

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, PROVIDING FOR APPROVAL OF A DEVELOPMENT PLAN FOR BLOCK A OF THE ADDISON GROVE ADDITION, PART OF A PLANNED DEVELOPMENT ZONING DISTRICT (O16-003), CONTAINING 17.4 ACRES GENERALLY LOCATED SOUTH OF BELT LINE ROAD AND 350 FEET WEST OF MIDWAY ROAD; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the area generally known as Addison Grove was zoned PD, Planned Development, with development standards and a concept plan governing the entire property through Ordinance O16-003; and

**WHEREAS**, the PD requires development plan approval prior to the issuance of a building permit; and

**WHEREAS**, after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at the public hearing, and other relevant information and materials, the City Council of the Town of Addison, Texas finds that this ordinance promotes the general welfare and safety of this community.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS THAT:**

**SECTION 1.** The recitals and findings set forth above are hereby found to be true and correct and incorporated as if fully set forth herein.

**SECTION 2.** The property shall be improved in accordance with the development plans which are attached hereto as **Exhibit A** and made hereof for all purposes

**SECTION 3.** Any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

**SECTION 4.** The provisions of this Ordinance are severable, and should any section, subsection, paragraph, sentence, phrase or word of this Ordinance, or application thereof to any person, firm, corporation or other business entity or any circumstance, be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of the remaining or other parts or portions of this Ordinance, and the City Council hereby declares that it would have passed such remaining parts or portions of this Ordinance despite such unconstitutionality, illegality, or invalidity, which remaining portions shall remain in full force and effect.

**SECTION 5.** All ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

**SECTION 6.** This Ordinance shall become effective from and after its passage and approval and after publication as may be required by law or by the City Charter or ordinance.

**DULY RESOLVED AND ADOPTED** by the City Council of the Town of Addison, Texas, on this the **13<sup>TH</sup>** day of **APRIL** 2021.

**TOWN OF ADDISON, TEXAS**

\_\_\_\_\_  
Joe Chow, Mayor

**ATTEST:**

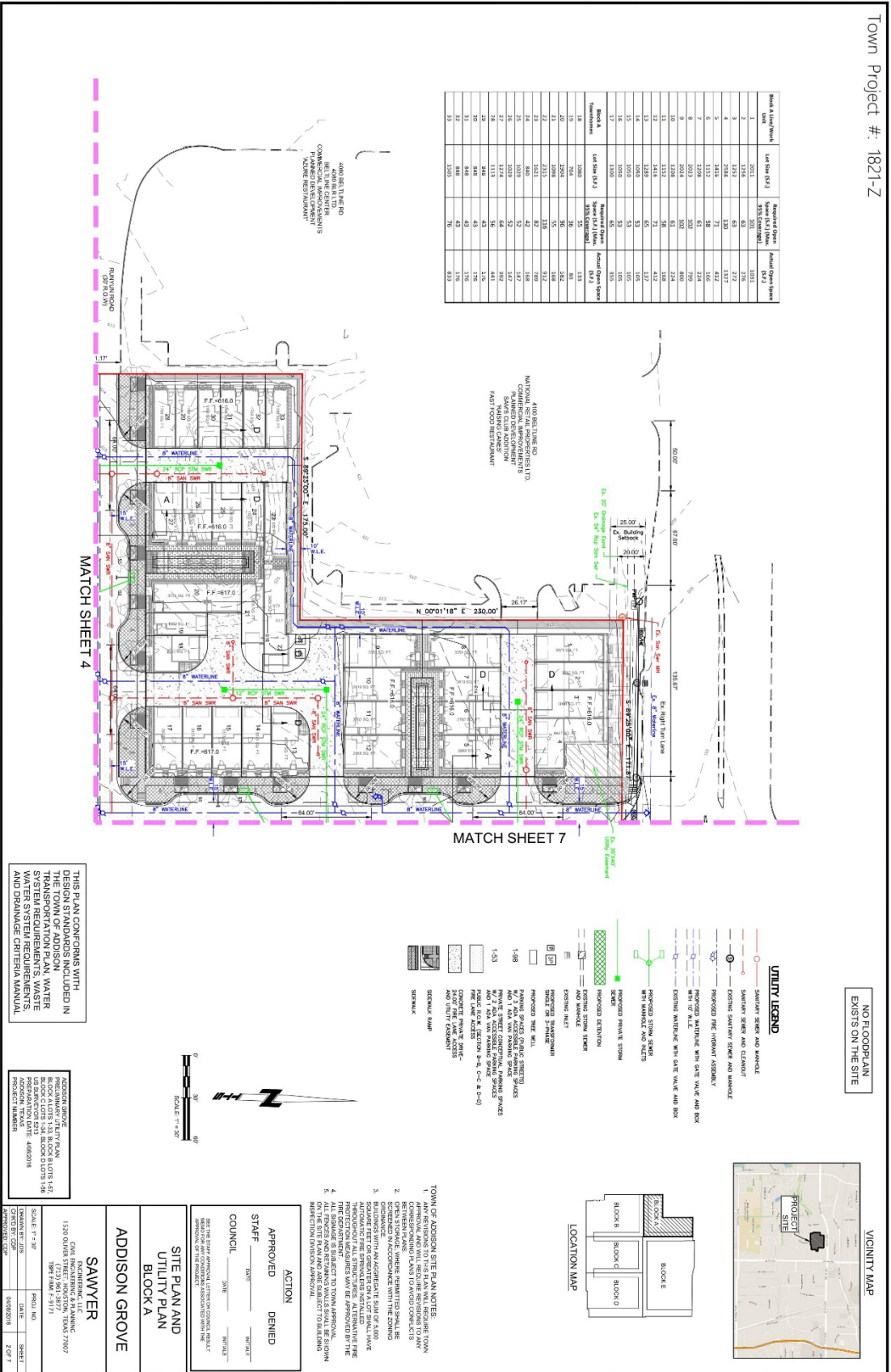
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Irma Parker, City Secretary

\_\_\_\_\_  
Brenda N. McDonald, City Attorney

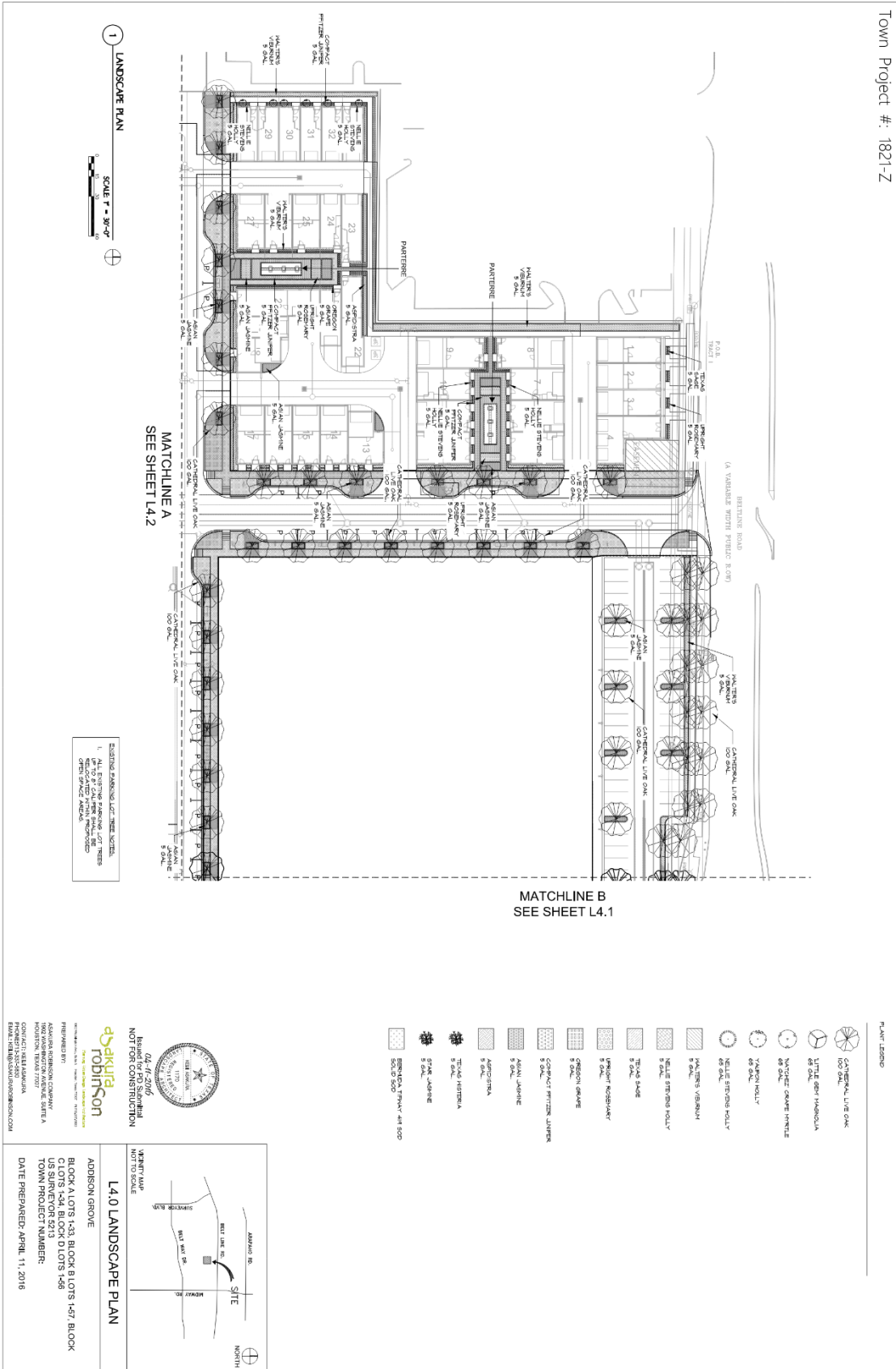
# Exhibit A

Town Project #: 1821-Z



# Exhibit A

Town Project #: 1821-Z





# Exhibit A

**1** TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

**NOTES:**

1. STRUCTURAL SOIL SHALL BE INSTALLED PERMANENTLY.
2. CONCRETE SHALL BE 3000 PSI MINIMUM STRENGTH.
3. STRUCTURAL SOIL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
4. TREE SHALL BE PLANTED WITH PROPER SPACING AND SUPPORT.
5. SOIL SHALL BE REPLACED AND REPAIRED BY THE CITY.

**2** TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

**NOTES:**

1. STRUCTURAL SOIL SHALL BE INSTALLED PERMANENTLY.
2. CONCRETE SHALL BE 3000 PSI MINIMUM STRENGTH.
3. STRUCTURAL SOIL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
4. TREE SHALL BE PLANTED WITH PROPER SPACING AND SUPPORT.
5. SOIL SHALL BE REPLACED AND REPAIRED BY THE CITY.

