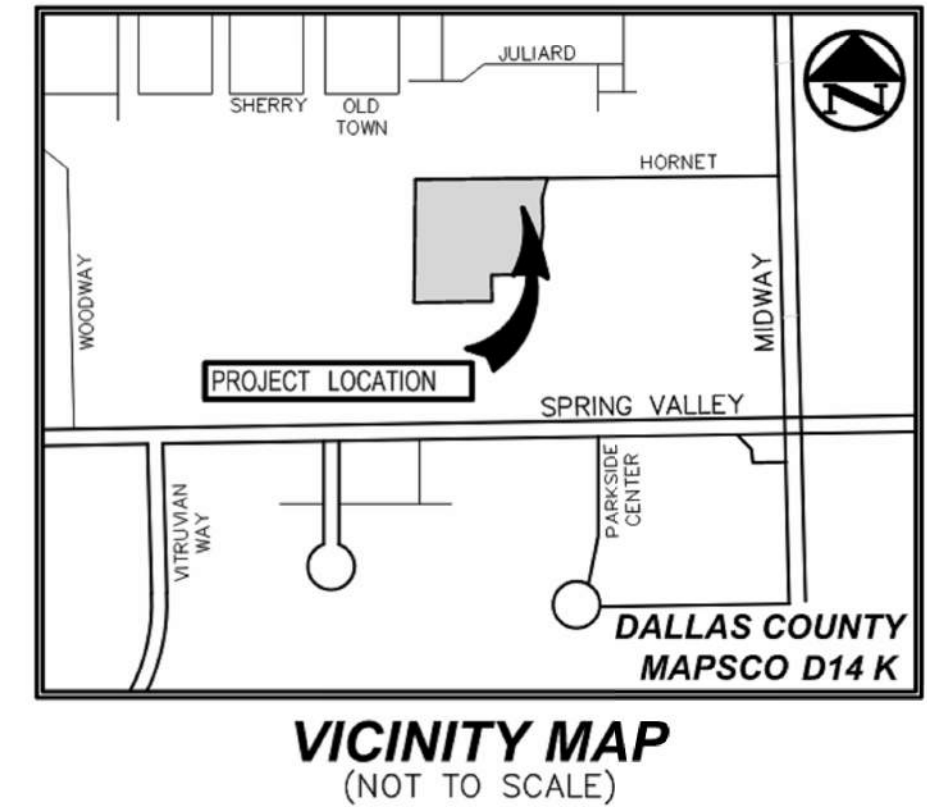
ZONING: R1
 TOTAL LOT (CAMPUS) AREA: 75 ACRES
 LIMIT OF WORK: 2 ACRES

PARKING:

BUILDING:	SEATS:	NO. SPACES (RATIO)
Phillips gym	800	267(1:3)
Cox gym	192	64(1:3)
Brickman Football field	482	56.25(1:4)
Softball	75	18.75(1:4)
Baseball	150	37.5(1:4)
Fields 1 & 2	100	25(1:4)
Performing Arts Center	650	216.6(1:3)
Tennis courts	75	18.75(1:4)
TOTAL REQUIRED SPACES		744 SPACES
TOTAL EXISTING CAMPUS:		762 SPACES
ADJACENT TO LIMIT OF WORK:		236 SPACES
PROP. NO. OF SPACES REMOVED		0 SPACES

BUILDING :	AREA (SF)
Administration	7,044
Athletic Center	67,107
Dining Hall	21,602
Facilities Building	8,188
Fine Arts	21,633
Library	13,495
Lower School	38,444
Lower School Admin	11,737
Middle School	33,100
MPAC	54,000
Pre-School	10,392
Science	12,565
Upper School North	21,239
Upper School South	31,528
zz Concessions Tennis	1,350
Batting Cage	3,150
Total	356,574

1 SUP SITE PLAN - CAMPUS PLAN
 SUP-A02 SCALE: 1:80



**Bohlin
 Cywinski
 Jackson**

Architect
 Bohlin Cywinski Jackson
 1100 Ludlow Street, Suite 600
 Philadelphia, PA 19107

Civil Engineer
 Pacheco Koch
 7557 Rambler Rd, Ste 1400
 Dallas, TX 75231

Structural Engineer
 Waller P. Moore
 500 North Akard, Ste 2300
 Dallas, TX 75201

Landscape Architect
 QJB Landscape Architecture
 1845 Woodall Rodgers, Ste 1225
 Dallas, TX 75201

MEPEP Engineer
 DBR Engineering Consultants
 15301 Spectrum Drive, Ste 350
 Addison, TX 75001

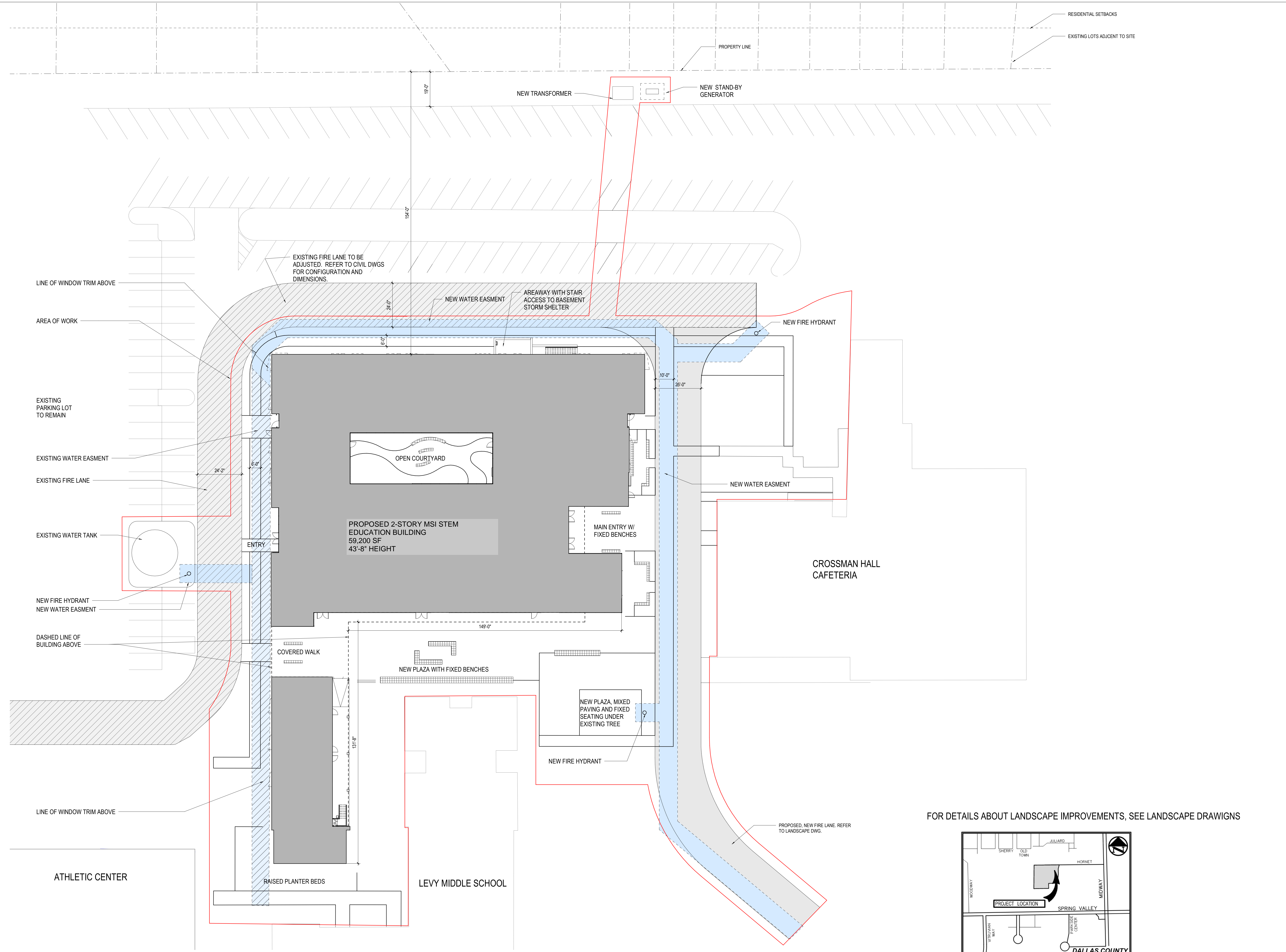
Code Consultant
 Holmes Keogh Associates LLC
 526 East 20th Street, Apt 4D
 New York, NY 10009

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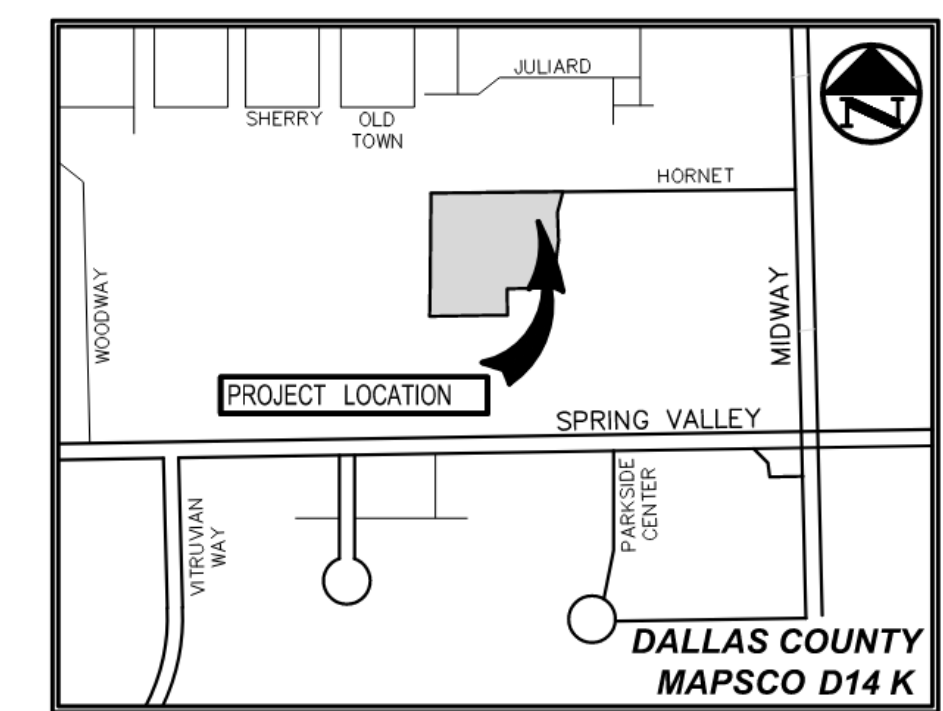
**Greenhill
 SCHOOL**
 Greenhill School MSI
 4141 Spring Valley Rd
 Addison, TX 75001

SUP SITE PLAN
SPECIAL USE PERMIT

OCTOBER, 2021
 Date
 21307
 BCJ Project Number
SUP-A02
 Sheet Number
 1" = 80'-0"



FOR DETAILS ABOUT LANDSCAPE IMPROVEMENTS, SEE LANDSCAPE DRAWINGS



VICINITY MAP
(NOT TO SCALE)

1 SUP SITE PLAN - LIMIT OF WORK
SCALE: 1:20

**Bohlin
Cywinski
Jackson**

Architect
Bohlin Cywinski Jackson
1100 Ludlow Street, Suite 600
Philadelphia, PA 19107
Civil Engineer
Pacheco Koch
7557 Rambler Rd, Ste 1400
Dallas, TX 75231

Structural Engineer
Waller P. Moore
500 North Akard, Ste 2300
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Landscape Architect
OJB Landscape Architecture
1845 Woodall Rodgers, Ste 1225
Dallas, TX 75201

