

ORDINANCE NO. _____

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE TO GRANT A SPECIAL USE PERMIT FOR A RESTAURANT WITH DRIVE-THRU SERVICE FOR PROPERTY LOCATED AT 14310 MARSH LANE; PROVIDING A PENALTY NOT TO EXCEED TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; SAVINGS, NO SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the property located at 14310 Marsh Lane, is zoned PD, Planned Development, through Ordinance 007-034, as amended by ordinances O13-026, O16-017, O16-018, and O19-06; and

WHEREAS, at its regular meeting held on March 16, 2021 the Planning & Zoning Commission considered and made recommendations on a request for a Special Use Permit for a restaurant with drive-thru service (Case No.1825-SUP); and

WHEREAS, this change of zoning is in accordance with the adopted Comprehensive Plan of the Town of Addison, as amended; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at a public hearing, and other relevant information and materials, the City Council of the Town of Addison, Texas finds that this amendment promotes the general welfare and safety of this community.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the recitals and findings set forth above are hereby found to be true and correct and incorporated as if fully set forth herein.

SECTION 2. That a Special Use Permit authorizing a restaurant with drive-thru service, on property located at 14310 Marsh Lane, is hereby granted subject to the following conditions:

- (a) Prior to the issuance of a Certificate of Occupancy, said Property shall be improved in accordance with the site plan, landscape/irrigation plans, floor plan, and building elevations, which are attached hereto as **Exhibit A** and made a part hereof for all purposes.
- (b) The Special Use Permit granted herein for a restaurant with drive-thru service shall be limited to that particular area designated on the final site plan, encompassing a total area not to exceed 1,286 square feet.

- (c) If the property for which this Special Use Permit is granted is not used for the purposes for which said permits were granted within one (1) year after the adoption of this ordinance, the City Council may authorize hearings to be held for the purpose of considering a change of zoning and repeal of the Special Use Permit granted herein.
- (d) Prior to the issuance of a Certificate of Occupancy, a Traffic Control Plan shall be administratively approved by the Town.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. That it is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That this Ordinance shall become effective from and after its passage and approval and after publication as may be required by law or by the City Charter or ordinance.

DULY RESOLVED AND ADOPTED by the City Council of the Town of Addison, Texas, on this the 13TH day of APRIL 2021.

TOWN OF ADDISON, TEXAS

Joe Chow, Mayor

ATTEST:

APPROVED AS TO FORM:

Irma Parker, City Secretary

Brenda N. McDonald, City Attorney

EXHIBIT A

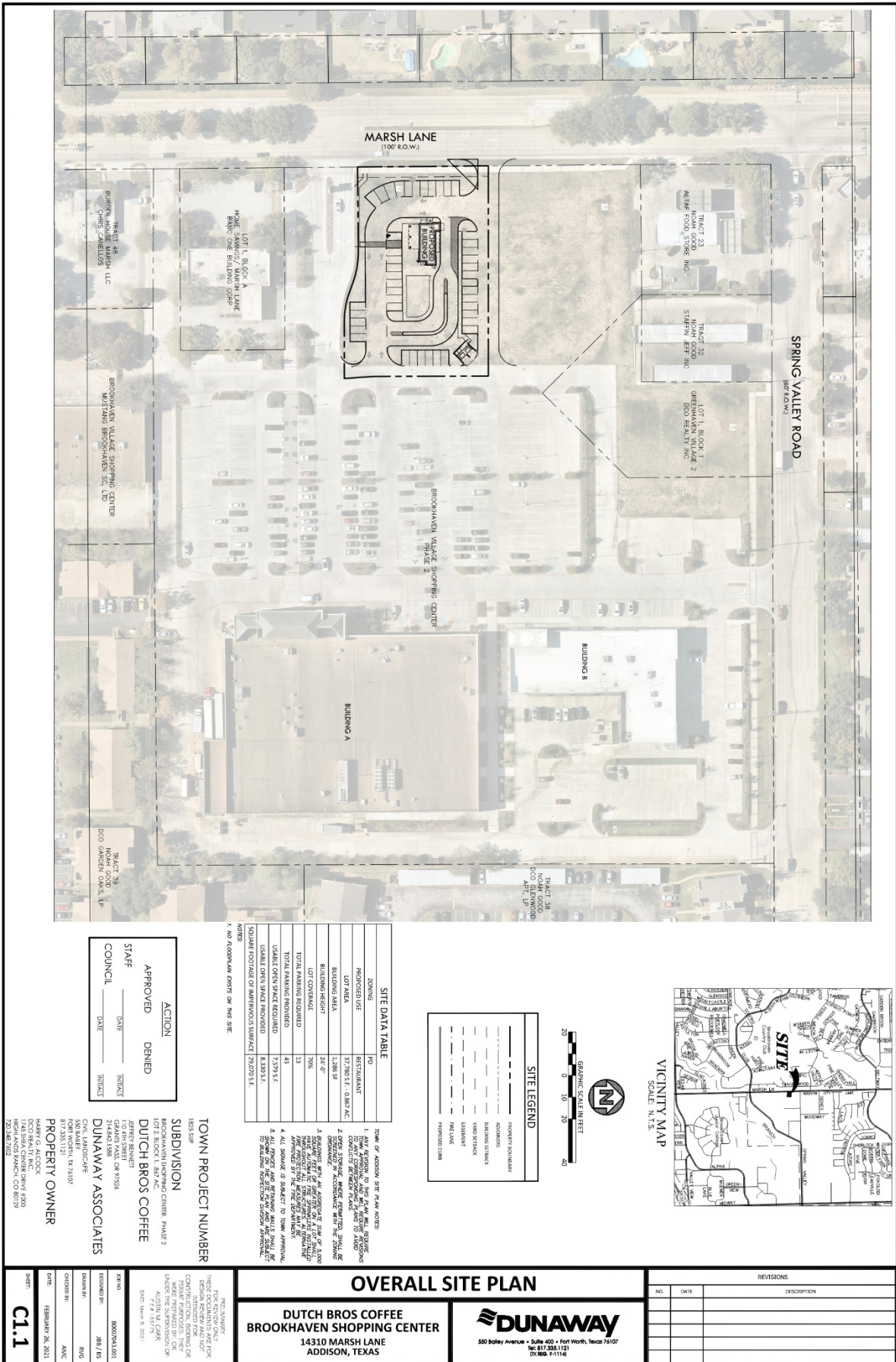
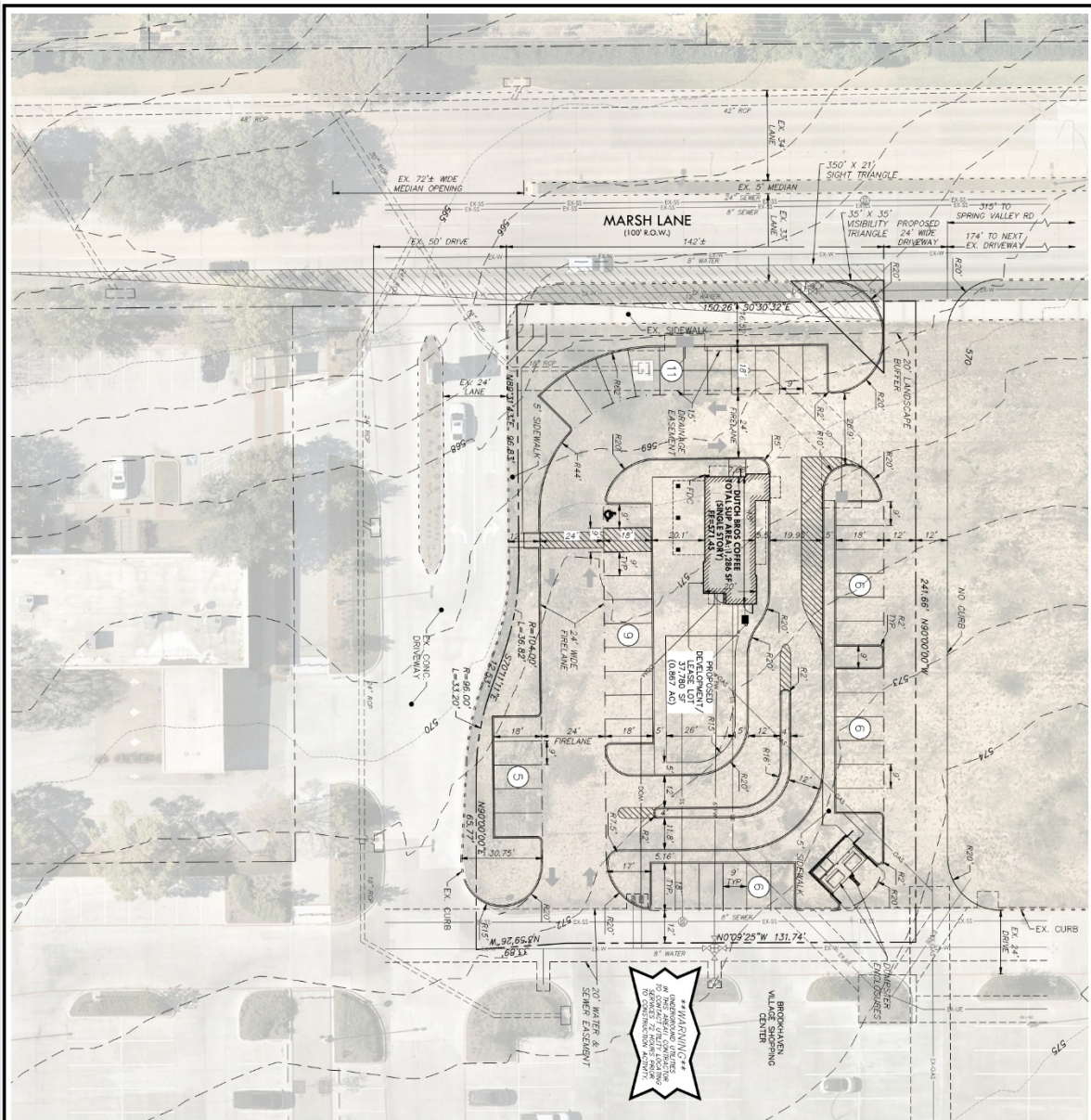


EXHIBIT A



ACTION	APPROVED	DENIED
STAFF	DATE	INITIALS
COUNCIL	DATE	TERMIN

TOWN PROJECT NUMBER
1855-51F

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, 6.87 AC.