**3** TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

**NOTES:**

1. STRUCTURAL SOIL SHALL BE INSTALLED PERMANENTLY.
2. CONCRETE SHALL BE 3000 PSI MINIMUM STRENGTH.
3. STRUCTURAL SOIL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
4. TREE SHALL BE PLANTED WITH PROPER SPACING AND SUPPORT.
5. SOIL SHALL BE REPLACED AND REPAIRED BY THE CITY.

**4** TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

**NOTES:**

1. STRUCTURAL SOIL SHALL BE INSTALLED PERMANENTLY.
2. CONCRETE SHALL BE 3000 PSI MINIMUM STRENGTH.
3. STRUCTURAL SOIL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
4. TREE SHALL BE PLANTED WITH PROPER SPACING AND SUPPORT.
5. SOIL SHALL BE REPLACED AND REPAIRED BY THE CITY.

**5** TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

**NOTES:**

1. STRUCTURAL SOIL SHALL BE INSTALLED PERMANENTLY.
2. CONCRETE SHALL BE 3000 PSI MINIMUM STRENGTH.
3. STRUCTURAL SOIL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
4. TREE SHALL BE PLANTED WITH PROPER SPACING AND SUPPORT.
5. SOIL SHALL BE REPLACED AND REPAIRED BY THE CITY.

**6** TYPICAL SECTION DETAIL AT STRUCTURAL SOIL

**NOTES:**

1. STRUCTURAL SOIL SHALL BE INSTALLED PERMANENTLY.
2. CONCRETE SHALL BE 3000 PSI MINIMUM STRENGTH.
3. STRUCTURAL SOIL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
4. TREE SHALL BE PLANTED WITH PROPER SPACING AND SUPPORT.
5. SOIL SHALL BE REPLACED AND REPAIRED BY THE CITY.

**L4.5 LANDSCAPE DETAILS**

**ADDITION GROVE**

BLOCK A1 LOTS 1-33 BLOCK B1 LOTS 1-67 BLOCK C LOTS 1-34 BLOCK D LOTS 1-58 US SURVEYOR 5213 TOWN PROJECT NUMBER: DATE PREPARED: APRIL 11, 2016

**PREPARED BY:** ADAM K. BROWN, CIVIL ENGINEER, LICENSE NO. 11714  
**DESIGNED BY:** ADAM K. BROWN, CIVIL ENGINEER, LICENSE NO. 11714  
**PROJECT NO.:** 1821-Z  
**DATE:** 04-11-2016  
**LOCATION:** ADDISON GROVE  
**NOTION OF CONSTRUCTION:**

**CSIKURTA ROBINSON**  
 11111 W. 146TH STREET, SUITE 100, ADDISON, TX 75001  
 TEL: 972.441.1111 FAX: 972.441.1112  
 WWW.CSIKURTA.COM

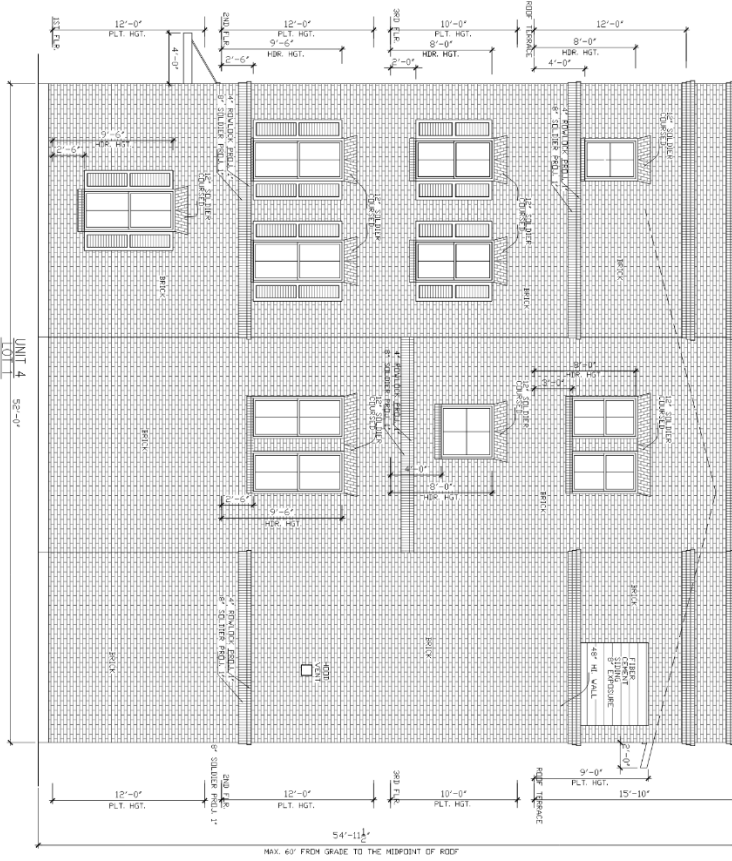
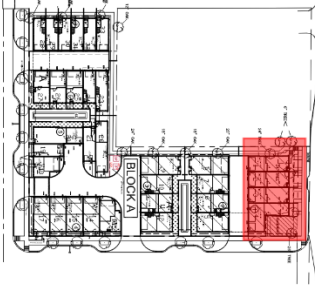
**ADAM K. BROWN**  
 CIVIL ENGINEER, LICENSE NO. 11714  
 11111 W. 146TH STREET, SUITE 100, ADDISON, TX 75001  
 TEL: 972.441.1111 FAX: 972.441.1112  
 WWW.CSIKURTA.COM

# Exhibit A



# Exhibit A

Town Project #: 1821-Z



**ADDITIONAL BUILDING MATERIALS**  
 BRICK: 1/2\"/>

**LEGEND**  
 [Symbol] BRICK  
 [Symbol] FIBER CONCRETE SIBONE  
 [Symbol] STUCCO

WEST/RIGHT	
BRICK	2544
STUCCO	9648
CONCRETE	1128
TOTAL SURFACE AREA	2810

**EFACE ELEVATION NOTES**  
 \* THIS DRAWING SHALL BE THE RESPONSIBLE ARCHITECT'S RESPONSIBILITY. ALL REVISIONS SHALL BE REQUESTED BY THE ARCHITECT. \* ALL DIMENSIONS SHALL BE SHOWN TO THE CENTER UNLESS OTHERWISE NOTED. \* ALL DIMENSIONS SHALL BE SHOWN TO THE CENTER UNLESS OTHERWISE NOTED. \* ALL DIMENSIONS SHALL BE SHOWN TO THE CENTER UNLESS OTHERWISE NOTED. \* ALL DIMENSIONS SHALL BE SHOWN TO THE CENTER UNLESS OTHERWISE NOTED. \* ALL DIMENSIONS SHALL BE SHOWN TO THE CENTER UNLESS OTHERWISE NOTED.

4120 Bethune Road  
West/Right Elevation  
Scale 1/4" = 1'-0"

URBAN INTOWN HOMES 77007  
1520 OLIVER, HOUSTON, TX  
PHONE: 713-961-3877

<b>A3.2</b>	ADDISON GROVE <b>ADDISON GROVE-BLOCK A-BUILDING 1</b> WEST / RIGHT ELEVATION	<b>URBAN INTOWN HOMES, Ltd.</b> 1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL (713)426-4410 FAX	Drawn By/Checked By: C.L./F.M. Original Date Issued: 02/01/2016 Scale: 1/4" = 1'-0" Last Updated: 02/26/2021
	SHEET NO. A3.2 DATE 02/26/2016 DRAWN BY C.L. CHECKED BY F.M.		



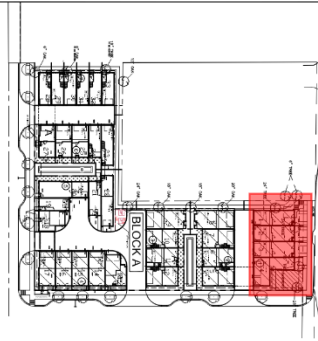
# Exhibit A





# Exhibit A

Town Project #: 1821-Z



NOTE:  
THE NOISE LEVELS MEASURED WITHIN  
THE HABITABLE SPACE OF THE UNITS  
WILL NOT EXCEED 45 DNL.

UNIT #	LIVING AREA(SQ. FT.)	BEDROOM
UNIT 1	3779	3
UNIT 2	3829	3
UNIT 3	3829	3
UNIT 4	3829	3

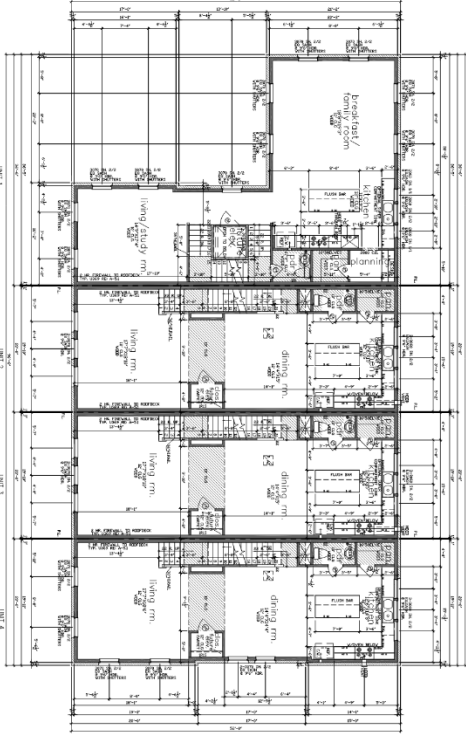
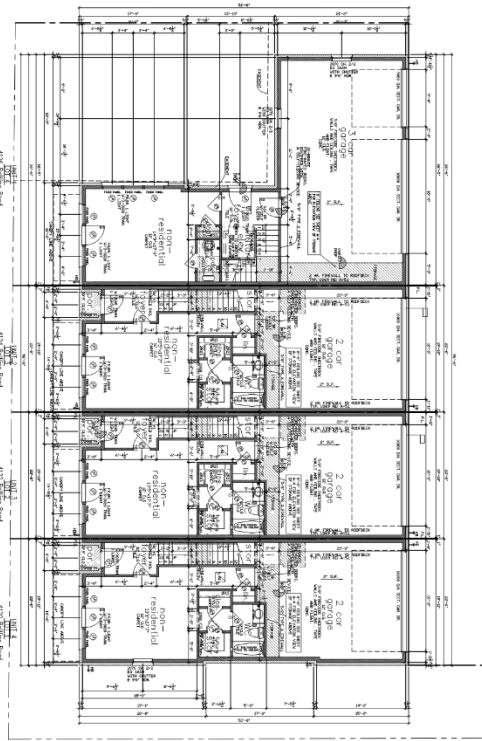
Unit 1 square footage	
Living Area	3779
Bedroom	3
Bath	3
Kitchen	3
Dining	3
Living	3
Other	3
<b>Total</b>	<b>3794</b>