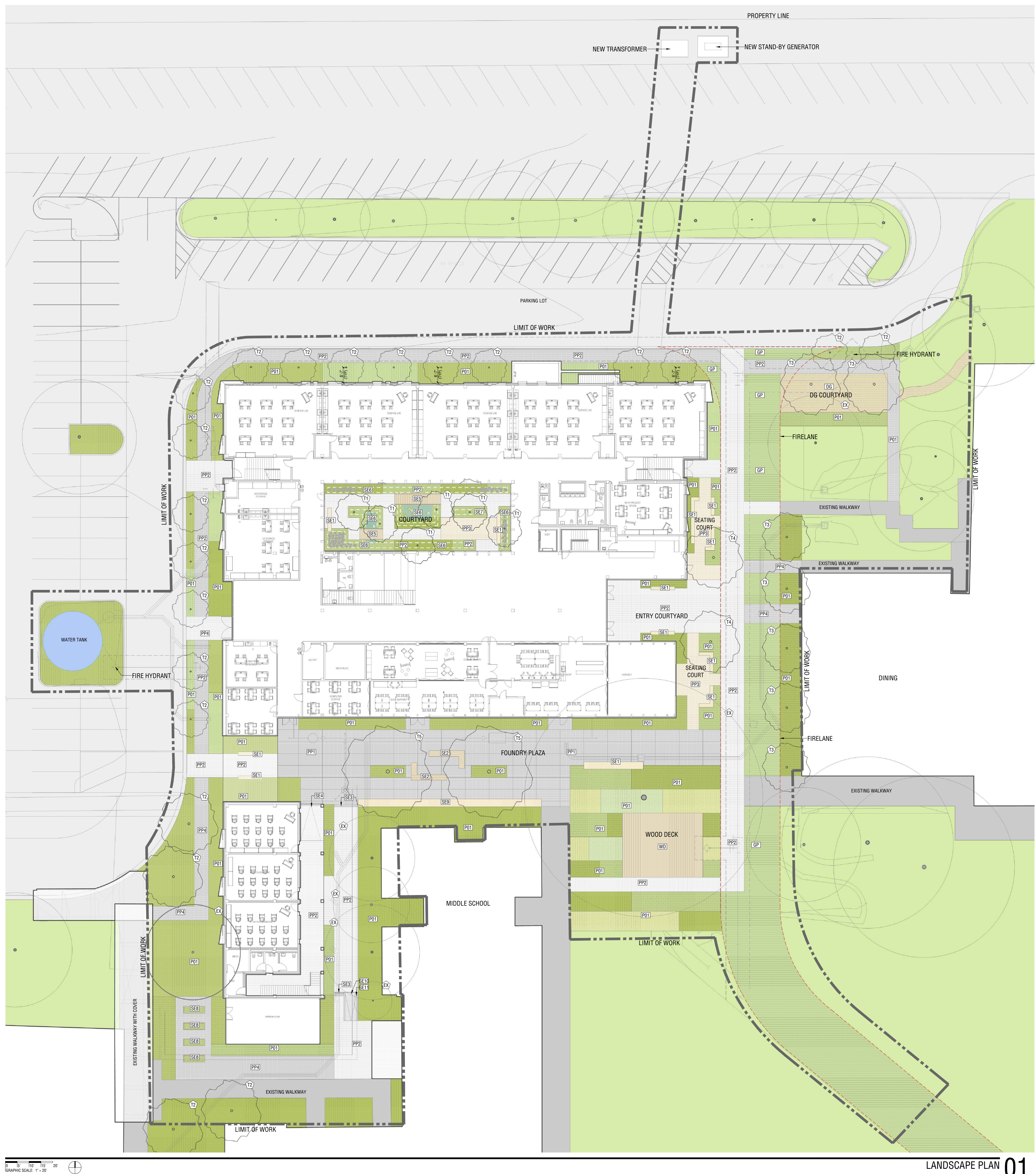
MEPFP Engineer
DBR Engineering Consultants
15301 Spectrum Drive, Ste 350
Addison, TX 75001
Code Consultant
Holmes Keogh Associates LLC
526 East 20th Street, Apt 4D
New York, NY 10009

Seal	No.	Description	Date
NOT FOR PERMITTING OR CONSTRUCTION			

**Greenhill
SCHOOL**
Greenhill School MSI
4141 Spring Valley Rd
Addison, TX 75001

SUP SITE PLAN
SPECIAL USE PERMIT

Date	Scale	Sheet Number
OCTOBER, 2021	1" = 20'-0"	SUP-A03
BCJ Project Number		
21307		



LANDSCAPE PLAN 01
SCALE: 1" = 20' 0"

GENERAL NOTES

1. ANY CONTRACTOR SUBMITTING A PROPOSAL FOR THIS WORK SHALL FIRST EXAMINE THE SITE OF THE PROPOSED WORK AND ALL CONDITIONS AT THE SITE THAT THE CONTRACTOR MAY FULLY UNDERSTAND ANY FACILITIES, DIFFICULTIES, AND RESTRICTIONS ATTENDING THE EXECUTION OF THE CONTRACT. NO SUBSEQUENT ALLOWANCES SHALL BE MADE BECAUSE OF OMISSION, ERROR, OR NEGLIGENCE, IN CONNECTION WITH THIS PROVISION.
2. CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR BODILY INJURY AND/OR ANY COST INCURRED DUE TO DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES. CONTRACTOR SHALL HAND DIG FOOTINGS, TREE WELLS, PLANTING BEDS, ETC. AS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES PRIOR TO ANY EXCAVATION.
3. LOCATE AND VERIFY CONDITION OF UTILITIES PRIOR TO ANY EXCAVATION. EXTREME CARE SHALL BE EXERCISED IN EXCAVATION AND WORKING NEAR EXISTING UTILITIES. REFER TO CIVIL DRAWING FOR GENERAL REFERENCE.
4. ANY CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR THE LANDSCAPE ARCHITECT SHALL ASSUME THAT THE CONTRACTOR HAS INCORPORATED THE SPECIFIED ITEM.
5. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION OF DESIGN WHEN UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE SUBCONTRACTORS ACCOMPLISHMENT OF SCOPE OF WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
7. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 72 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO PROVIDE ALL WORK. WORK TO BE COMPLETE IN PLACE AS SPECIFIED.
8. ALL MATERIALS SHALL BE OF STANDARD, APPROVED AND FIRST GRADE QUALITY AND SHALL BE IN PRIME CONDITION WHEN INSTALLED AND ACCEPTED. ANY COMMERCIALY PROCESSED OR PACKAGED MATERIAL SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED PACKAGING BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
9. TREE LOCATIONS MAY ADJUST TO ACCOMMODATE EXISTING UTILITIES. VERIFY NEW LOCATION WITH LANDSCAPE ARCHITECT, TYP.
10. CONTRACTOR RESPONSIBLE FOR VERIFYING PLANT AND SOD QUANTITIES AND ENSURING DESIGN INTENT OF DRAWINGS.
11. CONTRACTOR RESPONSIBLE FOR STAKING OUT ALL PLANTING BEDS AND TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
12. CONTRACTOR TO INSTALL STEEL EDGING TO SEPARATE ALL PLANT VARIETIES FROM ONE ANOTHER AND FROM LAWN.
13. CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH PICTURES OF ALL SPECIFIED PLANT MATERIAL IN ADDITION TO ALL OTHER PLANT MATERIAL.
14. CONTRACTOR RESPONSIBLE FOR POSITIVE DRAINAGE.

LANDSCAPE SHEET INDEX

- L1.00 ORIENTATION PLAN
- L2.00 TREE PROTECTION & DEMOLITION DETAIL (ADDENDUM) - TREE MITIGATION CHART
- L3.00 CONSTRUCTION DETAILS
- L7.01 PLANTING DETAILS

HARDSCAPE SCHEDULE

- PP1 - PEDESTRIAN PAVING, TYPE 1:** PEDESTRIAN RATED COLORED CONCRETE; SANDBLASTED FINISH, SCORE JOINT TO BE 5'X10'
- PP2 - PEDESTRIAN PAVING, TYPE 2:** PEDESTRIAN RATED CONCRETE UNIT PAVERS SAND SET ON REINFORCED CONCRETE BASE
- PP3 - PEDESTRIAN PAVING, TYPE 3:** PEDESTRIAN RATED CONCRETE UNIT PAVERS SAND SET ON REINFORCED CONCRETE BASE
- PP4 - PEDESTRIAN PAVING, TYPE 4:** PEDESTRIAN RATED CONCRETE UNIT PAVERS SAND SET ON REINFORCED CONCRETE BASE
- DG - DECOMPOSED GRANITE:** 4" THICK, PLACED IN TWO, 2" LIFTS; COMPACTED WITH STABILIZER BINDER; SET ON 6" COMPACTED GRAVEL BASE; PROVIDE BLACK STEEL EDGING ADJACENT TO TURF AND PLANTING AREAS. COLOR TO BE DETERMINED BY LANDSCAPE ARCHITECT.
- WD - WOOD DECK:** IPE WOOD DECK; CONCRETE PERIMETER BEAM, SYP JOISTS
- GP - GRASS PAVE WITH CONCRETE BAND:** DRIVABLE GRASS, RE. CIVIL FOR ROAD BASE

SITE ELEMENTS

- SE1 - LIMESTONE BLOCK SEAT BENCH:** 1'-6" HIGH x 1'-6" WIDE
- SE2 - MOVABLE WOOD BENCH:** IPE CLAD SEAT, ALL FACES CLAD IN IPE WOOD WITH WHEELS AT THE BASE
- SE3 - STEPS:** SOLID TREAD / RISER, STONE TO MATCH PAVERS.
- SE4 - ACCESSIBLE SLOPED WALK:** CONCRETE UNIT PAVERS
- SE5 - ELEVATED WALKWAYS AT RAIN GARDEN:** IPE BOARDS WITH CAST-IN-PLACE CONCRETE BASE
- SE6 - RAIN GARDEN:** BASIN WITH PLANTING, FILTER FABRIC AND DRAINAGE LAYERS
- SE7 - LANDSCAPE BERM:** SOD BERM, 2'-6" HIGH x 4'-6" WIDE
- SE8 - RAISED WOOD PLANTER:** ALL FACE CLAD IN IPE WOOD, 9'-0" x 3'-0" x 3'-6" HIGH WITH PLANTING AND SPECIFIED SOIL
- SE9 - LIMESTONE BLOCK SEAT WALL:** 1'-6" HIGH x 3'-0" WIDE
- SE10 - RAMP:** INTEGRAL COLORED CONCRETE, SAW CUT JOINTS TO MATCH PER PLAN, REINFORCING PER CIVIL.
- SE11 - HANDRAIL:** 1-1/2" BRUSHED STAINLESS STEEL HANDRAIL WITH VERTICAL SUPPORTS AT 5'-0" O.C.

PLANTING SCHEDULE

KEY	SYMBOL	COMMON / BOTANICAL NAME	SIZE	SPACING
EX	(Symbol)	EXISTING TREE/ REFER TO TREE DEMOLITION PLAN	RE. LO.50	RE. LO.50
T1	(Symbol)	AMERICAN ELM / ULMUS AMERICANA PRINCECTON	100 GALLON, 3.5'-4.5' CAL, 14'-15' HEIGHT	RE. PLAN
T2	(Symbol)	RED OAK / QUERCUS SHUMARDII	300 GALLON, 8' CAL, 18'-20' HEIGHT	RE. PLAN
T3	(Symbol)	LACEY OAK / QUERCUS LACEYI	300 GALLON, 8' CAL, 18'-20' HEIGHT	RE. PLAN
T4	(Symbol)	LIVE OAK / QUERCUS VIRGINIANA	300 GALLON, 8' CAL, 18'-20' HEIGHT	RE. PLAN
T5	(Symbol)	LIVE OAK / QUERCUS VIRGINIANA	MACHINE DUG	RE. PLAN

KEY	SYMBOL	COMMON / BOTANICAL NAME	SIZE	SPACING
P01	(Symbol)	ORNAMENTAL PLANTING (TYP)	TBD	TBD

** LANDSCAPED AREA WITHIN THE LIMIT OF WORK: 30%

1/4" x 4" ALUMINUM EDGING (COLOR BLACK) TO SEPARATE ORNAMENTAL PLANTING FROM TURF AND DECOMPOSED GRANITE.

PROVIDE 42" HEIGHT TREE ROOT BARRIER ALONG ALL HARDSCAPE WITHIN 10' OF ANY TREE.

IRRIGATION

ALL PLANTED AREAS TO BE 100% IRRIGATED, AUTOMATIC. ALL TREES TO RECEIVE BUBBLERS.

SPRAY: TYPE IRRIGATION FOR ALL SODDED AREAS

DRIP: TYPE IRRIGATION FOR ALL ORNAMENTAL AREAS

QUICK COUPLERS: PROVIDE AT GATHERING AREAS AND AT EACH ENTRY

SOILS NOTES

PLANTING BEDS: 12" OF BED PREPARATION WITH SPECIFIED SOIL

MISCELLANEOUS

AREA DRAINS
PROVIDE (1) AREA DRAIN PER 500 SF OF ORNAMENTAL PLANTING AND (1) PER 3,000 SF OF SODDED AREAS.

ALLOWANCES
LANDSCAPE DRAINAGE; PROVIDE 8" OF PERFORATED AND SOLID PIPE AS REQUIRED TO TIE IN TO CIVIL STORM SYSTEM.