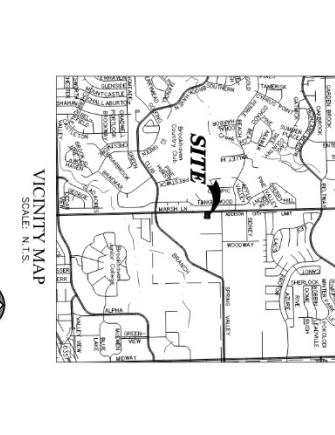
DUTCH BROS COFFEE
JEFFERY BENNETT
CHARTERS TRAIL, CH 97534
714821 1986

DUNAWAY ASSOCIATES
COTY LAMONCAYE
FORT WORTH, TX 76107

PROPERTY OWNER
DCCO REALTY, INC.
1745 EDGAR CENTER DRIVE #200
FORT WORTH, TEXAS 76102
727.396.7002

SITE DATA TABLE	
ZONING	PD
PROPOSED USE	RESTAURANT
LOT AREA	37,790 S.F. - 0.867 AC.
BUILDING AREA	1,298 SF
BUILDING HEIGHT	24'-0"
LOT COVERAGE	70%
TOTAL PARKING REQUIRED	13
USABLE DRIVE SPACE REQUIRED	43
USABLE DRIVE SPACE PROVIDED	1,579 S.F.
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	8,200 S.F.

- NOTES:**
1. NO ADDITIONAL DRIVEWAY ON THIS SITE.
 2. ALL DRIVEWAYS AND DRIVEWAY APPROVALS SHALL BE TO THE DUTCH BROS COFFEE SHOPPING CENTER, PHASE 2, LOT 2, BLOCK 1, 6.87 AC.
 3. ALL DRIVEWAYS AND DRIVEWAY APPROVALS SHALL BE TO THE DUTCH BROS COFFEE SHOPPING CENTER, PHASE 2, LOT 2, BLOCK 1, 6.87 AC.
 4. ALL DRIVEWAYS AND DRIVEWAY APPROVALS SHALL BE TO THE DUTCH BROS COFFEE SHOPPING CENTER, PHASE 2, LOT 2, BLOCK 1, 6.87 AC.
 5. ALL DRIVEWAYS AND DRIVEWAY APPROVALS SHALL BE TO THE DUTCH BROS COFFEE SHOPPING CENTER, PHASE 2, LOT 2, BLOCK 1, 6.87 AC.



CONCEPTUAL SITE PLAN

**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER**
14310 MARSH LANE
ADDISON, TEXAS

DUNAWAY
502 Bailey Avenue • Suite 402 • Fort Worth, Texas 76107
Tel: 817.388.1121
Fax: 817.388.1114

