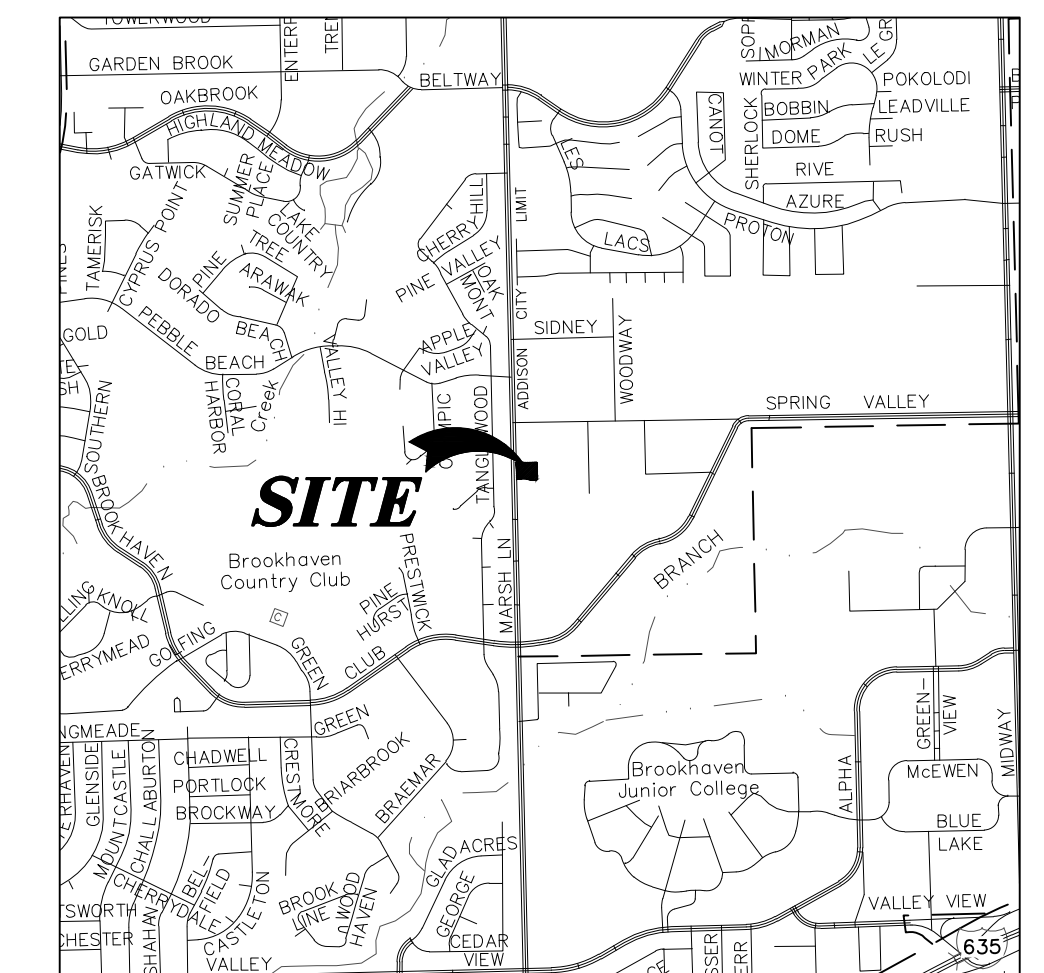
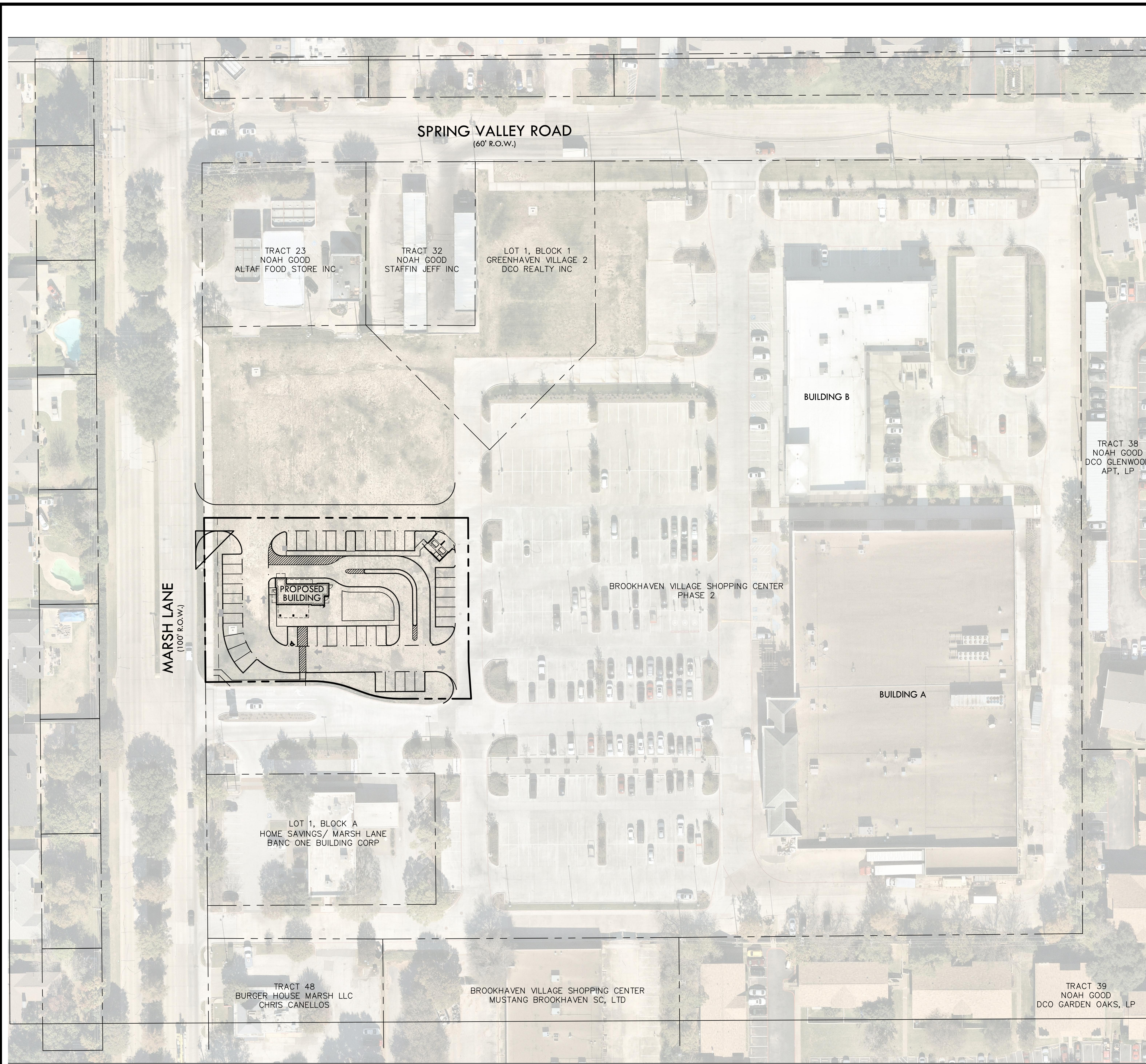
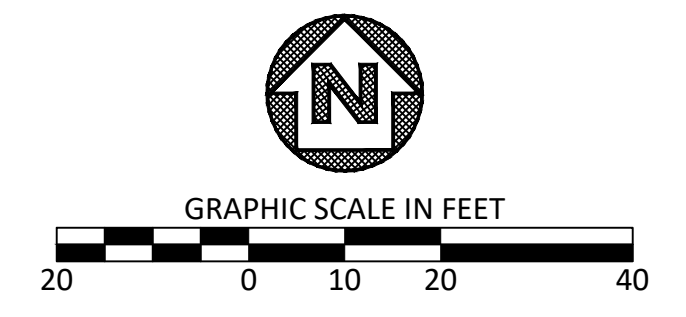


FULL PATH: G:\projects\400707000\10431001\Civil\Drawings\10431001\10431001.dwg
 PLOTTED BY: JBB
 PLOTTED AT: 3:25:35 PM
 PLOTTED WITH: adobe.pdf



VICINITY MAP
SCALE: N.T.S.



SITE LEGEND	
	PROPERTY BOUNDARY
	ADJOINERS
	BUILDING SETBACK
	YARD SETBACK
	EASEMENT
	FIRE LANE
	PROPOSED CURB

SITE DATA TABLE	
ZONING	PD
PROPOSED USE	RESTAURANT
LOT AREA	37,780 S.F. - 0.867 AC.
BUILDING AREA	1,286 SF
BUILDING HEIGHT	24'-0"
LOT COVERAGE	70%
TOTAL PARKING REQUIRED	13
TOTAL PARKING PROVIDED	43
USABLE OPEN SPACE REQUIRED	7,579 S.F.
USABLE OPEN SPACE PROVIDED	8,330 S.F.
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	29,070 S.F.

- TOWN OF ADDISON SITE PLAN NOTES:**
- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

NOTES:
1. NO FLOODPLAIN EXISTS ON THIS SITE.

ACTION			
	APPROVED	DENIED	
STAFF	_____	_____	_____
	DATE	INITIALS	
COUNCIL	_____	_____	_____
	DATE	INITIALS	

TOWN PROJECT NUMBER
1825-SUP

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, .867 AC.

DUTCH BROS COFFEE
JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588

DUNAWAY ASSOCIATES
CIVIL, LANDSCAPE
550 BAILEY
FORT WORTH, TX 76107
817.335.1121

PROPERTY OWNER
HARRY G. ALCOCK
DCO REALTY, INC.
1745 SHEA CENTER DRIVE #200
HIGHLANDS RANCH, CO 80129
720.348.7602

REVISIONS	
NO.	DESCRIPTION

OVERALL SITE PLAN

**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER
14310 MARSH LANE
ADDISON, TEXAS**

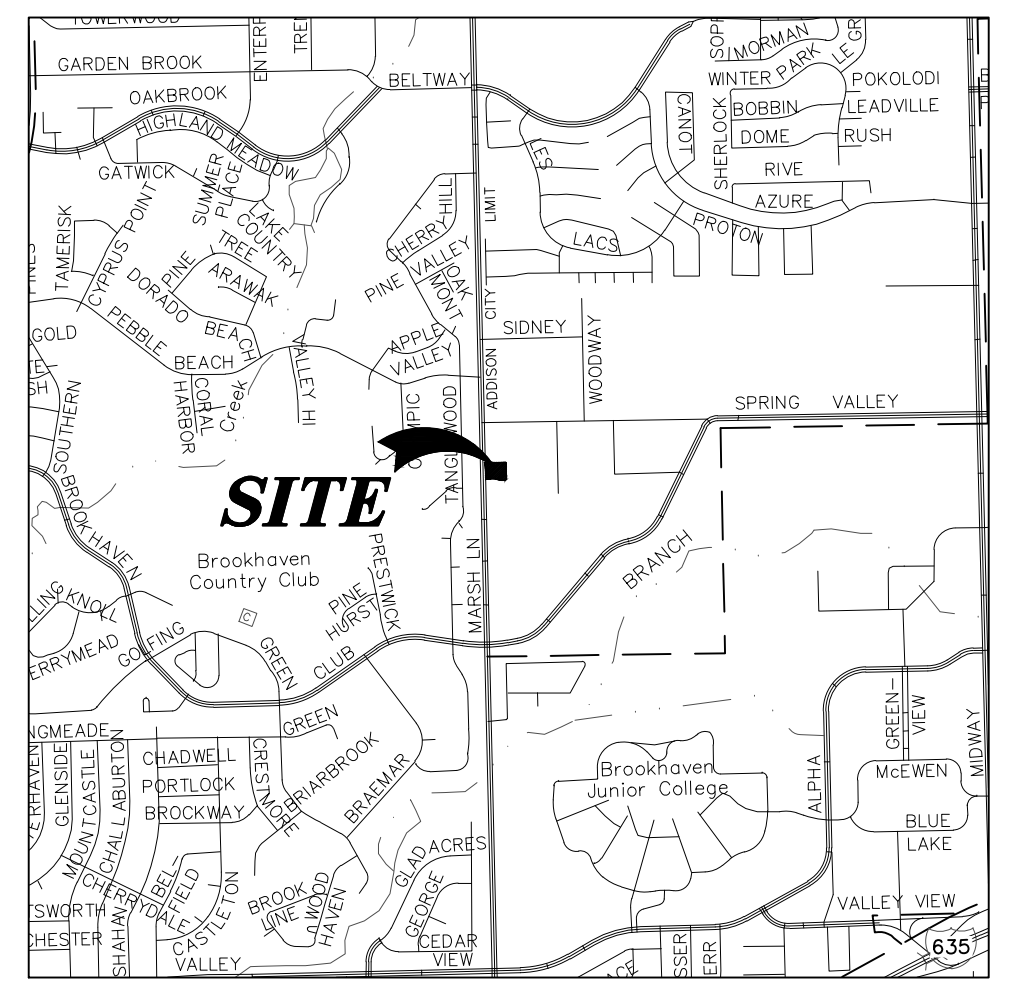
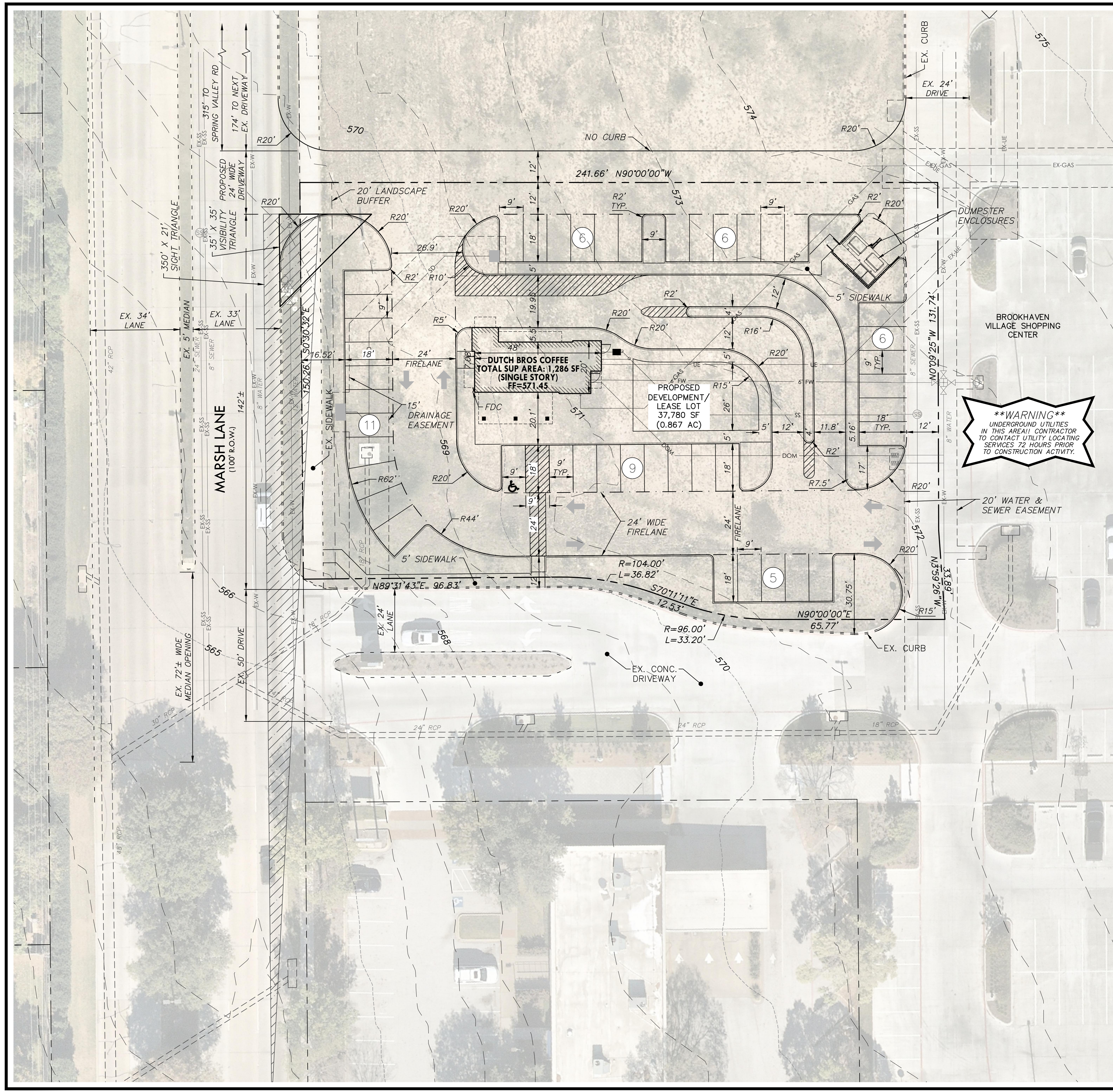
DUNAWAY
550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.335.1121
Fax: 817.335.1114

PRELIMINARY FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:
AUSTIN M. CARR
P.E. # 133775
DATE: March 9, 2021

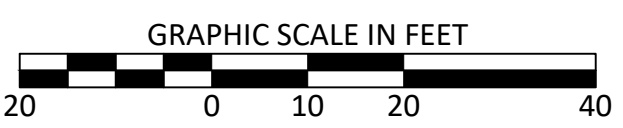
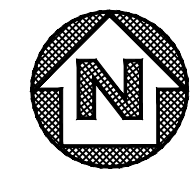
JOB NO.	B0007043.001
DESIGNED BY:	JBB / BS
DRAWN BY:	RVG
CHECKED BY:	AMC
DATE:	FEBRUARY 26, 2021

SHEET: **C1.1**

FULL PATH: G:\projects\4007043\000\10433001\Civil\Drawings\10433001\10433001.dwg
 PLOTTED BY: JBB
 PLOTTED AT: 3:27:27 PM
 PLOTTED WITH: _adobe_r19.plt



VICINITY MAP
SCALE: N.T.S.



WATER METER TABLE	
DOMESTIC WATER METER	1.5"
IRRIGATION METER	1"

SITE LEGEND			
	PROPERTY BOUNDARY	FW	PROPOSED 6" FIRE LINE
	ADJOINERS	DOM	PROPOSED 1.5" WATER LINE
	BUILDING SETBACK	SS	PROPOSED 6" SANITARY SEWER LINE
	YARD SETBACK	GAS	PROPOSED GAS LINE
	EASEMENT	UE	PROPOSED UNDERGROUND ELECTRIC LINE
	FIRE LANE	EX-W	EXISTING WATER LINE
	PROPOSED CURB	EX-SS	EXISTING SEWER LINE
	EXISTING STORM DRAIN	EX-GAS	EXISTING GAS LINE
	TAS COMPLIANT ROUTE	EX-UE	EXISTING UNDERGROUND ELECTRIC LINE
	PARKING COUNT		EXISTING WATER METER
	PROPOSED 18" STORM DRAIN		EXISTING WATER VALVE
			EXISTING SEWER MANHOLE

SITE DATA TABLE	
ZONING	PD
PROPOSED USE	RESTAURANT
LOT AREA	37,780 S.F. - 0.867 AC.
BUILDING AREA	1,286 SF
BUILDING HEIGHT	24'-0"
LOT COVERAGE	70%
TOTAL PARKING REQUIRED	13
TOTAL PARKING PROVIDED	43
USABLE OPEN SPACE REQUIRED	7,579 S.F.
USABLE OPEN SPACE PROVIDED	8,330 S.F.
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	29,070 S.F.

- TOWN OF ADDISON SITE PLAN NOTES:
- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

NOTES:
1. NO FLOODPLAIN EXISTS ON THIS SITE.

ACTION			
	APPROVED	DENIED	
STAFF	_____	_____	_____
	DATE	DATE	INITIALS
COUNCIL	_____	_____	_____
	DATE	DATE	INITIALS

TOWN PROJECT NUMBER
 1825-SUP
SUBDIVISION
 BROOKHAVEN SHOPPING CENTER, PHASE 2
 LOT 2, BLOCK 1, .867 AC.
DUTCH BROS COFFEE
 JEFFREY BENNETT
 110 4TH STREET
 GRANTS PASS, OR 97526
 214.842.1588
DUNAWAY ASSOCIATES
 CIVIL, LANDSCAPE
 550 BAILEY
 FORT WORTH, TX 76107
 817.335.1121
PROPERTY OWNER
 HARRY G. ALCOCK
 DCO REALTY, INC.
 1745 SHEA CENTER DRIVE #200
 HIGHLANDS RANCH, CO 80129
 720.348.7602

NO.	DATE	DESCRIPTION

CONCEPTUAL SITE PLAN

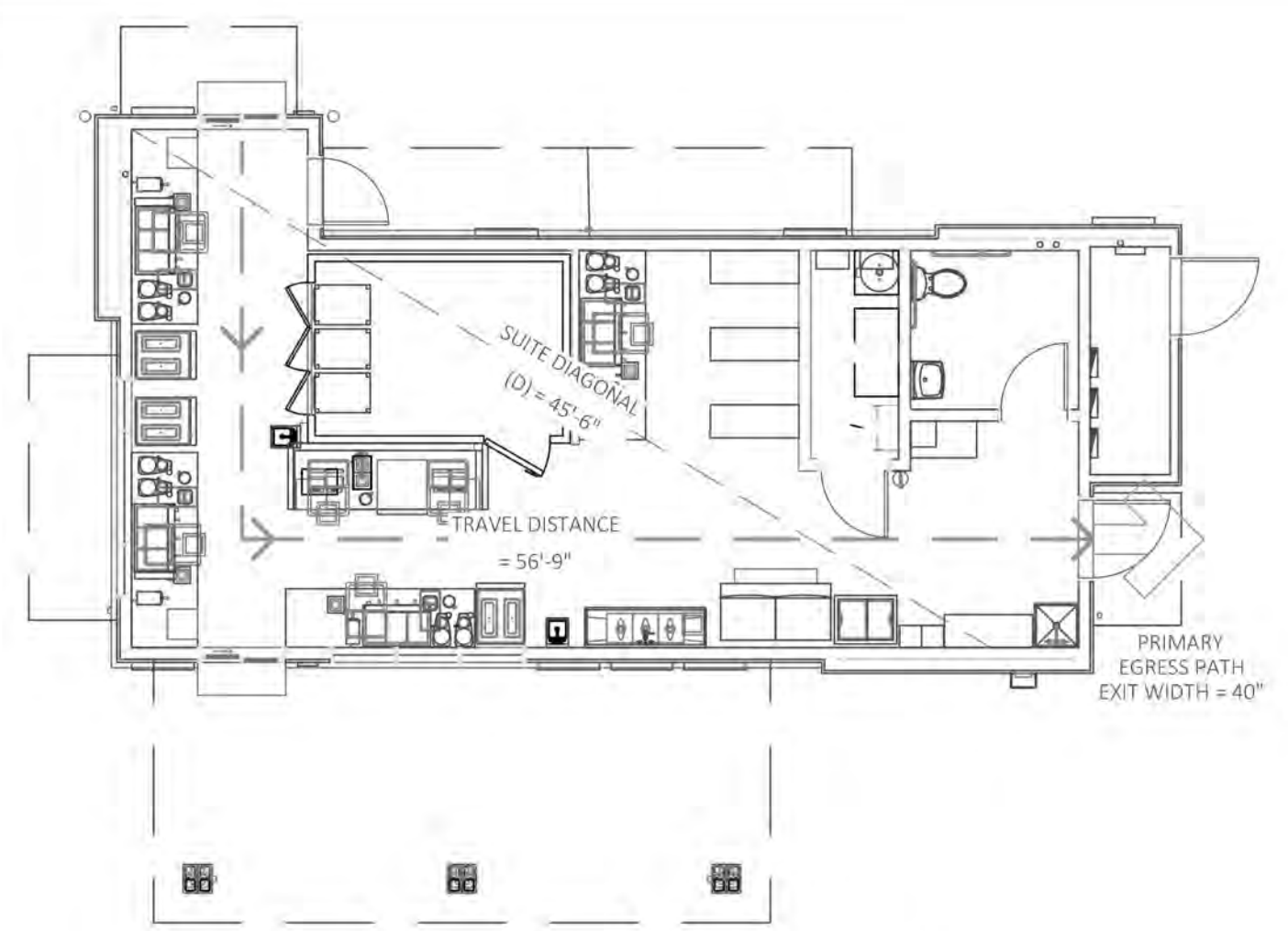
DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER
14310 MARSH LANE
ADDISON, TEXAS

DUNAWAY
550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.335.1121
Fax: 817.335.1114

PRELIMINARY FOR REVIEW ONLY THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF: AUSTIN M. CARR P.E. # 133775 DATE: March 9, 2021

JOB NO.	B0007043.001
DESIGNED BY:	JBB / BS
DRAWN BY:	JBB
CHECKED BY:	AMC
DATE:	FEBRUARY 26, 2021
SHEET:	C1.0

The name DUTCH BROS and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros, including but not limited to, the "lock and leaf" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, "the Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.