LIGHTING
TREE UPLIGHTS: EACH CANOPY TREES TO RECEIVE TREE UPLIGHTS (2 PER TREE), ALLOW \$750 EACH

MOVABLE FURNITURE:
- TABLES (12) AND CHAIRS (48)
- TABLES (10) AND CHAIRS (20)
- MOBILE MAKER TABLE (5) AND CHAIRS (20)
- ADIRONDACK CHAIRS (25)

Plotted By: Shi Park Sheet: GR-SC-GREENHILL-SCHOOL Layout: L1.01 Version: October 12, 2021 12:55:16pm Stored: T:\Projects\GR-SC-Greenhill School\GR-SC-Sheets\GR-SC-L1-CONSTRUCTION-PLANS-SD.dwg



Architect
Bohlin Cywinski Jackson
1100 Ludlow Street, Suite 600
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7557 Rambler Rd, Ste 1400
Dallas, TX 75231

Structural Engineer
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MEFP Engineer
DBR Engineering Consultants
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Holmes Keogh Associates LLC
1845 Woodall Rodgers, Ste 1225
Dallas, TX 75201

Landscape Architect
OJB Landscape Architecture
1845 Woodall Rodgers, Ste 1225
Dallas, TX 75201

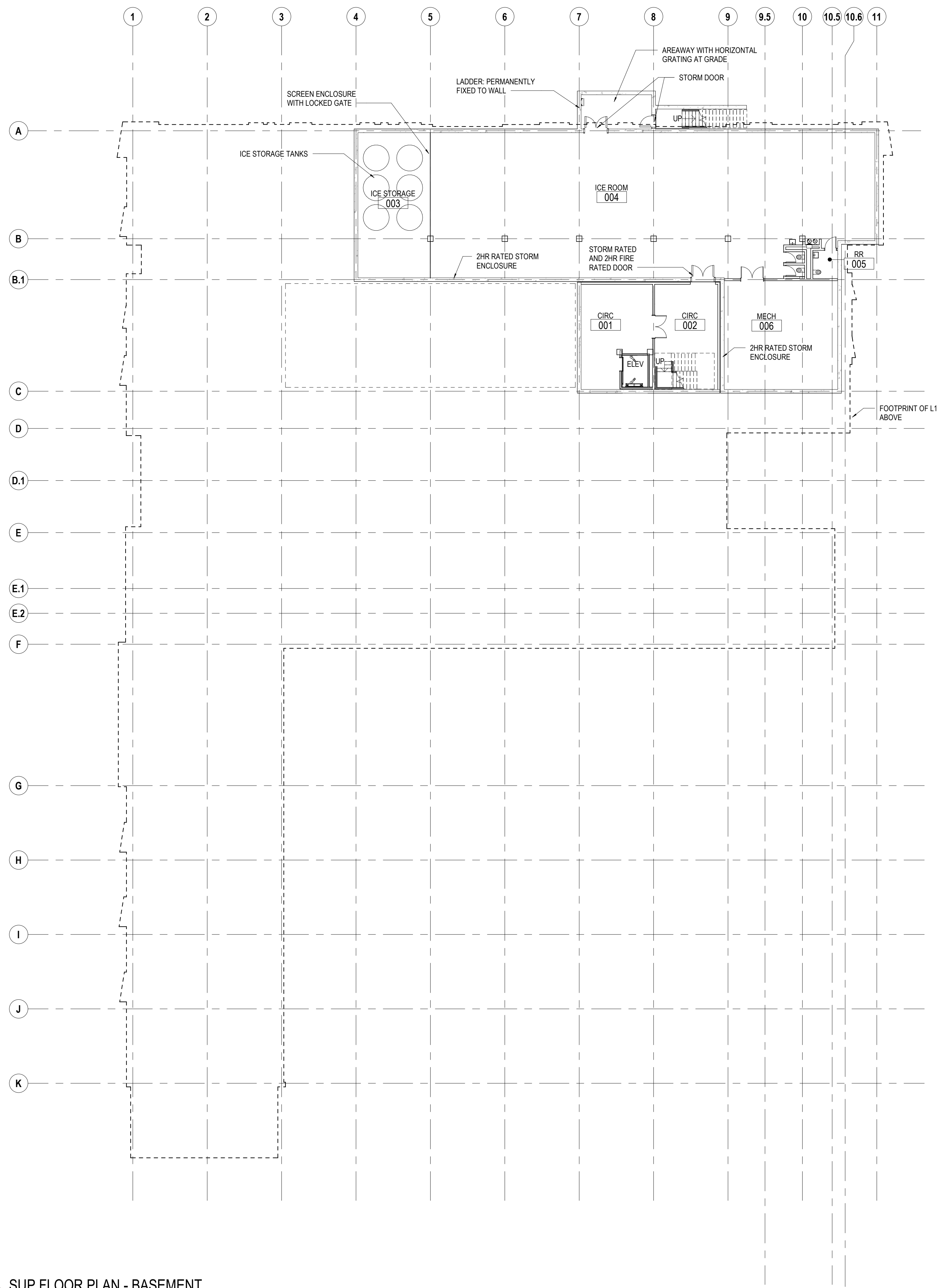
Seal	No.	Description	Date
	1.	ISSUE FOR SCHEMATIC DESIGN	07/08/2021
	2.	ISSUE FOR DESIGN DEVELOPMENT	09/23/2021

Document incomplete: Not intended for permit or construction.
Landscape Architect: James Burnett
Registration No.: 1482
Date: 10/19/2021
The Office of James Burnett



LANDSCAPE PLAN
Design Development

Date	October 19, 2021	Scale	1"=10'-0"
BCI Project Number	21307	L1.01	
Sheet Number			



1 SUP FLOOR PLAN - BASEMENT
 SUP-A10 SCALE: 1/16" = 1'-0"

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 Jackson**

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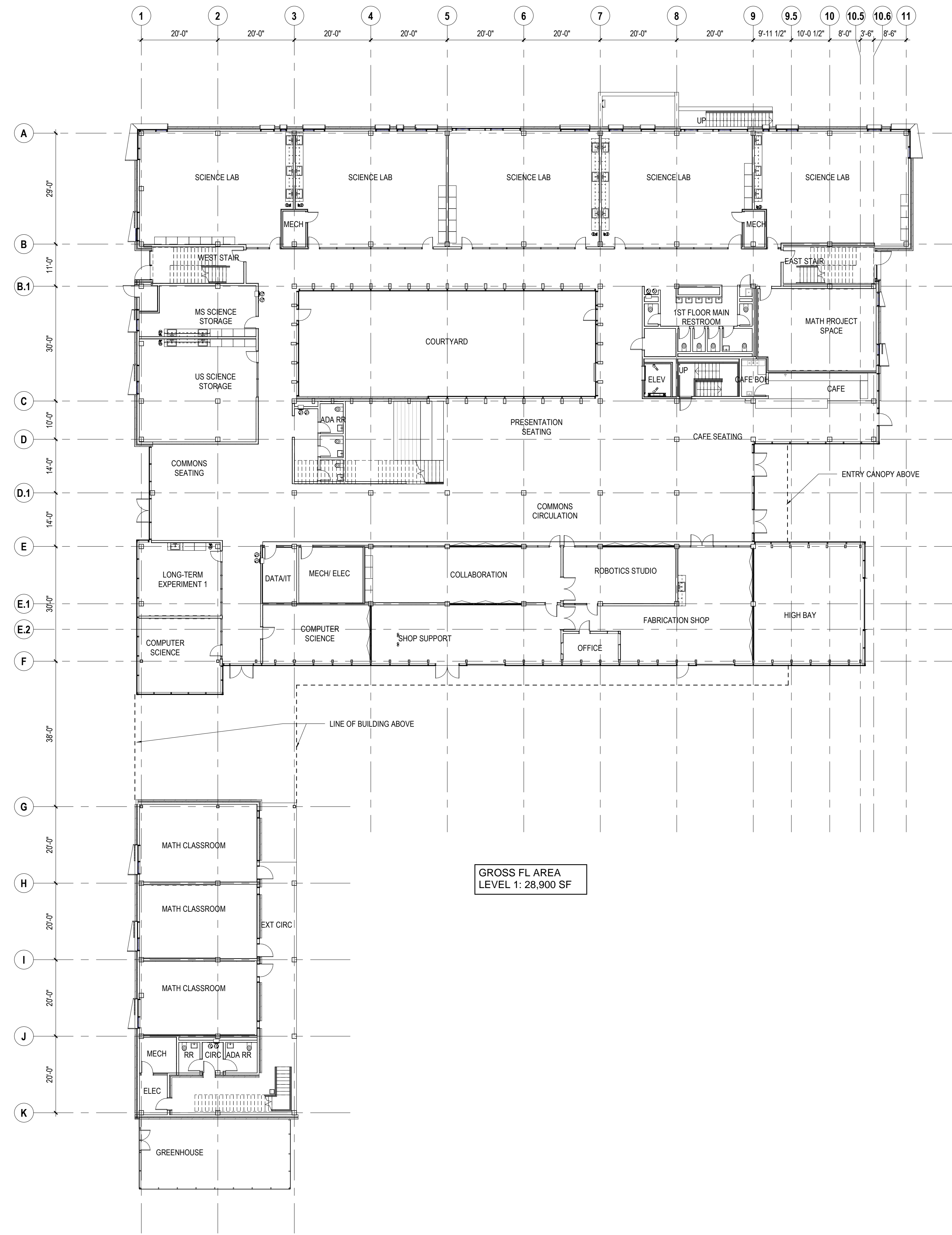
Code Consultant
 Holmes Keogh Associates LLC
 526 East 20th Street, Apt 4D
 New York, NY 10009

Seal	No.	Description	Date
NOT FOR PERMITTING OR CONSTRUCTION			

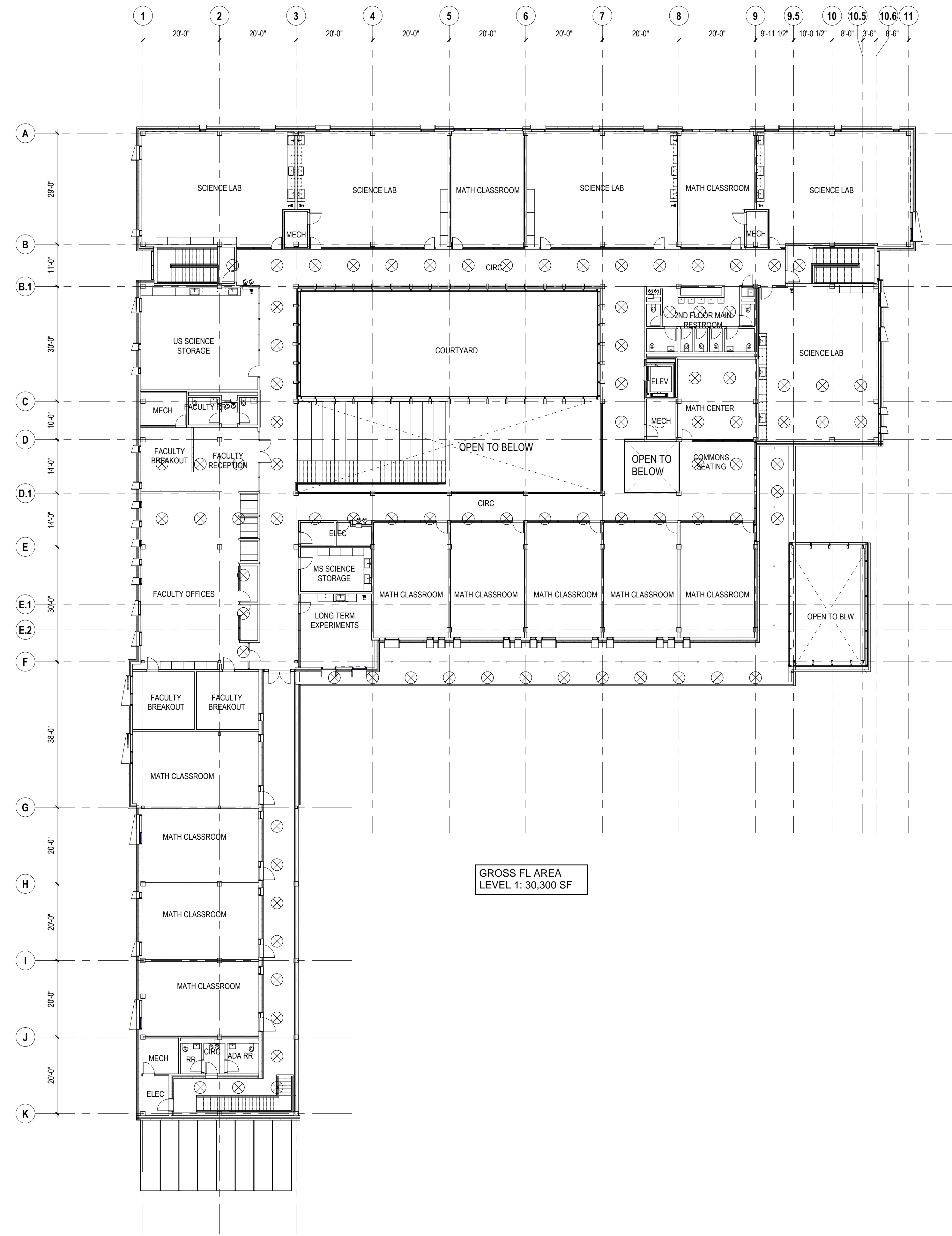
Greenhill School MSI
 4141 Spring Valley Rd
 Addison, TX 75001