Unit 2,3 square footage	
Living Area	3829
Bedroom	3
Bath	3
Kitchen	3
Dining	3
Living	3
Other	3
<b>Total</b>	<b>3844</b>

Unit 4 square footage	
Living Area	3829
Bedroom	3
Bath	3
Kitchen	3
Dining	3
Living	3
Other	3
<b>Total</b>	<b>3844</b>



URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX 77007  
 PHONE: 713-961-3877

ADDISON GROVE

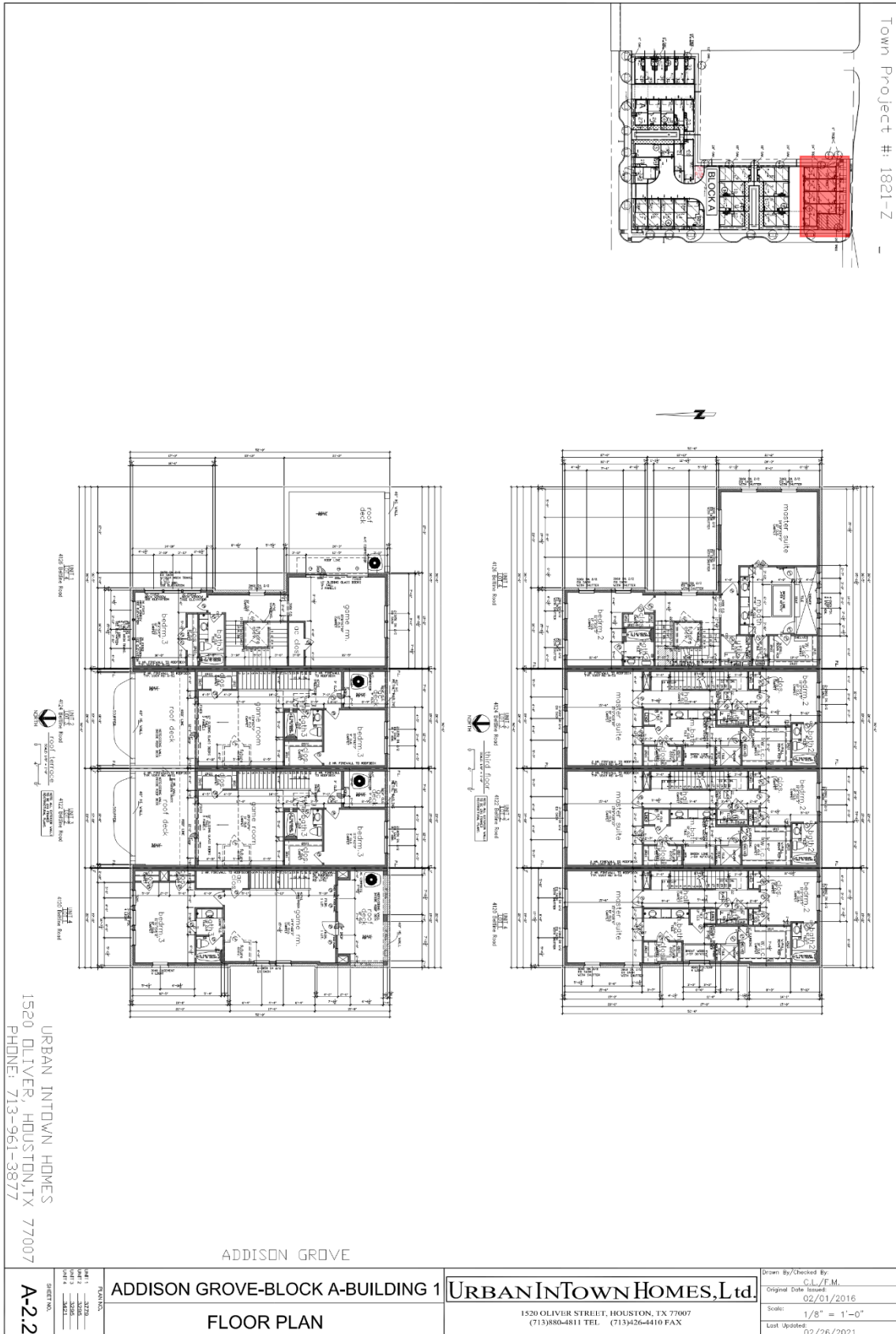
**ADDISON GROVE-BLOCK A-BUILDING 1**  
**FLOOR PLAN**

**URBAN INTOWN HOMES, Ltd.**  
 1520 OLIVER STREET, HOUSTON, TX 77007  
 (713)880-4811 TEL (713)426-4410 FAX

Drawn By/Checked By: C.L./F.M.  
 Original Date Issued: 02/01/2016  
 Scale: 1/8" = 1'-0"  
 Last Updated: 02/26/2021

**A-2.1**  
 SHEET NO.

# Exhibit A



Town Project #: 1821-Z

URBAN INTOWN HOMES  
1520 OLIVER, HOUSTON, TX 77007  
PHONE: 713-961-3877

ADDISON GROVE

**ADDISON GROVE-BLOCK A-BUILDING 1**  
**FLOOR PLAN**

**URBAN INTOWN HOMES, Ltd.**  
1520 OLIVER STREET, HOUSTON, TX 77007  
(713)880-4811 TEL. (713)426-4410 FAX

Drawn By/Checked By:	C.L./F.M.
Original Date Issued:	02/01/2016
Scale:	1/8" = 1'-0"
Last Updated:	02/26/2021

SHEET NO. **A-2.2**

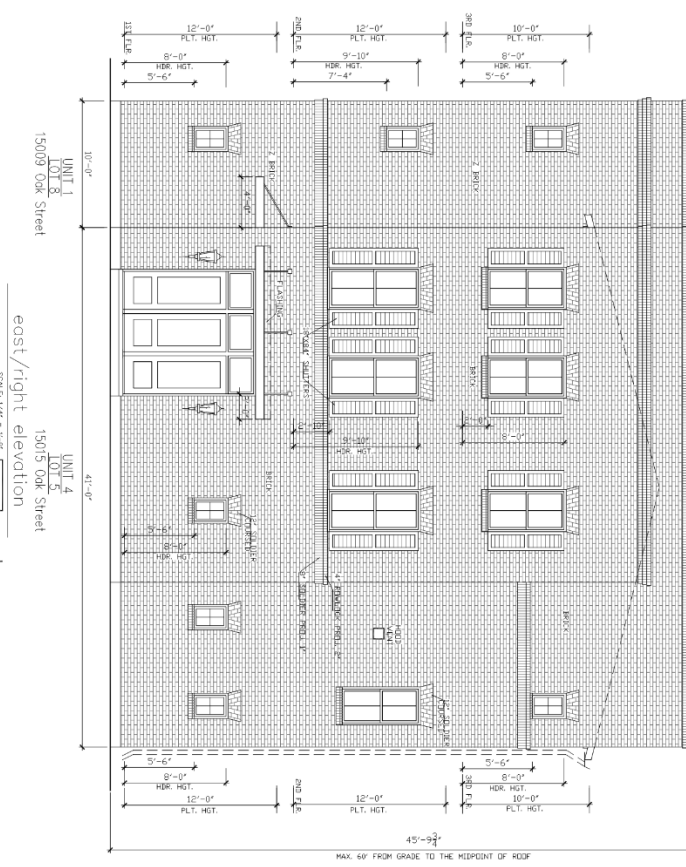
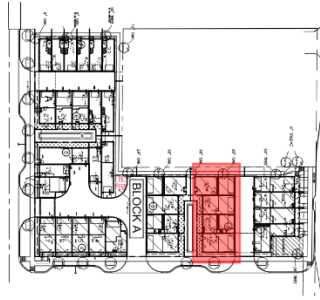
# Exhibit A

Town Project #: 1821-Z



# Exhibit A

Town Project #: 1821-Z



**LEGEND**

- BRICK
- BRICK CORNER STONE

**ADDITIONAL BUILDING MATERIALS**

- TRIP ROOF
- NET. CLAD WOOD WINDOWS
- NET. CLAD WOOD

**EAST/RIGHT**

MATERIAL	QUANTITY	UNIT
BRICK	2254	1000
CLAD	100	SQ. FT.
TOTAL SURFACE AREA	2354	

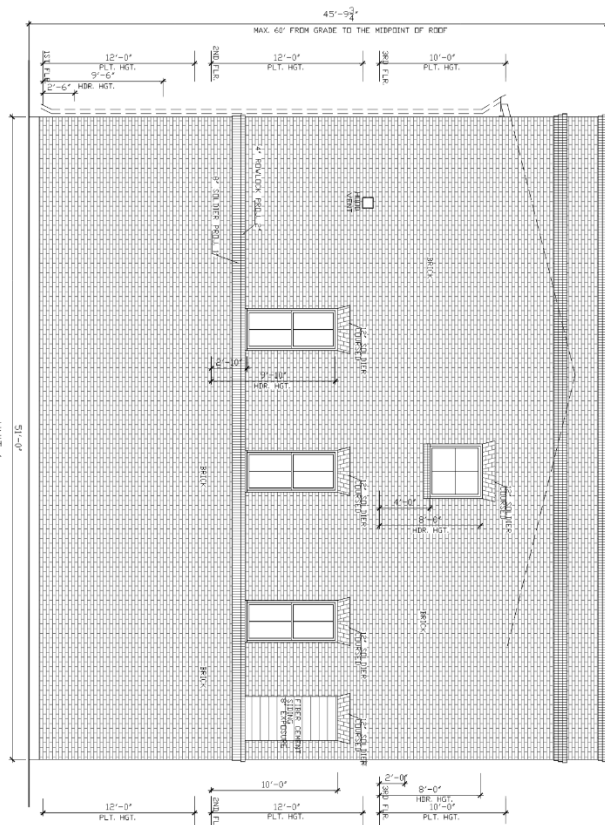
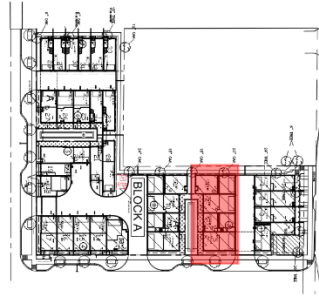
- EXHAUST PLAN NOTES**
- THIS EXHAUST PLAN IS FOR CONCEPTUAL PURPOSES ONLY. THE EXHAUST SYSTEM SHALL BE DESIGNED BY A QUALIFIED MECHANICAL ENGINEER AND APPROVED BY THE CITY OF ADDISON.
  - ALL MECHANICAL UNITS SHALL BE PROVIDED WITH A CURB AND SHALL BE PROTECTED FROM THE ELEMENTS OF WEATHER.
  - UNITS SHALL BE PROVIDED WITH A CURB AND SHALL BE PROTECTED FROM THE ELEMENTS OF WEATHER.
  - ALL UNITS SHALL BE PROVIDED WITH A CURB AND SHALL BE PROTECTED FROM THE ELEMENTS OF WEATHER.
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UNIT 1  
 LOT 8  
 15009 Oak Street  
 UNIT 4  
 LOT 5  
 15015 Oak Street  
 east/right elevation  
 SCALE 1/4" = 1'-0"  
 URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX  
 PHONE: 713-961-3877