REVISIONS		
NO.	DATE	DESCRIPTION

EXHIBIT A

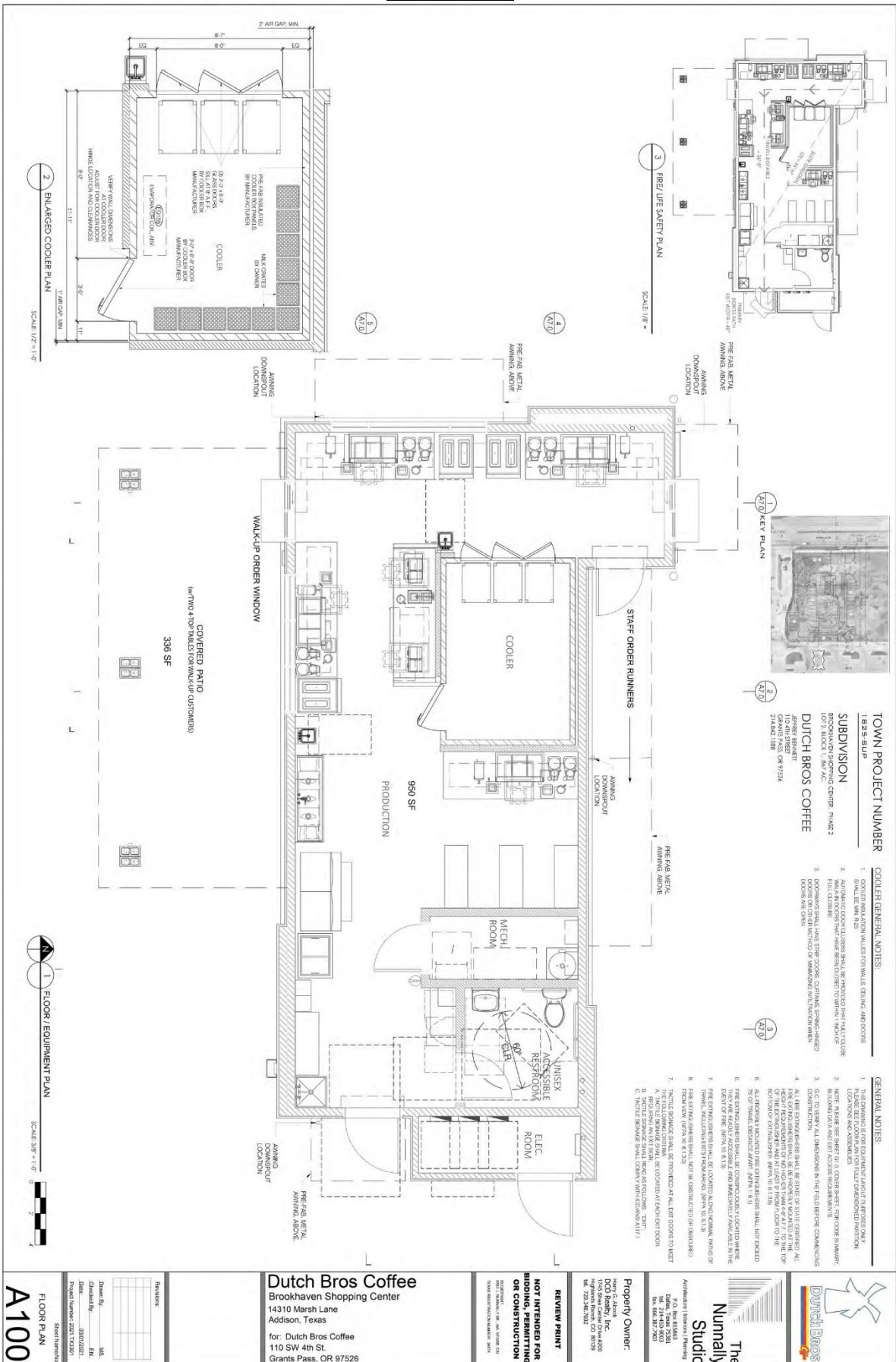


EXHIBIT A

- DISCREPANCIES**
- This project is a conceptual design and all building plans require review and approval by Development Services.
 - Public view is required by the zoning ordinance.
 - Overhead utility lines shall be shown and located shall be pinned to match the building.
 - Roof pitches shall be provided internally, unless otherwise permitted by the Chief Building Official.



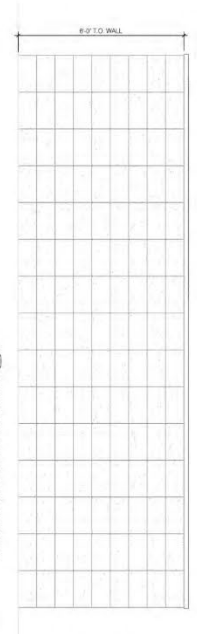
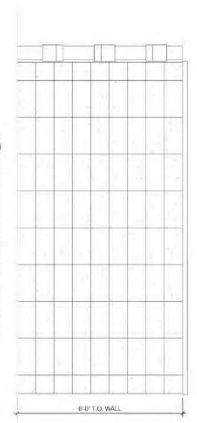
TOWN PROJECT NUMBER
1925-51P

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2

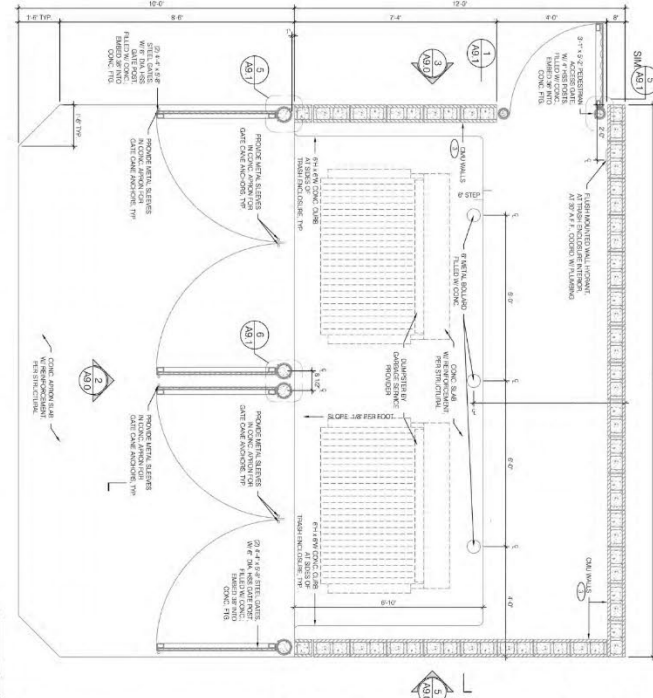
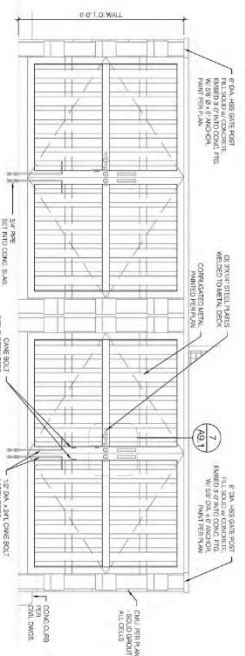
DUTCH BROS COFFEE

PROPERTY OWNER
DUTCH BROS COFFEE
GRANTS PASS, OR 97524
219.661.5058

- TRASH ENCLOSURE GENERAL NOTES:**
1. STRUCTURAL STEEL AND REINFORCING STEEL: CIP REINFORCEMENT.
 2. PROVIDE LOCKING MECHANISM ON GATES AND DOORS.
 3. PROVIDE BELL CURBS AT TRASH ENCLOSURE WALL FOOTING.
 4. GATES TO BE BUILT WITH 2" SQUARE STEEL TUBING WITH ALUMINUM FINISH AND 2" SQUARE STEEL TUBING WITH ALUMINUM FINISH.