SUP FLOOR PLANS	SEPTEMBER 23, 2021	1/16" = 1'-0"
	21307	SUP-A10
SPECIAL USE PERMIT	BCJ Project Number	Sheet Number

BOH021110.DWG



2 SUP FLOOR PLAN - LEVEL 1
 SUP-A11 SCALE: 1/16" = 1'-0"



1 SUP FLOOR PLAN - LEVEL 2
 SUP-A11 SCALE: 1/16" = 1'-0"

**Bohlin
 Cywinski
 Jackson**

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Code Consultant
 Holmes Keogh Associates LLC
 526 East 20th Street, Apt 4D
 New York, NY 10009

Seal	No.	Description	Date
NOT FOR PERMITTING OR CONSTRUCTION			



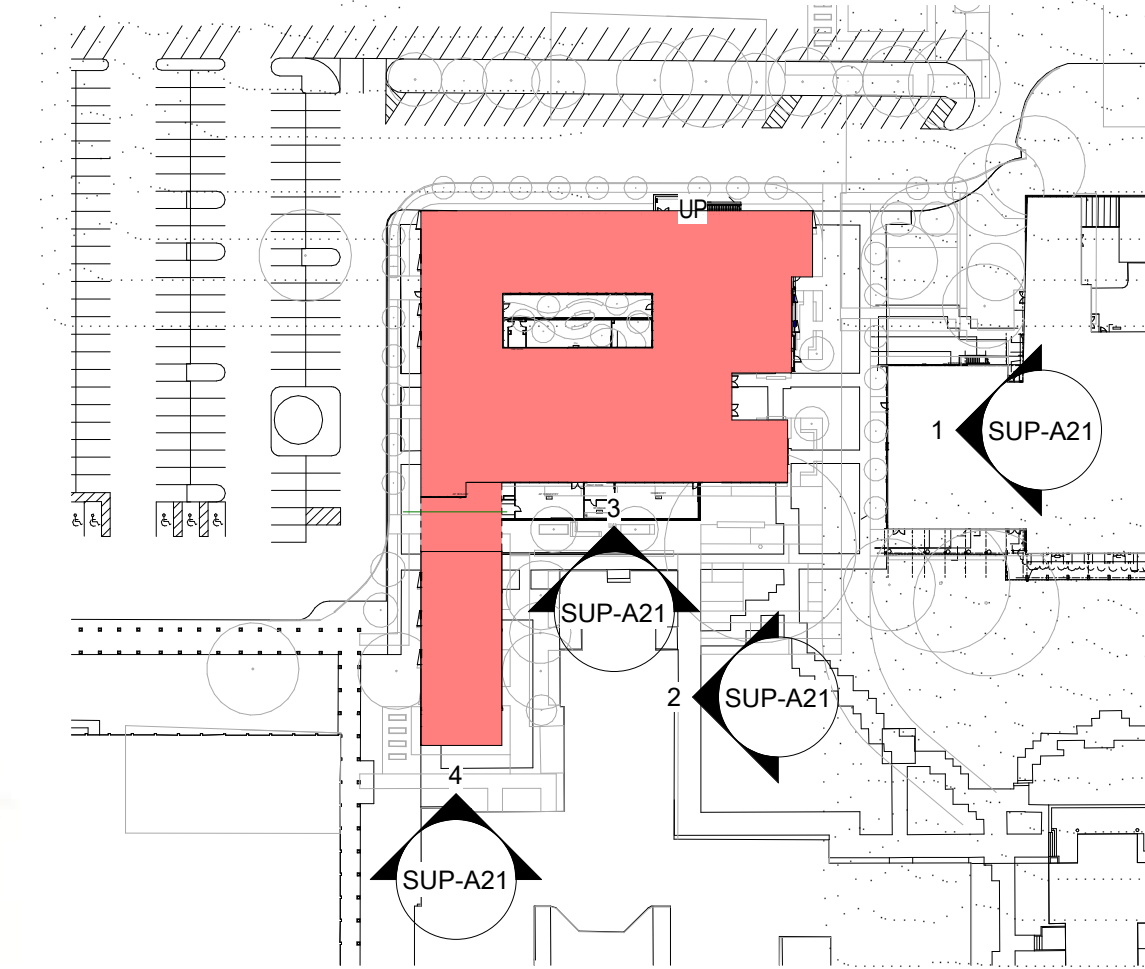
SUP FLOOR PLANS

SPECIAL USE PERMIT

<p>OCTOBER, 2021</p> <p>Date</p>	<p>1/16" = 1'-0"</p> <p>Scale</p>
<p>21307</p> <p>BCJ Project Number</p>	<p>SUP-A11</p> <p>Sheet Number</p>

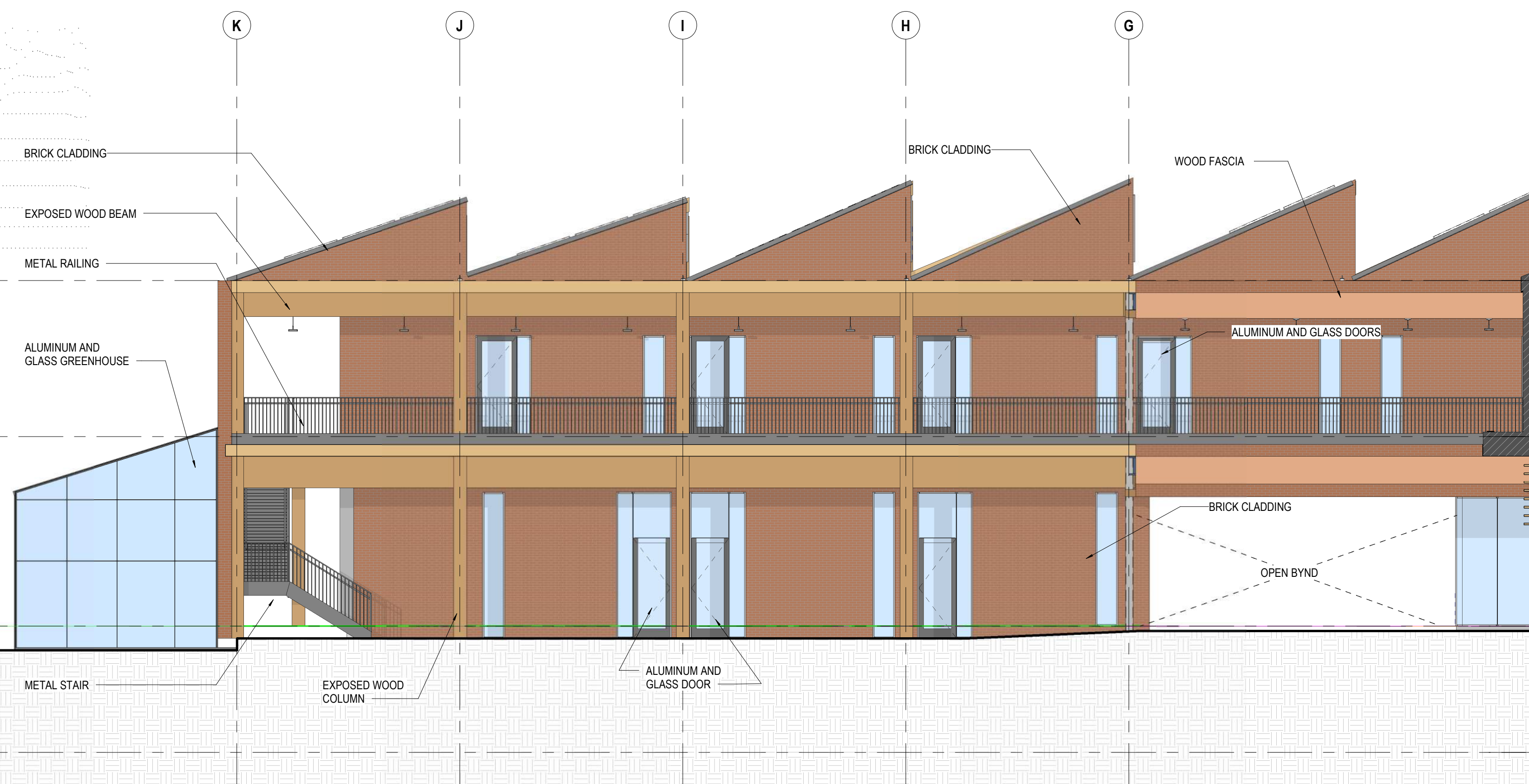


EAST FACADE
 TOTAL CLADDING SURFACE AREA: 5371 SF (61%)
 TOTAL GLAZING SURFACE AREA: 3462 SF (39%)
 TOTAL SURFACE AREA: 8835 SF



- ELEVATION MATERIAL KEY**
- BRICK CLADDING, NORMAN OR ROMAN SIZE, TAN COLOR
 - CAST IN PLACE CONCRETE
 - GLAZING, MANUFACTURER - KAMINEER
 - PAINTED ALUMINUM
 - STANDING SEAM METAL ROOF

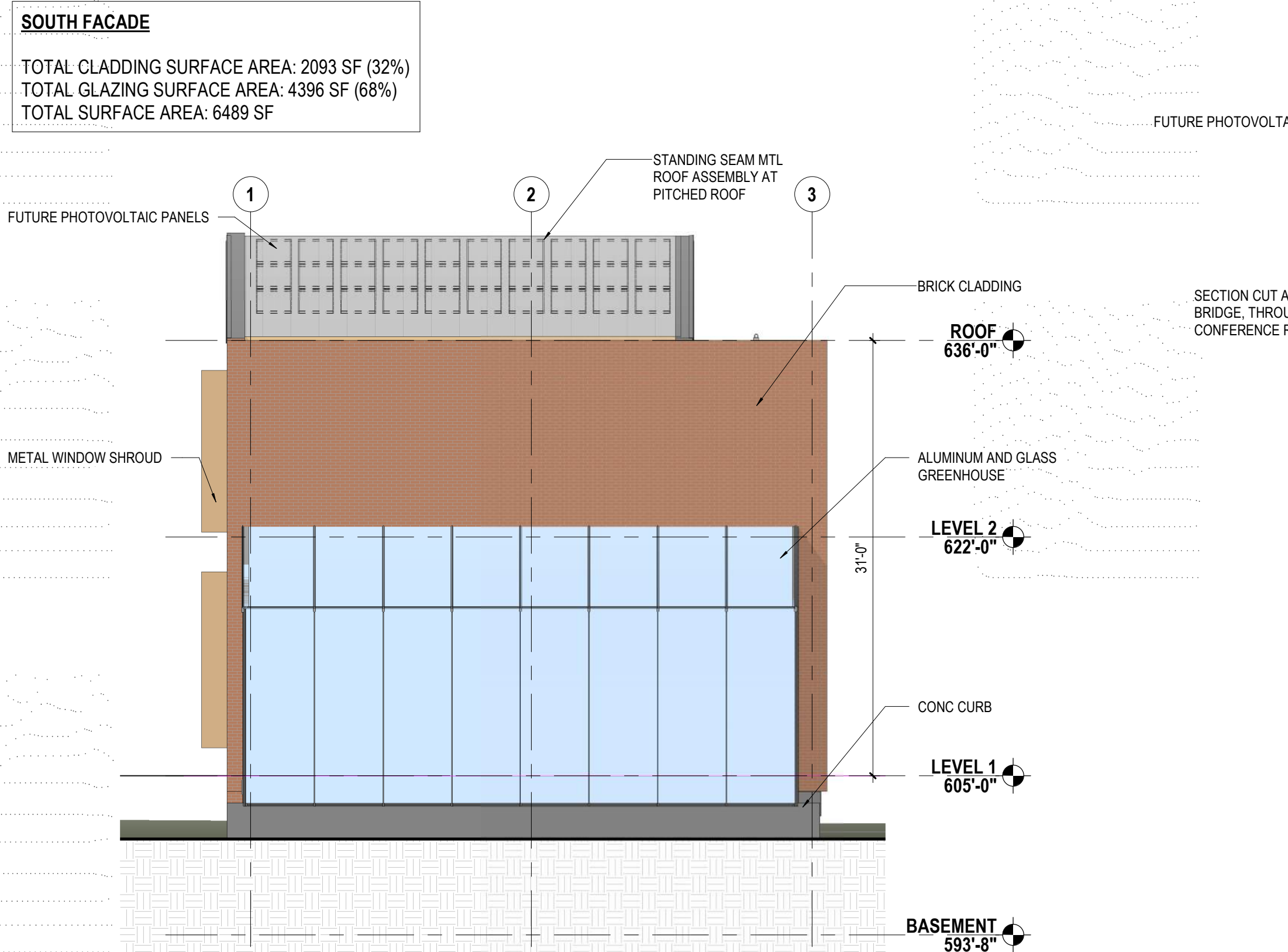
- FACADE PLAN NOTES**
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES
 - ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE
 - WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
 - ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
 - ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL



2 ELEVATION - EAST 2
 SUP-A21 SCALE: 1/8" = 1'-0"



1 ELEVATION - EAST
 SUP-A21 SCALE: 1/8" = 1'-0"



4 ELEVATION - SOUTH GREENHOUSE
 SUP-A21 SCALE: 1/8" = 1'-0"



3 ELEVATION - SOUTH
 SUP-A21 SCALE: 1/8" = 1'-0"

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Seal	No.	Description	Date
NOT FOR PERMITTING OR CONSTRUCTION			

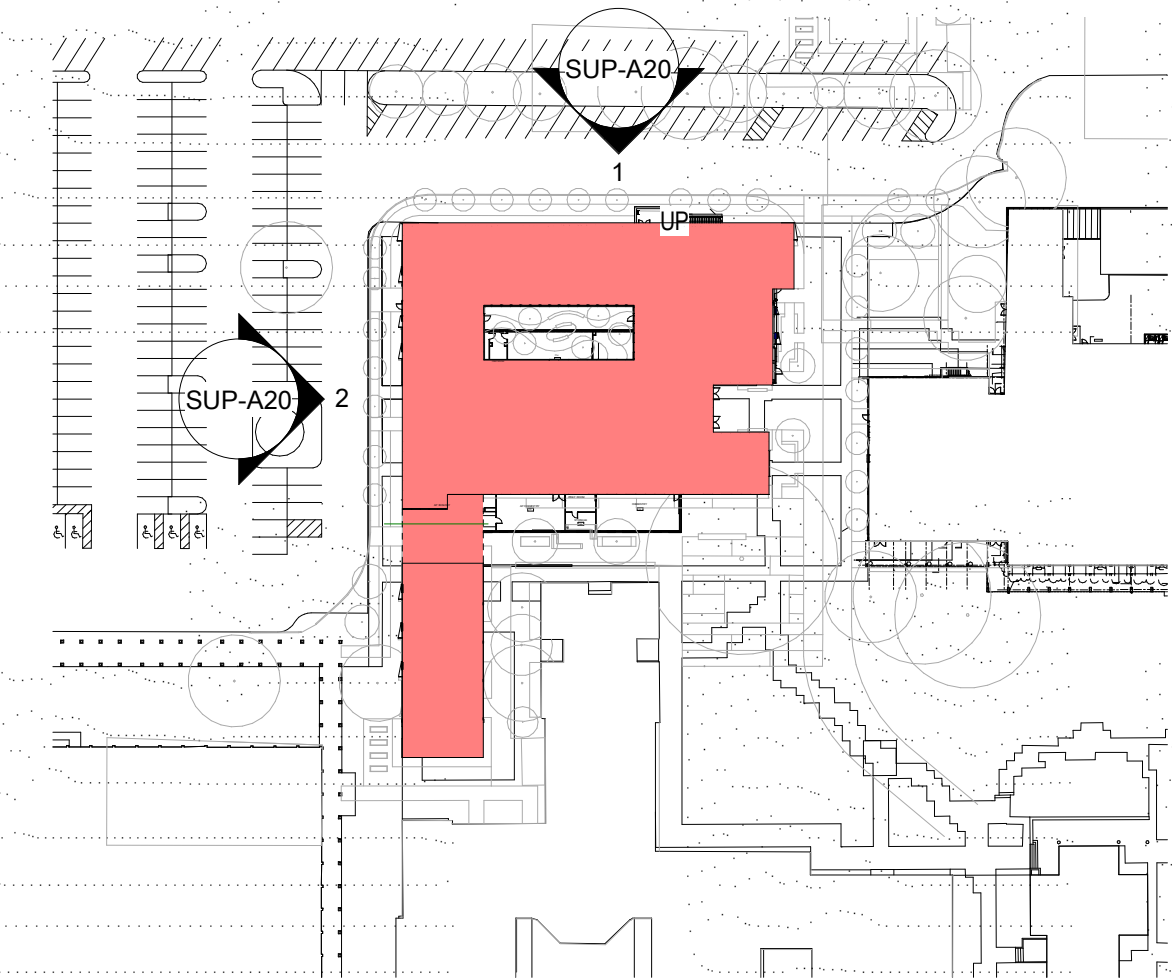
**Greenhill
 SCHOOL**

Greenhill School MSI
 4141 Spring Valley Rd
 Addison, TX 75001

**SUP EXTERIOR BUILDING
 ELEVATIONS**

SPECIAL USE PERMIT

Date	OCTOBER, 2021	Scale	As indicated
BCJ Project Number	21307	SUP-A21	
Sheet Number			



ELEVATION MATERIAL KEY

- BRICK CLADDING, NORMAN OR ROMAN SIZE, TAN COLOR
- CAST IN PLACE CONCRETE
- GLAZING, MANUFACTURER: KAMNEER
- PAINTED ALUMINUM
- STANDING SEAM METAL ROOF

FACADE PLAN NOTES

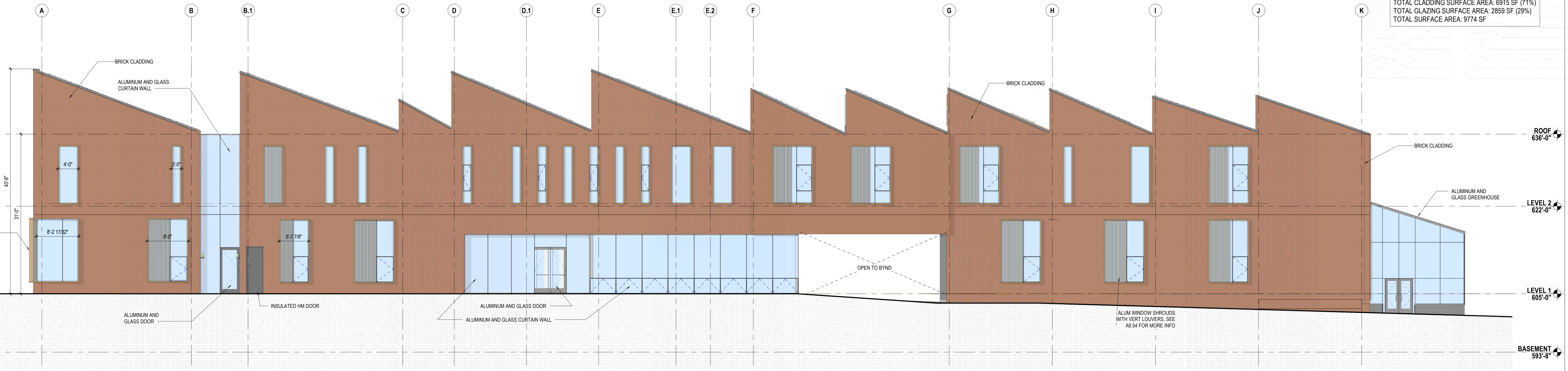
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- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL



NORTH FACADE

TOTAL CLADDING SURFACE AREA: 5142 SF (60%)
 TOTAL GLAZING SURFACE AREA: 3373 SF (40%)
 TOTAL SURFACE AREA: 8515 SF

1 ELEVATION - NORTH
 SUP-A20 SCALE: 1/8" = 1'-0"



WEST FACADE

TOTAL CLADDING SURFACE AREA: 6915 SF (71%)
 TOTAL GLAZING SURFACE AREA: 2659 SF (29%)
 TOTAL SURFACE AREA: 9774 SF

2 ELEVATION - WEST
 SUP-A20 SCALE: 1/8" = 1'-0"

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 526 East 20th Street, Apt 4D
 New York, NY 10009

Seal	No.	Description	Date
NOT FOR PERMITTING OR CONSTRUCTION			

**Greenhill
 SCHOOL**

Greenhill School MSI
 4141 Spring Valley Rd
 Addison, TX 75001

SUP EXTERIOR BUILDING ELEVATIONS

SPECIAL USE PERMIT

Date	OCTOBER, 2021	Scale	As indicated
BCJ Project Number	21307	SUP-A20	
Sheet Number			

Jenifer Tedrick

From:
Sent: Tuesday, October 12, 2021 5:43 PM
To: Jenifer Tedrick
Subject: Case 1836-SUP/4141 Spring Valley Road - Greenhill School Special Use Permit

Members of the Planning and Zoning Commission-

We are writing to offer our strong support for the permit to build a new school building on the Greenhill campus. Greenhill is a wonderful school and is a valuable asset to the Addison community and this new science building will ensure that Greenhill remains an asset for its students, staff and for Addison. Our property borders the school and they have and continue to be nothing but a great neighbor. We urge you to support this permit and the construction of the new building.

Sincerely,

Tim and Kate Wegener
14609 Heritage Ln

WARNING: This email is from an external source. Please DO NOT click links or open attachments without positive sender verification of purpose. Never enter Username, Password or sensitive information on linked pages from any email. If you are unsure about the message, please click on the **Phish Alert** button above to report.

Planning & Zoning Commission

4.

Meeting Date: 10/19/2021

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance, on Property located at 5100 Belt Line Road, Suite 868, currently zoned Planned Development (PD), through Ordinance O12-002 and Ordinance O20-08, for a Special Use Permit to allow for the Expansion of an Existing Restaurant with the Sale of Alcoholic Beverages for On Premises Consumption Only.** Case 1837-SUP/5100 Belt Line Road (Low Key Poke Joint).

Attachments

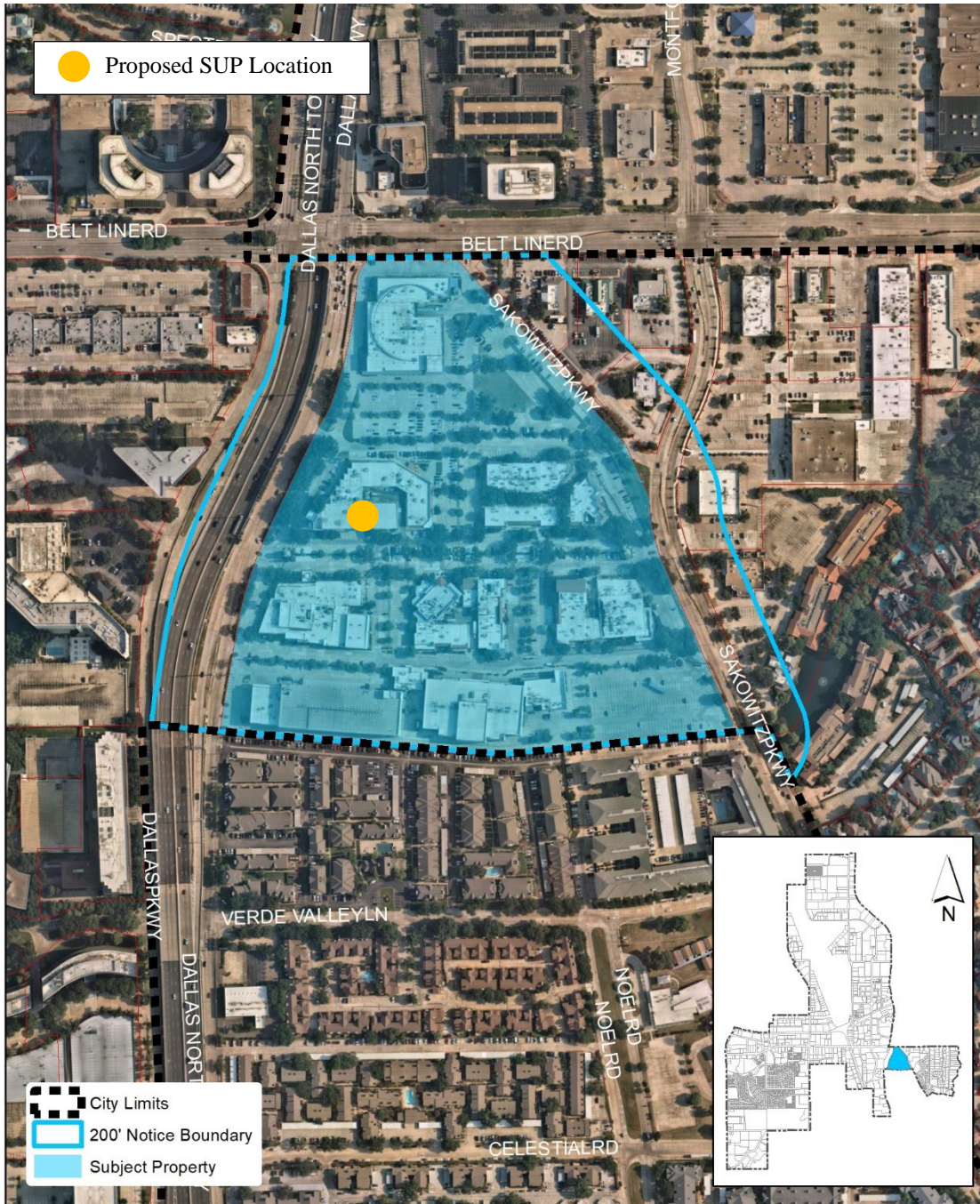
1837-SUP P&Z Packet

1837-SUP Plans

1837-SUP

PUBLIC HEARING Case 1837-SUP/5100 Belt Line Road (Low Key Poke Joint). Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance, on Property located at 5100 Belt Line Road, Suite 868, currently zoned Planned Development (PD), through Ordinance O12-002 and Ordinance O20-08, for a Special Use Permit to allow for the Expansion of an Existing Restaurant with the Sale of Alcoholic Beverages for On Premises Consumption Only.