<b>A-3.2</b>	<b>ADDISON GROVE - BLOCK A - BUILDING 2</b> <b>EAST / RIGHT ELEVATIONS</b>	<b>URBAN INTOWN HOMES, L.L.C.</b> 1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL. (713)426-4410 FAX	Drawn By/Checked By: C. L. / E.M. Original Date Issued: 02/01/2016 Scale: 1/4" = 1'-0" Last Updated: 07/11/2019
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# Exhibit A

Town Project #: 1821-Z



**LEGEND**

- BRICK
- FRESH CONCRETE STUCCO

**ADDITIONAL BUILDING MATERIALS:**

- FINISH OF THE ROOF
- TYPE AND SIZE OF WINDOWS
- TYPE AND SIZE OF DOOR

WEST/LEFT	
BRICK	122
CONCRETE	277
STUCCO	296
TOTAL SURFACE AREA	695

**FAÇADE PLAN NOTES**

- \* THIS FACADE SHALL BE PER CONSTRUCTION PERMITS AND ALL BUILDING DEPARTMENT REGULATIONS AND ORDINANCES.
- \* ALL MATERIALS SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
- \* FINISHES SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
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UNIT 1  
15009 Oak Street  
west/left elevation

SCALE 1/4" = 1'-0"

URBAN INTOWN HOMES  
1520 OLIVER STREET, HOUSTON, TX 77007  
PHONE: 713-961-3877

<p>ADDISON GROVE</p> <p><b>A-3.3</b></p>	<p><b>ADDISON GROVE - BLOCK A - BUILDING 2</b></p> <p><b>WEST / LEFT ELEVATIONS</b></p>	<p><b>URBAN INTOWN HOMES, Ltd.</b></p> <p>1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL (713)426-4410 FAX</p>	<p>Drawn By/Checked By: C.L./E.W.</p> <p>Original Issue Date: 02/01/2016</p> <p>Scale: 1/4" = 1'-0"</p> <p>Last Updated: 07/11/2019</p>
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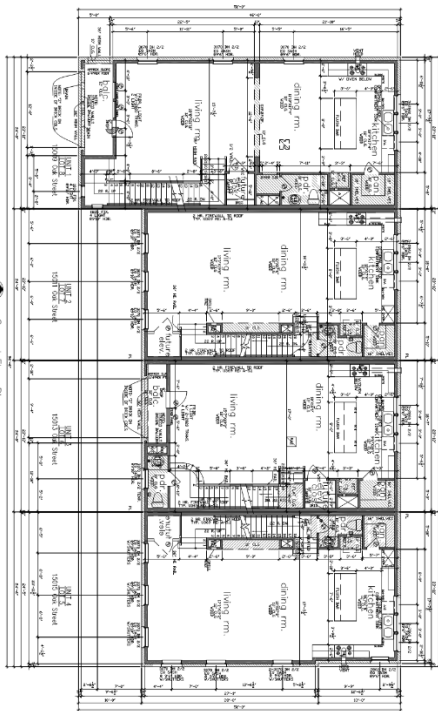
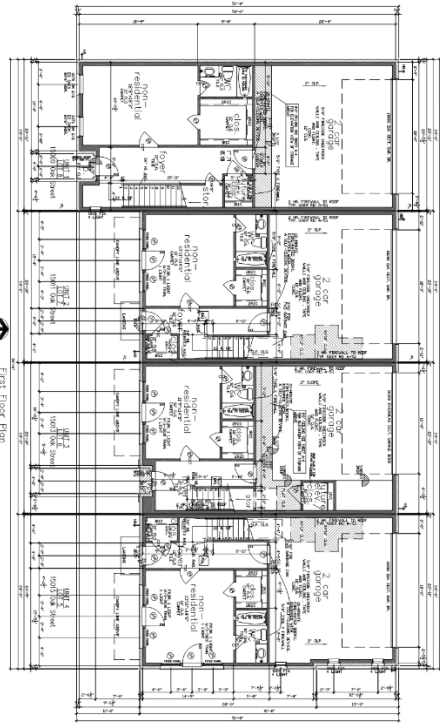
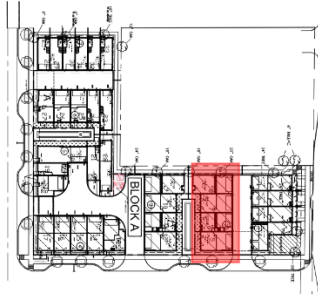
# Exhibit A





# Exhibit A

Town Project #: 1821-Z



UNIT	RESIDUAL	RENDER
UNIT 1	2943	2
UNIT 2	2292	2
UNIT 3	2292	2
UNIT 4	2436	2

NOTE:  
OUTSIDE NOISE LEVELS MEASURED WITHIN  
THE UNIT SHALL NOT EXCEED 45 DNL.

UNIT	SQUARE FOOTAGE	RESIDUAL	RENDER
UNIT 1	2943	2	2
UNIT 2	2292	2	2
UNIT 3	2292	2	2
UNIT 4	2436	2	2

URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX 77007  
 PHONE: 713-961-3877

ADDISON GROVE

**ADDISON GROVE - BLOCK A - BUILDING 2  
FLOOR PLAN**

**URBAN INTOWN HOMES, Ltd.**

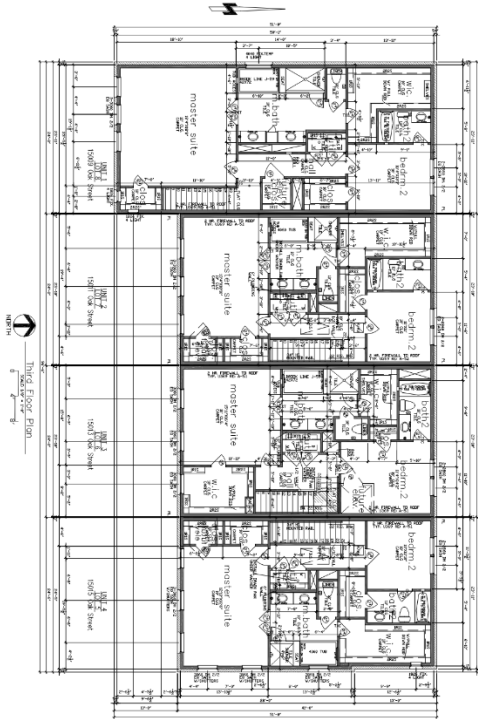
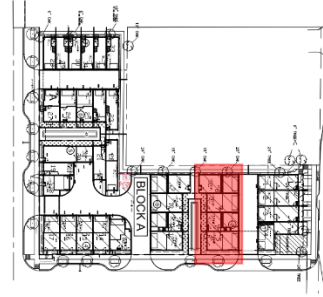
1520 OLIVER STREET, HOUSTON, TX 77007  
(713)880-4811 TEL (713)426-4410 FAX

Drawn By/Checked By:	C.L./F.M.
Original Date Issued:	02/01/2016
Scale:	1/8" = 1'-0"
Last Updated:	07/11/2019

SHEET NO. **A-2.1**

# Exhibit A

Town Project #: 1821-Z



URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX 77007  
 PHONE: 713-961-3877

ADDISON GROVE

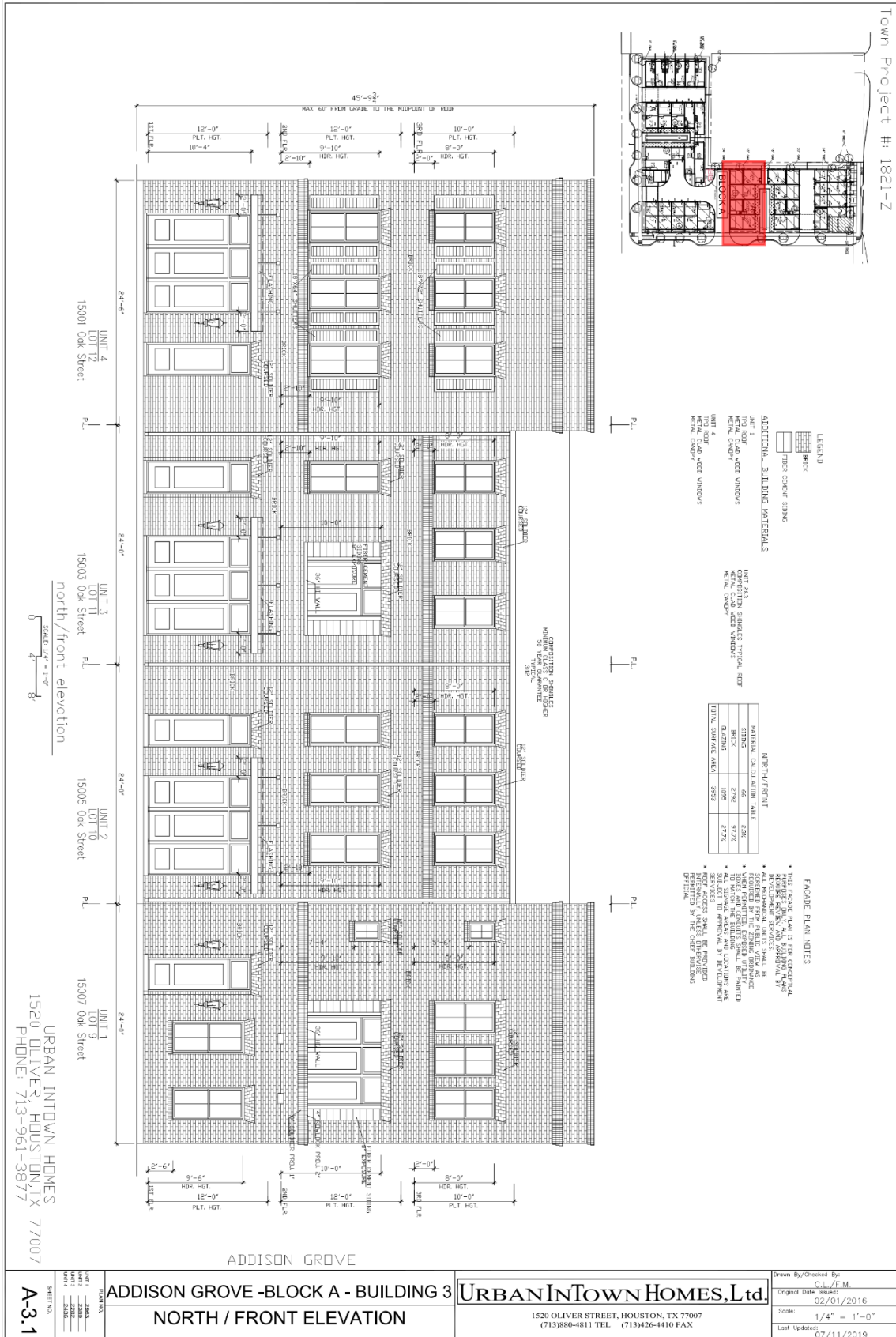
**ADDISON GROVE - BLOCK A - BUILDING 2**  
**FLOOR PLAN**