1
A7.0 KEY PLAN

TOWN PROJECT NUMBER
1825-SUP

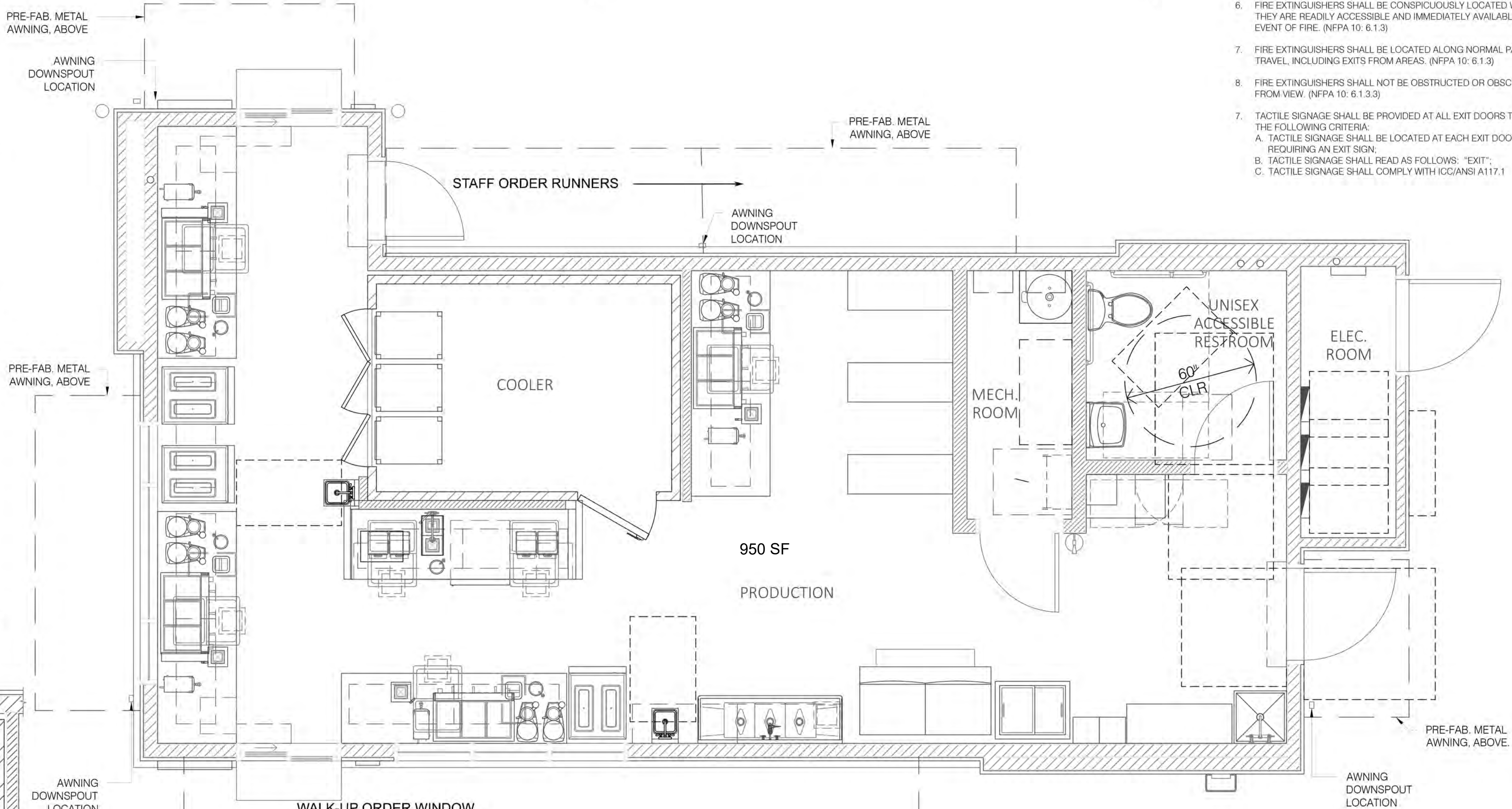
SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, .867 AC.

DUTCH BROS COFFEE
JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588

- COOLER GENERAL NOTES:**
- COOLER INSULATION VALUES FOR WALLS, CEILING, AND DOORS SHALL BE MIN. R-25
 - AUTOMATIC DOOR CLOSERS SHALL BE PROVIDED THAT FULLY CLOSE WALK-IN DOORS THAT HAVE BEEN CLOSED TO WITHIN 1 INCH OF FULL CLOSURE
 - DOORWAYS SHALL HAVE STRIP DOORS, CURTAINS, SPRING-HINGED DOORS OR OTHER METHOD OF MINIMIZING INFILTRATION WHEN DOORS ARE OPEN

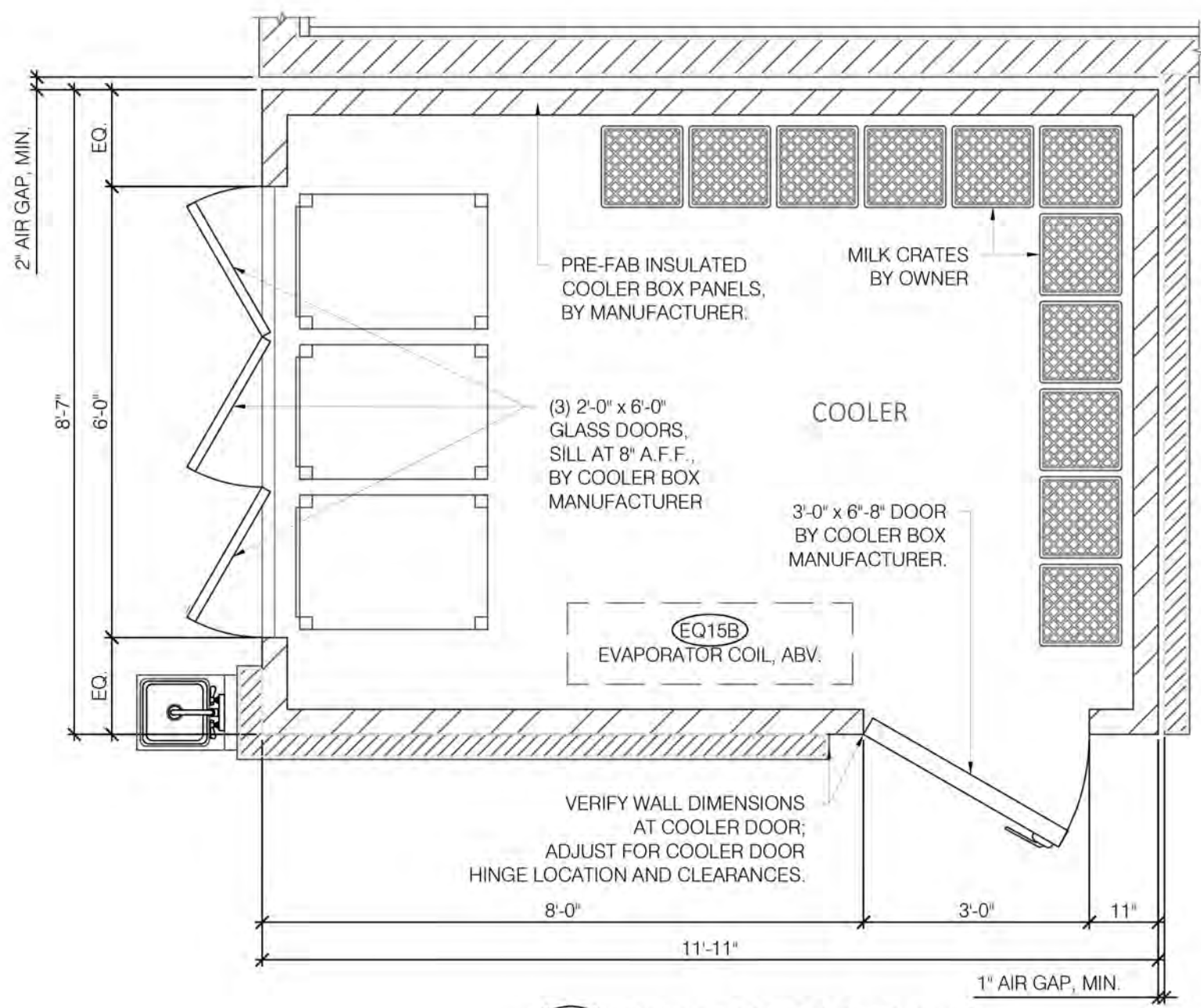
- GENERAL NOTES:**
- THIS DRAWING IS FOR EQUIPMENT LAYOUT PURPOSES ONLY. PLEASE SEE FLOOR PLAN FOR FULLY DIMENSIONED PARTITION LOCATIONS AND ASSEMBLIES.
 - NOTE: PLEASE SEE SHEET G1.0, COVER SHEET, FOR CODE SUMMARY, BUILDING DATA AND EXIT ACCESS REQUIREMENTS.
 - G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.
 - ALL FIRE EXTINGUISHERS SHALL BE STATE OF STATE CERTIFIED. ALL FIRE EXTINGUISHERS SHALL BE PROPERLY MOUNTED AT THE HEIGHT REQUIREMENTS OF NO HIGHER THAN 4'-6" A.F.F. TO THE TOP OF THE EXTINGUISHER AND AT LEAST 6" FROM FLOOR TO THE BOTTOM OF EXTINGUISHER. (NFPA 10: 6.1.3.8)
 - ALL PROPERLY MOUNTED FIRE EXTINGUISHERS SHALL NOT EXCEED 75' OF TRAVEL DISTANCE APART. (NFPA 1: 6.1)
 - FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY ARE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. (NFPA 10: 6.1.3)
 - FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AREAS. (NFPA 10: 6.1.3)
 - FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. (NFPA 10: 6.1.3.3)
 - TACTILE SIGNAGE SHALL BE PROVIDED AT ALL EXIT DOORS TO MEET THE FOLLOWING CRITERIA:
A. TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN.
B. TACTILE SIGNAGE SHALL READ AS FOLLOWS: "EXIT".
C. TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1

3
FIRE/ LIFE SAFETY PLAN
SCALE: 1/8" =



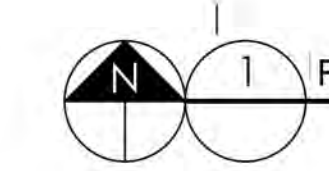
4
A7.0

5
A7.0



2
ENLARGED COOLER PLAN
SCALE: 1/2" = 1'-0"

COVERED PATIO
(w/TWO 4-TOP TABLES FOR WALK-UP CUSTOMERS)
336 SF



1
FLOOR / EQUIPMENT PLAN

SCALE: 3/8" = 1'-0"
0 2 4



The Nunnally Studio
Architecture | Interiors | Planning
P.O. Box 815863
Dallas, Texas 75381
tel. 214-450-9003
fax. 866.387.7903

Property Owner:
Harry G. Alcock
DCO Realty, Inc.
1745 Shea Center Drive #200
Highlands Ranch, CO 80129
tel. 720.348.7602

REVIEW PRINT
NOT INTENDED FOR BIDDING, PERMITTING, OR CONSTRUCTION
REGISTRANT:
ERIC L. NUNNALLY SR., AIA, NCARB, CSI
TEXAS REGISTRATION NUMBER: 24874

Dutch Bros Coffee
Brookhaven Shopping Center
14310 Marsh Lane
Addison, Texas
for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

Revisions:

No.	Description

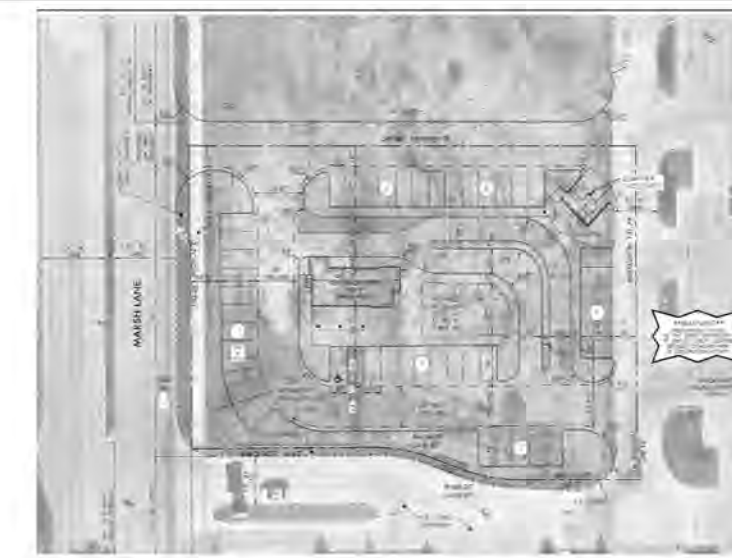
Drawn By: _____ MS
Checked By: _____ EN
Date: 03/01/2021
Project Number: 2021.TX3301

Sheet Name/No.
FLOOR PLAN
A100

The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros. including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

FACADE PLAN NOTES

- This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
- All mechanical units shall be screened from public view as required by the Zoning Ordinance
- When permitted, exposed utility boxes and conduits shall be painted to match the building
- All signage areas and locations are subject to approval by Development Services
- Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official



KEY PLAN

TOWN PROJECT NUMBER

1825-SUP

SUBDIVISION

BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, .867 AC.

DUTCH BROS COFFEE

JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588

TRASH ENCLOSURE GENERAL NOTES:

- REFER TO STRUCTURAL FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL FOR SPECIFICATIONS.
- PROVIDE LOCKING MECHANISM ON GATES AND PEDESTRIAN GATE
- PROVIDE SITE LIGHTING AT TRASH ENCLOSURE. MIN. 5 FOOT CANDLE.
- GATES TO BE BUILT WITH 3"x2" SQUARE STEEL TUBING WITH ALL JOINTS FULLY WELDED TOGETHER AND 1 CROSS MEMBER PER GATE. FRAME TO BE PRIMED AND PAINTED PER PLAN.



The Nunnally Studio

Architecture | Interiors | Planning

P.O. Box 815863
Dallas, Texas 75381
tel. 214-450-9003
fax. 866.387.7903

Property Owner:

Harry G. Alcock
DCO Realty, Inc.
1745 Shea Center Drive #200
Highlands Ranch, CO 80129
tel. 720.348.7602

REVIEW PRINT

NOT INTENDED FOR BIDDING, PERMITTING, OR CONSTRUCTION

REGISTRANT:
ERIC L. NUNNALLY SR., AIA, NCARB, CSI
TEXAS REGISTRATION NUMBER: 24874

Dutch Bros Coffee
Brookhaven Shopping Center
14310 Marsh Lane
Addison, Texas

for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526

Revisions:

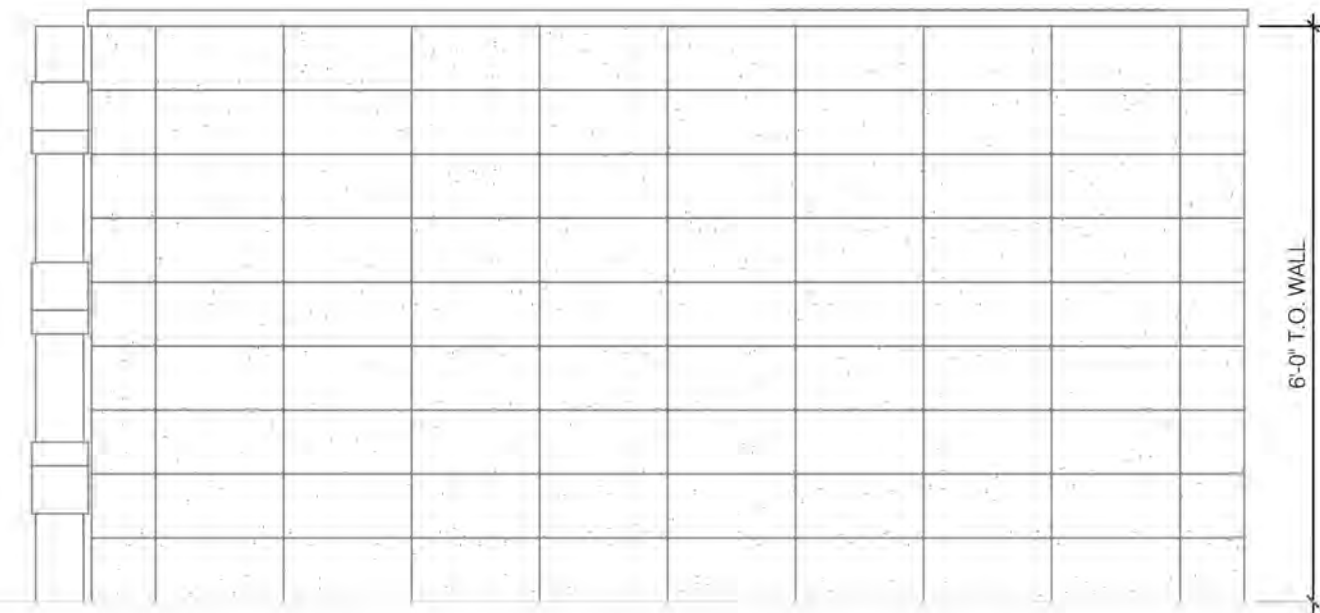
No.	Description

Drawn By: MS
Checked By: EN
Date: 03/01/2021
Project Number: 2021.TX3301

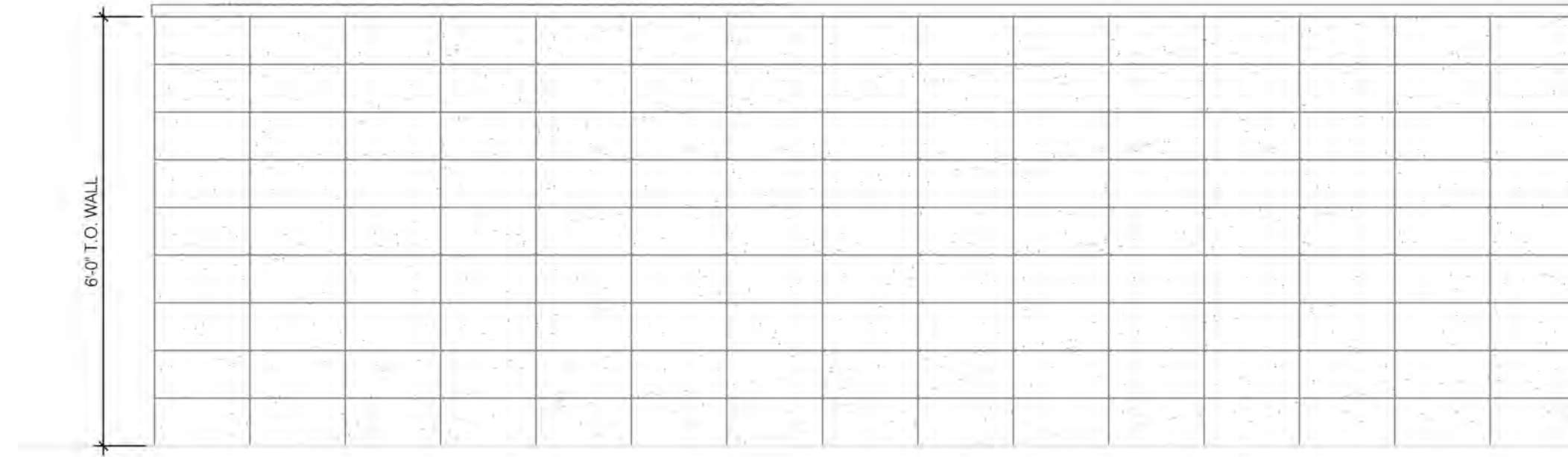
Sheet Name/No.

DUMPSTER ENCLOSURE

A102

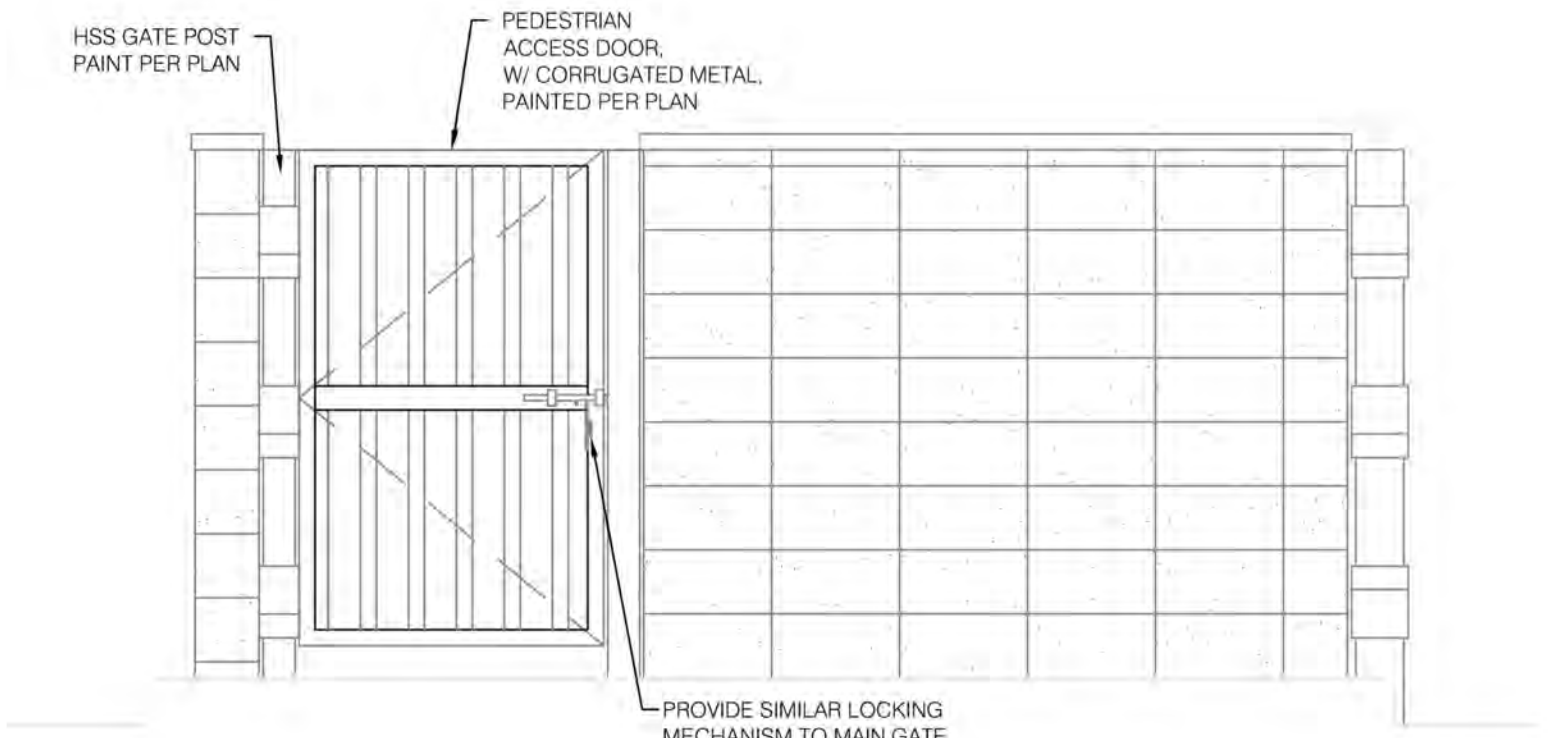


5 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 1/2" = 1'-0"