LOCATION MAP





October 14, 2021

STAFF REPORT

RE: 1837-SUP/5100 Belt Line Road (The LowKey Poke Joint)

LOCATION: 5100 Belt Line Road, Suite 868

REQUEST: Approval of a Special Use Permit for a restaurant with the sale of alcoholic beverages for on-premises consumption only.

APPLICANT: Hai Nguyen, Energy Experts

DISCUSSION:

Background: This request is for the expansion of an existing restaurant within Village on the Parkway, located at 5100 Belt Line Road, and which is generally situated at the southeast corner of Belt Line Road and the Dallas North Tollway. The center is zoned PD, Planned Development District, through Ordinance No. O12-002 and as amended by Ordinance No. O20-08.

The existing restaurant, The LowKey Poke Joint, currently occupies an 1,870 square foot tenant space with a 200 square foot patio that is centrally located within the site and immediately adjacent to Gloria's Latin Cuisine. The LowKey Poke Joint is a Japanese-Hawaiian fusion poke restaurant that allows customers to customize their meal with a variety of proteins, sides, and toppings. In addition to the existing location in Addison, there are two additional locations in California. The LowKey Poke Joint obtained Town approval in 2017 and is governed by SUP Ordinance No. O17-15.

The restaurant desires to expand its service capacity, necessitating this request to expand the restaurant to the vacant, adjoining tenant space. Additionally, the restaurant proposes to sell alcoholic beverages for on-premises consumption. The proposed expansion requires a Special Use Permit (SUP) for a restaurant use and the sale of alcoholic beverages for on-premises consumption. This SUP is proposed to govern the existing restaurant use, as well as the desired expansion.

Proposed Plan: The proposed floor plan shows the current restaurant footprint, inclusive of 1,870 square feet of interior floor area with a 200 square foot outdoor patio, and the proposed expansion to the adjacent tenant space to the east for a total of 3,780 square feet of interior floor area and the existing 200 square foot outdoor patio. The interior space for the expansion is proposed to be modified with the addition of tables and bar dining area seating for 65 patrons and a private dining room for 8 patrons.

Due to the grade change between the existing restaurant and the proposed expansion, a six-foot accessible ramp will be provided. The interior space of the existing portion of the restaurant is

proposed to remain the same. A 13-foot opening – inclusive of the six-foot accessible ramp – will be provided as a unifying connection between these spaces.

Parking: The property is zoned PD, which requires a parking ratio of 1 space per 225 square feet for all uses (except movie theater). With the existing and proposed tenant space, this use requires 17 parking spaces. The Development Plan, approved with Ordinance O20-08, provided additional parking for the entire property. The property requires 2,052 parking spaces and 2,262 were provided throughout the site.

Exterior Facades. With this request, the applicant is proposing modifications to the building storefronts and patio area. The awning on the easternmost storefront will be replaced with an awning that matches the awning over the existing storefront to create a cohesive and uniform appearance. Additionally, the raised patio space will be treated with stone veneer over the exposed concrete and the existing railing will be replaced with steel railing painted gray.

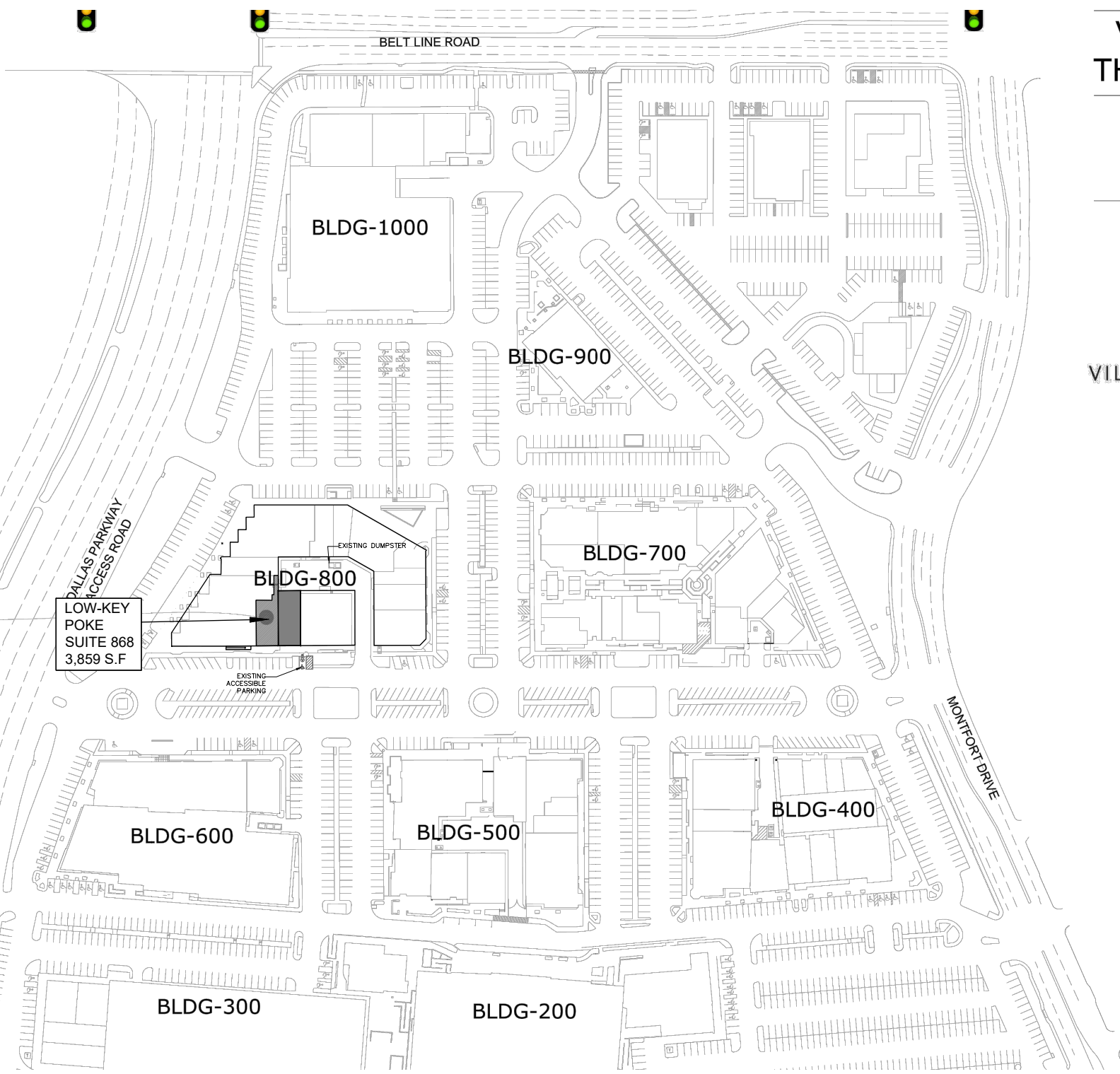
Landscaping: The applicant is proposing the installation of three planter boxes on the outdoor patio railing to enhance the appearance of the patio dining area. With an existing mature tree and landscape median immediately adjacent to the expanded storefront, proposed landscape enhancements to the patio area will sufficiently address landscape improvement needs for this site. The applicant and/or property management should replace any dead or diseased landscape materials adjacent to the expanded storefront.

RECOMMENDATION: **APPROVAL WITH CONDITIONS**

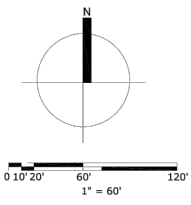
Village on the Parkway has undergone an extensive redevelopment effort that has led to the success of restaurants in this area of Addison. The expansion of The LowKey Poke Joint will provide for additional investment in this shopping center by occupying a space that has remained vacant for many years.

Staff recommends approval of the request, subject to the following conditions:

- The applicant shall not use any terms or graphic depictions that relate to alcoholic beverages in any exterior signage.
- The SUP Ordinance (O17-015) for the existing restaurant is repealed concurrent to the adoption of this SUP Ordinance.

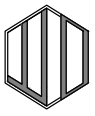


VILLAGE ON THE PARKWAY



VILLAGE PARKWAY

5100 BELTLINE ROAD
DALLAS, TX 75254



JJ DESIGN, LLC
ARCHITECTURE
INTERIOR DESIGN
BRANDING
TEL: 214-789-8940

Owner
H. Nguyen
T: 214-697-2949

Designer
JJ Design
T: 214-400-7913

THE LOW-KEY POKE JOINT EXPANSION VILLAGE ON THE PARKWAY 5100 BELTLINE RD. SUITE 868 ADDISON, TEXAS 75243

The drawings and written material herein constitute the design and construction of the building, and no modification or change of any kind, without the written consent of the architect, shall be made. The drawings and written material herein are not to be used for any other purpose without the written consent of the architect.

DRAWN BY:	JJ
CHECKED BY:	JJ
DATE:	9.13.2021
REVISIONS:	
TITLE	SITE PLAN
SHEET NO.	S-101

PROJECT DATA/ CLASSIFICATION:

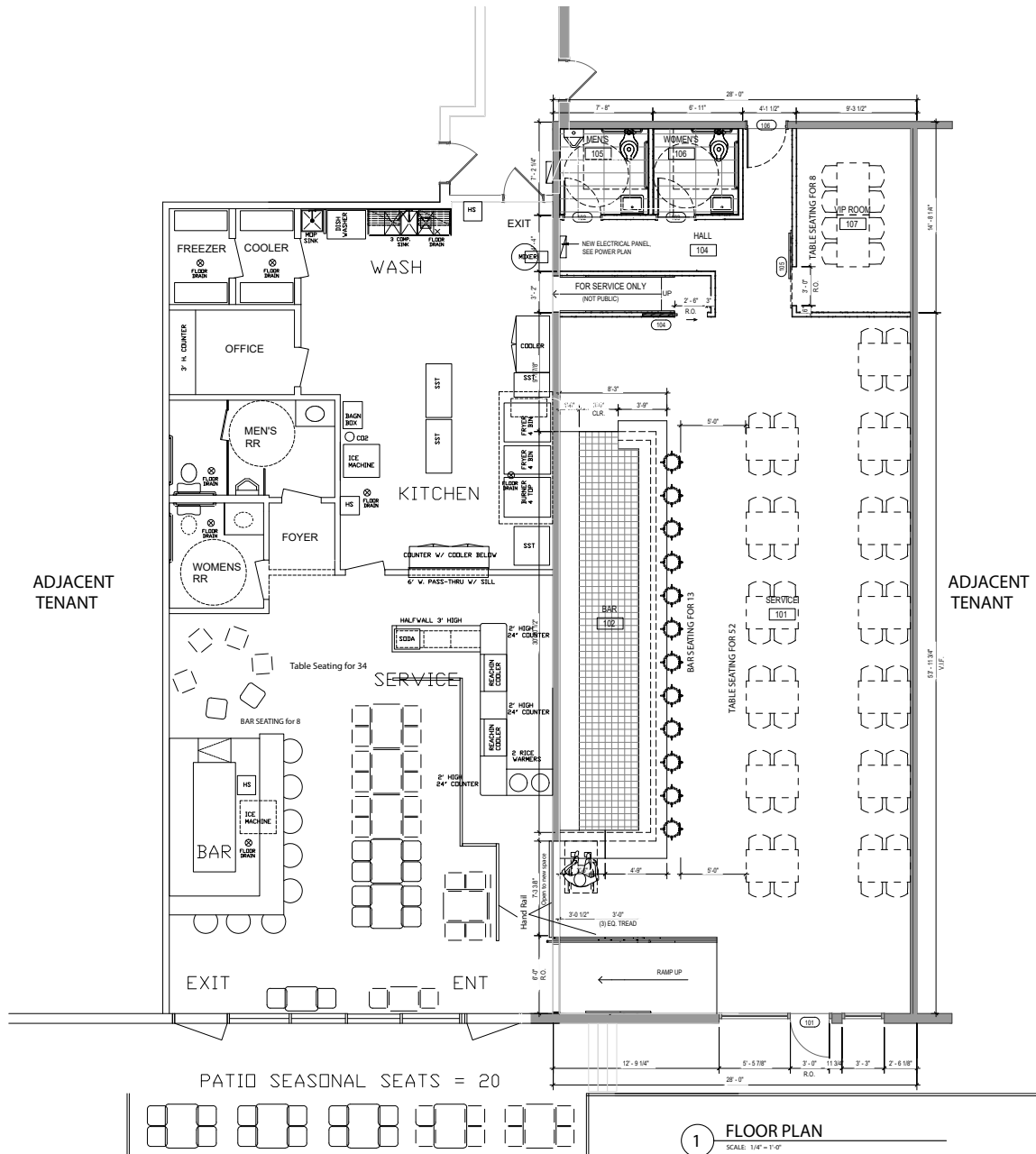
Zoning: PD, Planned Development District (Ordinance 020-08)
 Proposed Use: Restaurant with outdoor seating and Sale of Alcoholic beverage for on-premises consumption only

Interior Area: 3,780 sqft.
 Patio Area: 200 sqft.
 Total Seating: 135

EXISTING LOW-KEY POKE
 PROJECT LEASED SPACE



2 PROJECT SPACE
 NONE



1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"



JJ DESIGN, LLC
 ARCHITECTURE
 INTERIOR DESIGN
 BRANDING
 TEL: 214-789-8940

Owner
H. Nguyen
 T. 214-697-2949

Designer
JJ Design
 T. 214-400-7913

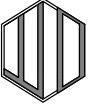
THE LOW-KEY POKE JOINT
 VILLAGE ON THE PARKWAY
 1000 WEST WILSON LANE SUITE 888
 ADDICKS, TEXAS 75002

The drawings and information herein are intended to be used for the construction of the building and are not to be used for any other purpose. The drawings are the property of JJ Design, LLC and may not be reproduced, distributed, or otherwise used without the express written consent of JJ Design, LLC.