**URBAN INTOWN HOMES, L.t.d.**  
 1520 OLIVER STREET, HOUSTON, TX 77007  
 (713)880-4811 TEL (713)426-4410 FAX

Drawn By/Checked By:	C.L./F.M.
Original Date Issued:	02/01/2016
Scale:	1/8" = 1'-0"
Last Updated:	07/11/2019

SHEET NO. **A-2.2**  
 TOTAL SHEETS: 2  
 DATE: 07/11/2019  
 DRAWN BY: C.L.  
 CHECKED BY: F.M.

# Exhibit A



ADDISON GROVE - BLOCK A - BUILDING 3

NORTH / FRONT ELEVATION

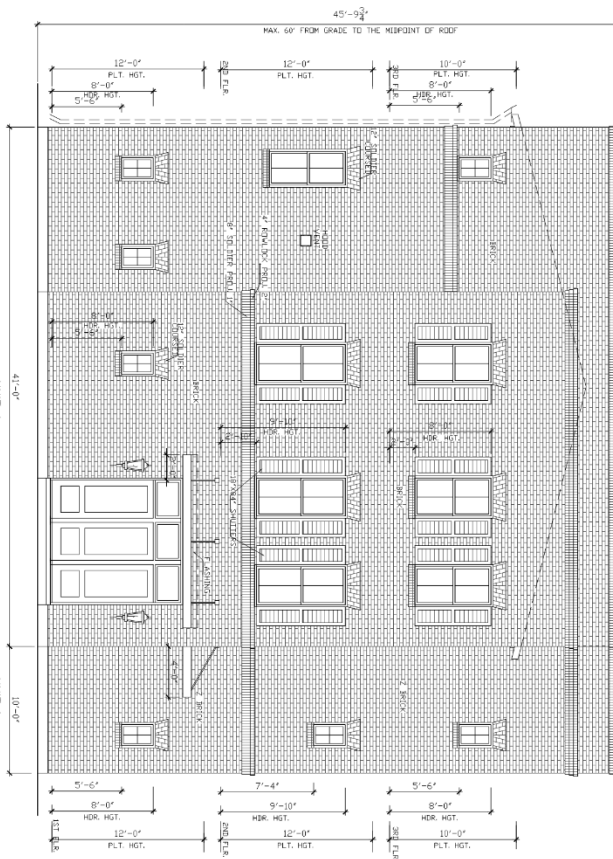
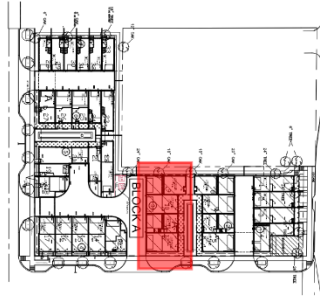
**URBAN INTOWN HOMES, Ltd.**

1520 OLIVER STREET, HOUSTON, TX 77007  
(713)880-4811 TEL (713)426-4410 FAX

Drawn By/Checked By: C.L./F.M. Original Date Issued: 02/01/2016 Scale: 1/4" = 1'-0" Last Updated: 07/11/2019	<b>A-3.1</b>
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# Exhibit A

Town Project #: 1821-Z



**LEGEND**

- BRICK
- FORM CONCRETE (2220)

**ADDITIONAL BUILDING MATERIALS**

- FINISH
- METAL GLASS WOOD WINDOW
- METAL WINDOW

**EAST/LEFT**

WINDOW CALCULATION TABLE	
BRICK	2544
GLASS	2595
TOTAL SURFACE AREA	2595

- FACADE PLAN NOTES**
- \* THIS FACADE PLAN IS FOR CONCEPTUAL REVIEW ONLY AND DOES NOT REPRESENT A CONTRACT DOCUMENT.
  - \* ALL DIMENSIONS SHALL BE MEASURED FROM FINISH FLOOR TO FINISH CEILING UNLESS OTHERWISE NOTED.
  - \* ALL WINDOW HEIGHTS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT DEPARTMENT.
  - \* WINDOW ACCESS SHALL BE PROVIDED PERMITTED BY THE CITY BUILDING DEPARTMENT.

UNIT 4  
LOT 12  
15001 Oak Street  
east/left elevation

UNIT 1  
LOT 9  
15007 Oak Street

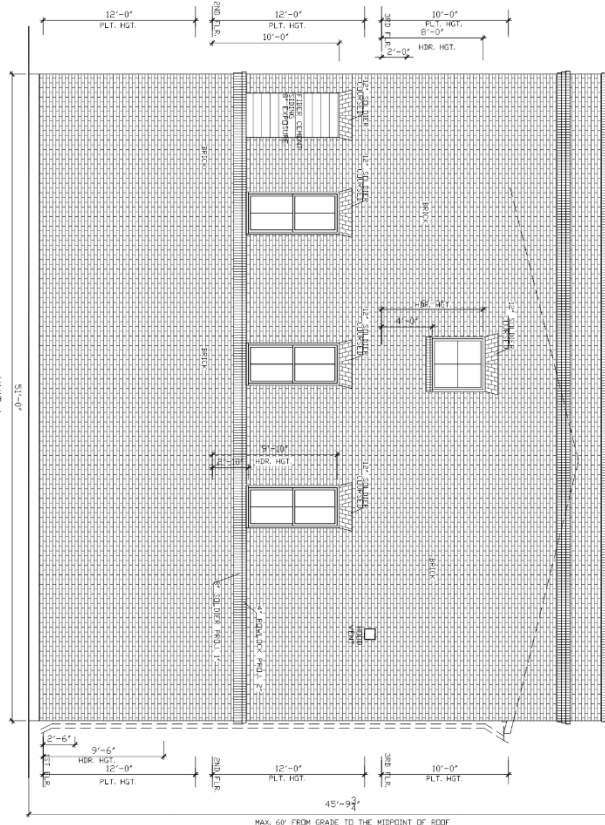
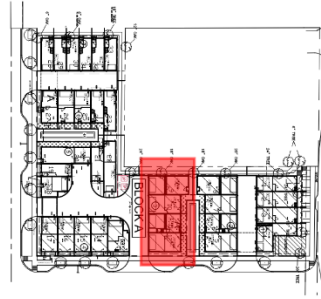
SCALE: 1/4" = 1'-0"

URBAN INTOWN HOMES  
1520 OLIVER, HOUSTON, TX  
PHONE: 713-961-3877

<p>ADDISON GROVE</p> <p><b>ADDISON GROVE - BLOCK A - BUILDING 3</b></p> <p><b>EAST / LEFT ELEVATIONS</b></p>	<p><b>URBAN INTOWN HOMES, L.P.</b></p> <p>1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL (713)426-4410 FAX</p>	<p>Drawn By/Checked By: <b>C.L./F.M.</b></p> <p>Original Date Issued: <b>02/03/2016</b></p> <p>Scale: <b>1/4" = 1'-0"</b></p> <p>Last Updated: <b>07/11/2019</b></p>
<p>SHEET NO. <b>A3.2</b></p>		

# Exhibit A

Town Project #: 1821-Z



**LEGEND**

- FIRE CORNER SIMING
- BRICK

**ADDITIONAL BUILDING MATERIALS**

- 1/2" X 3/4" WOOD WINDOWS
- 1/2" X 3/4" WOOD WINDOWS

WEST / RIGHT	
MATERIAL	QUANTITY
BRICK	126
GLASSING	96.82
TOTAL SQUARE FEET	306

**FACADE PLAN NOTES**

- \* THIS FACADE PLAN IS FOR CONCEPTUAL REVIEW ONLY. IT IS NOT TO BE USED FOR PERMITS, CONTRACTS, OR CONSTRUCTION.
- \* ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
- \* FINISHES SHALL BE AS NOTED.
- \* MATERIALS SHALL BE AS NOTED.
- \* ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
- \* ALL WORK SHALL BE SUBJECT TO APPROVAL BY THE TOWN OF ADDISON.
- \* MATERIALS SHALL BE PROVIDED BY THE OWNER.