ID	MATERIAL	MANUFACTURER	COLOR	NOTES
1	CONCRETE	CONCRETE	CONCRETE	CONCRETE
2	STEEL	STEEL	STEEL	STEEL
3	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
4	GLASS	GLASS	GLASS	GLASS



Dutch Bros Coffee
Brookhaven Shopping Center
14310 Marsh Lane
Addison, Texas

for: Dutch Bros Coffee
110 SW 4th St
Grants Pass, OR 97526

Property Owner:
DUTCH BROS COFFEE
110 SW 4th St
Grants Pass, OR 97526
219.661.5058

REVIEW PRINT

NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION

The Nunnally Studio
Architectural | Interior | Planning

902.500.1510
1742 Duke Street, Suite 200
Portland, OR 97203
902.500.1510

Revision:

NO.	DESCRIPTION	DATE

Drawn By: **ML**
Checked By: **ENL**
Date: **08/01/2021**
Project Number: **2021-1925-51P**

Sheet Number:
A102

Dutch Bros

EXHIBIT A

MATERIAL COMPOSITION

FRONT ELEVATION:
 *MASONRY - 48 S.F./40%
 *FIBER CEMENT SIDING - 202 S.F./40%
 *GLAZING - 57 S.F./11%

LEFT ELEVATION:
 *MASONRY - 62 S.F./79%
 *FIBER CEMENT SIDING - 193 S.F./20%
 *GLAZING - 56 S.F./7%

RIGHT ELEVATION:
 *STUCCO - 665 S.F./73%
 *MASONRY - 124 S.F./14%
 *FIBER CEMENT SIDING - 38 S.F./4%
 *GLAZING - 74 S.F./9%

REAR ELEVATION:
 *STUCCO - 331 S.F./75%
 *MASONRY - 14 S.F./3%
 *FIBER CEMENT SIDING - 96 S.F./22%
 *GLAZING - 0 S.F.

MATERIAL MANUFACTURERS

MASONRY - ECOMOD BRICK
 FIBER CEMENT SIDING - WOODHIA
 GLAZING FRAMING/GLASS - KAWNEER/VIETRO

1 FRONT ELEVATION - A1
SCALE: 1/4" = 1'-0"

2 RIGHT ELEVATION - WALK-UP WINDOW - A1
SCALE: 1/4" = 1'-0"

3 REAR ELEVATION - A1
SCALE: 1/4" = 1'-0"

4 LEFT ELEVATION - DRIVER/BU WINDOW - A1
SCALE: 1/4" = 1'-0"

KEY PLAN

5 MATERIAL COLORS SIM. TO FRONT
SCALE: 1/4" = 1'-0"

6 MATERIAL COLORS SIM. TO RIGHT
SCALE: 1/4" = 1'-0"

7 MATERIAL COLORS SIM. TO REAR
SCALE: 1/4" = 1'-0"

8 MATERIAL COLORS SIM. TO LEFT
SCALE: 1/4" = 1'-0"

9 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

10 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

11 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

12 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

13 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

14 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

15 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

16 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

17 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

18 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

19 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

20 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

21 MATERIAL COLORS SIM. TO INTERIOR
SCALE: 1/4" = 1'-0"

NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION

PROPERTY OWNER:
 Henry S. Nunnally
 1148 N. Nunnally
 1148 N. Nunnally, Suite 200
 Grants Pass, OR 97526
 Tel: 531-252-2000
 Fax: 531-252-2001

REVIEW PRINT

NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION

THE NUNNALLY STUDIO
 1148 N. Nunnally, Suite 200
 Grants Pass, OR 97526
 Tel: 531-252-2000
 Fax: 531-252-2001

TOWN PROJECT NUMBER
 1925-SUP

SUBDIVISION
 BROOKHAVEN SHOPPING CENTER PHASE 2

DUTCH BROS COFFEE

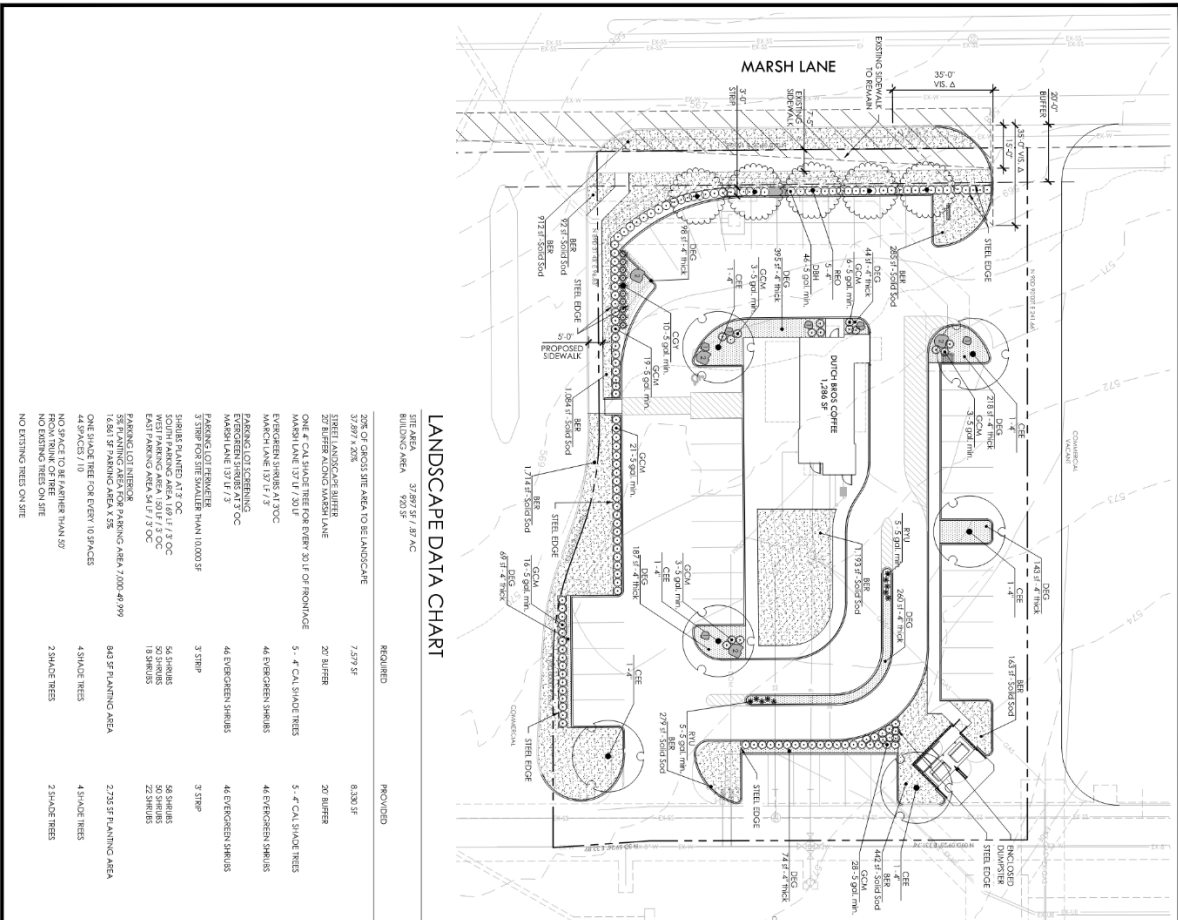
JIFFER BENNETT
 CIVIL ENGINEER
 214821 1588