DRAWN BY: JJ
 CHECKED BY: JJ
 DATE: 9.13.2021
 REVISIONS:

TITLE
 FLOOR PLANS

SHEET NO. **A-101**



JJ DESIGN, LLC
 ARCHITECTURE
 INTERIOR DESIGN
 BRANDING
 TEL: 214-789-8940

Owner
H. Nguyen
 T. 214-697-2949

Designer
JJ Design
 T. 214-498-7913

THE LOW-KEY POKE JOINT
 VILLAGE ON THE PARKWAY
 3717 W. VILLAGE PKWY
 ADDISON, TEXAS 75243

The drawings and written material herein constitute original work of the architect, and as such are the property and instruments of service, and subject to copyright and may not be reproduced, distributed, published or used in any way without the express written consent of the architect.

DRAWN BY: JJ

CHECKED BY: JJ

DATE: 9.13.2021

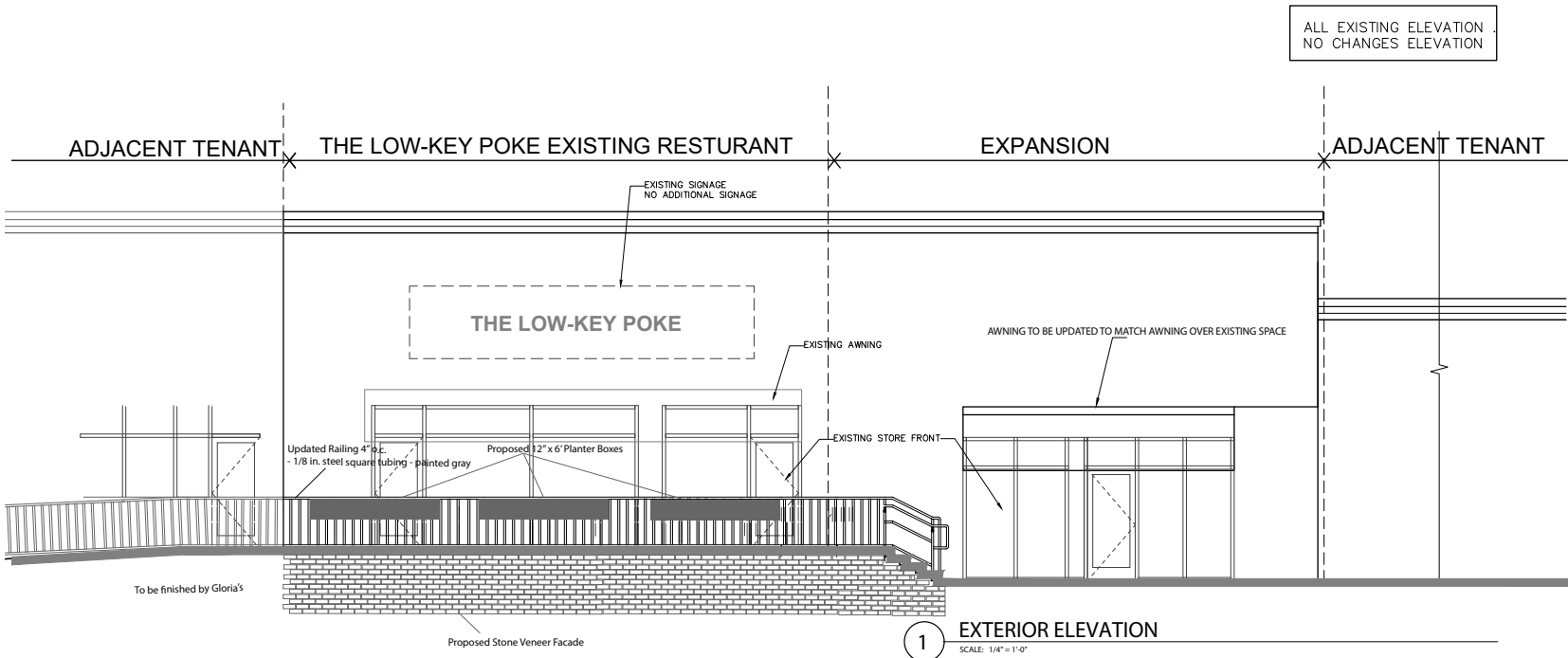
REVISIONS:

NO.	DATE	DESCRIPTION

TITLE
 EXTERIOR ELEVATION

SHEET NO. **A-501**

8/24/2021 8:23:08 AM



1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

Planning & Zoning Commission
Meeting Date: 10/19/2021

5.

Agenda Caption:

Hold a Public Hearing, Present, Discuss, and Consider Action on a **Recommendation regarding an Ordinance, on Property Located at 3719 Belt Line Road, currently Zoned Planned Development (PD) through Ordinance O92-037, for a Special Use Permit to allow a Restaurant.** Case 1840-SUP/3719 Belt Line Road (Poke Works).

Attachments

1840-SUP P&Z Packet
1840-SUP Plans

1840-SUP

PUBLIC HEARING Case 1840-SUP/3719 Belt Line Road (Poke Works). Hold a Public Hearing, Present, Discuss, and Consider Action on a Recommendation regarding an Ordinance, on Property Located at 3719 Belt Line Road, currently Zoned Planned Development (PD) through Ordinance O92-037, for a Special Use Permit to allow a Restaurant.

LOCATION MAP





October 14, 2021

STAFF REPORT

RE: 1840-SUP/3719 Belt Line Road (Pokéworks)
LOCATION: 3719 Belt Line Road
REQUEST: Approval of a Special Use Permit for a restaurant.
APPLICANT: Adrianna Salgado, Jones Baker
DISCUSSION:

Background: This restaurant is proposed for an existing tenant space located within the Addison Plaza shopping center, which is located on the north side of Belt Line Road, 700 feet east of Marsh Lane. This property is zoned Planned Development (PD) District and is governed by Ordinance No. O92-037.

This subject tenant space was previously occupied as a retail service store, Game Over Videogames. This tenant has since vacated the suite and the proposed restaurant, Pokéworks, is requesting to occupy the suite. Therefore, as required by the zoning ordinance, a Special Use Permit (SUP) is required for a restaurant use.

Founded in Midtown Manhattan in 2015, Pokéworks is a Hawaiian-inspired fast casual restaurant that has grown to be one of the largest and fastest growing poke brands in the nation with locations across the country, including several locations in the Dallas-Fort Worth Metroplex. Pokéworks menu offers customizable poke bowls that allows patrons to choose from a variety of bases, proteins, sauces, and toppings.

Proposed Plan: The applicant is requesting approval of an SUP for a restaurant. The floor plan shows 1,317 square feet, inclusive of a 78 square-foot outdoor patio area for four patrons. The interior space is proposed to be modified with the addition of a dining area with tables and chairs, accommodating seating for 28 patrons, and the remainder of the space being used primarily for the service counter, prep area, and cooler storage. Outdoor dining space accommodating 2 tables with seating for 4 patrons, is proposed between the storefront and sidewalk.

Parking: This property is zoned PD, which requires a parking ratio of 1 space per 100 square feet for restaurant uses. This space is required to have 13 parking spaces. Based on the current occupancy and tenant mix of this center, parking requirements are satisfied for this project. As occupancy increases in this center, the tenant mix will need to account for more retail or office uses in order to continue to meet the parking requirements prescribed by the PD zoning district.

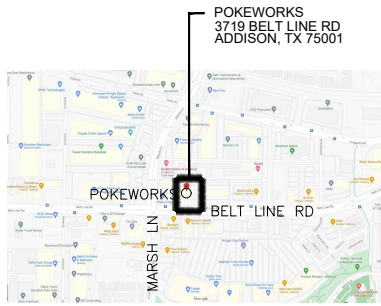
Exterior Facades: With the exception of exterior signage, the applicant will not be making any changes to the existing façade.

Landscaping: The Landscape Ordinance requires properties to be brought up to current standards, where possible, when they go through a zoning process. Staff has reviewed the Landscape Ordinance requirements and proposes that in cases such as this, where the SUP area is less than 25% of the total shopping center, the applicant should not be required to bring the entire site into compliance. While the Landscape Ordinance strives to bring the Town's properties closer into compliance, it is not practical to require a single tenant to upgrade the entire site due to their need to obtain an SUP to occupy an existing restaurant space. Based on the size of the proposed restaurant area, as compared to the entire shopping center, Staff believes that this landscape requirement is not applicable to this request.

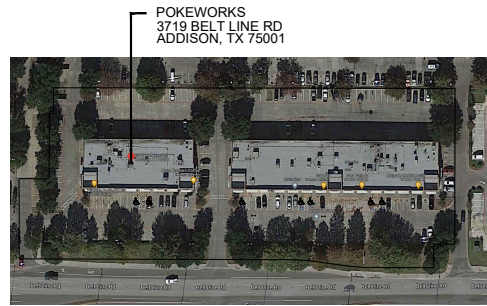
RECOMMENDATION: APPROVAL

Restaurant occupancy in the western Belt Line corridor has experienced challenges leading into, and throughout the duration of the pandemic. This new restaurant will reduce vacancy in the corridor and will provide an additional dining option in Addison.

Staff recommends approval of the request.



PROXIMITY MAP



VICINITY MAP

PROJECT INFORMATION

ZONING: EXISTING PD- PLANNED DEVELOPMENT DISTRICT
 PROPOSED USE: RESTAURANT- W/ DINE IN NO DRIVE THROUGH
 LOT AREA: PART OF LOT D, 66,361
 INTERIOR AREA: 1,239
 PATIO AREA: 78
 TOTAL SEATING: 32, INCLUSIVE OF 2 ADA SEAT & 4 PATIO SEATING

PROJECT INFORMATION

NOTE: "HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS"
 TOTAL PARKING PROVIDED FOR PART OF LOT 3 & LOT 4: 226
 TOTAL HC PARKING PROVIDED FOR PART OF LOT 3 & LOT 4: 7
 TOTAL PARKING REQ: 13

KEYNOTES

1. EXISTING HANDICAP ACCESSIBLE PARKING STALL TYPICAL OF TEXAS ACCESSIBILITY STANDARDS. MIN 96" WIDE WITH ACCESSIBLE PARKING SIGNAGE.
2. EXISTING 60" WIDE AISLE WITH ACCESSIBLE CURB RAMP.
3. EXISTING 36" WIDE STRIPED CROSSWALK.
4. EXISTING ACCESSIBLE CURB RAMP
5. EXISTING PUBLIC SIDE WALK.
6. EXISTING OFF STREET LOADING.
7. EXISTING TRASH ENCLOSURE. 8'-0" HIGH CONSTRUCTED OF BRICK MATCH THE MAIN BUILDING WITH WHITE METAL GATES.

TOWN OF ADDISON SITE PLAN NOTES

1. ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS
2. ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
3. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTIONS DIVISION APPROVAL.