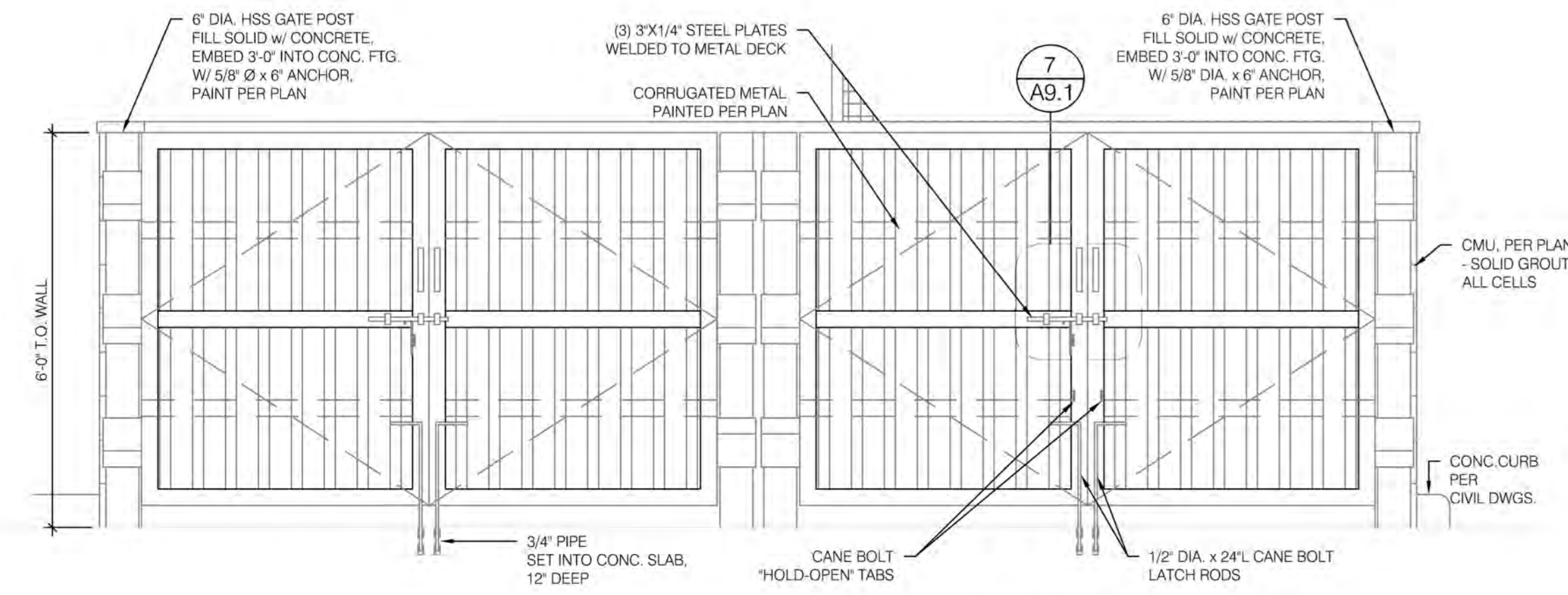


4 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 1/2" = 1'-0"

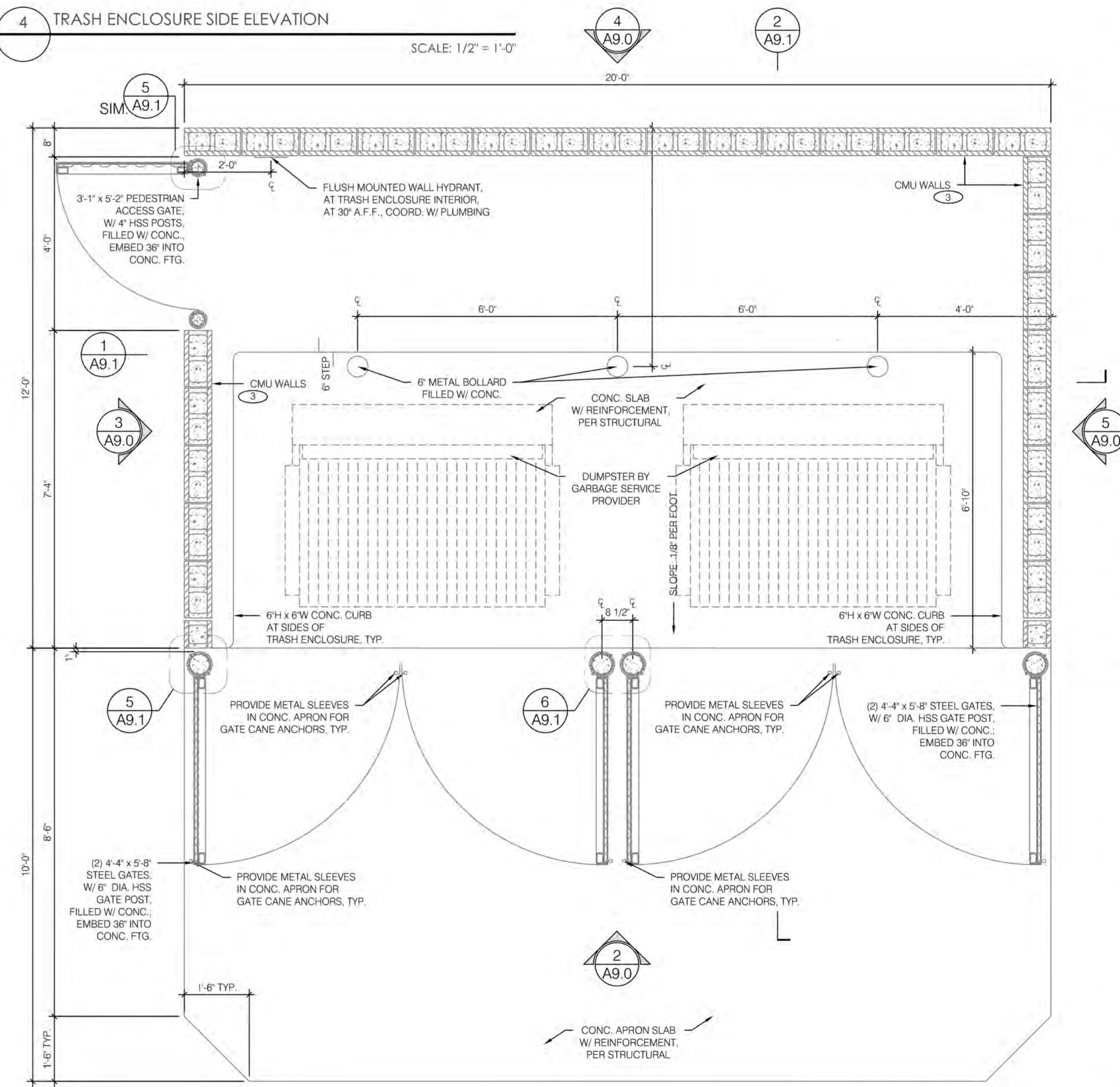
ID	MATERIAL	MANUFACTURER	COLOR	NOTES
3	CMU BLOCK	WILLAMETTE-GRAYSTONE	CHARCOAL	SPUT FACE, 8x10s, 8x8s AS NECESSARY
	CMU CAP	WILLAMETTE-GRAYSTONE	CHARCOAL	12x18x2
PT-2	PAINT	SHERWIN-WILLIAMS	-	BLDG DB DARK GRAY, GATES BODY
PT-3	PAINT	SHERWIN-WILLIAMS	-	BLDG DB BLUE, GATE FRAMES & POSTS



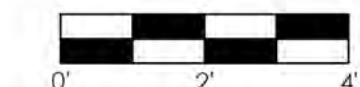
3 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 1/2" = 1'-0"



2 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/2" = 1'-0"



1 TRASH ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"

The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros. including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

MATERIAL COMPOSITION

FRONT ELEVATION:

- *STUCCO - 206 S.F./40%
- *MASONRY - 48 S.F./9%
- *FIBER CEMENT SIDING - 202 S.F./40%
- *GLAZING - 57 S.F./11%

LEFT ELEVATION:

- *STUCCO - 630 S.F./68%
- *MASONRY - 82 S.F./9%
- *FIBER CEMENT SIDING - 183 S.F./20%
- *GLAZING - 26 S.F./3%

RIGHT ELEVATION:

- *STUCCO - 645 S.F./73%
- *MASONRY - 124 S.F./14%
- *FIBER CEMENT SIDING - 38 S.F./4%
- *GLAZING - 74 S.F./9%

REAR ELEVATION:

- *STUCCO - 331 S.F./75%
- *MASONRY - 14 S.F./3%
- *FIBER CEMENT SIDING - 96 S.F./22%
- *GLAZING - 0 S.F.

MATERIAL MANUFACTURERS

- MASONRY - ELDORADO STONE
- STUCCO - DRYVIT / STD CORP.
- FIBER CEMENT SIDING - NICHIIA
- GLAZING FRAMING/GLASS- KAWNEER/VITRO

FACADE PLAN NOTES

- This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
- All mechanical units shall be screened from public view as required by the Zoning Ordinance
- When permitted, exposed utility boxes and conduits shall be painted to match the building
- All signage areas and locations are subject to approval by Development Services
- Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official



KEY PLAN

TOWN PROJECT NUMBER

1825-SUP

SUBDIVISION

BROOKHAVEN SHOPPING CENTER, PHASE 2 LOT 2, BLOCK 1, .867 AC.

DUTCH BROS COFFEE

JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588



The Nunnally Studio

Architecture | Interiors | Planning

P.O. Box 815863
Dallas, Texas 75381
tel. 214-450-9003
fax. 866.387.7903

Property Owner:

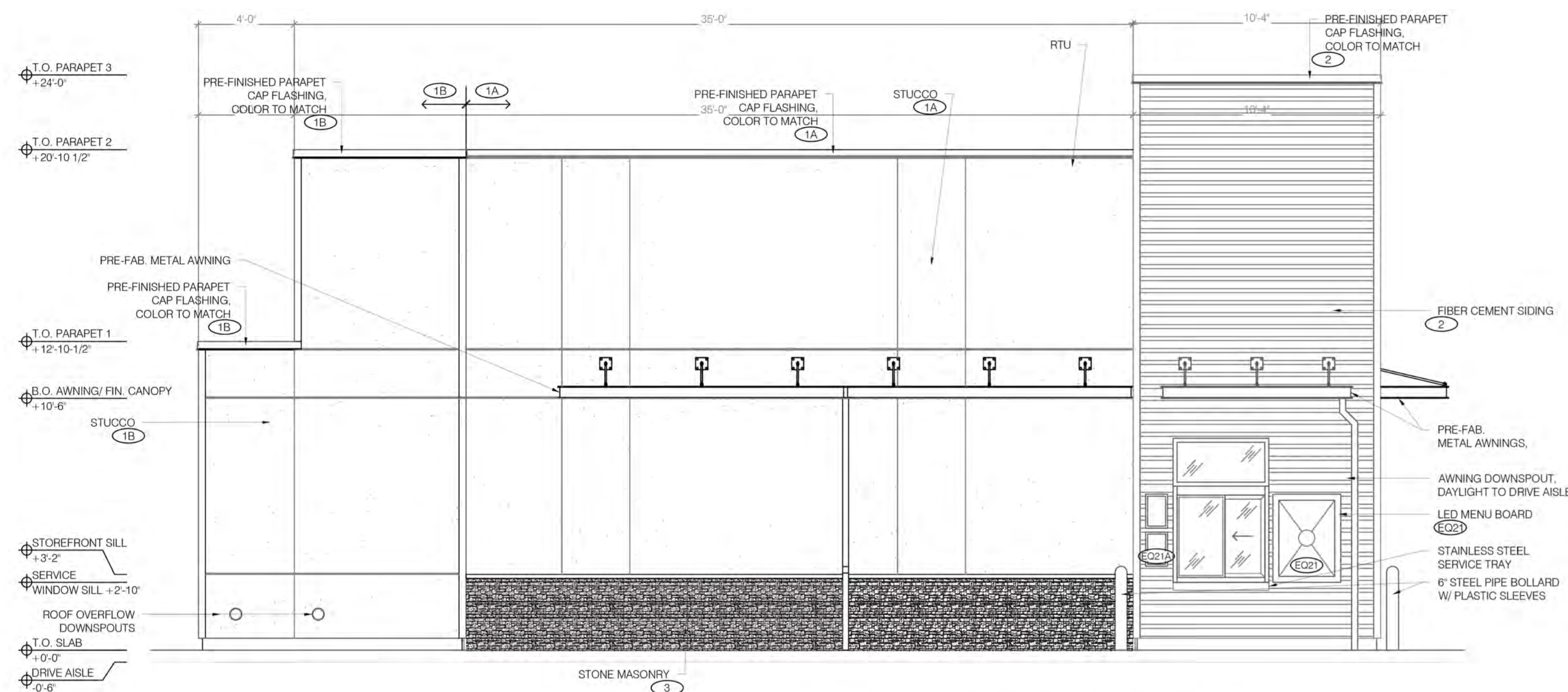
Harry G. Alcock
DCO Realty, Inc.
1745 Shea Center Drive #200
Highlands Ranch, CO 80129
tel. 720.348.7602

REVIEW PRINT

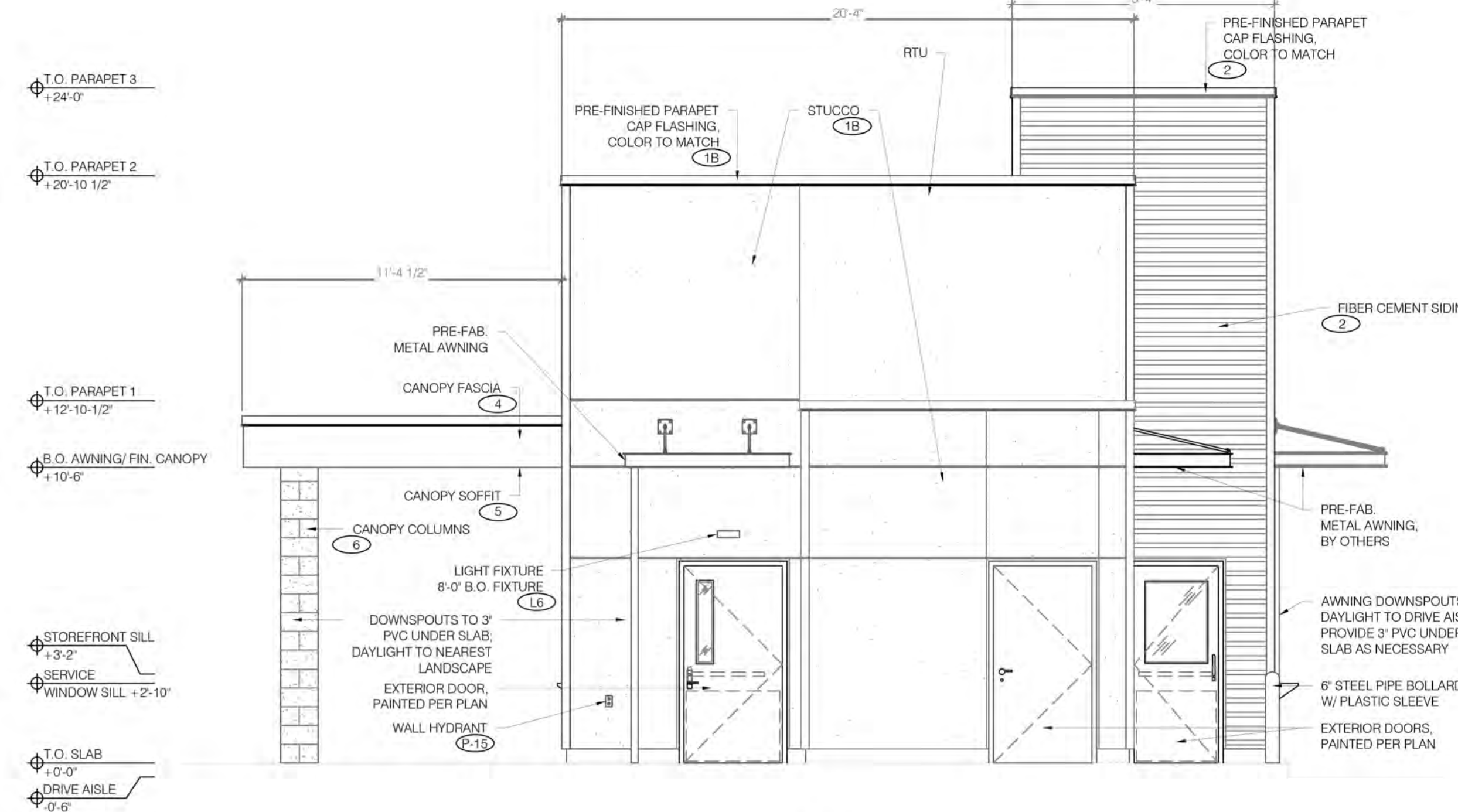
NOT INTENDED FOR BIDDING, PERMITTING, OR CONSTRUCTION

REGISTRANT:
ERIC L. NUNNALLY SR., AIA, NCARB, CSI
TEXAS REGISTRATION NUMBER: 24874

Dutch Bros Coffee
Brookhaven Shopping Center
14310 Marsh Lane
Addison, Texas
for: Dutch Bros Coffee
110 SW 4th St.
Grants Pass, OR 97526



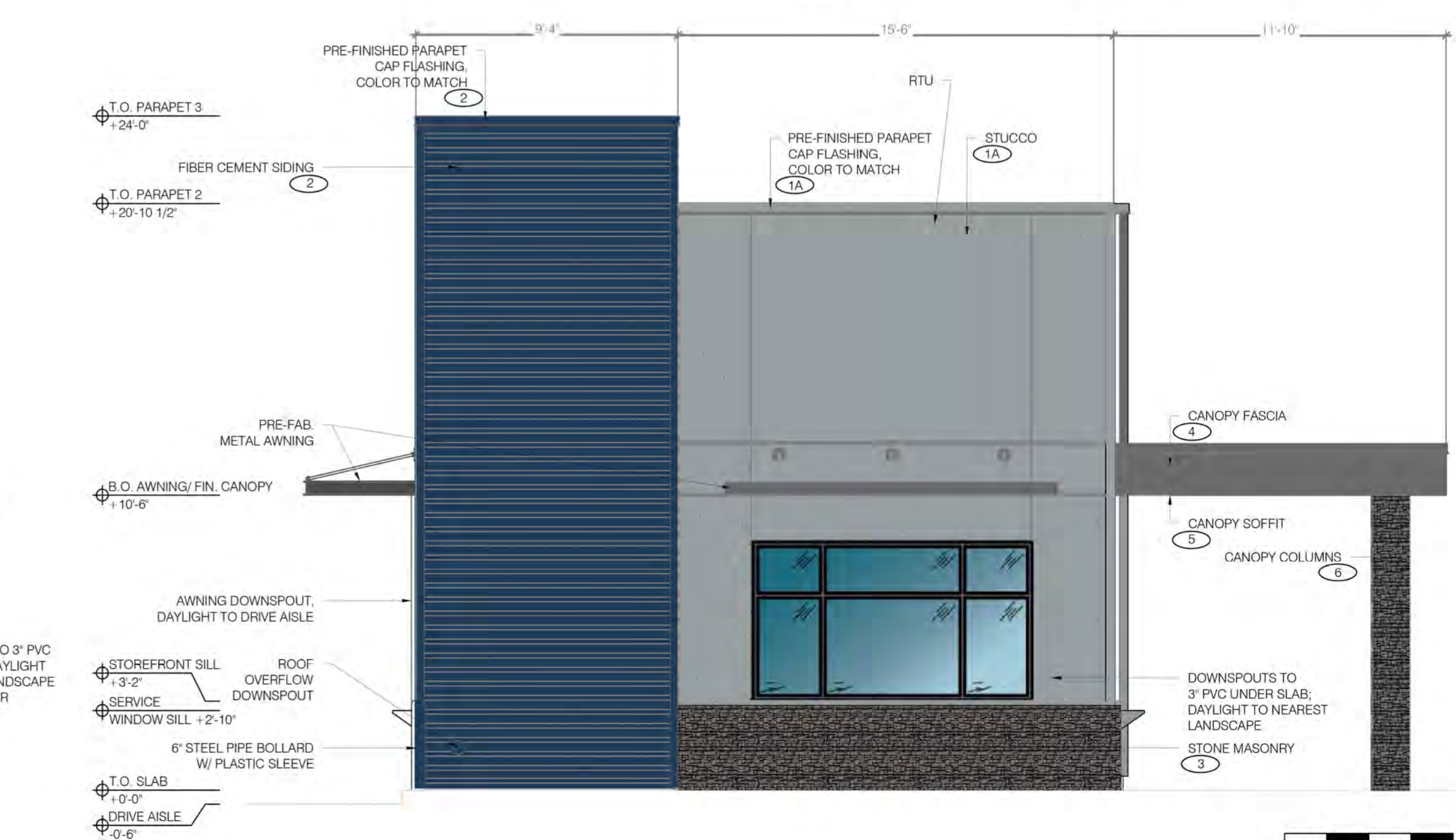
4 LEFT ELEVATION - DRIVE-THRU WINDOW - A1
MATERIAL COLORS SIM. TO RIGHT SCALE: 1/4" = 1'-0"



3 REAR ELEVATION - A1
MATERIAL COLORS SIM. TO FRONT SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION - WALK-UP WINDOW - A1
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION - A1
SCALE: 1/4" = 1'-0"



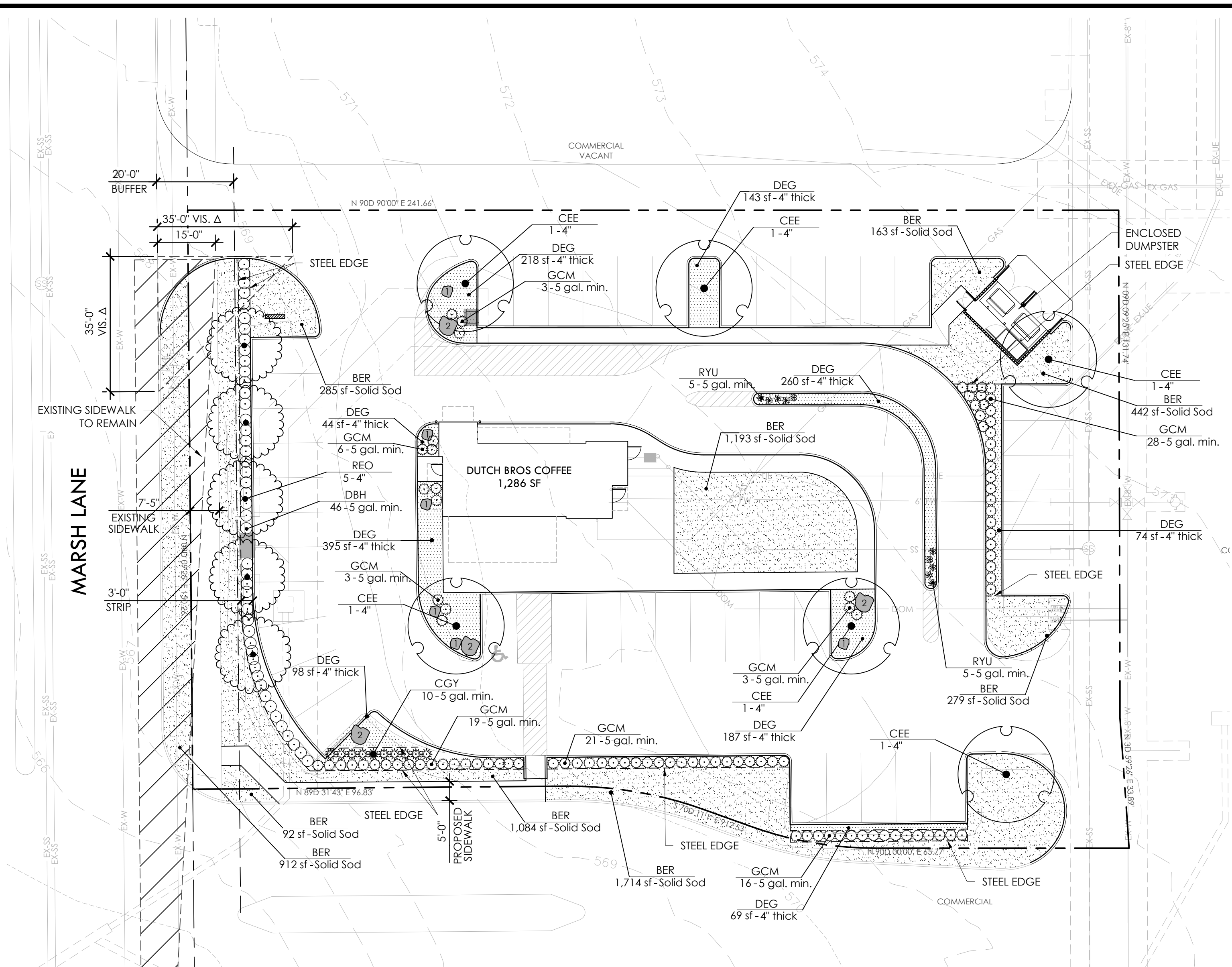
Revisions:

NO.	DESCRIPTION

Drawn By: _____ MS.
Checked By: _____ EN.
Date: 03/01/2021
Project Number: 2021.TX3301

Sheet Name/No.
EXTERIOR ELEVATIONS
A101

FULL PATH: G:\Products\4000\007000\043\001\CD\Drawings\Plan Sheets\Landscaping
 PLOTTED BY: James Mearns
 PLOTTED AT: 8:35:12 AM
 PLOTTED WITH: _adobe_rpl.pdf



VICINITY MAP
SCALE: N.T.S.