UNIT 1  
LOT 9  
15007 Oak Street  
west / right elevation

URBAN INTOWN HOMES  
1520 OLIVER, HOUSTON, TX  
PHONE: 713-961-3877

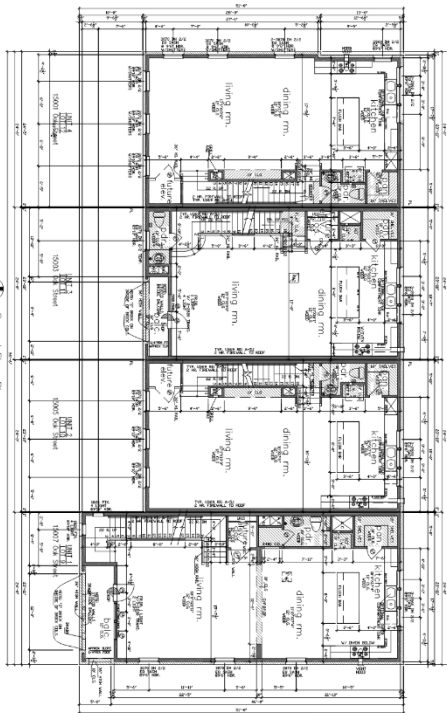
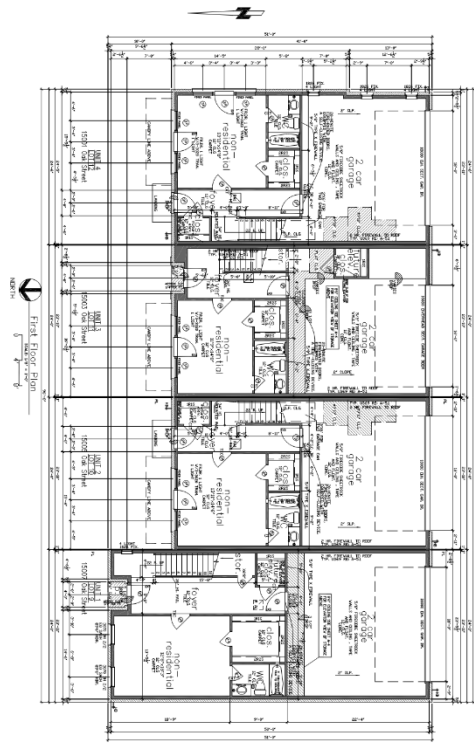
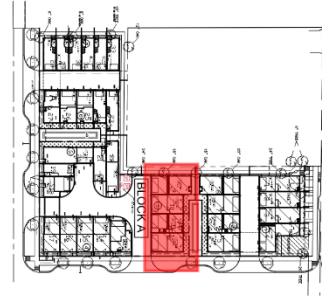
<b>A-3.3</b>	<b>ADDISON GROVE - BLOCK A - BUILDING 3 WEST / RIGHT ELEVATIONS</b>	<b>URBAN INTOWN HOMES, L.P.</b> <small>1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL (713)426-4410 FAX</small>	Drawn By/Checked By: <b>C.L./E.M.</b> Original Date Issued: <b>02/01/2016</b> Scale: <b>1/4" = 1'-0"</b> Last Updated: <b>07/11/2019</b>
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# Exhibit A



# Exhibit A

Town Project #: 1821-Z



NOTE:  
OUTSIDE NOISE LEVELS, MEASURED WITHIN  
THE HABITABLE SPACE OF THE UNITS,  
WILL NOT EXCEED 45 DNL.

UNIT #	LIVING AREA(S) (FT <sup>2</sup> )	RENDER
UNIT 1	2399	2
UNIT 2	2399	2
UNIT 3	2399	2
UNIT 4	2436	2

UNIT 1 SQUARE FOOTAGE	
Living Area	2399
Bedroom	100
Bath	50
Kitchen	100
Dining Area	100
Living Room	100
Hallway	50
Staircase	50
Other	50
<b>Total</b>	<b>2899</b>

UNIT 2 SQUARE FOOTAGE	
Living Area	2399
Bedroom	100
Bath	50
Kitchen	100
Dining Area	100
Living Room	100
Hallway	50
Staircase	50
Other	50
<b>Total</b>	<b>2899</b>

UNIT 3 SQUARE FOOTAGE	
Living Area	2399
Bedroom	100
Bath	50
Kitchen	100
Dining Area	100
Living Room	100
Hallway	50
Staircase	50
Other	50
<b>Total</b>	<b>2899</b>

UNIT 4 SQUARE FOOTAGE	
Living Area	2436
Bedroom	100
Bath	50
Kitchen	100
Dining Area	100
Living Room	100
Hallway	50
Staircase	50
Other	50
<b>Total</b>	<b>3086</b>

URBAN INTOWN HOMES  
1520 OLIVER, HOUSTON, TX 77007  
PHONE: 713-961-3877

ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 3  
FLOOR PLAN

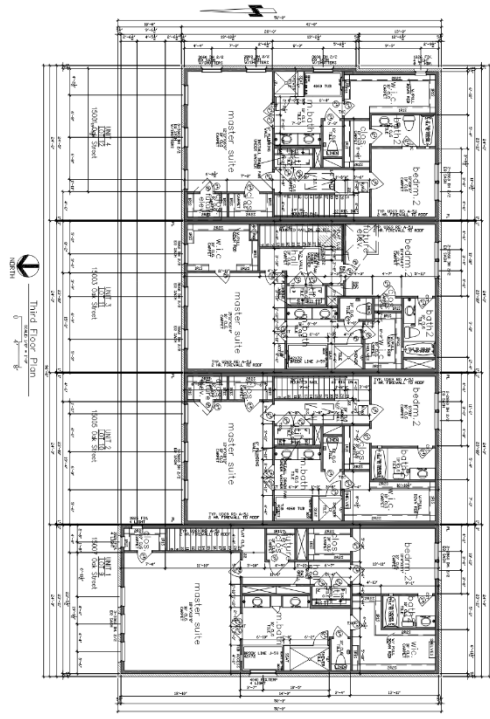
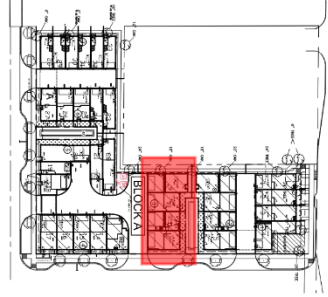
URBAN INTOWN HOMES, L.t.d.  
1520 OLIVER STREET, HOUSTON, TX 77007  
(713)860-4811 TEL. (713)426-4410 FAX

Drawn By/Checked By:	C.L./F.M.
Original Date Issued:	02/01/2016
Scale:	1/8" = 1'-0"
Last Updated:	07/11/2019

SHEET NO.	A-2.1
TOWN	ADDISON
DATE	07/11/2019
TIME	2:00
BY	CL
CHECKED BY	FM

# Exhibit A

Town Project #: 1821-Z



URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX 77007  
 PHONE: 713-961-3877

ADDISON GROVE

**ADDISON GROVE - BLOCK A - BUILDING 3**  
**FLOOR PLAN**  
**URBAN INTOWN HOMES, L.td.**

1520 OLIVER STREET, HOUSTON, TX 77007  
 (713)880-4811 TEL (713)426-4410 FAX

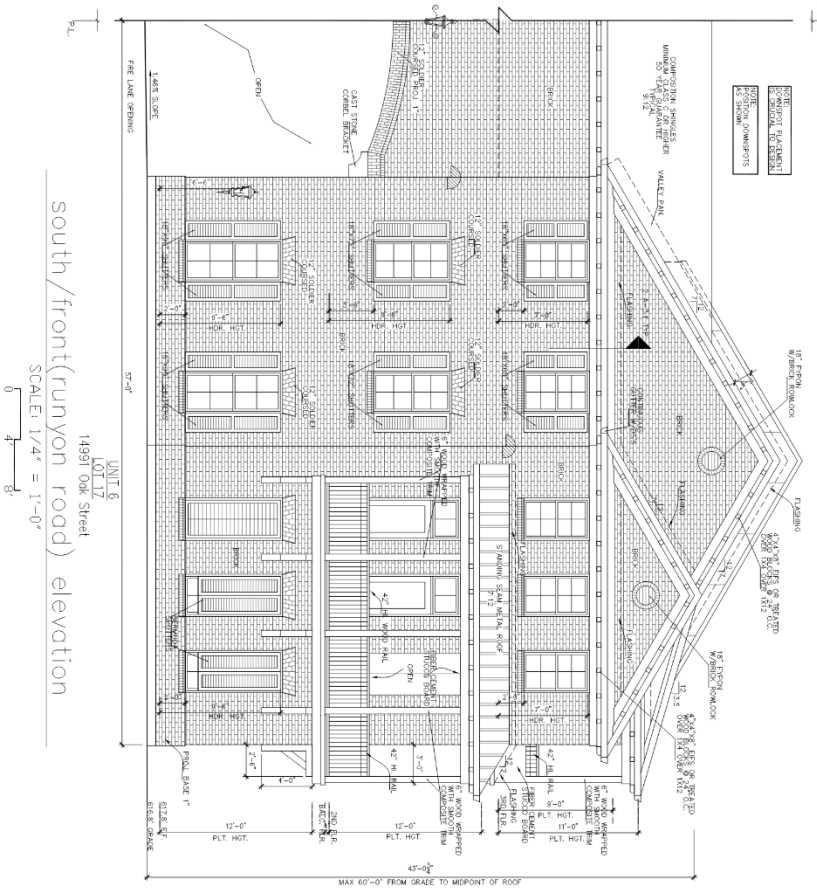
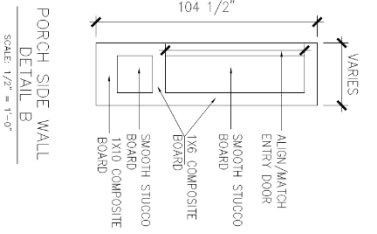
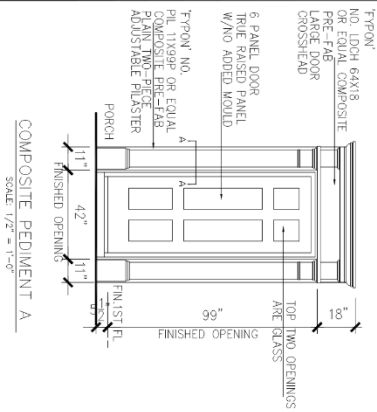
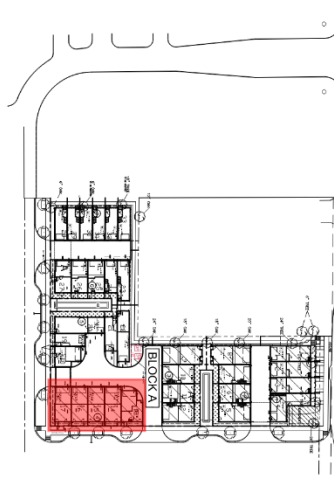
Drawn By/Checked By:	C.L./F.M.
Original Date Issued:	02/01/2016
Scale:	1/8" = 1'-0"
Last Updated:	07/11/2019

SHEET NO.	A2.2
DATE	02/01/2016
SCALE	1/8" = 1'-0"
PROJECT NO.	1821-Z



# Exhibit A

Town Project #: 1821-Z



<p>ADDISON GROVE - BLOCK A - BUILDING 4</p> <p><b>SOUTH / FRONT ELEVATION</b></p>	<p><b>URBANINTOWNHOMES</b></p> <p>1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL (713)426-4410 FAX</p>	<p>Drawn By/Checked By: J.O./P.W.</p> <p>Original Date Issued: 09/11/2019</p> <p>Scale: 1/4" = 1'-0"</p> <p>Last Updated: 08/18/2020</p>
		<p>DATE DRAWN BY CHECKED BY DATE DRAWN BY CHECKED BY DATE DRAWN BY CHECKED BY</p> <p>A-3.1</p>