Dutch Bros Coffee
 Brookhaven Shopping Center
 14310 Marsh Lane
 Addison, Texas
 for: Dutch Bros Coffee
 110 SW 4th St.
 Grants Pass, OR 97526

EXTENSION
 A101

Drawn By: [Name]
Checked By: [Name]
Date: 03/01/2021
 Project Number: 2201733031

EXHIBIT A



LANDSCAPE DATA CHART

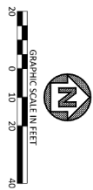
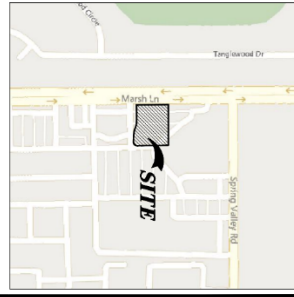
TYPE	REQUIRED	PROVIDED
20% OF OPEN SITE AREA TO BE LANDSCAPE	7,297 SF	8,303 SF
THREE LANDSCAPE BUFFER	20' BUFFER	20' BUFFER
ONE 4' CAL SHADE TREE FOR EVERY 30 FT OF ROUNDAGE	5 - 4' CAL SHADE TREES	5 - 4' CAL SHADE TREES
EVERGREEN SHRUBS AT 3 OC	44 EVERGREEN SHRUBS	44 EVERGREEN SHRUBS
MARCH LANE 13' W / 3' OC	44 EVERGREEN SHRUBS	44 EVERGREEN SHRUBS
PARKING LOT SCORING	3 STRIP	3 STRIP
PARKING LOT SCORING	3 STRIP	3 STRIP
SHRUBS PLANTED AT 3 OC	56 SHRUBS	56 SHRUBS
SCALED PLANTING AREA 1/8" / 3' OC	18 SHRUBS	22 SHRUBS
EAST PARKING AREA 5' W / 3' OC	18 SHRUBS	22 SHRUBS
PARKING LOT SCORING	3 STRIP	3 STRIP
ONE SHADE TREE FOR EVERY 7000 SF	943 PLANTING AREA	2735 PLANTING AREA
NO DISTING TREES ON SITE	43 SHADE TREES	43 SHADE TREES
NO DISTING TREES ON SITE	2 SHADE TREES	2 SHADE TREES

PLANT SCHEDULE

LANDSCAPE	CODE	SYM	COMMON NAME	BOTANICAL NAME	CAL	SCHE	SPACING
CE	6		COMMON NAME	BOTANICAL NAME	4'	64 GAL	14-16 MIN. 4-6'
RE	5		COMMON NAME	BOTANICAL NAME	4'	64 GAL	14-16 MIN. 4-6'
CO	10		COMMON NAME	BOTANICAL NAME	5 GAL. MIN.	24" OC	3 OC
DB	46		COMMON NAME	BOTANICAL NAME	5 GAL. MIN.	30" OC	3 OC
OC	99		COMMON NAME	BOTANICAL NAME	5 GAL. MIN.	15'-18'	3 OC
RE	10		COMMON NAME	BOTANICAL NAME	5 GAL. MIN.	18'-24'	18'-24'
DE	1464 SF		COMMON NAME	BOTANICAL NAME	4" THICK	NA	NA
SC	6144 SF		COMMON NAME	BOTANICAL NAME	SCOLD 500	NA	NA
MOSS	3 X 3		COMMON NAME	BOTANICAL NAME	SCOLD 500	NA	NA
MOSS	5 X 3		COMMON NAME	BOTANICAL NAME	SCOLD 500	NA	NA

NOTE:

- IRRIGATION WILL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM AND WILL HAVE A WATERSHED SENSOR.
- NO DISTING TREES ON SITE.



TOWN PROJECT NUMBER
1855 SLIP

SUBDIVISION
BROOKHAVEN SHOPPING CENTER, PHASE 2
LOT 2, BLOCK 1, 2897 AC.