PLANT SCHEDULE

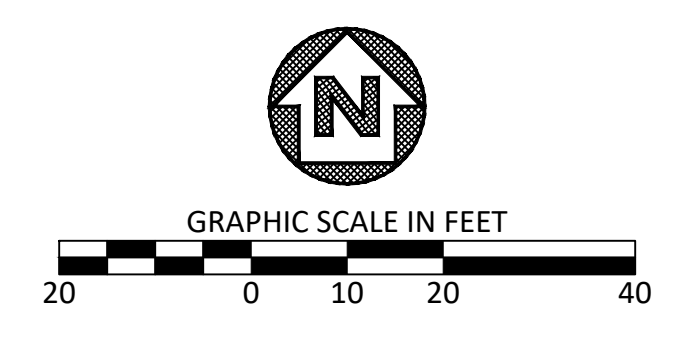
LARGE TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL.	CONT.	HEIGHT	SPREAD
	CEE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4"	65 GAL	14'-16" MIN.	4'-6"
	REO	5	RED OAK	QUERCUS RUBRA	4"	65 GAL	14'-16" MIN.	4'-6"
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	SPACING
	CGY	10	COLOR GUARD YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GAL. MIN.	24"-30"	20"-24"	3' OC.
	DBH	46	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	5 GAL. MIN.	30"-36"	24"-26"	3' OC.
	GCM	99	GULF COAST MUHLY	MUHLENBERGIA CAPILLARIS	5 GAL. MIN.	18"-20"	15"-18"	3' OC.
	RYU	10	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL. MIN.	18"-24"	18"-24"	2' OC.
ROCK/GRAVEL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	SPACING
	DEG	1,496 SF	DECOMPOSED GRANITE	DECOMPOSED GRANITE	4" THICK	NA	NA	NA
SOD/SEED	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	SPACING
	BER	6,164 SF	BERMUDA GRASS	CYNODON DACTYLON	SOLID SOD	NA	NA	NA
STEEL EDGING								
		3' x 3'	MOSS BOULDER	SOURCE: WHIZ Q STONE				
		5' x 5'	MOSS BOULDER	SOURCE: WHIZ Q STONE				

NOTE:

- IRRIGATION WILL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM AND WILL HAVE A RAIN/FREEZE SENSOR.
- NO EXISTING TREES ON THE SITE.

LANDSCAPE DATA CHART

	REQUIRED	PROVIDED
SITE AREA 37,897 SF / .87 AC BUILDING AREA 920 SF		
20% OF GROSS SITE AREA TO BE LANDSCAPE 37,897 x 20%	7,579 SF	8,330 SF
STREET LANDSCAPE BUFFER 20' BUFFER ALONG MARSH LANE	20' BUFFER	20' BUFFER
ONE 4" CAL SHADE TREE FOR EVERY 30 LF OF FRONTAGE MARSH LANE 137 LF / 30 LF	5 - 4" CAL SHADE TREES	5 - 4" CAL SHADE TREES
EVERGREEN SHRUBS AT 3' OC MARCH LANE 137 LF / 3'	46 EVERGREEN SHRUBS	46 EVERGREEN SHRUBS
PARKING LOT SCREENING EVERGREEN SHRUBS AT 3' OC MARSH LANE 137 LF / 3'	46 EVERGREEN SHRUBS	46 EVERGREEN SHRUBS
PARKING LOT PERIMETER 3' STRIP FOR SITE SMALLER THAN 10,000 SF	3' STRIP	3' STRIP
SHRUBS PLANTED AT 3' OC SOUTH PARKING AREA 169 LF / 3' OC WEST PARKING AREA 150 LF / 3' OC EAST PARKING AREA 54 LF / 3' OC	56 SHRUBS 50 SHRUBS 18 SHRUBS	58 SHRUBS 50 SHRUBS 22 SHRUBS
PARKING LOT INTERIOR 5% PLANTING AREA FOR PARKING AREA 7,000-49,999 16,861 SF PARKING AREA X 5%	843 SF PLANTING AREA	2,735 SF PLANTING AREA
ONE SHADE TREE FOR EVERY 10 SPACES 44 SPACES / 10	4 SHADE TREES	4 SHADE TREES
NO SPACE TO BE FARTHER THAN 50' FROM TRUNK OF TREE NO EXISTING TREES ON SITE	2 SHADE TREES	2 SHADE TREES
NO EXISTING TREES ON SITE		



CONCEPTUAL LANDSCAPE PLAN



DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER
 14310 MARSH LANE
 ADDISON, TEXAS

NO.	DATE	DESCRIPTION

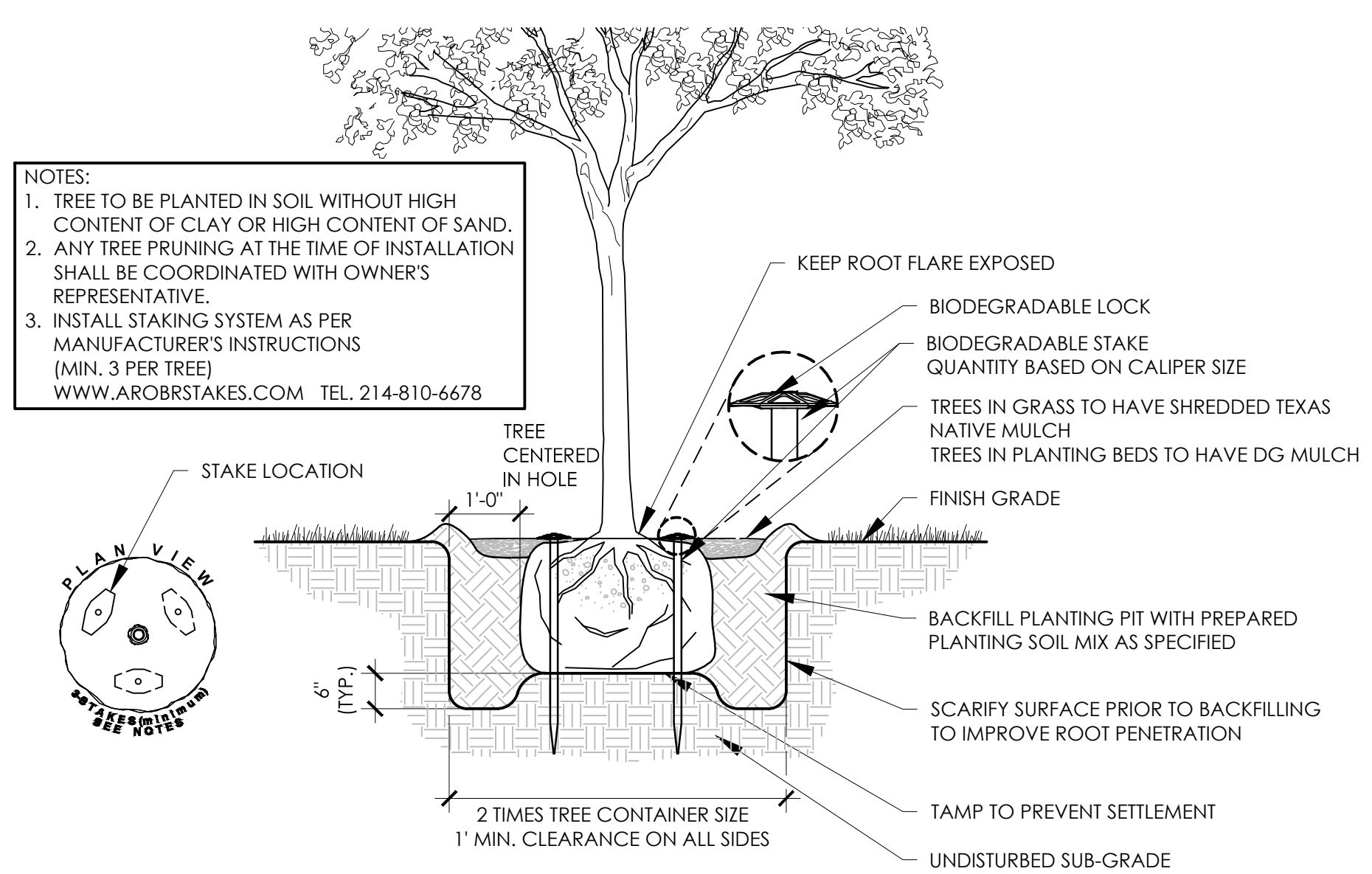
TOWN PROJECT NUMBER
 1825-SUP
SUBDIVISION
 BROOKHAVEN SHOPPING CENTER, PHASE 2
 LOT 2, BLOCK 1, .867 AC.
DUTCH BROS COFFEE
 JEFFREY BENNETT
 110 4TH STREET
 GRANTS PASS, OR 97526
 214.842.1588
DUNAWAY ASSOCIATES
 CIVIL, LANDSCAPE
 550 BAILEY
 FORT WORTH, TX 76107
 817.335.1121
PROPERTY OWNER
 HARRY G. ALCOCK
 DCO REALTY, INC.
 1745 SHEA CENTER DRIVE #200
 HIGHLANDS RANCH, CO 80129
 720.348.7602

PRELIMINARY FOR REVIEW ONLY
 These documents are for Design Review and not intended for Construction Bidding or Permit Purposes. They were prepared by, or under the supervision of, Megan Abernathy LA#2706
 03/09/2021

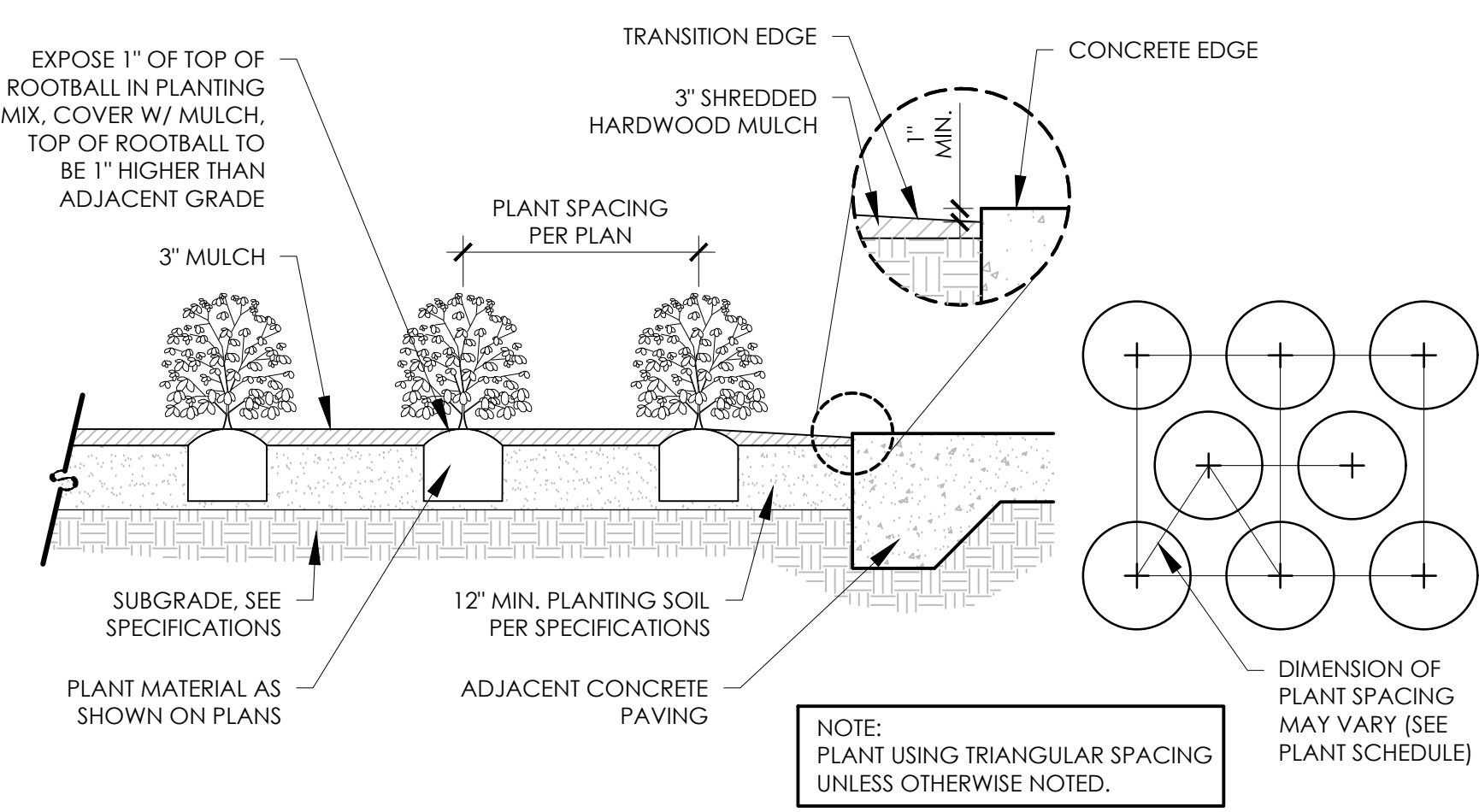
JOB NO.	B0007043.001
DESIGNED BY:	JMM
DRAWN BY:	JMM
CHECKED BY:	MEA
DATE:	FEBRUARY 26, 2021
SHEET:	C5.0

LANDSCAPE NOTES:

- ORDINANCE PLAN MAY REQUIRE REVISIONS WHEN TREE SURVEY IS PROVIDED.
- ALL PLANTED AREAS SHALL BE WATERED WITH AN UNDERGROUND IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED WITH A FULLY PROGRAMMABLE ET BASED CONTROLLER WITH RAIN AND FREEZE SENSORS. THE IRRIGATION SYSTEM, AND INSTALLATION SHALL MEET ALL OF THE APPROPRIATE REQUIREMENTS OF THE LOCAL MUNICIPALITY.
- ISOLATED PLANT MATERIAL TO RECEIVE DRIP TUBING IN A RING PATTERN AROUND THE ROOT BALL. WHERE POSSIBLE, ELIMINATE DRIP TUBING FROM LARGE AREAS VOID OF PLANT MATERIAL.
- SOIL MIX FOR ALL PLANTING AREAS SHALL BE MANUFACTURER'S BASIC TOPSOIL, BLENDED IN A MANUFACTURING FACILITY WITH SAND, STABILIZED ORGANIC SOIL AMENDMENTS, AND OTHER MATERIALS TO PRODUCE VIABLE PLANTING SOIL. MANUFACTURED SOIL SHOULD ACHIEVE PH OF 5 TO 7.5 AND MINIMUM OF 4 PERCENT ORGANIC-MATTER CONTENT, FRIABLE, AND WITH SUFFICIENT STRUCTURE TO GIVE GOOD TILL AND AERATION.
- AMEND MANUFACTURER'S BASIC SOIL WITH SULFUR (1-1/2 POUNDS PER CUBIC YARD), AND COMMERCIAL FERTILIZER (1/2 POUND PER CUBIC YARD).
- IN TREE AND SHRUB PLANTINGS, APPLY AMENDED SOIL TO MINIMUM DEPTH OF 12 INCHES. FOR TURF AREAS, TILL 2" OF AMENDED MANUFACTURER'S SOIL MIX INTO EXISTING SUBGRADE.
 - CONTRACTOR SHALL PREPARE AND FURNISH PROPER SUBGRADE ELEVATIONS FOR USE BY THE LANDSCAPE CONTRACTOR.
 - ALL TOPSOIL SHALL BE FREE OF STONES, ROOTS, CLODS, CONCRETE, BASE, CALICHE, CONSTRUCTION DEBRIS, AND ANY OTHER FOREIGN MATERIAL NOT BENEFICIAL FOR PLANT GROWTH
- ALL TREES AND SHRUB AREAS TO BE MULCHED TO A DEPTH OF 3 INCHES WITH SHREDDED TEXAS NATIVE MULCH. MAINTAIN A 1FT CLEAR AREA FROM THE BASE OF THE TREE FREE OF MULCH TO ALLOW OXYGEN EXCHANGE.
- LAY SOD WITHIN 24 HOURS OF HARVESTING. DO NOT LAY SOD IF DORMANT OR IF GROUND IS FROZEN OR MUDDY.
- LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD; DO NOT STRETCH OR OVERLAP. STAGGER SOD STRIPS OR PADS TO OFFSET JOINTS IN ADJACENT COURSES. AVOID DAMAGE TO SOIL OR SOD DURING INSTALLATION. TAMP AND ROLL LIGHTLY TO ENSURE CONTACT WITH SOIL, ELIMINATE AIR POCKETS, AND FORM A SMOOTH SURFACE. WORK SIFTED SOIL OR FINE SAND INTO CRACKS BETWEEN PILES OF SOD; REMOVE EXCESS TO AVOID SMOTHERING SOD AND ADJACENT GRASS.
 - LAY SOD ACROSS SLOPES EXCEEDING 1:3.
 - ANCHOR SOD ON SLOPES EXCEEDING 1:6 WITH WOOD PEGS OR STEEL STAPLES SPACED AS RECOMMENDED BY SOD MANUFACTURER BUT NOT LESS THAN TWO ANCHORS PER SOD STRIP TO PREVENT SLIPPAGE.
- SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF 1-1/2 INCHES BELOW SOD.
- GENERAL: MAINTAIN AND ESTABLISH TURF BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE TURF. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH TURF. PROVIDE MATERIALS AND INSTALLATION THE SAME AS THOSE USED IN THE ORIGINAL INSTALLATION. MAINTENANCE PERIOD FOR TURF AREAS ONLY IS 60 DAYS PAST SUBSTANTIAL COMPLETION.
- MOW TURF AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIED HEIGHT WITHOUT CUTTING MORE THAN ONE-THIRD OF GRASS HEIGHT. REMOVE NO MORE THAN ONE-THIRD OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS.
- TURF INSTALLATIONS SHALL MEET THE FOLLOWING CRITERIA AS DETERMINED BY LANDSCAPE ARCHITECT:
 - SATISFACTORY SODDED TURF: AT END OF MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF HAS BEEN ESTABLISHED. FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.
 - SATISFACTORY SEEDED TURF: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED. FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES.
- USE SPECIFIED MATERIALS TO REESTABLISH TURF THAT DOES NOT COMPLY WITH REQUIREMENTS, AND CONTINUE MAINTENANCE UNTIL TURF IS SATISFACTORY.
- SPECIAL WARRANTY: INSTALLER AGREES TO REPAIR OR REPLACE PLANTINGS AND ACCESSORIES THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN SPECIFIED WARRANTY PERIOD.
 - FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM ABUSE, LACK OF ADEQUATE MAINTENANCE, OR NEGLECTED BY OWNER.
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
 - WARRANTY PERIODS: FROM DATE OF SUBSTANTIAL COMPLETION.
 - TREES, SHRUBS, VINES, AND ORNAMENTAL GRASSES: 12 MONTHS.
 - GROUNDCOVERS, BIENNIALS, PERENNIALS, AND OTHER PLANTS: 12 MONTHS.
- LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY QUESTIONS REGARDING APPLICATION OF PROPOSED PLANT MATERIAL PRIOR TO INSTALLATION - ESPECIALLY QUESTIONS THAT MAY AFFECT OR ALTER THE WARRANTY OF SAID MATERIAL.
- STAKE OR GUY TREES ONLY IF THEY ARE NOT ABLE TO STAND VERTICAL ON THEIR OWN.
- REMOVE ALL STONES AND DEBRIS LARGER THAN 1 INCH IN ANY DIMENSION ON THE SURFACE IN AREAS WHERE TURF IS APPLIED.
- ALL QUANTITIES SHOWN ON PLANS TO BE VERIFIED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL LABELED PLANT MATERIAL ON PLANS.
- ALL FINAL SHAPING AND RAKING OF THE TOPSOIL/FINISH GRADES SHALL BE REVIEWED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO APPLICATION OF PLANT MATERIAL. BERMS, IF REQUIRED SHALL BE INSTALLED IN 12 INCH LAYERS/LIFTS AND COMPACTED. EXCESSIVE SLOPES ON BERMS WHICH MAY CAUSE MAINTENANCE PROBLEMS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT.
- VERIFY EXISTENCE OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR SITE WORK AND PLANTING.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT EXISTING UTILITIES AT ALL TIMES.
- INSTALL IRRIGATION SYSTEM PRIOR TO APPLICATION OF TOPSOIL OR PLANTING SOIL MIX.
- ANY EXISTING SITE IMPROVEMENT OR UTILITY REMOVED, DAMAGED, OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CONTRACTING OFFICER'S REPRESENTATIVE AND APPROVED BY THE RESPECTIVE UTILITY AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGES DONE TO EXISTING FENCES, CONCRETE ISLANDS, STREET PAVING, CURBS, SHRUBS, TREES, DRIVEWAYS, ETC., SCHEDULE TO REMAIN (NO SEPARATE PAY ITEM).
- TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AND REPLACED AT CONTRACTOR'S EXPENSE.
- TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE, BUT IS NOT LIMITED TO: WATERING THE ROOT PROTECTION ZONE, WASHING FOLIAGE, FERTILIZATION, PRUNING, ADDITIONAL MULCH APPLICATIONS, AND OTHER MAINTENANCE AS NEEDED ON THE PROJECT.
- ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION SHALL BE HYDROMULCHED AS DESCRIBED ON PLANS.
- ROOTS SHALL BE CUT WITH A ROCK SAW OR BY HAND, NOT BY AN EXCAVATOR OR OTHER ROAD CONSTRUCTION EQUIPMENT.
- METAL EDGER: COL-MET COMMERCIAL GRADE STEEL EDGING 1/2" THICK. INSTALL PER MANUFACTURERS RECOMMENDATIONS.