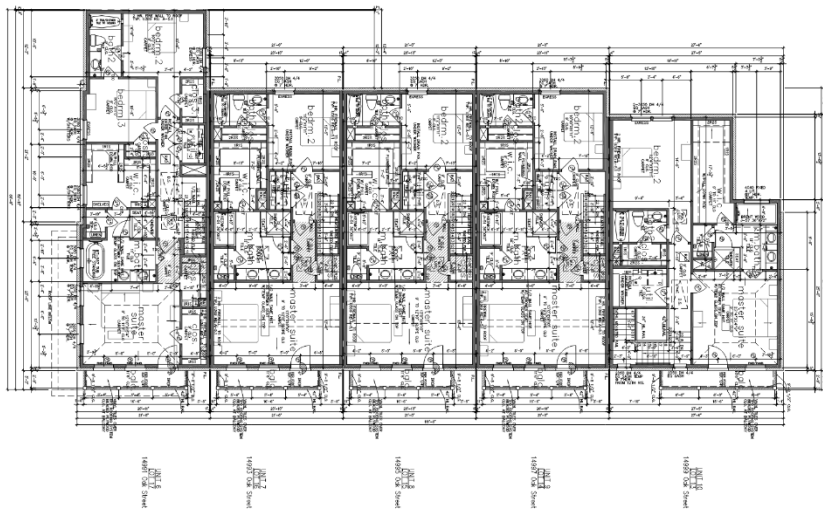
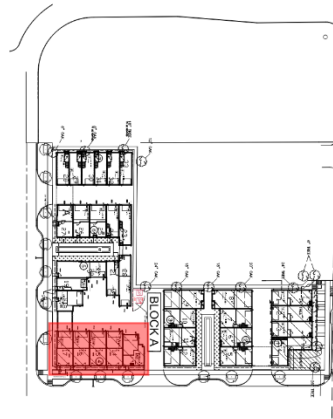






# Exhibit A

Town Project #: 1821-Z



URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX 77007  
 PHONE: 713-961-3877

ADDISON GROVE

ADDISON GROVE - BLOCK A - BUILDING 4

FLOOR PLAN

**URBANINTOWNHOMES**

1520 OLIVER STREET, HOUSTON, TX 77007  
 (713)880-4811 TEL (713)426-4410 FAX

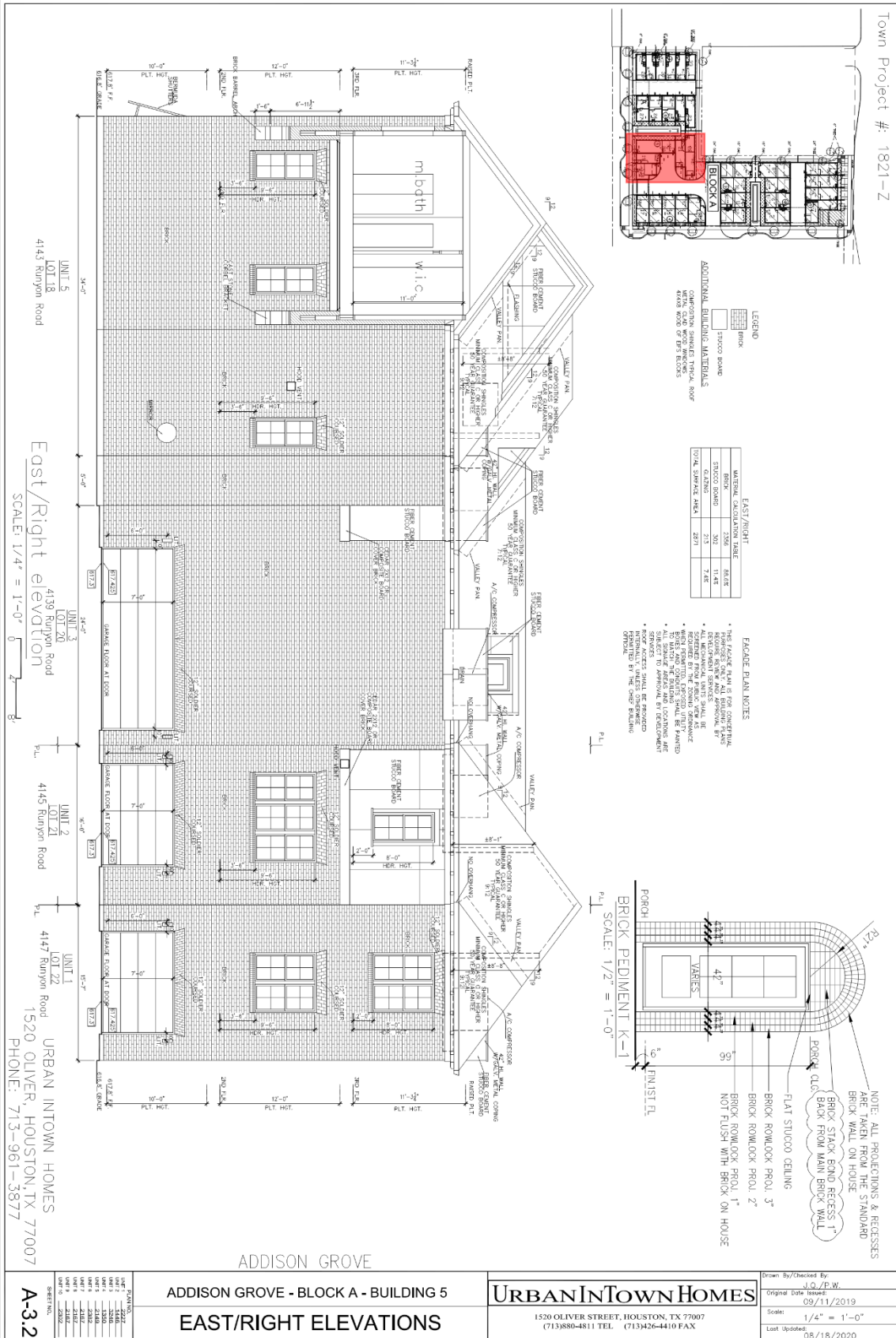
Drawn By/Checked By:	J.O./P.W.
Original Date Issued:	09/11/2019
Scale:	1/8" = 1'-0"
Last Updated:	05/15/2020