DUTCH BROS COFFEE
JEFFREY BENNETT
2742 E. 106th ST
GRAND PRAIRIE, TX 75050

DUNAWAY ASSOCIATES
501 W. WILSON ST
FORT WORTH, TX 76107
HICKORY HILL
DUNAWAY ASSOCIATES, INC.
1400 W. WILSON ST
FORT WORTH, TX 76107

PROPERTY OWNER
DUNAWAY ASSOCIATES, INC.
1400 W. WILSON ST
FORT WORTH, TX 76107

CONCEPTUAL LANDSCAPE PLAN

**DUTCH BROS COFFEE
BROOKHAVEN SHOPPING CENTER**
14310 MARSH LANE
ADDISON, TEXAS

DUNAWAY
500 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.286.1121
Fax: 817.286.1114

REVISIONS		
NO.	DATE	DESCRIPTION

DATE: FEBRUARY 26, 2021

SCALE: C5.0

EXHIBIT A

IRRIGATION NOTES:

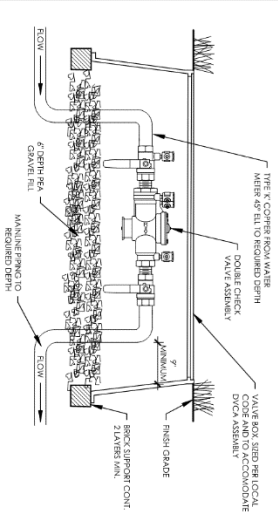
1. IRRIGATION PIPING IS SCHEDULE 40 PIPE UNLESS NOTED OTHERWISE. ALL PIPING HEADS, VALVES, ETC. SHALL BE LOCATED AS SHOWN ON THE DETAILS. REPORT ANY DISCREPANCIES BETWEEN ACTUAL AND PROPOSED SITE CONDITIONS TO THE OWNER. DO NOT PROCEED WITH WORK UNTIL SAID DISCREPANCIES ARE RESOLVED.
2. VERIFY THAT THE WORK OF OTHER CONTRACTORS/TRADES IS SUFFICIENTLY COMPLETED TO ALLOW COMMENCEMENT OF IRRIGATION INSTALLATION PRIOR TO BEGINNING OF WORK. CONTRACTORS SHALL COORDINATE INSTALLATION OF ALL IRRIGATION SERVICES UNDER PAYMENT WITH OTHER CONTRACTORS.
3. COORDINATE IRRIGATION INSTALLATION WITH THE WORK OF OTHER CONTRACTORS/TRADES AND PROTECT THE WORK OF OTHER CONTRACTORS/TRADES. IRRIGATION CONTRACTORS ARE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIONS.
4. THE IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER WITH TWO COPIES OF THE PARTS LIST AND MANUFACTURERS CATALOG SHOWING PERFORMANCE, QUALITY AND FUNCTION OF EACH ITEM OF EQUIPMENT IN THE SYSTEM. IN ADDITION, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER WITHINSTRUCTIONS FOR OPERATION AND MAINTENANCE OF THE SYSTEM.
5. PRIOR TO THE ACCEPTANCE OF IRRIGATION SYSTEM BY OWNER, A PERSON QUALIFIED TO REPRESENT THE IRRIGATION CONTRACTOR SHALL BE PRESENT AT THE FINAL INSPECTION TO DEMONSTRATE THE SYSTEM AND PROVIDE ITS PERFORMANCE PRIOR TO THE INSPECTION. ALL WORK SHALL HAVE BEEN COMPLETED, TESTED, ADJUSTED, AND PLACED IN OPERATION.
6. WORK MUST BE GUARANTEED FOR TWO YEARS.
7. IRRIGATION SYSTEM INSTALLATION TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
8. NO PVC PIPING SHALL BE LOCATED UNDER THE FOOTFALLS.
9. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION. IF ANY UNDERGROUND OR ABOVE GROUND CONSTRUCTION IS LOCATED AS TO SIGNIFICANTLY INTERFERE WITH INSTALLATION OR FUNCTION OF THE IRRIGATION SYSTEM, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
10. MAIN LINE PIPING AND LATERAL PIPING MAY BE PLACED IN SAME TRENCH WHEN POSSIBLE. MAIN LINE PIPING SHALL BE INSTALLED IN BOTTOM OF TRENCH WITH LATERALS ON TOP.
11. STEETS SHALL BE INSTALLED WHEREVER PIPING RUN UNDER PAVEMENT. STEETS SHALL BE 3/4" AND A MINIMUM OF TWO FEET SIZE LARGER THAN THE PIPE.
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL POWER TO ALL CONTROLLERS.
13. PRIOR TO BEGINNING OF WORK, CONTRACTORS SHALL VERIFY MAXIMUM STATIC PRESSURE AT THE POINT OF CONNECTION OF <<66>> PSI WITHIN SYSTEM TO BE INSTALLED.
14. A FANCIY A PREPARED HEAVY DUTY PLASTIC SEPARATED LAG TO EACH CONTROL VALVE WITH ITS ASSOCIATED CONTROLLER STATION NUMBER TAG SHOULD BE AS SUPPLIED BY FABRICATOR OR APPROVED EQUAL.
15. THE PIPE SHOWN IN PAVED AREAS WITHOUT SERVICES SHOWN IN THESE AREAS FOR PURPOSE OF DRAWING CLARITY. PIPE TO BE IN NEAREST UNPAVED LOCATION.
16. THE IRRIGATION CONTROLLER SHALL BE EQUIPPED WITH RAINFALL SENSORS, MOUNT THE TRANSMITTERS IN AN OPEN AREA AS DIRECTED BY THE OWNER.
17. ALL ELECTRICAL INSTALLATION AND CONNECTIONS TO CUT VALVES MUST BE PERMITTED SEPARATELY BY THE CITY INSPECTION STAFF.
18. THE IRRIGATION SYSTEM SHALL BE MAINTAINED IN IT PROPER WORKING ORDER DURING THE 2 YEAR MAINTENANCE PERIOD.
19. ALL WIRING SHALL BE RATED FOR DIRECT BURIAL.