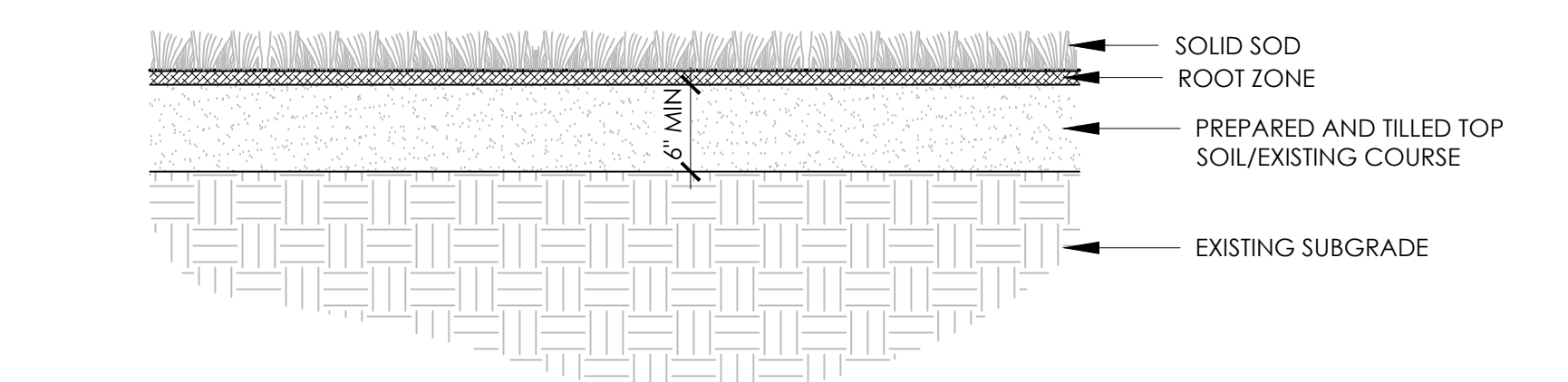


A TREE PLANTING WITH ARBOR STAKES SCALE: 1/2" = 1'-0"



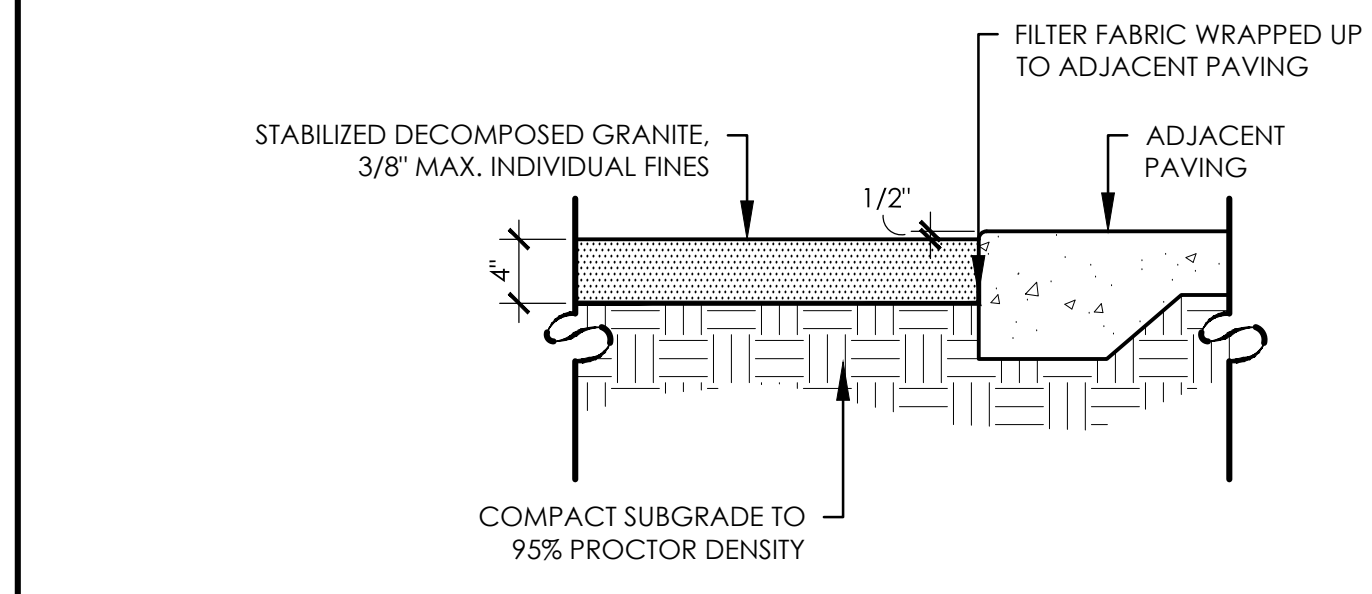
C SHRUBS PLANTED W/ BARK MULCH SCALE: NTS

- NOTES:
- LAY THE SOD THE SAME DAY AS DELIVERY. DELAY CAN RESULT IN THE GRASS DRYING OUT AND DAMAGE TO THE ROOTS.
 - REMOVE WEEDS, TRASH AND ANY ROCKS OR CLUMPS OF SOIL LARGER THAN 3".
 - EXCAVATE EXISTING SOIL TO ALLOW FOR INSTALLATION OF QUALITY TOP SOIL AT A MINIMUM DEPTH OF 4", IN ALL AREAS TO RECEIVE SOD.
 - TILL 4" OF QUALITY TOP SOIL TO A DEPTH OF 6" IN ALL AREAS TO RECEIVE SOD.
 - FINE GRADE TILLED AND PREPPED SOIL PER GRADING PLANS TO MINIMIZE DRAINAGE ISSUES.
 - WATER SOIL UNTIL LIGHTLY MOISTENED BEFORE LAYING SOD.
 - LAY SOD ALONG SIDEWALK EDGE AND WORK OUTWARD, MAKING SURE ALL PIECES ARE ROLLED OUT IN THE SAME DIRECTION.
 - ENSURE SOD IS LEVEL WITH ADJACENT FINISH GRADE OF SIDEWALK.
 - LAY SOD IN A STAGGERED BOND PATTERN, ENSURING THAT EDGES ARE BUTTED UP TIGHTLY AGAINST EACH OTHER, LEAVING NO GAPS AT SEAMS.
 - IN AREAS OF STEEP SLOPES, USE FABRIC STAPLES TO HOLD THE SOD IN PLACE.
 - SEAM ALL EDGES BY FIRMLY ROLLING THE SOLID SOD AREA WITH A LAWN ROLLER.
 - FERTILIZE SOLID SOD USING A HIGH PHOSPHATE STARTER PER THE MANUFACTURER'S RECOMMENDATIONS.
 - WATER SOLID SOD AREA, KEEPING THE AREA MOIST FOR TWO WEEKS OR UNTIL FULLY ESTABLISHED.
 - AFTER TWO WEEKS, REPLACE ANY DEAD OR DECLINING AREAS OF SOD.

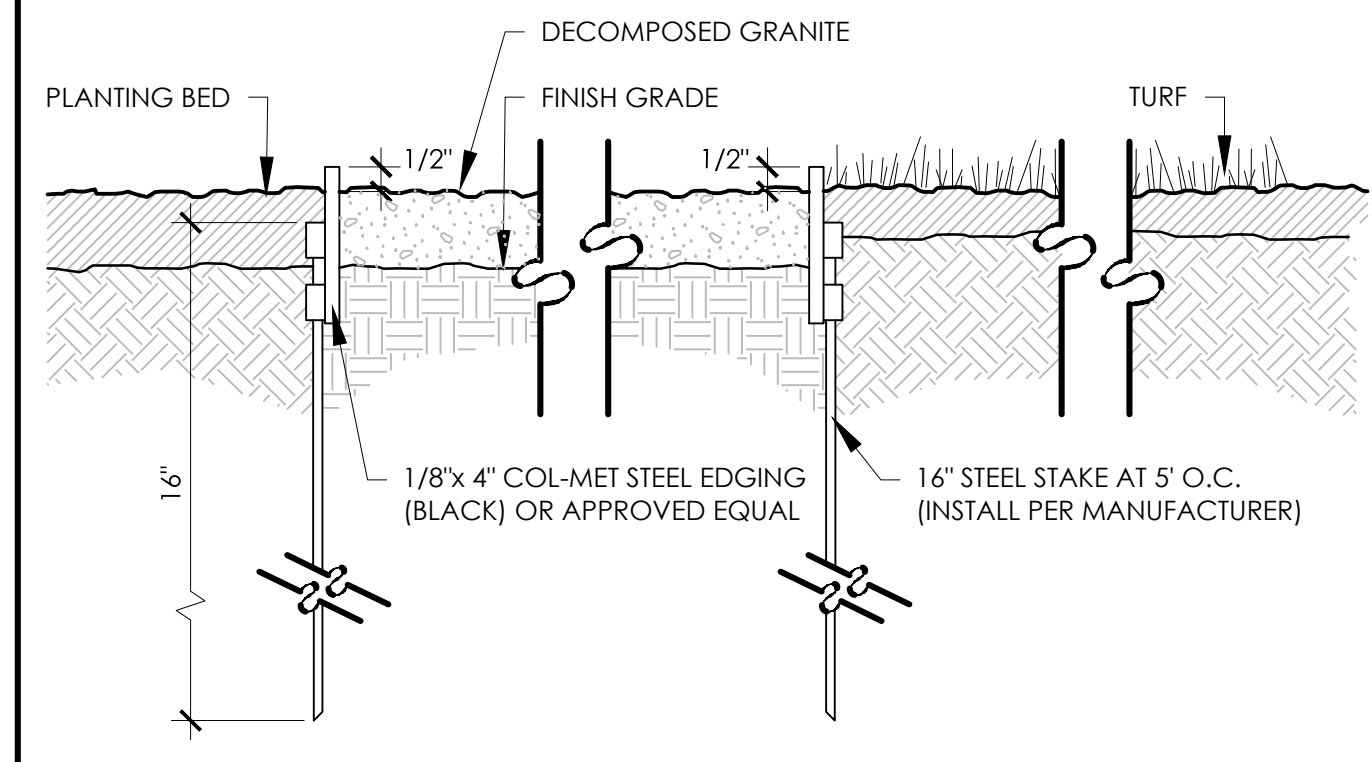


E SOLID SOD ON PREPARED BASE SCALE: 1" = 1'-0"

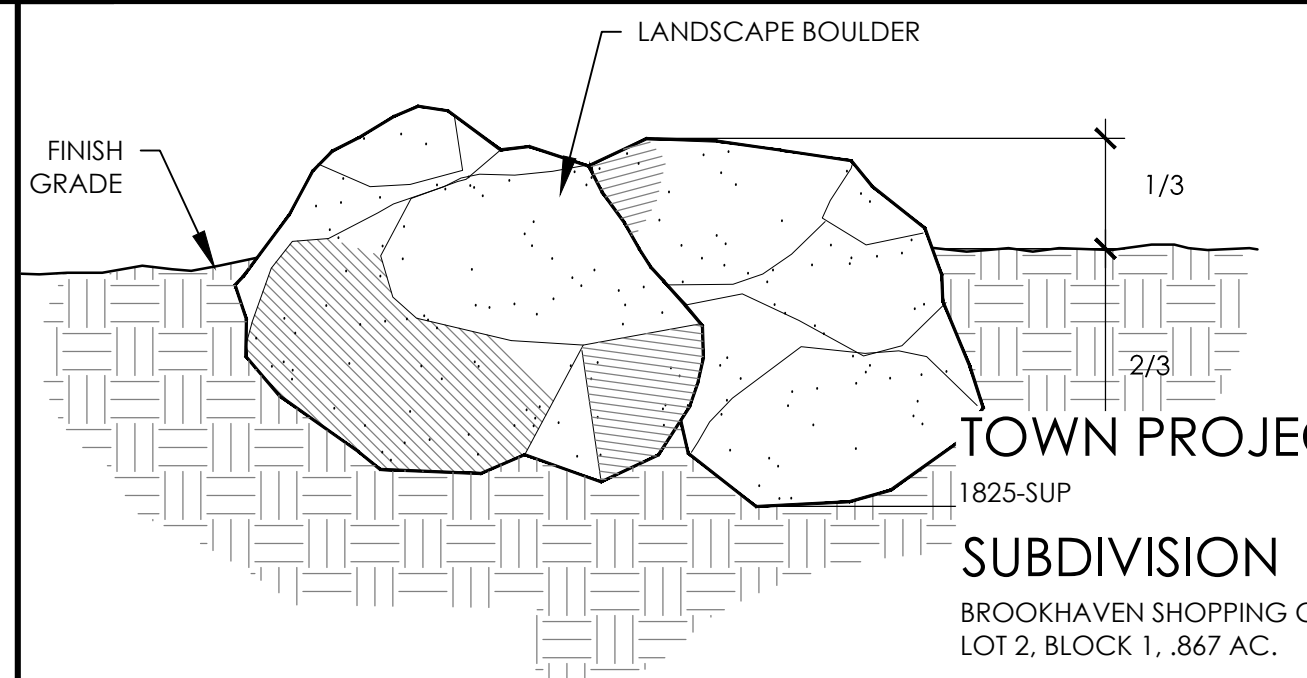
- NOTES:
- STABILIZER TO BE A PATENTED, NON-TOXIC, ORGANIC, COLORLESS AND ODORLESS, CONCENTRATED POWDER WHICH BINDS DECOMPOSED GRANITE.
 - CONTACT: STABILIZER SOLUTIONS, INC. 1-800-336-5902, OR APPROVED EQUAL.
 - COMPACT DECOMPOSED GRANITE IN 2" LIFTS. HAND-TAMP WHEN PLACING ADJACENT TO WALLS, PLANTING AREAS, OR IRRIGATION SYSTEMS.
 - CONTRACTOR SHALL PROVIDE GRANITE SAMPLES FOR APPROVAL PRIOR TO CONSTRUCTION OF MOCK UP.



B STABILIZED DECOMPOSED GRANITE SCALE: 1" = 1'-0"



D STEEL EDGING SCALE: 1" = 1'-0"



- NOTES:
- SEE LANDSCAPE PLAN FOR BOULDER SPECIFICATION AND LOCATION.
 - CONTRACTOR SHALL SUBMIT PHOTOS OF BOULDERS TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

F BOULDER PLACEMENT

NO.	DATE	DESCRIPTION

LANDSCAPE NOTES & DETAILS



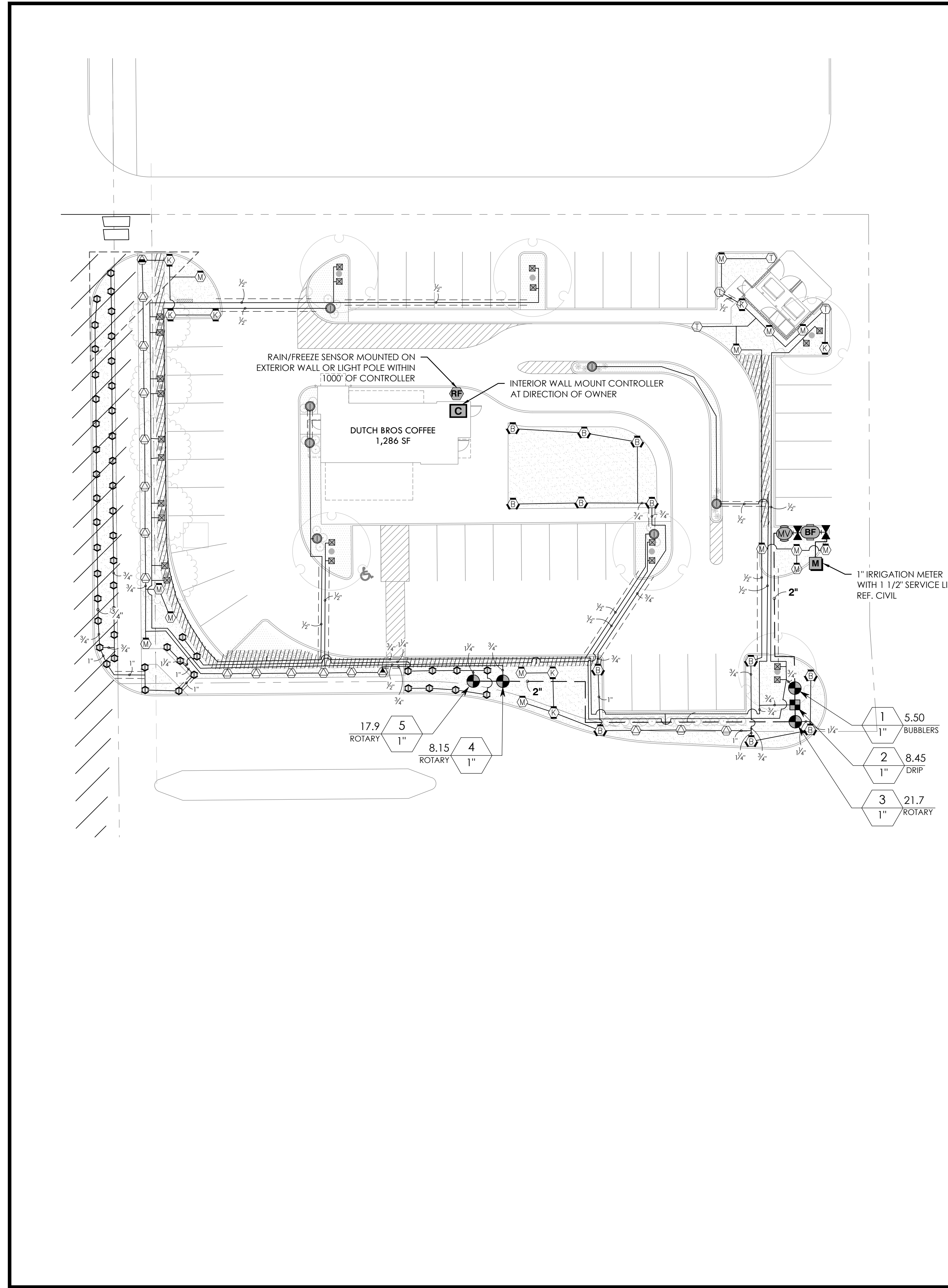
**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER
14310 MARSH LANE
ADDISON, TEXAS**

PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:
Megan Abernathy
LA#2706
03/09/2021

JOB NO.	B0007043.001
DESIGNED BY:	JMM
DRAWN BY:	JMM
CHECKED BY:	MEA
DATE:	FEBRUARY 26, 2021

SHEET: **C5.1**

FULL PATH: C:\ProgramData\Autodesk\LT2021\Drawings\Plot Sheets\Landscaping\14310 Marsh Lane\14310 Marsh Lane.dwg
 PLOTTED BY: Jared Moore
 PLOTTED AT: 8:35:17 AM
 PLOTTED WITH: Adobe PDF

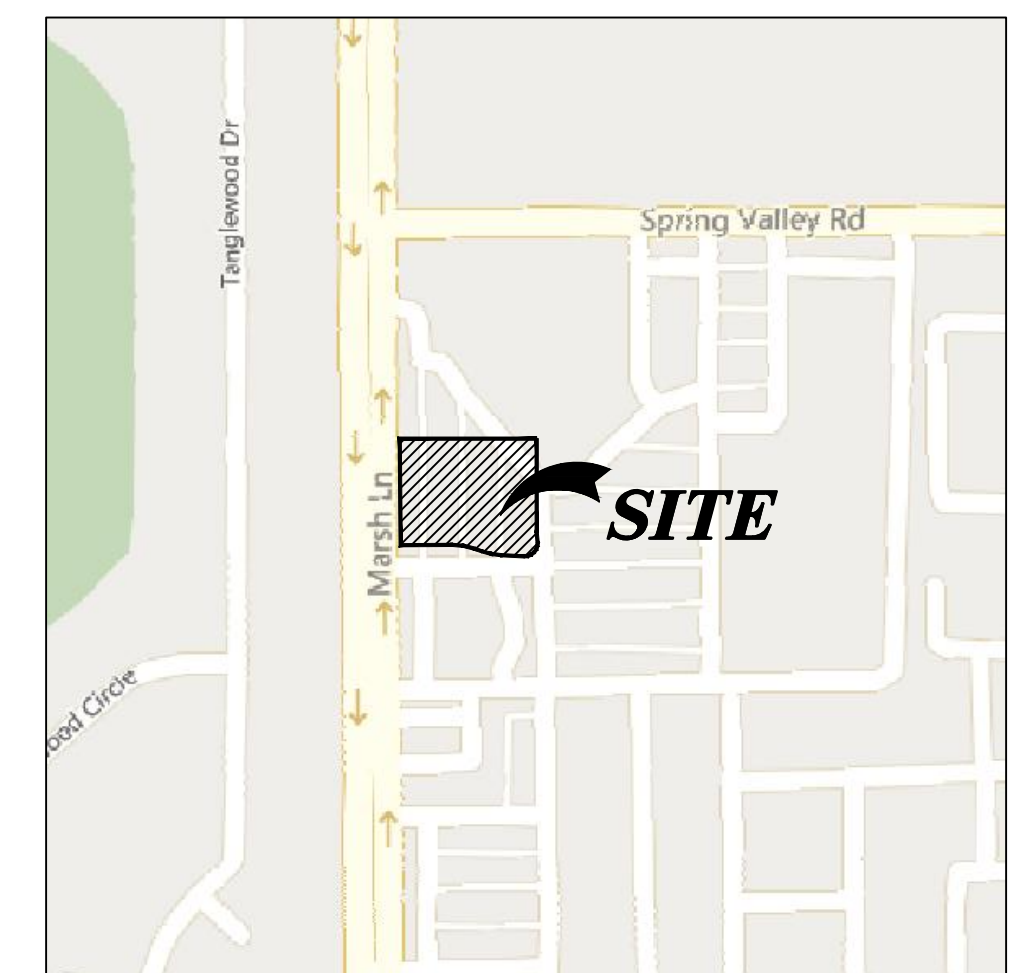
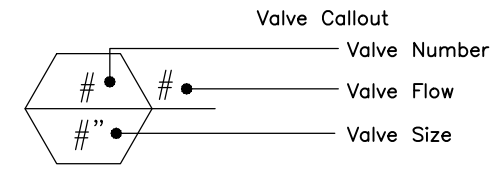


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
(T)	ROTARY: HUNTER MP CORNER PROS-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE. T= TURQUOISE ADJ ARC 45-105 ON PRS40 BODY.
(LST RST SST)	ROTARY: HUNTER MP STRIP PROS-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.
(M L O)	ROTARY: HUNTER MP1000 PROS-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.
(K G R)	ROTARY: HUNTER MP2000 PROS-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.
(B Y A)	ROTARY: HUNTER MP3000 PROS-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.
(O)	ROTARY: HUNTER MP800SR PROS-04-PRS40-CV TURF ROTATOR, 4.0" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360)
(256 500 50H 10H 10F 20F)	BUBBLER:HUNTER PROS-02-MSBN 10F MULTI-STREAM BUBBLER, 2" POP-UP, 50=0.5GPM.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
(Drip Valve Symbol)	DRIP VALVE: HUNTER ICZ-101-40 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 40PSI. FLOW RANGE: 2 GPM TO 20 GPM. 1.50 MESH STAINLESS STEEL SCREEN.
(Point Source Emitters)	POINT SOURCE EMITTER: HUNTER MPE MULTI-PORT EMITTER 6 PORTS IN TOTAL BUT CAN BE LIMITED BY PLUGGING THE UNUSED PORTS. BLUE COLOR USED FOR 0.5 GPH, BLACK FOR 1.0 GPH, RED FOR 2.0 GPH AND TAN FOR 4.0 GPH.
(Area to Receive Dripline)	AREA TO RECEIVE DRIPLINE DRIP AREA: HUNTER HDL-04-12-CV HDL-04-12-CV: HUNTER DRIPLINE W/ 0.4 GPH EMITTERS AT 12" O.C. CHECK VALVE, DARK BROWN TUBING WITH TAN STRIPING. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
(Remote Control Valve)	REMOTE CONTROL VALVE: HUNTER ICV-G 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. INSTALL TWO WIRE EZ-1 DECODER PER MANUFACTURER'S RECOMMENDATIONS.
(Shut Off Valve)	SHUT OFF VALVE PVC SCHEULE 40 BALL VALVE, SLIP X SLIP
(Master Valve)	MASTER VALVE: HUNTER ICV-G 1" 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. INSTALL TWO WIRE EZ-1 DECODER PER MANUFACTURER'S RECOMMENDATIONS.
(Backflow)	BACKFLOW: FEBCO 850, 1" DOUBLE CHECK BACKFLOW PREVENTION
(Controller)	CONTROLLER: HUNTER HC-6 6 STATION SMART CONTROLLER WITH WI-FI CONNECTION
(Rain/Freeze Sensor)	RAIN/FREEZE SENSOR: HUNTER WRF-CLIK RAIN/FREEZE SENSOR, INSTALL WITHIN 1000 FT OF CONTROLLER, IN LINE OF SIGHT, 22-28 VAC/VDC 100 MA POWER FROM TIMER TRANSFORMER. MOUNT AS NOTED. INCLUDES GUTTER MOUNT.
(Water Meter)	WATER METER 1" ASSUMED PRESSURE OF 65 PSI.
(Irrigation Lateral Line)	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
(Irrigation Mainline)	IRRIGATION MAINLINE: PVC SCHEDULE 40 MAINLINE SIZE 2"
(Pipe Sleeve)	PIPE SLEEVE: PVC SCHEDULE 40



VICINITY MAP
SCALE: N.T.S.

NO.	DATE	DESCRIPTION

CONCEPTUAL IRRIGATION PLAN

**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER
14310 MARSH LANE
ADDISON, TEXAS**

DUNAWAY
550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.335.1121
Fax: 817.335.1124

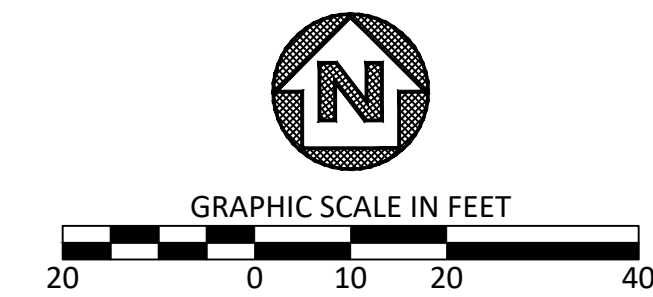
TOWN PROJECT NUMBER
1825-SUP

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, .867 AC.