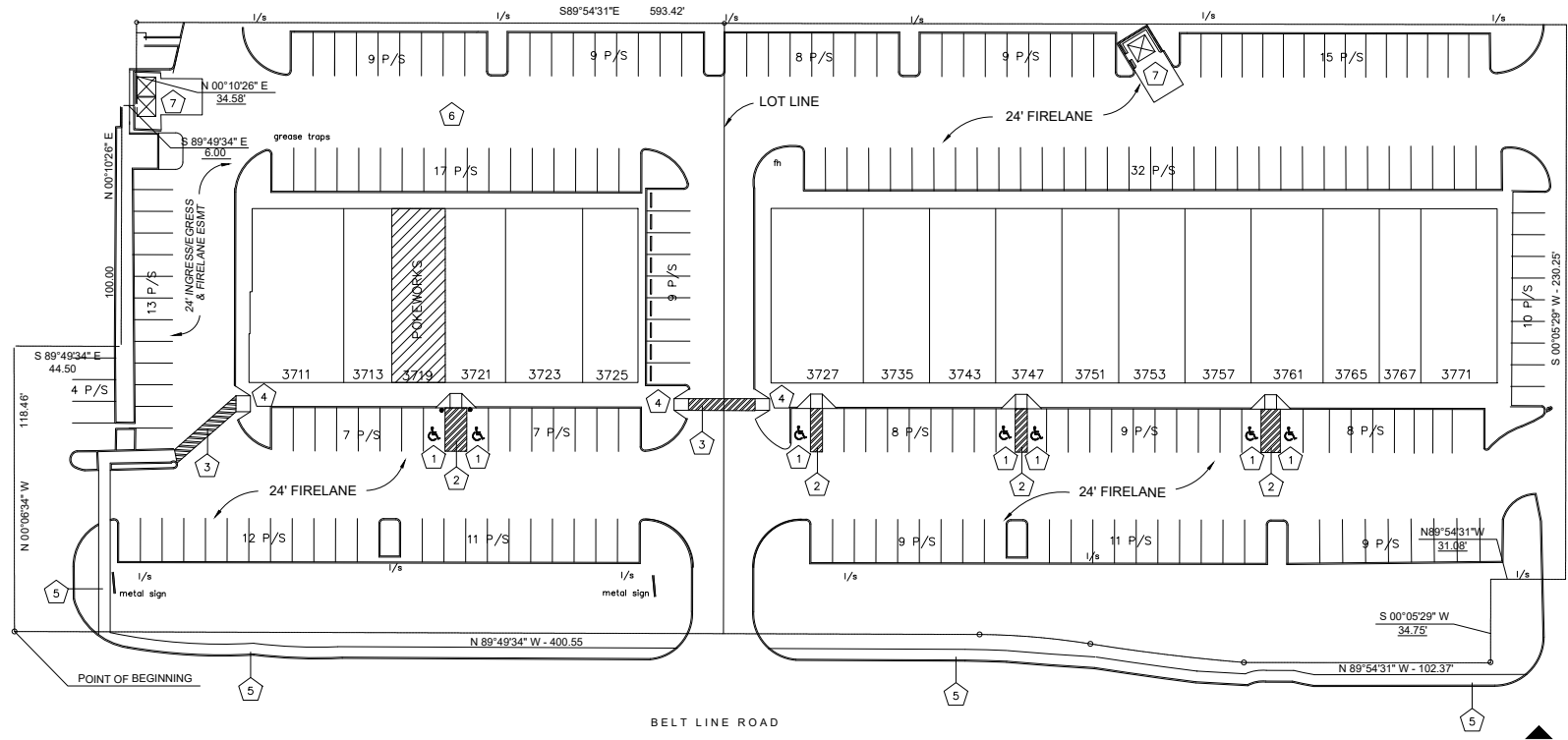
1823 S AKARD ST
 DALLAS, TX 75215
 (214)426-5600
 www.jonesbaker.com

OWNER (TENANT):
 DALLAS CAPITAL GROUP LLC
 (DBA POKEWORKS)
 1302 WAUGH DR.
 STE 863
 HOUSTON, TX 77019
 713-269-9812
 aghandour@pokeworks.com
 CONTACT: ALI GHANDOUR

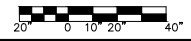
PROJECT LANDLORD:
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 214-951-7434
 klanier@graffintrests.com
 CONTACT: KELSEY LANIER

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 shannon@jonesbaker.com
 CONTACT: SHANNON GOULD

PROJECT DESIGNER:
 STUDIO SSMC
 917-660-0295
 denise@studiossmc.com
 CONTACT: DENISE MC LEE



SITE PLAN



SCALE: 1"=20'

PROJECT NO.: 2126
 DATE: 09/2/2021
 DRAWN BY: AS
 SOFT: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION

SUP SITE PLAN

ADDISON PROJECT
 #1840- SUP

POKEWORKS
 3719 BELT LINE ROAD
 ADDISON, TX 75001

MARSH BELT LINE SHOPPING CENTER
 PART OF LOT 3
 & ALL OF LOT 4
 3.6289 ACRES

A100



EXISTING FACADE ELEVATION



VICINITY MAP

PROJECT INFORMATION

ZONING:	EXISTING PD- PLANNED DEVELOPMENT DISTRICT
PROPOSED USE:	RESTAURANT- W/ DINE IN NO DRIVE THROUGH
LOT AREA:	PART OF LOT D 66.361
INTERIOR AREA:	1,239
PATIO AREA:	78
TOTAL SEATING:	332, INCLUSIVE OF 2 ADA SEAT & 4 PATIO SEATING

NOTE: "HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS"

FACADE PLAN NOTES

1. ROOF ACCESS NOT LOCATED IN TENANT SPACE. IT IS ACCESSED THROUGH BUILDINGS FIRE RISER ROOM. ROOF SHALL BE ACCESSED THROUGH PROVIDED AREA UNLESS OTHERWISE PERMITTED BY THE CHIEF OF BUILDING OFFICIAL.
2. EXISTING FACADE TO REMAIN. ONLY CHANGE IS TO MODIFY EXISTING CANOPY AND NEW EXTERIOR BUILDING SIGNAGE.
3. SIGNAGE WILL BE DIFFERED AND SUBMITTED SEPARATELY.
4. SIGN MUST BE REVIEWED AND APPROVED SEPARATELY ACCORDING TO SIGN CODE.

JONESBAKER

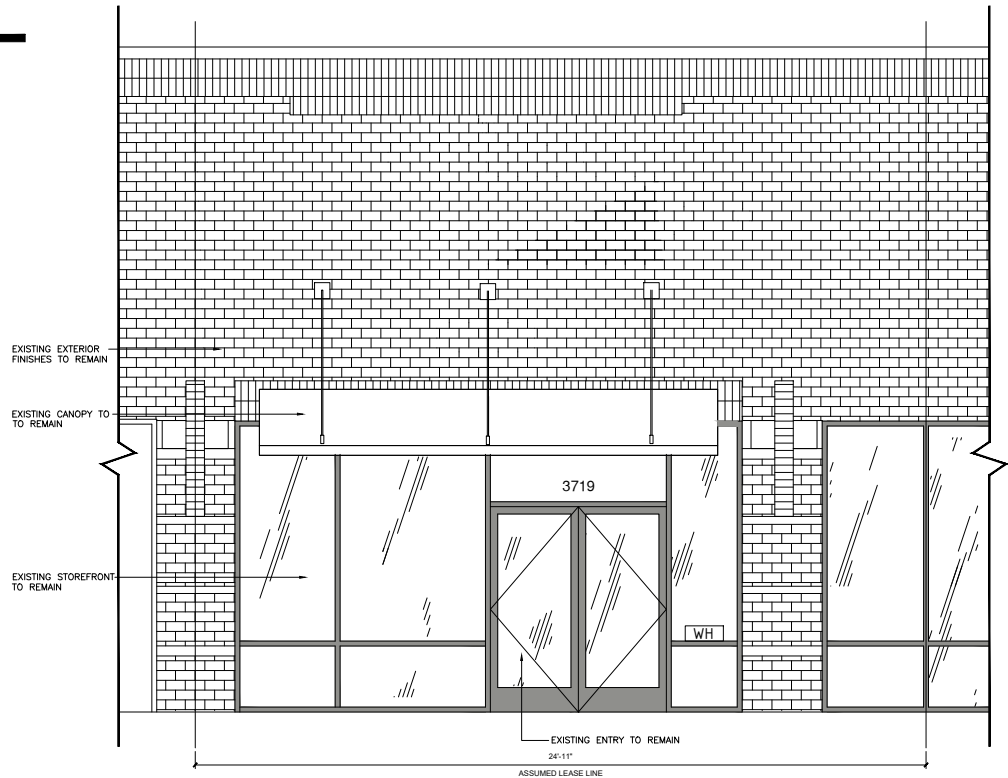
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PROPOSED FACADE ELEVATION

SCALE: 1/2"=1'-0"

PROJECT NO.: 2126
DATE: 09/2/2021
DRAWN BY: AS
SQFT: AS NOTED

REVISIONS:

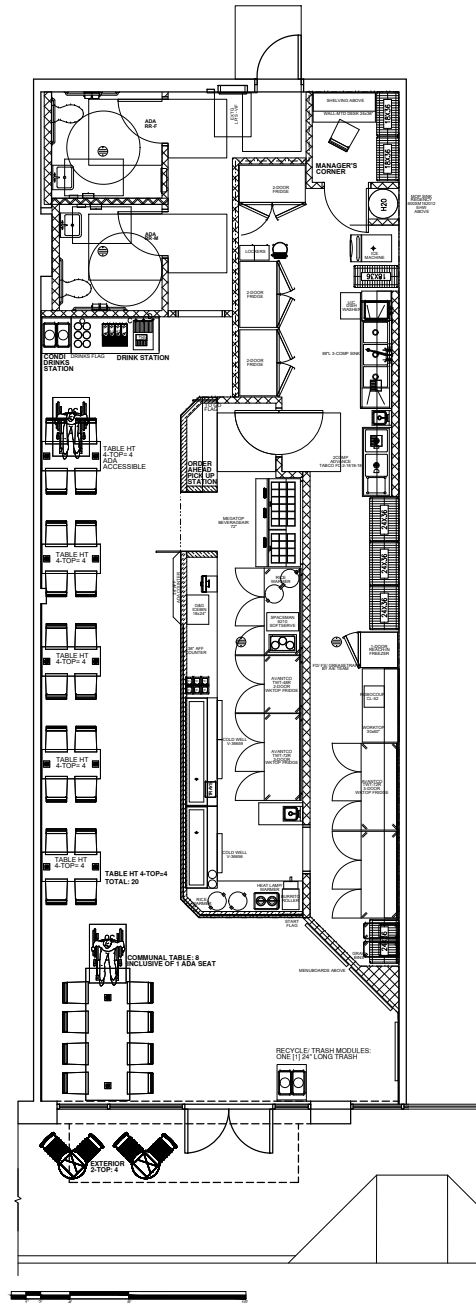
SUP
EXTERIOR
ELEVATION

ADDISON
PROJECT
#1840- SUP

POKEWORKS
3719 BELT LINE ROAD
ADDISON, TX 75001

MARSH BELT LINE
SHOPPING CENTER
PART OF LOT 3
& ALL OF LOT 4
3.6269 ACRES

A101



PROJECT INFORMATION

ZONING:	EXISTING PD- PLANNED DEVELOPMENT DISTRICT
PROPOSED USE:	RESTAURANT- W/ DINE IN NO DRIVE THROUGH
LOT AREA:	PART OF LOT D 65,361
INTERIOR AREA:	1,239
PATIO AREA:	78
TOTAL SEATING:	32; INCLUSIVE OF 2 ADA SEAT & 4 PATIO SEATING

NOTE: "HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS"

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PROJECT NO.: 2126
 DATE: 09/2/2021
 DRAWN BY: AS
 SQFT: AS NOTED

REVISIONS

**SUP
 FLOOR PLAN**
 ADDISON
 PROJECT
 #1840- SUP

POKEWORKS
 3719 BELT LINE ROAD
 ADDISON, TX 75001

MARSH BELT LINE
 SHOPPING CENTER
 PART OF LOT 3
 & ALL OF LOT 4
 3.6289 ACRES

A102

FLOOR PLAN
 SCALE : 1/4"=1'-0"



Planning & Zoning Commission

6.

Meeting Date: 10/19/2021

Agenda Caption:

Provide an **Update on the Status of Case 1831-Z/4150 Kellway Circle.**

Staff Report:

At the September 21, 2021 Planning and Zoning Commission meeting, the Commission approved the applicant's request to table consideration of this application to the October Commission meeting. With this request, staff notified the Commission that this item would also be re-noticed to ensure adjacent property owners are aware of the delayed consideration of this case.

Since that meeting, the applicant has communicated to staff that they will not be ready for Commission consideration for the October meeting. As a result, staff did not notice this case or put it on the agenda for consideration. If/when the applicant is ready to proceed, staff will provide notice in accordance with Town and State law.

Recommendation:

No action required.