NETAFIM NOTES:

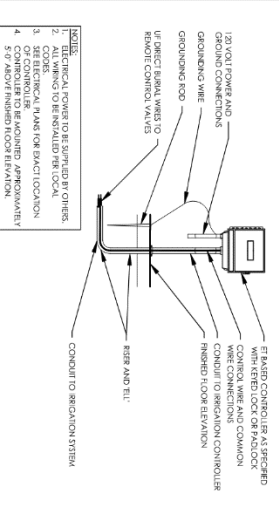
1. AIR RELEASE VALVE TO BE PLACED AT HIGH POINT IN BOLD.
2. FLUSH VALVE TO BE PLACED AT LOW POINT IN BOLD ON EXHAUST LINE.
3. HEADS IN OPEN AREAS TYPICAL AND ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS SUCH AS GRADING.
4. IRRIGATION LATERAL LINES NEED SUPPLY HEADERS.

INSPECTION NOTES:

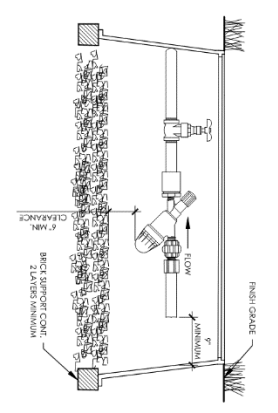
1. HEADS SHALL NOT SPRAY ON IMPERVIOUS SURFACES.
2. HEADS SHALL NOT SPRAY ON WALKS OR TRACES.
3. HEADS SHALL NOT BE CLOSER THAN 4 INCHES OF THE EDGE OF IMPERVIOUS.
4. NO DRINKING POWERLINE LINES ALLOWED ON IRRIGATION LINES. NO SWIMMING POOL USE OR FOUNTAINS.
5. CONTRACTOR SHALL COOPERATE WITH ALL INSPECTION REQUIREMENTS OF THE MUNICIPALITY.
6. FOR FINAL INSPECTION, IRRIGATION REPRESENTATIVE MUST BE PRESENT.



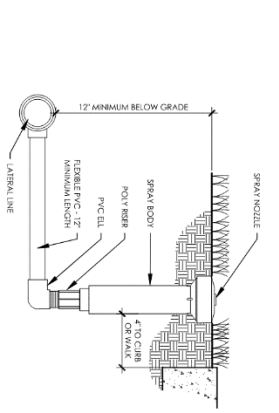
A DOUBLE CHECK VALVE ASSEMBLY SCALE: NTS



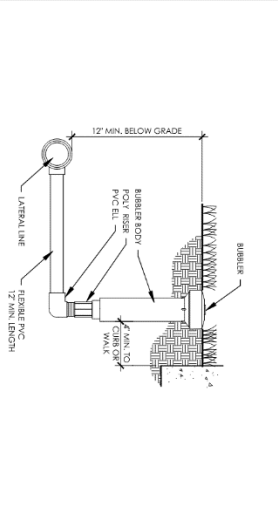
C WALL MOUNT CONTROLLER SCALE: NTS



B WYE STRAINER SCALE: NTS



D ROTARY SPRAY HEAD SCALE: NTS



E POP UP RUBBLER SCALE: NTS

E

B

IRRIIGATION NOTES & DETAILS													
<p style="text-align: center;">DUTCH BROS COFFEE BROOKHAVEN SHOPPING CENTER 14310 MARSH LANE ADDISON, TEXAS</p>	<p style="text-align: center;">DUNAWAY 550 Hickley Avenue • Suite 400 • Fort Worth, Texas 76107 Tel: 817.388.1121 Fax: 817.388.1116</p>												
<p style="text-align: center;">TOWN PROJECT NUMBER 18255-51P SUBDIVISION BROOKHAVEN SHOPPING CENTER, PHASE 2 LOT 2, BLOCK 1, 887 AC. DUTCH BROS COFFEE JEFFREY KERNST JERRY KERNST GRANITE PASS, OR 97256 DUNAWAY ASSOCIATES 1001 W. COCCOPE FORT WORTH, TX 76107 HARRY G. HEDCOCK DCO REALTY, INC. 1001 WEST 4TH ST FEDERAL PARK, TEXAS 76107 752.288.7527</p>	<p style="text-align: center;">PROPERTY OWNER DUNAWAY ASSOCIATES 1001 W. COCCOPE FORT WORTH, TX 76107 HARRY G. HEDCOCK DCO REALTY, INC. 1001 WEST 4TH ST FEDERAL PARK, TEXAS 76107 752.288.7527</p>												
<p style="text-align: center;">REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION										<p style="text-align: center;">PROPERT</p> <p style="text-align: center;">DATE FEBRUARY 26, 2023</p> <p style="text-align: center;">SCALE MKA</p> <p style="text-align: center;">PROJECT C6.1</p>
NO.	DATE	DESCRIPTION											