DUTCH BROS COFFEE
JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588

DUNAWAY ASSOCIATES
CIVIL, LANDSCAPE
550 BAILEY
FORT WORTH, TX 76107
817.335.1121

PROPERTY OWNER
HARRY G. ALCOCK
DCO REALTY, INC.
1745 SHEA CENTER DRIVE #200
HIGHLANDS RANCH, CO 80129
720.348.7602



PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Janel M. Moody L.I.#20529 03/09/2021

JOB NO.	B0007043.001
DESIGNED BY:	JMM
DRAWN BY:	JMM
CHECKED BY:	MEA
DATE:	FEBRUARY 26, 2021
SHEET:	C6.0

FULL PATH: G:\Products\4000\007000\043\001\Civil\Drawings\Plan Sheets\Irrigation
 PLOTTED BY: Janel Moody
 PLOTTED AT: 8:32:28 AM
 PLOTTED WITH: J:\bin\lpr.plt

IRRIGATION NOTES:

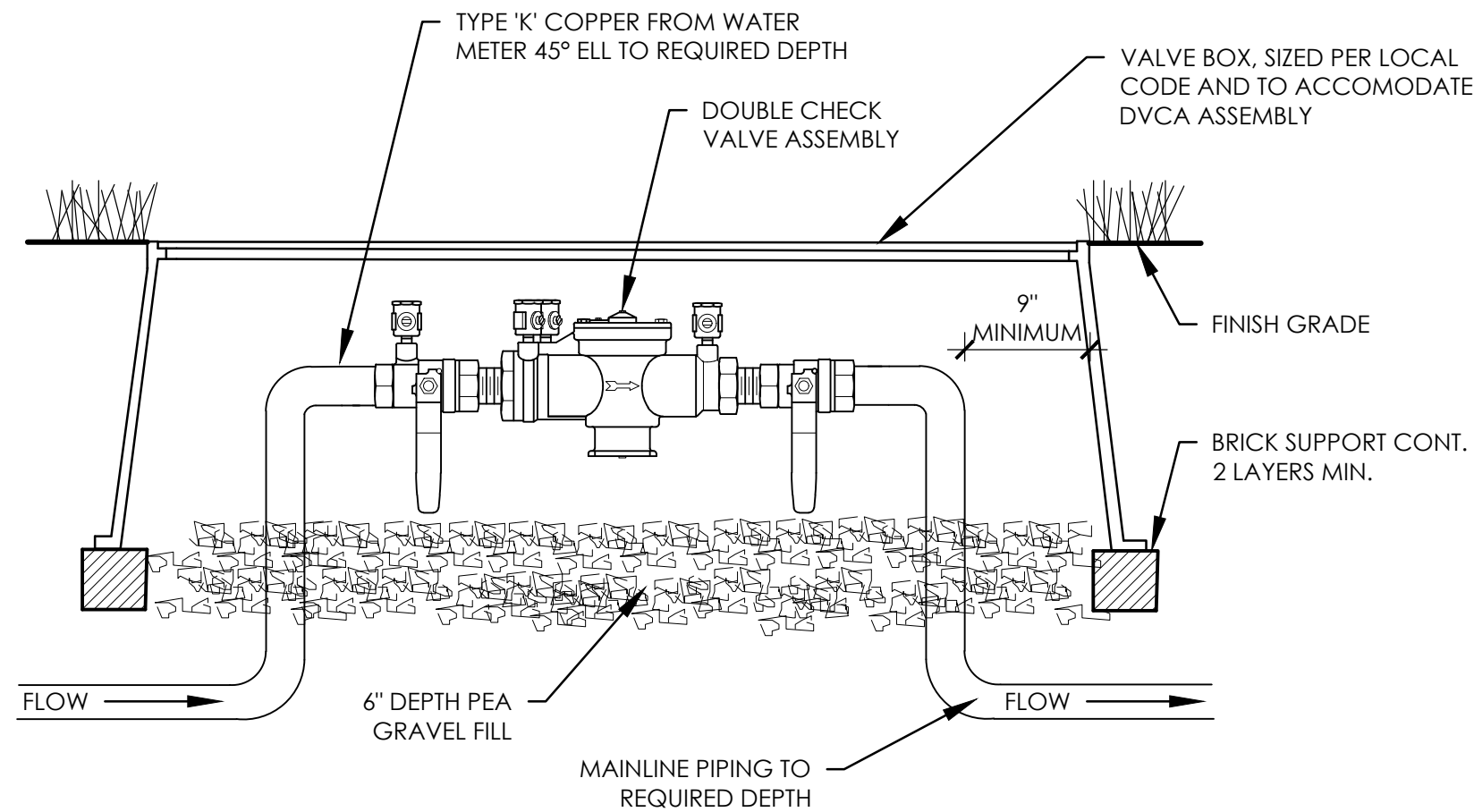
- IRRIGATION PLAN IS SCHEMATIC. ALL PIPING HEADS, VALVES, ETC. SHALL BE LOCATED AS SHOWN ON THE DETAILS. REPORT ANY DISCREPANCIES BETWEEN ACTUAL AND PROPOSED SITE CONDITIONS TO THE OWNER. DO NOT PROCEED WITH WORK UNTIL SAID DISCREPANCIES ARE RESOLVED.
- VERIFY THAT THE WORK OF OTHER CONTRACTORS/TRADES IS SUFFICIENTLY COMPLETE TO ALLOW COMMENCEMENT OF IRRIGATION INSTALLATION PRIOR TO BEGINNING OF WORK. CONTRACTORS SHALL COORDINATE INSTALLATION OF ALL IRRIGATION SLEEVES UNDER PAVEMENT WITH OTHER CONTRACTORS.
- COORDINATE IRRIGATION INSTALLATION WITH THE WORK OF OTHER CONTRACTORS/TRADES AND PROTECT THE WORK OF OTHER CONTRACTOR/TRADES. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIONS.
- THE IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER WITH TWO COPIES OF THE PARTS LIST AND MANUFACTURER'S CATALOG SHOWING PERFORMANCE, QUALITY AND FUNCTION OF EACH ITEM OF EQUIPMENT IN THE SYSTEM. IN ADDITION, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN INSTRUCTIONS FOR OPERATION AND MAINTENANCE OF THE SYSTEM.
- PRIOR TO THE ACCEPTANCE OF IRRIGATION SYSTEM BY OWNER, A PERSON QUALIFIED TO REPRESENT THE IRRIGATION CONTRACTOR SHALL BE PRESENT AT THE FINAL INSPECTION TO DEMONSTRATE THE SYSTEM AND PROVE ITS PERFORMANCE PRIOR TO THE INSPECTION. ALL WORK SHALL HAVE BEEN COMPLETED, TESTED, ADJUSTED, AND PLACED IN OPERATION.
- WORK MUST BE GUARANTEED FOR TWO YEARS.
- IRRIGATION SYSTEM INSTALLATION TO BE PERFORMED IN ACCORDANCE WITH ALL PERTINENT CODES AND ORDINANCES.
- NO PVC PIPING SHALL BE LOCATED UNDER TREE ROOTBALLS.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION. IF ANY UNDERGROUND OR ABOVE GROUND CONSTRUCTION IS LOCATED AS TO SIGNIFICANTLY HINDER INSTALLATION OR FUNCTION OF THE IRRIGATION SYSTEM, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- MAIN LINE PIPING AND LATERAL PIPING MAY BE PLACED IN SAME TRENCH WHEN POSSIBLE. MAIN LINE PIPING SHALL BE INSTALLED IN BOTTOM OF TRENCH WITH LATERALS ON TOP.
- SLEEVES SHALL BE INSTALLED WHEREVER PIPES RUN UNDER PAVEMENT. SLEEVES SHALL BE SCH 40 AND A MINIMUM OF TWO PIPE SIZES LARGER THAN THE PIPE.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL POWER TO ALL CONTROLLERS.
- PRIOR TO BEGINNING OF WORK, CONTRACTOR SHALL VERIFY MINIMUM STATIC PRESSURE AT THE POINT OF CONNECTION OF <<65>> PSI. IF THE STATIC PRESSURE IS LESS THAN <<65>> PSI AT THE POINT OF CONNECTION, STOP WORK, NOTIFY ENGINEER AND DO NOT PROCEED UNTIL INSTRUCTED BY ENGINEER.
- ATTACH A PREPRINTED, HEAVY DUTY PLASTIC SERIALIZED TAG TO EACH CONTROL VALVE WITH ITS ASSOCIATED CONTROLLER STATION NUMBER. TAGS SHOULD BE AS SUPPLIED BY RAINBIRD OR APPROVED EQUAL.
- THE PIPE SHOWN IN PAVED AREAS WITHOUT SLEEVES IS SHOWN IN THESE AREAS FOR PURPOSE OF DRAWING CLARITY. PIPE TO BE IN NEAREST UNPAVED LOCATION.
- THE IRRIGATION CONTROLLER(S) SHALL BE EQUIPPED WITH RAIN/FREEZE SENSOR(S). MOUNT THE TRANSMITTER(S) IN AN OPEN AREA AS DIRECTED BY THE OWNER.
- ALL BACKFLOW INSTALLATIONS AND CONNECTIONS TO CITY WATER LINES MUST BE PERMITTED SEPARATELY BY THE CITY INSPECTION STAFF.
- THE IRRIGATION SYSTEM SHALL BE MAINTAINED IN ITS PROPER WORKING ORDER DURING THE 2 YEAR MAINTENANCE PERIOD.
- ALL WIRING SHALL BE RATED FOR DIRECT BURIAL.

NETAFIM NOTES:

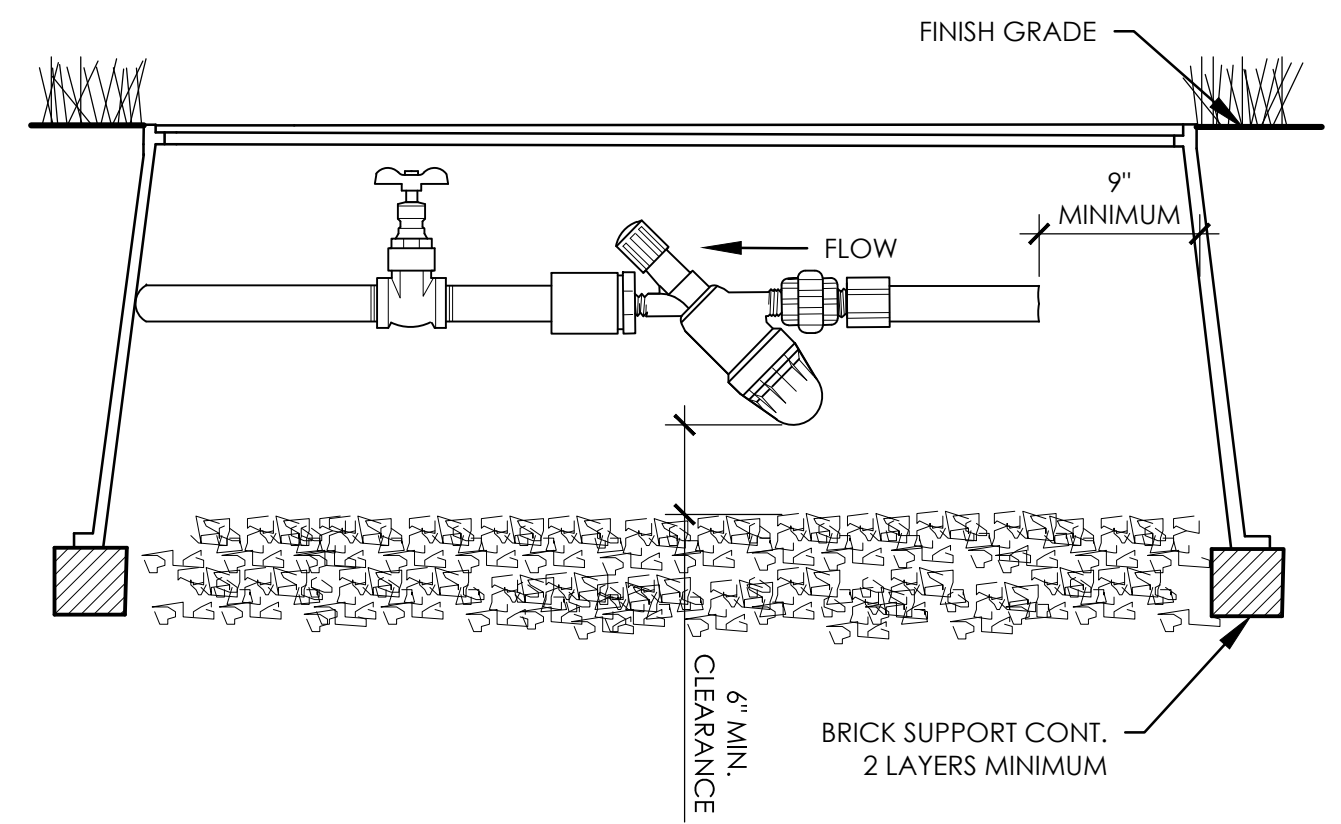
- AIR RELIEF VALVE TO BE PLACED AT HIGH POINT IN BED.
- FLUSH VALVE TO BE PLACED AT LOW POINT IN BED ON EXHAUST LINE.
- THESE LAYOUTS ARE TYPICAL AND ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS SUCH AS GRADING.
- IRRIGATION LATERAL LINES FEED SUPPLY HEADERS.

INSPECTION NOTES:

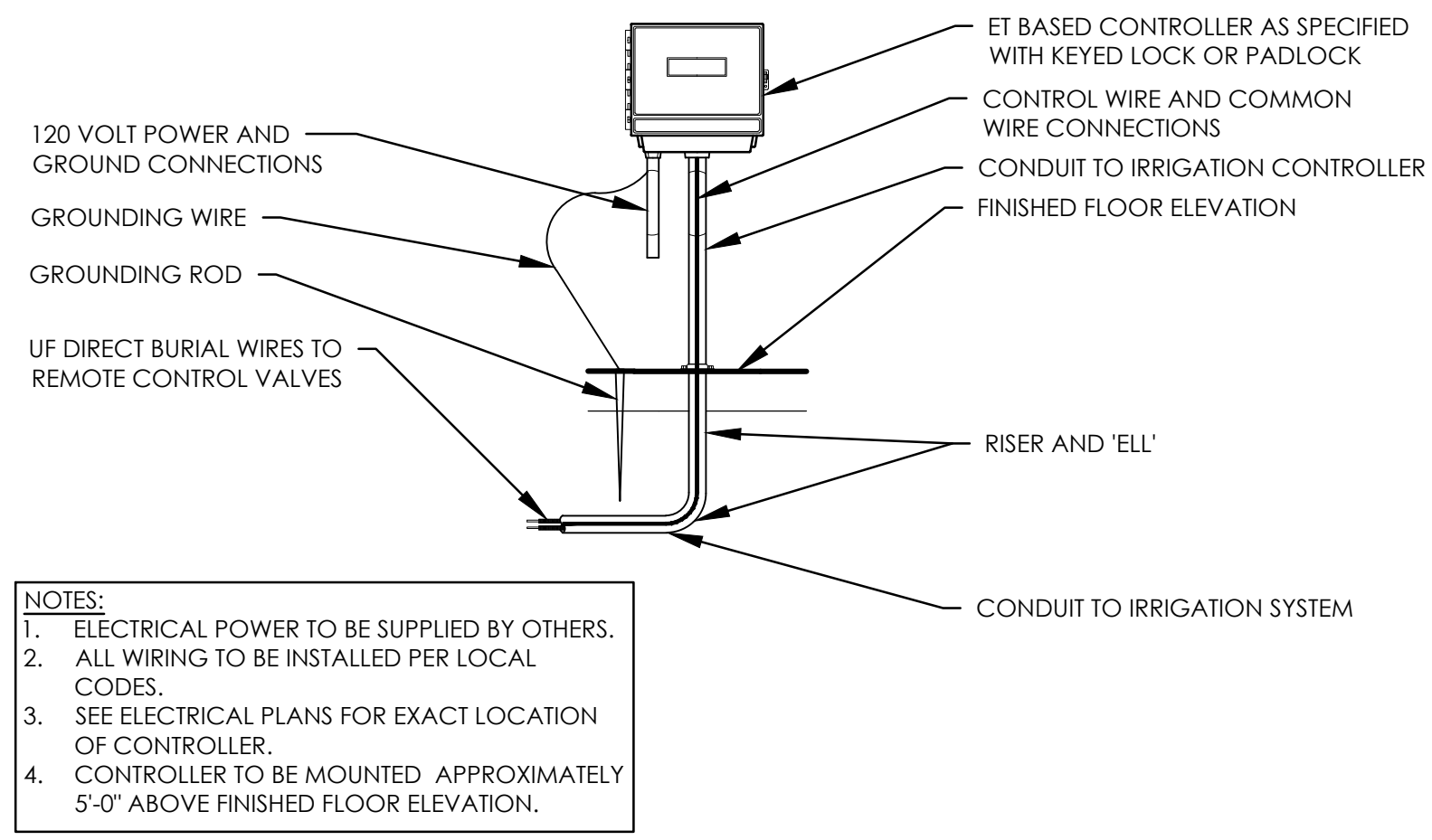
- HEADS SHALL NOT SPRAY ON IMPERVIOUS SURFACES.
- HEADS SHALL NOT SPRAY ON WALLS OR FENCES.
- HEADS SHALL NOT BE CLOSER THAN 4 INCHES OF THE EDGE OF HARDSCAPE.
- NO DRINKING DOMESTIC USES ALLOWED ON IRRIGATION LINES, NO SWIMMING POOL USE OR FOUNTAINS.
- CONTRACTOR SHALL COMPLY WITH ALL INSPECTION REQUIREMENTS OF THE MUNICIPALITY.
- FOR FINAL INSPECTION, IRRIGATOR'S REPRESENTATIVE MUST BE PRESENT.



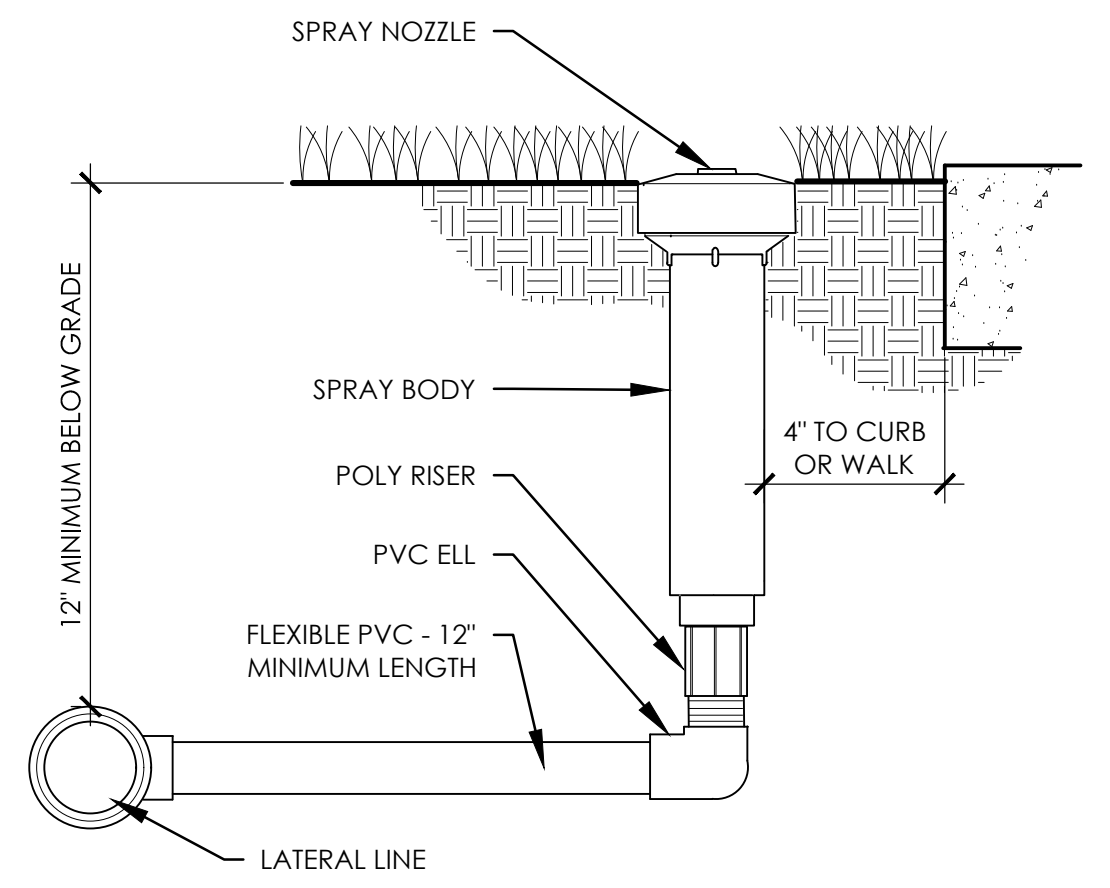
A DOUBLE CHECK VALVE ASSEMBLY SCALE: NTS



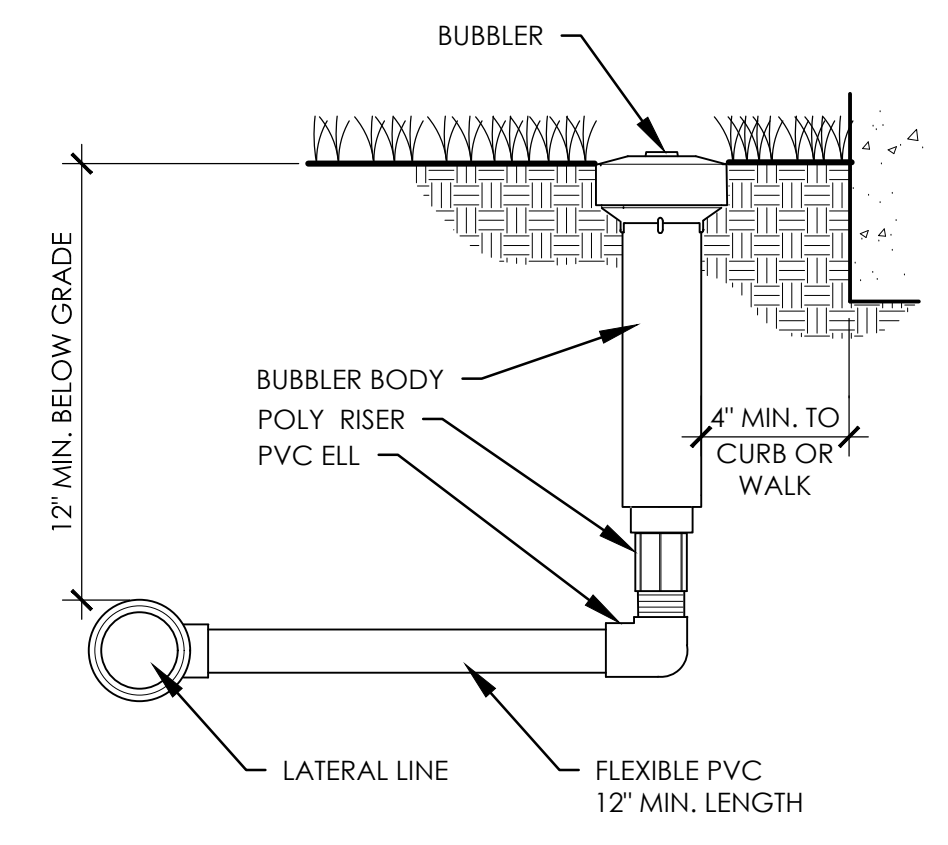
B WYE STRAINER SCALE: NTS



C WALL MOUNT CONTROLLER SCALE: NTS



D ROTARY SPRAY HEAD SCALE: NTS



E POP UP BUBBLER SCALE: NTS

NO.	DATE	DESCRIPTION

IRRIGATION NOTES & DETAILS

DUNAWAY
550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.335.1121
Fax: 817.335.1114

**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER
14310 MARSH LANE
ADDISON, TEXAS**

TOWN PROJECT NUMBER
1825-SUP

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, .867 AC.

DUTCH BROS COFFEE
JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588

DUNAWAY ASSOCIATES
CIVIL, LANDSCAPE
550 BAILEY
FORT WORTH, TX 76107
817.335.1121

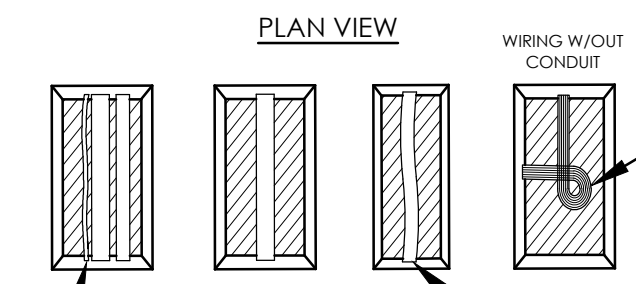
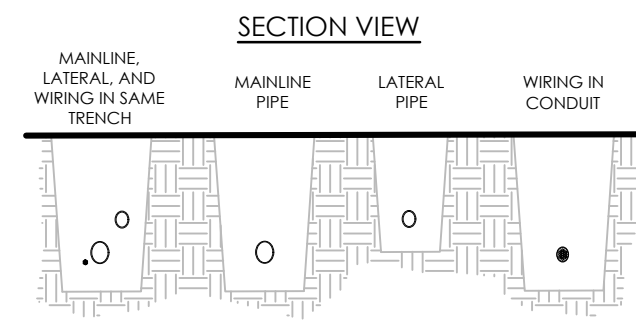
PROPERTY OWNER
HARRY G. ALCOCK
DCO REALTY, INC.
1745 SHEA CENTER DRIVE #200
HIGHLANDS RANCH, CO 80129
720.348.7602

PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:
Janel M. Moody
L.I.#20529
03/09/2021

JOB NO.	B0007043.001
DESIGNED BY:	JMM
DRAWN BY:	JMM
CHECKED BY:	MEA
DATE:	FEBRUARY 26, 2021

SHEET: **C6.1**

FULL PATH: C:\ProgramData\Autodesk\LT2021\Drawings\Plot Sheets\Irrigation
 PLOTTED BY: Janel Moody
 PLOTTED AT: 8:35:53 AM
 PLOTTED WITH: _adorn.plt, #3

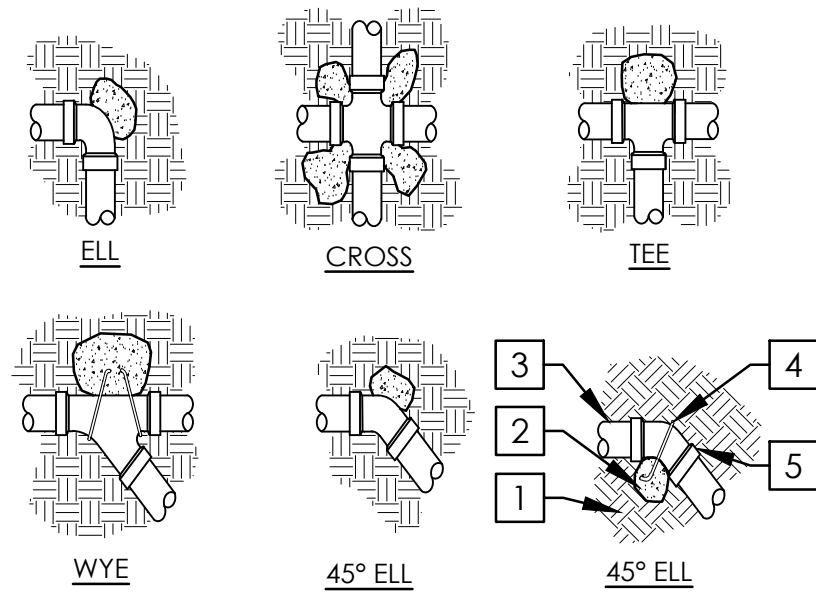


RUN WIRING BENEATH AND BESIDE MAINLINE. TAPE AND BUNDLE AT 10-FOOT INTERVALS.

ALL SOLVENT WELD PLASTIC PIPING TO BE SNAKED IN TRENCH AS SHOWN.

- NOTES:**
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCHEDULE 40 PVC PIPE, TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
 2. FOR PIPE AND WIRE BURIAL DEPTHS, SEE SPECIFICATIONS.
 3. CONTROLLER WIRE BURIED WITHOUT CONDUIT SHALL BE RATED FOR DIRECT BURIAL.

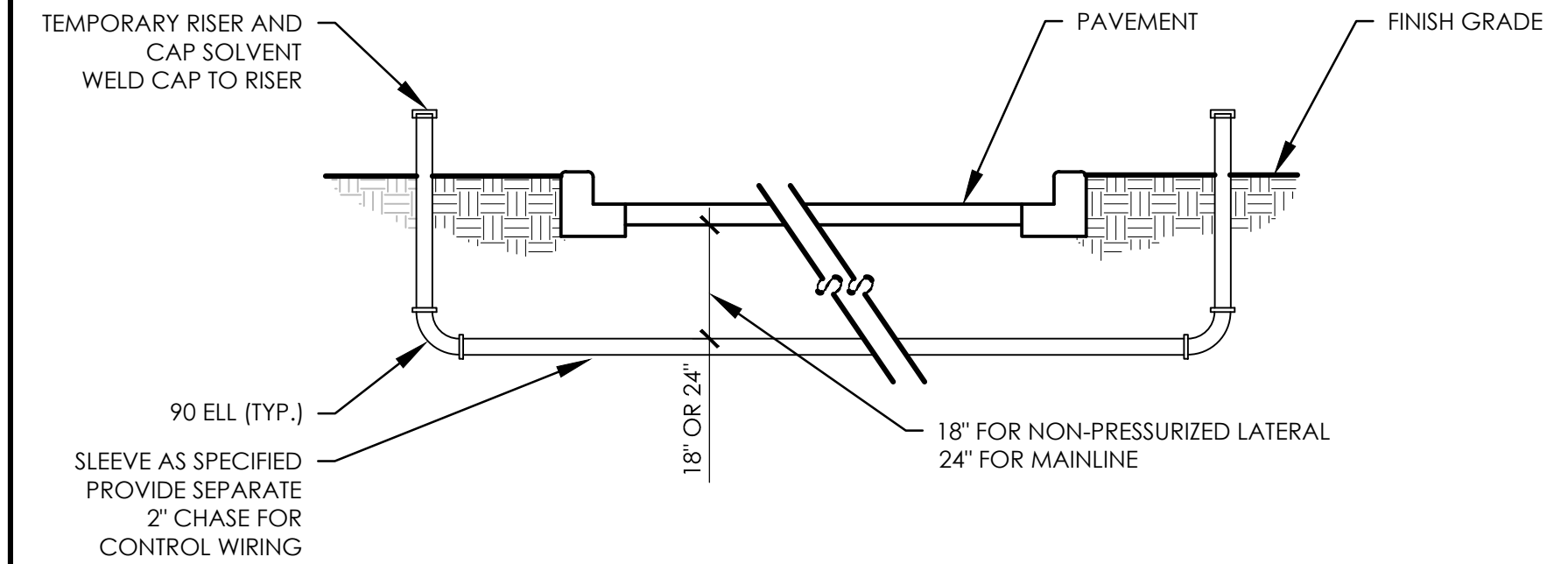
A PIPE AND WIRE TRENCHING SCALE: NTS



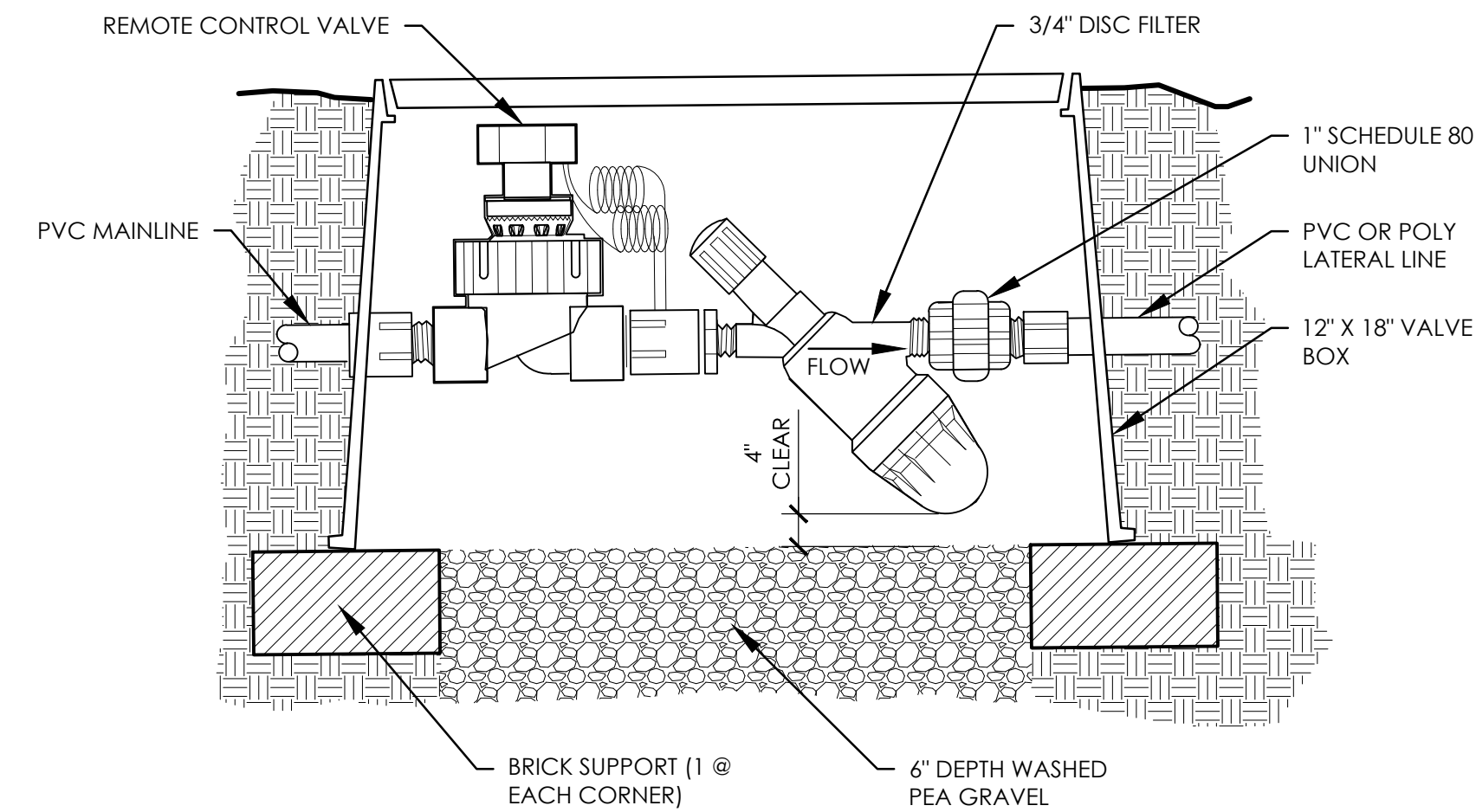
- NOTES:**
1. SUPPLY LINES 2-1/2" IN DIAMETER OR LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS.
 2. SEE SPECIFICATIONS FOR AMOUNT OF CONCRETE TO BE USED FOR THRUST BLOCK.

- 1 UNDISTURBED SOIL (TYP.)
- 2 CONCRETE THRUST BLOCK (TYP.)
- 3 PIPE (TYP.)
- 4 REBAR BENT AROUND FITTING (TYP.)
- 5 FITTING (TYP.)

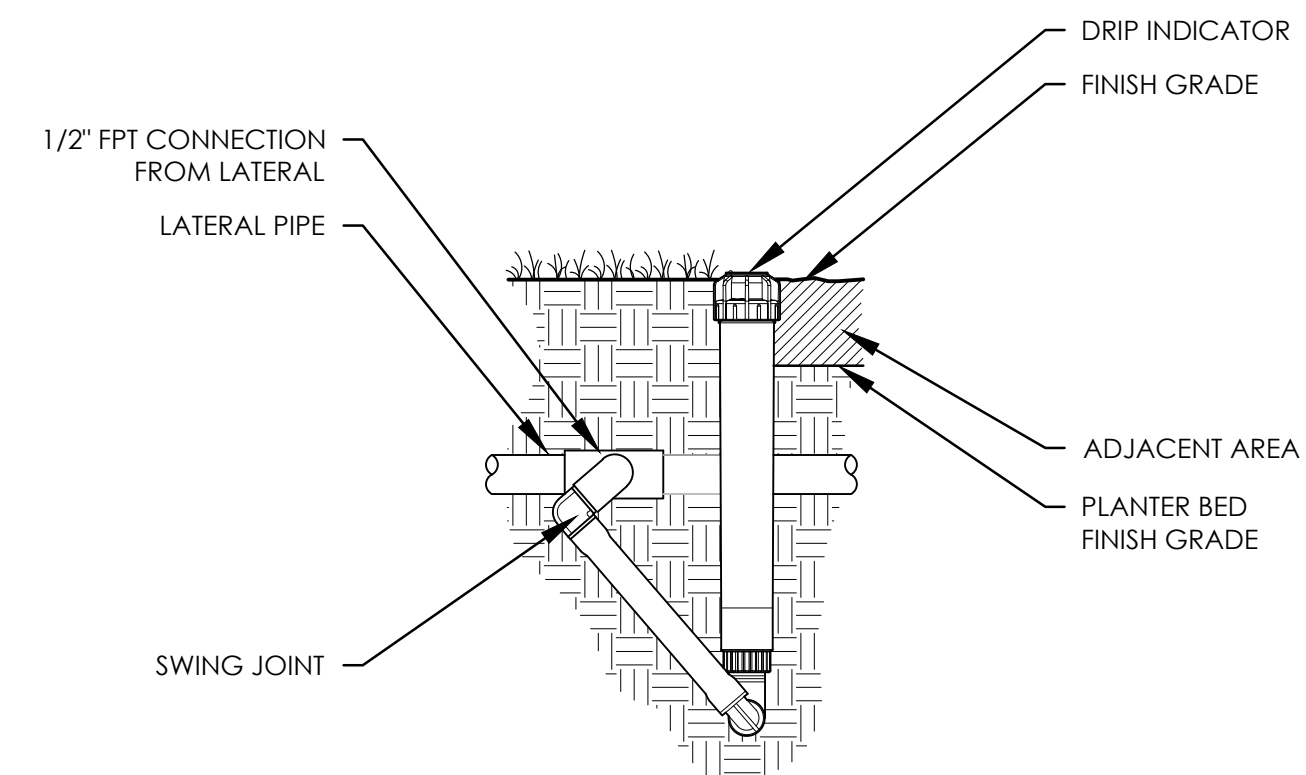
B THRUST BLOCK SCALE: NTS



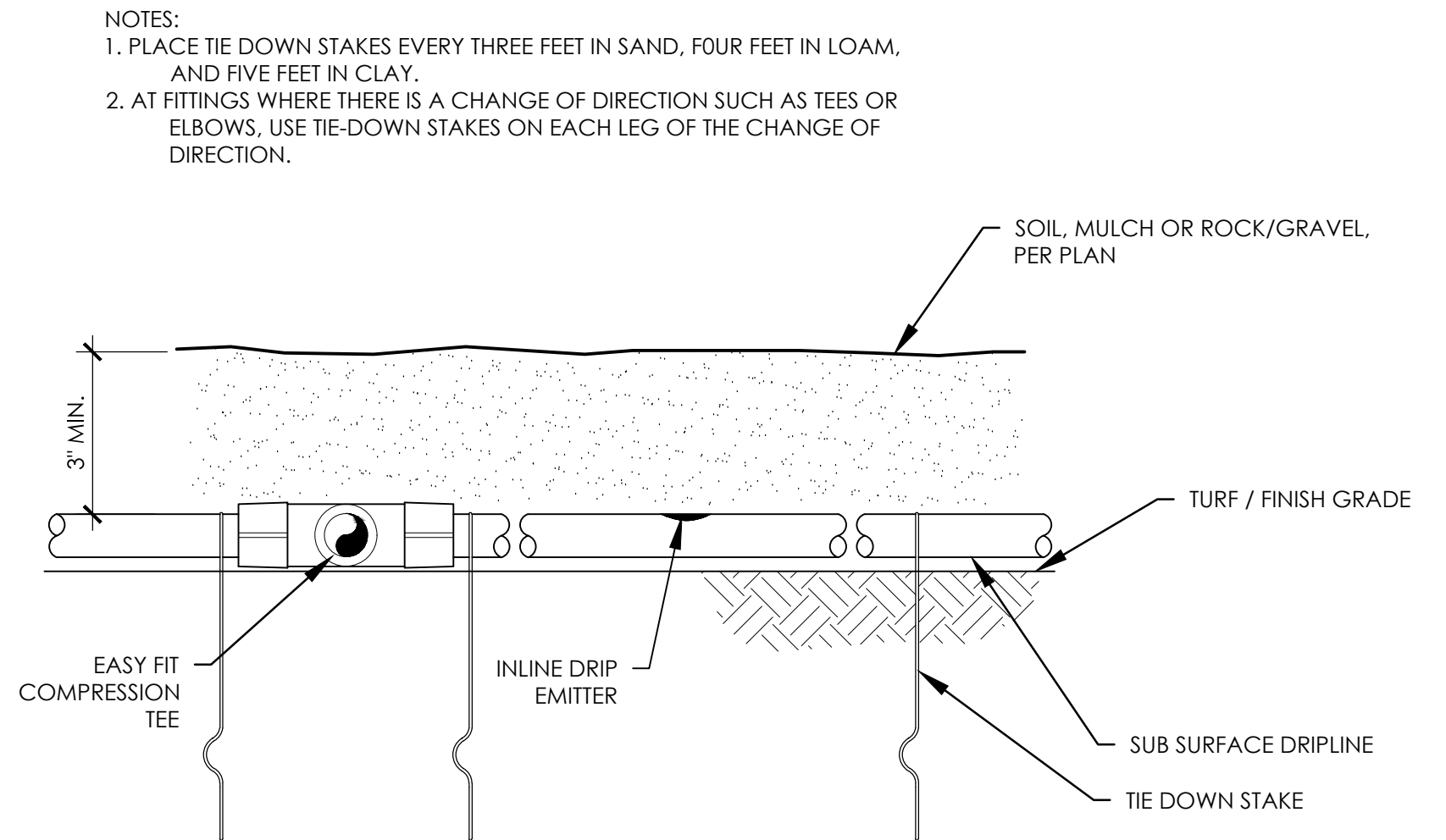
C SLEEVE INSTALLATION SCALE: NTS



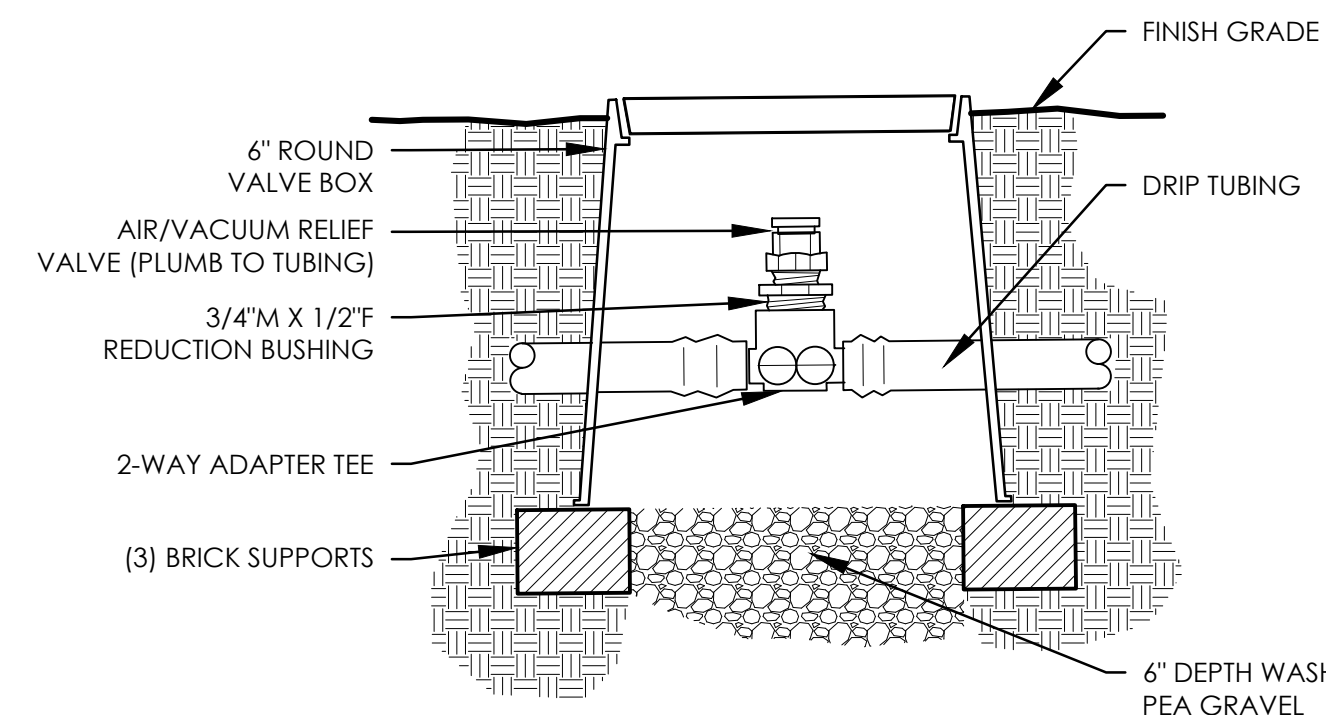
D DRIP REMOTE CONTROL VALVE SCALE: NTS



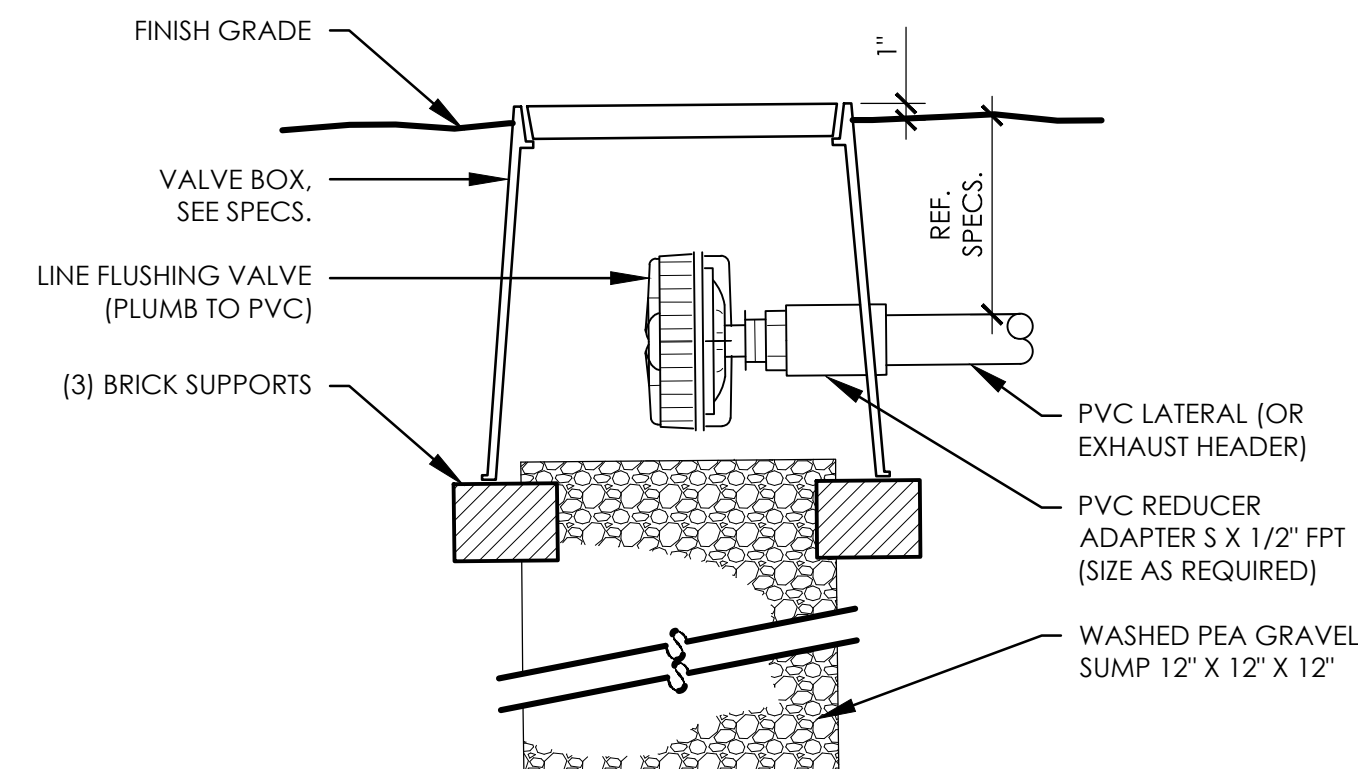
E DRIP INDICATOR ON SWING JOINT SCALE: NTS



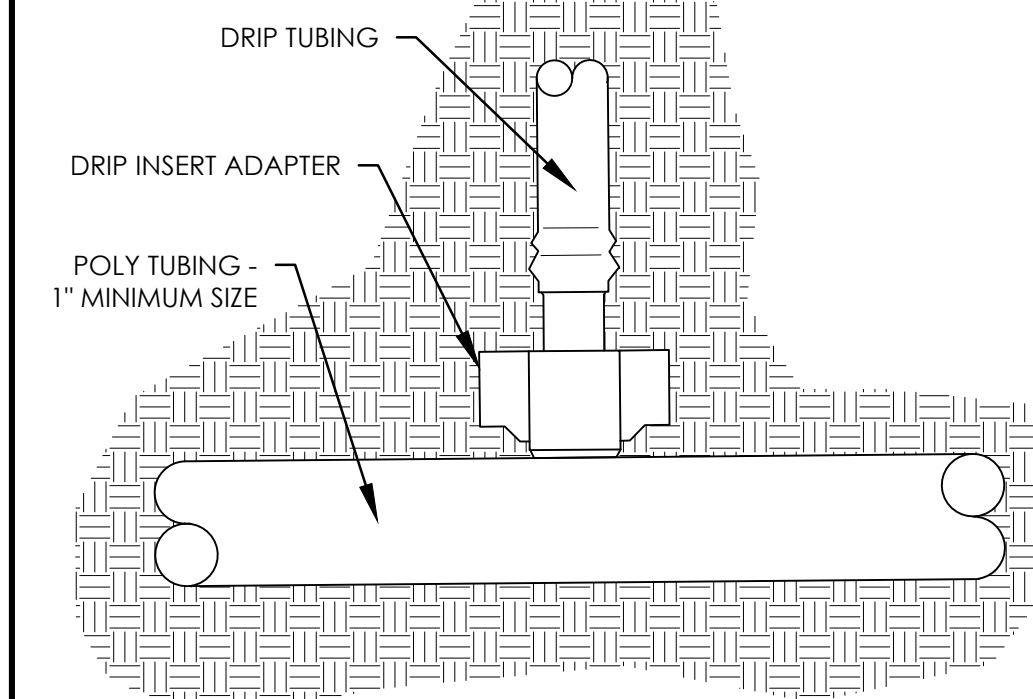
F DRIP TUBING INSTALLATION SCALE: NTS



G DRIP AIR/VACUUM RELIEF VALVE SCALE: NTS



H DRIP LINE FLUSHING VALVE SCALE: NTS



I DRIP START CONNECTION SCALE: NTS

TOWN PROJECT NUMBER
1825-SUP

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, .867 AC.

DUTCH BROS COFFEE
JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588

DUNAWAY ASSOCIATES
CIVIL, LANDSCAPE
550 BAILEY
FORT WORTH, TX 76107
817.335.1121

PROPERTY OWNER
HARRY G. ALCOCK
DCO REALTY, INC.
1745 SHEA CENTER DRIVE #200
HIGHLANDS RANCH, CO 80129
720.348.7602

NO.	DATE	DESCRIPTION

IRRIGATION DETAILS

**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER
14310 MARSH LANE
ADDISON, TEXAS**

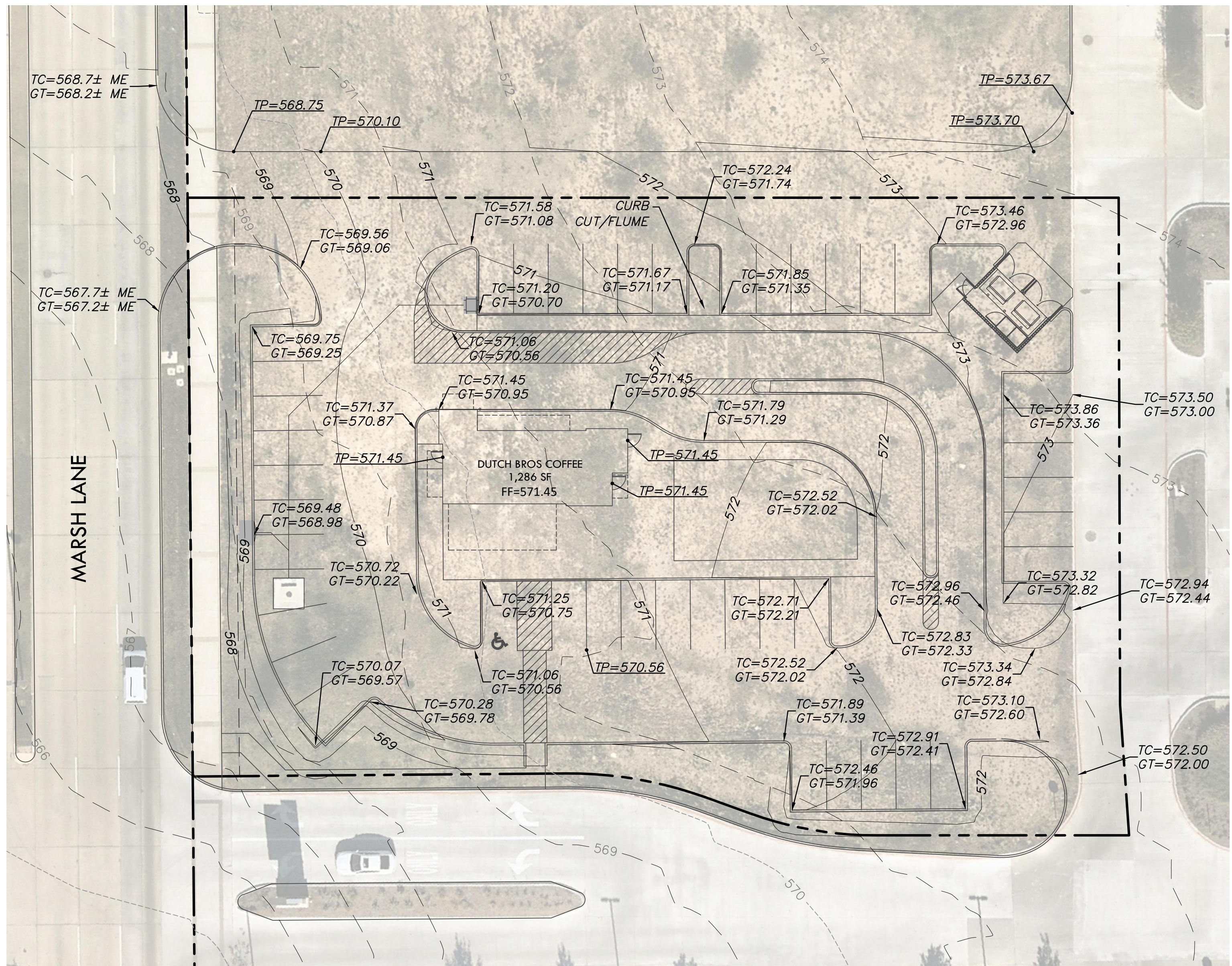
DUNAWAY
550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.335.1121
Fax: 817.335.1114

PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of, Janel M. Moody L.L.#20529 03/09/2021

JOB NO.	B0007043.001
DESIGNED BY:	JMM
DRAWN BY:	JMM
CHECKED BY:	MEA
DATE:	FEBRUARY 26, 2021
SHEET:	C6.2

FULL PATH: C:\Products\4000\007000\0431001\Civil\Drawings\Plan Sheets\Irrigation
 FILENAME: Irrigation.dwg
 PLOTTED BY: Janel Moody
 PLOTTED AT: 8:33:40 AM
 PLOTTED WITH: _adobe_r19.plt

FULL PATH: G:\production\0007043\001\Civil\Drawings\Sheet\Grading.dwg
 PLOTTED BY: J. GONZALEZ
 PLOTTED AT: 3:29:47 PM
 PLOTTED WITH: _adobe_rtl.pdf



GRADING LEGEND	
	PROPERTY BOUNDARY
	ADJOINERS
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING CURB INLET
	PROPOSED CURB INLET
	PROPOSED AREA DRAIN
	PROPOSED FLOW ARROW
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FL	FLOW LINE
GT	GUTTER
TC	TOP OF CURB
TG	TOP OF GRATE
TI	TOP OF INLET
TP	TOP OF PAVEMENT
TS	TOP OF STEP
TW	TOP OF WALL

NO.	DATE	DESCRIPTION

PRELIMINARY GRADING PLAN



**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER**
14310 MARSH LANE
ADDISON, TEXAS

PRELIMINARY FOR REVIEW ONLY. THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:
AUSTIN M. CARR
P.E. # 133775
DATE: March 9, 2021

JOB NO.	B0007043.001
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	FEBRUARY 26, 2021
SHEET:	C2.0

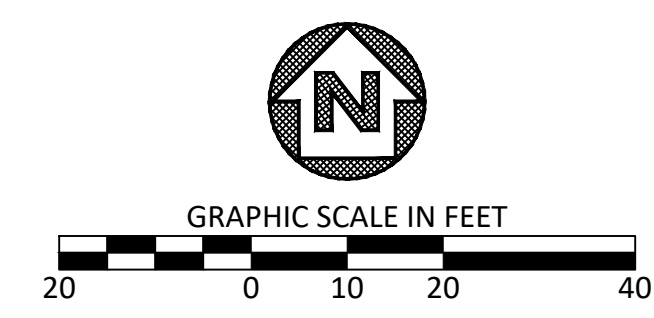
TOWN PROJECT NUMBER
1825-SUP

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, .867 AC.

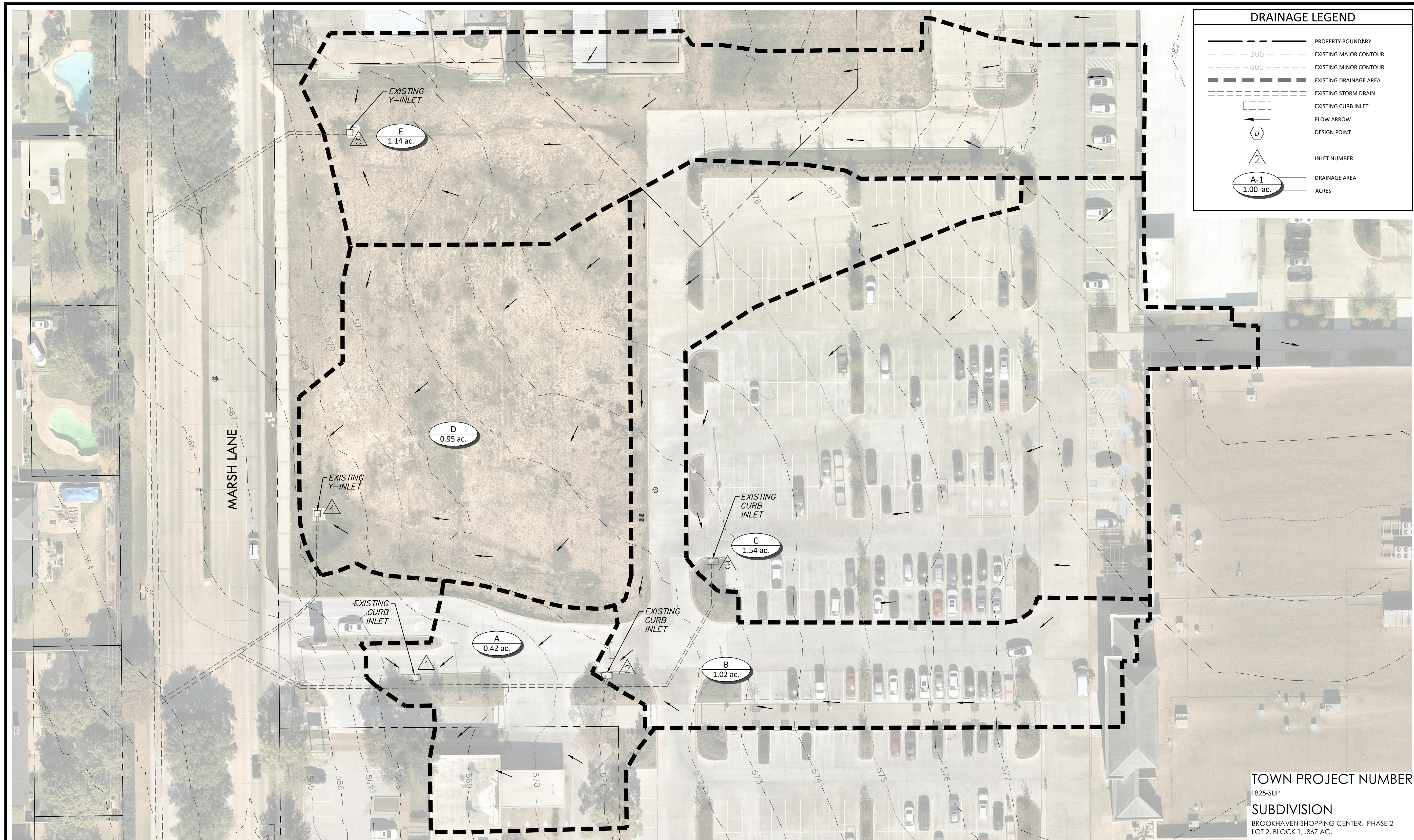
DUTCH BROS COFFEE
JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588

DUNAWAY ASSOCIATES
CIVIL, LANDSCAPE
550 BAILEY
FORT WORTH, TX 76107
817.335.1121

PROPERTY OWNER
HARRY G. ALCOCK
DCO REALTY, INC.
1745 SHEA CENTER DRIVE #200
HIGHLANDS RANCH, CO 80129
720.348.7602



FULL PATH: C:\projects\addison\addison\dwg\addison.dwg
 PLOTTED BY: JGONZALEZ
 PLOTTED AT: 8:59:30 AM
 PLOTTED WITH: JGONZALEZ



DRAINAGE LEGEND	
	PROPERTY BOUNDARY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING DRAINAGE AREA
	EXISTING STORM DRAIN
	EXISTING CURB INLET
	FLOW ARROW
	DESIGN POINT
	INLET NUMBER
	DRAINAGE AREA
	ACRES

NO.	DATE	DESCRIPTION

EXISTING DRAINAGE AREA MAP

**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER**
14310 MARSH LANE
ADDISON, TEXAS

DUNAWAY
550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.335.1121
Fax: 817.335.1114

TOWN PROJECT NUMBER
1825-SUP

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, .867 AC.

DUTCH BROS COFFEE
JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588

PRELIMINARY FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:
AUSTIN M. CARR
P.E. # 133775
DATE: March 8, 2021

DUNAWAY ASSOCIATES
CIVIL, LANDSCAPE
550 BAILEY
FORT WORTH, TX 76107
817.335.1121

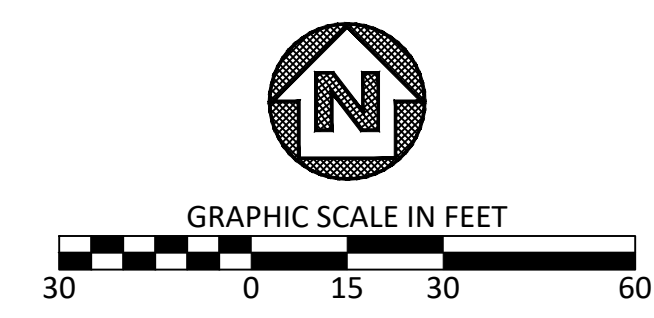
PROPERTY OWNER
HARRY G. ALCOCK
DCO REALTY, INC.
1745 SHEA CENTER DRIVE #200
HIGHLANDS RANCH, CO 80129
720.348.7602

JOB NO.	B0007043.001
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	FEBRUARY 26, 2021
SHEET:	C3.0

DUTCH BROS - ADDISON - TEXAS

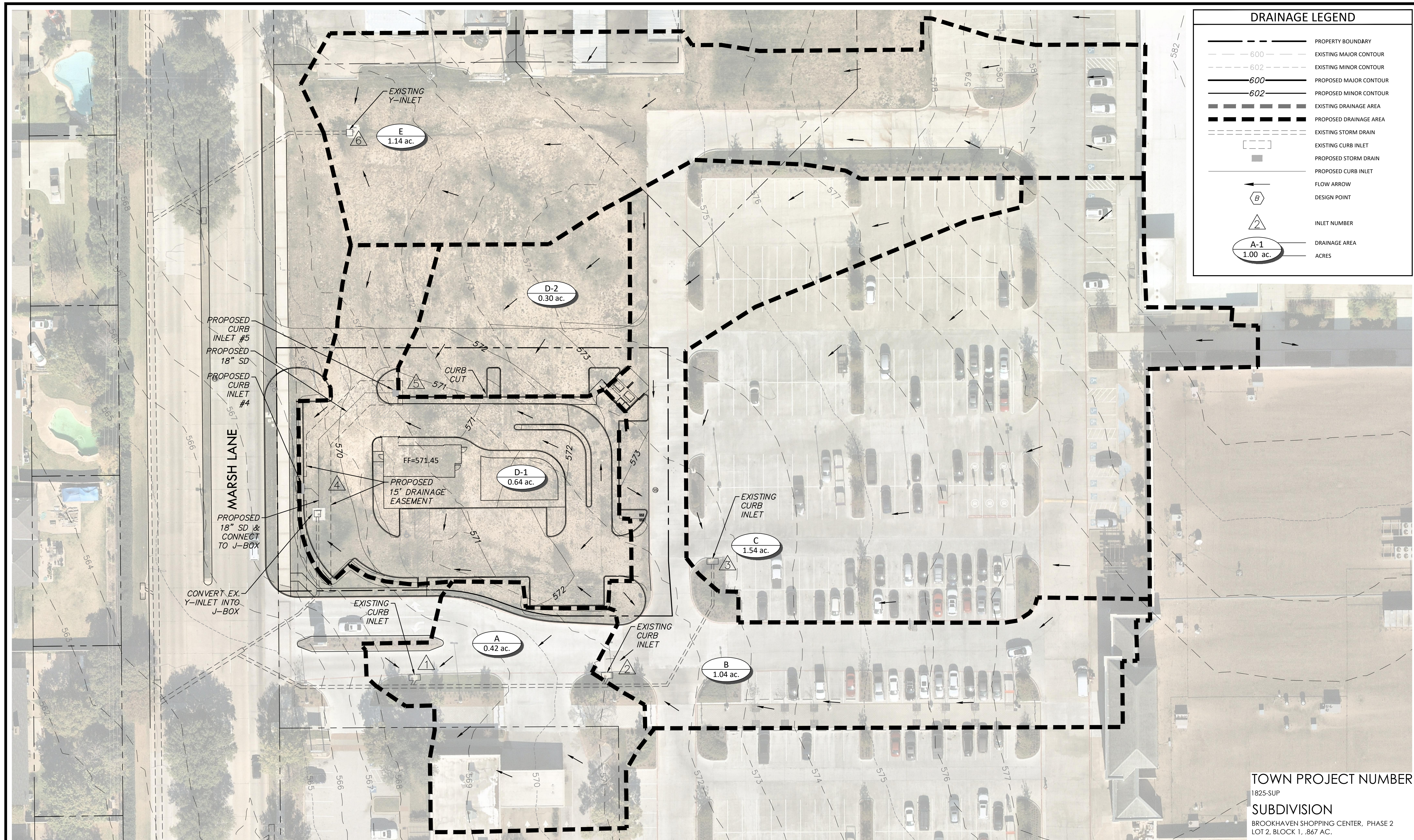
RATIONAL METHOD RUNOFF CALCULATIONS

AREA NAME	AREA (ac.)	Tc	C2 (BASE C)	C2*A	I2 (in/hr)	Q2 (cfs)	I10 (in/hr)	Q10 (cfs)	I100 (in/hr)	Q100 (cfs)	COMMENTS
1	2	3	4	5	6	7	6	7	8	9	10
Runoff Data											
A	0.42	10.00	0.90	0.38	4.80	1.81	6.54	2.47	9.27	3.51	FLOW TO EX. CURB INLET NO. 1
B	1.02	10.00	0.90	0.92	4.80	4.40	6.54	6.01	9.27	8.51	FLOW TO EX. CURB INLET NO. 2
C	1.54	10.00	0.90	1.39	4.80	6.65	6.54	9.07	9.27	12.85	FLOW TO EX. CURB INLET NO. 3
D	0.95	10.00	0.90	0.86	4.80	4.10	6.54	5.59	9.27	7.93	FLOW TO EX. Y-INLET NO. 4
E	1.14	10.00	0.90	1.03	4.80	4.92	6.54	6.71	9.27	9.51	FLOW TO EX. Y-INLET NO. 5



DRAINAGE LEGEND

	PROPERTY BOUNDARY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING DRAINAGE AREA
	PROPOSED DRAINAGE AREA
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING CURB INLET
	PROPOSED CURB INLET
	FLOW ARROW
	DESIGN POINT
	INLET NUMBER
	DRAINAGE AREA ACRES



NO.	DATE	DESCRIPTION

PROPOSED DRAINAGE AREA MAP

**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER**
14310 MARSH LANE
ADDISON, TEXAS

DUNAWAY
550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.335.1121
Fax: 817.335.1114

TOWN PROJECT NUMBER
1825-SUP

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, .867 AC.

DUTCH BROS COFFEE
JEFFREY BENNETT
110 4TH STREET
GRANTS PASS, OR 97526
214.842.1588

DUNAWAY ASSOCIATES
CIVIL, LANDSCAPE
550 BAILEY
FORT WORTH, TX 76107
817.335.1121

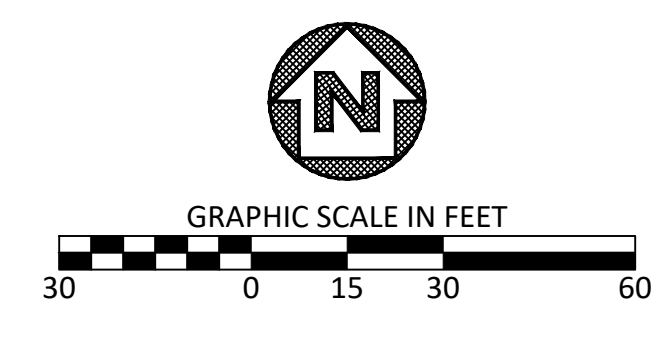
PROPERTY OWNER
HARRY G. ALCOCK
DCO REALTY, INC.
1745 SHEA CENTER DRIVE #200
HIGHLANDS RANCH, CO 80129
720.348.7602

PRELIMINARY FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:
AUSTIN M. CARR
P.E.# 133775
DATE: March 9, 2021

JOB NO.	B0007043.001
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	FEBRUARY 26, 2021
SHEET:	C3.1

DUTCH BROS - ADDISON - TEXAS

RATIONAL METHOD RUNOFF CALCULATIONS											
AREA NAME	AREA (ac.)	Tc	C2 (BASE C)	C2*A	I2 (in/hr)	Q2 (cfs)	I10 (in/hr)	Q10 (cfs)	I100 (in/hr)	Q100 (cfs)	COMMENTS
1	2	3	4	5	6	7	8	9	10	11	12
Runoff Data											
A	0.42	10.00	0.90	0.38	4.80	1.81	6.54	2.47	9.27	3.51	FLOW TO EX. CURB INLET NO. 1
B	1.04	10.00	0.90	0.94	4.80	4.49	6.54	6.12	9.27	8.68	FLOW TO EX. CURB INLET NO. 2
C	1.54	10.00	0.90	1.39	4.80	6.65	6.54	9.07	9.27	12.85	FLOW TO EX. CURB INLET NO. 3
D-1	0.64	10.00	0.90	0.58	4.80	2.76	6.54	3.77	9.27	5.34	FLOW TO PROPOSED CURB INLET NO. 4
D-2	0.30	10.00	0.90	0.27	4.80	1.29	6.54	1.77	9.27	2.50	FLOW TO PROPOSED CURB INLET NO. 5
E	1.14	10.00	0.90	1.03	4.80	4.92	6.54	6.71	9.27	9.51	FLOW TO EX. Y-INLET NO. 5



FULL PATH: C:\ProgramData\Autodesk\LTWorkset\2021\Drawings\2021\1825-SUP\1825-SUP-C3.1.dwg
 PLOTTED BY: J. GONZALES
 PLOTTED AT: 3:30 PM
 PLOTTED WITH: J. GONZALES