SHEET NO.	A-2.2
DATE	05/15/2020
DRAWN BY	J.O.
CHECKED BY	P.W.
DATE	09/11/2019
SCALE	1/8" = 1'-0"
PROJECT NO.	1821-Z





# Exhibit A







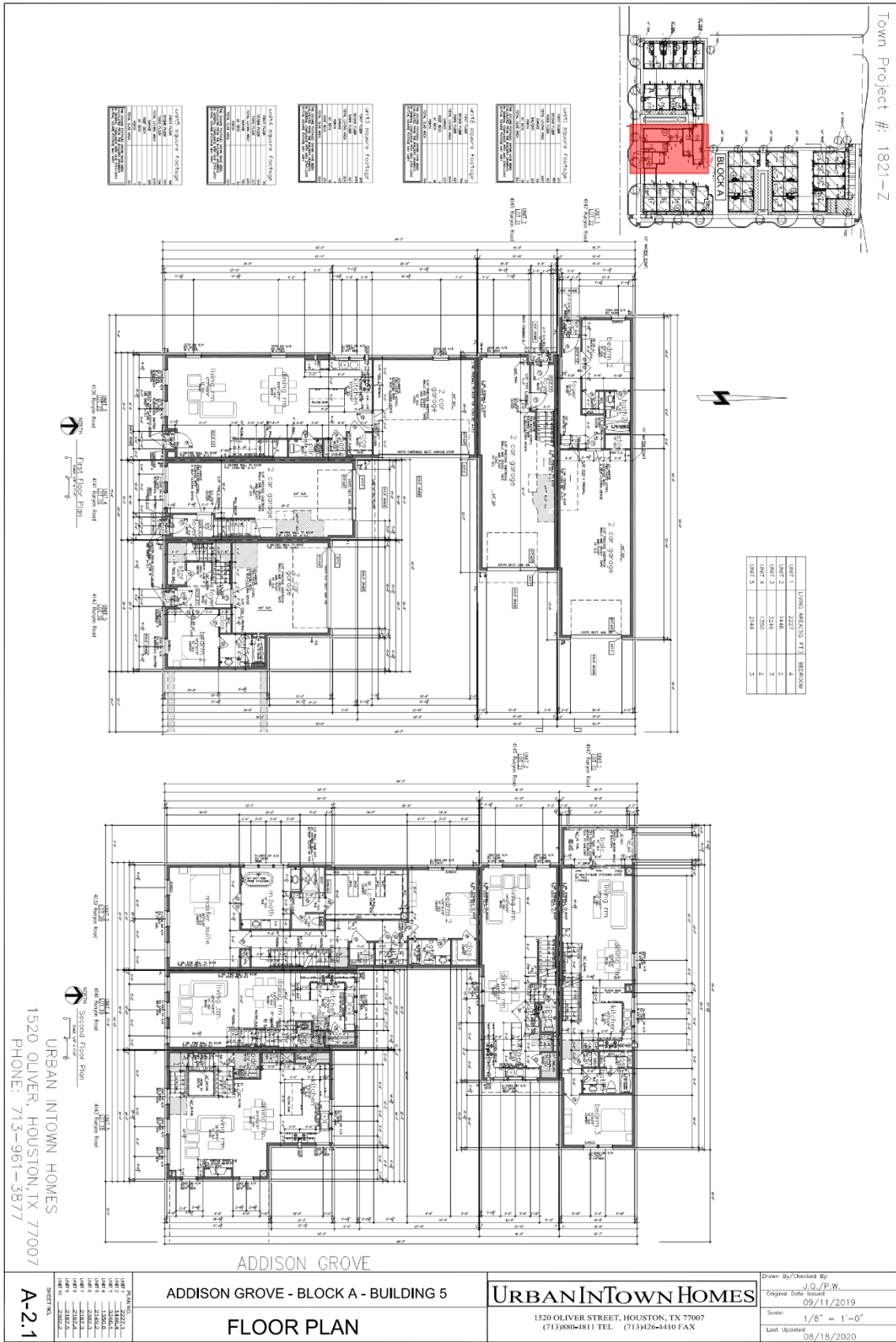
# Exhibit A

Town Project #: 1821-Z



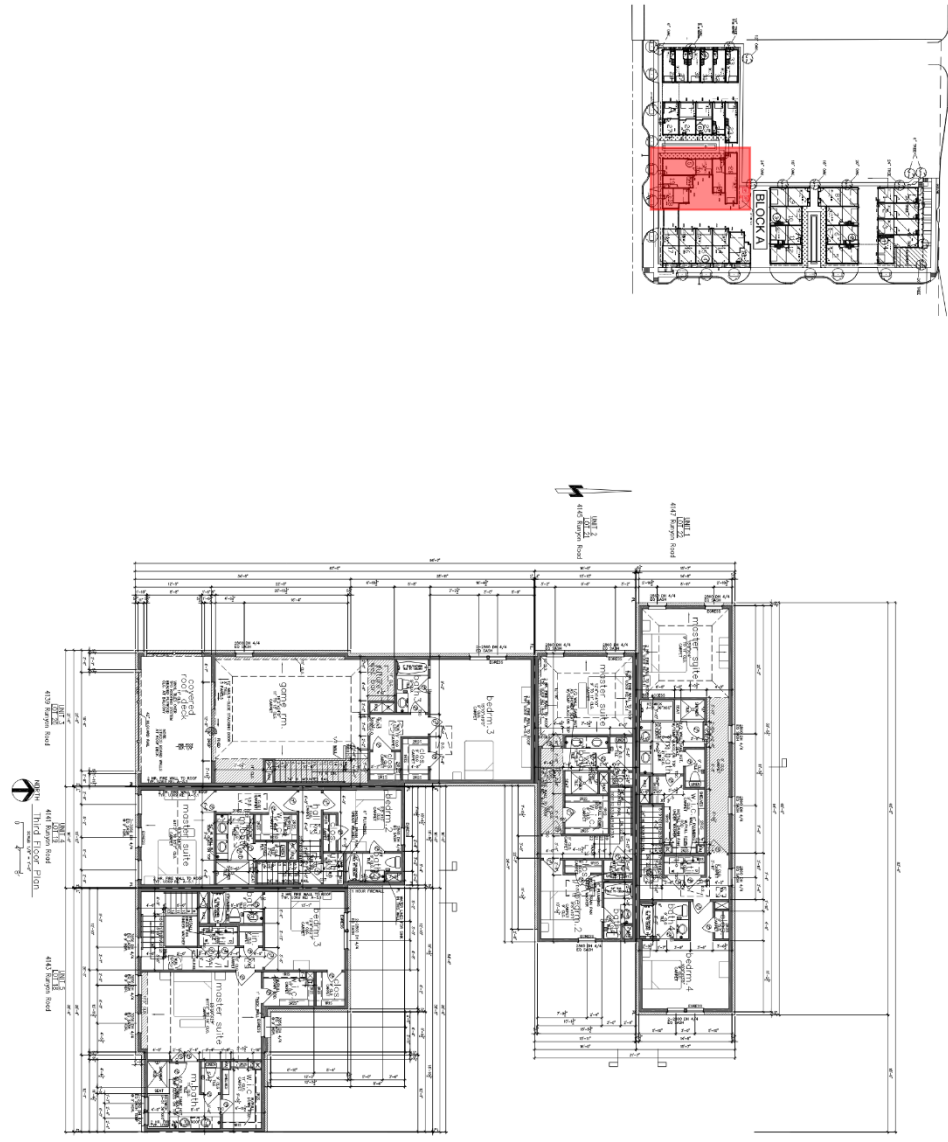
# Exhibit A

Town Project #: 1821-Z



**Exhibit A**

Town Project #: 1821-Z



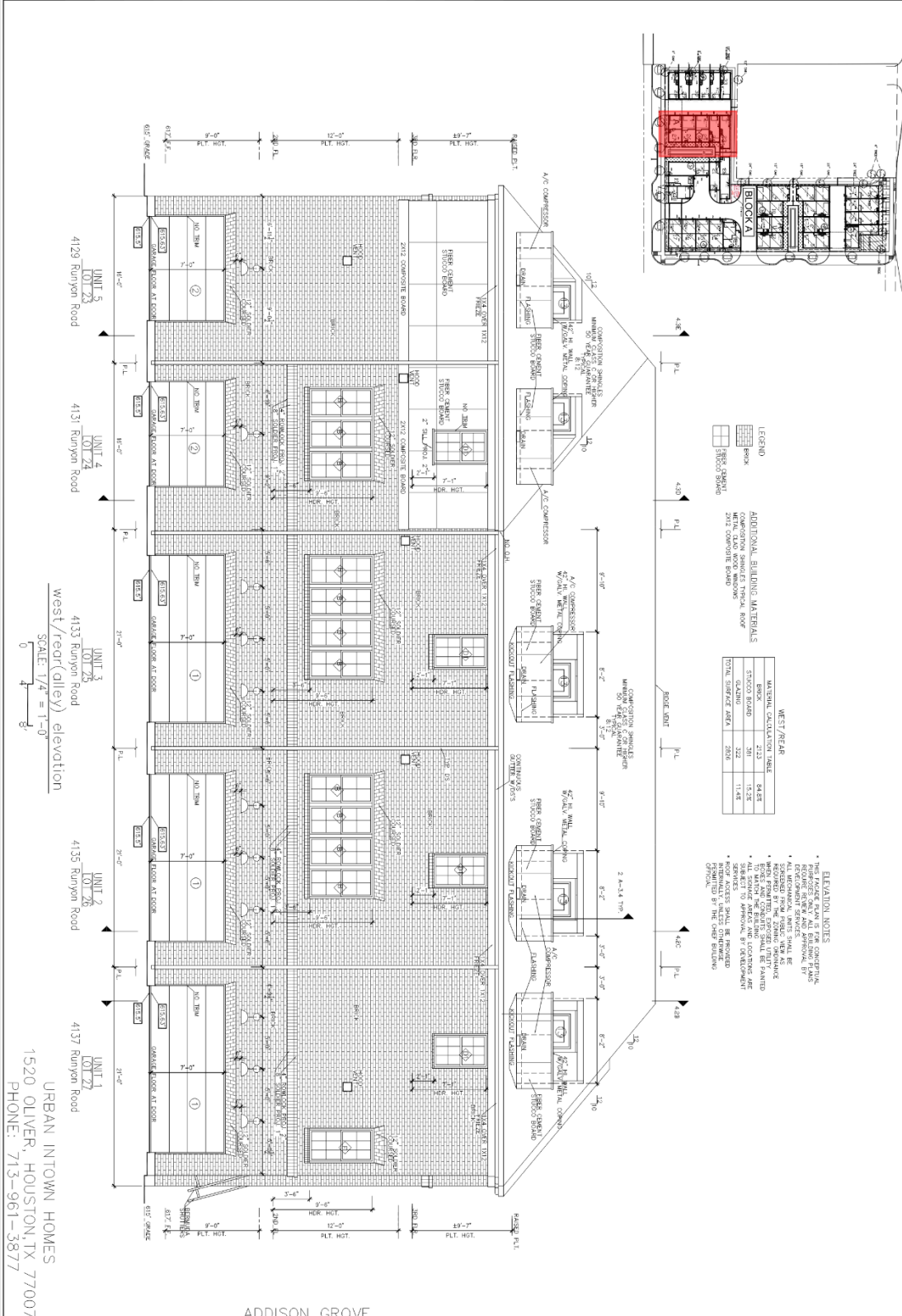
URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX 77007  
 PHONE: 713-961-3877

PLAN NO. 1821-Z SHEET NO. A-2.2	ADDISON GROVE ADDISON GROVE - BLOCK A - BUILDING 5	URBANINTOWN HOMES 1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL. (713)426-4410 FAX	Drawn By/Checked By: J.O./P.W. Original Date Issued: 09/11/2019 Scale: 1/8" = 1'-0" Last Updated: 08/18/2020
	ADDISON GROVE FLOOR PLAN		



# Exhibit A

Town Project #: 1821-Z



**LEGEND**

ADDITIONAL BUILDING MATERIALS

COMPOSITE SHEETS TYPICAL ROOF

2X12 COMPOSITE BOARD

**WEST / REAR**

MATERIAL	QUANTITY	UNIT PRICE	TOTAL
BRICK	2122	64.55	136,986.10
STUCCO	222	11.45	2,541.90
TOTAL SURFACE AREA	2828		

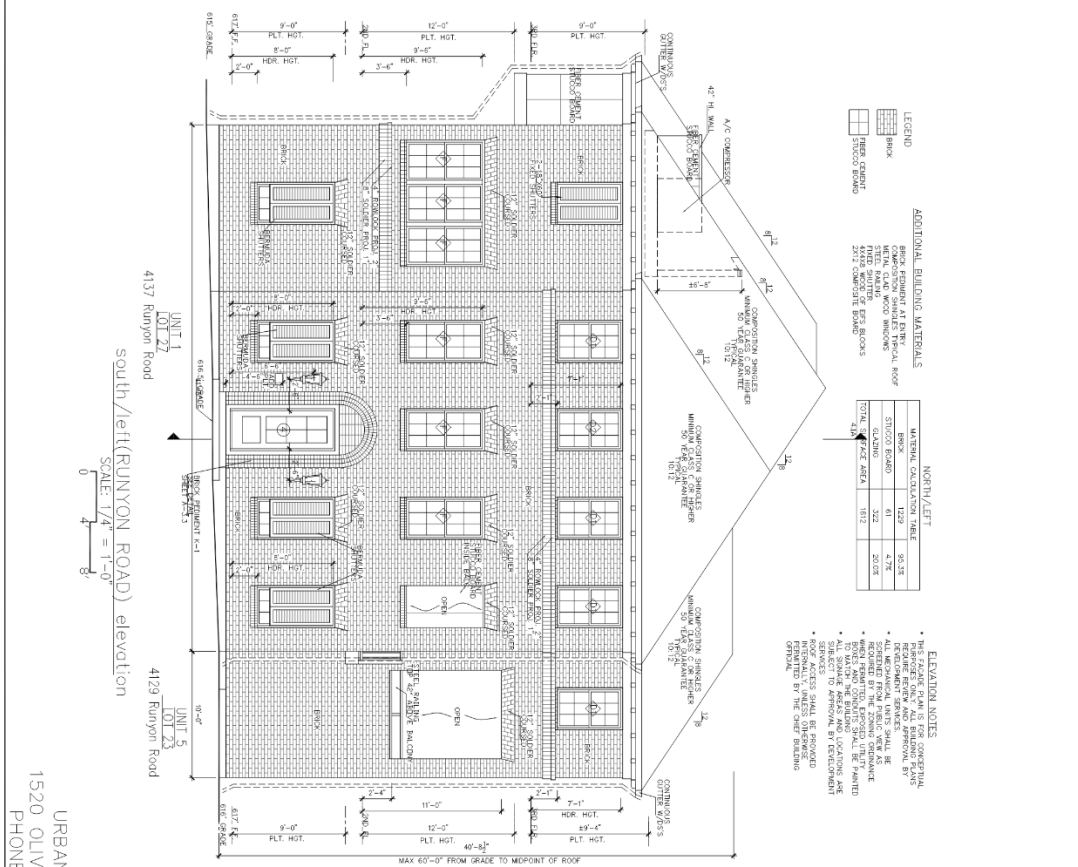
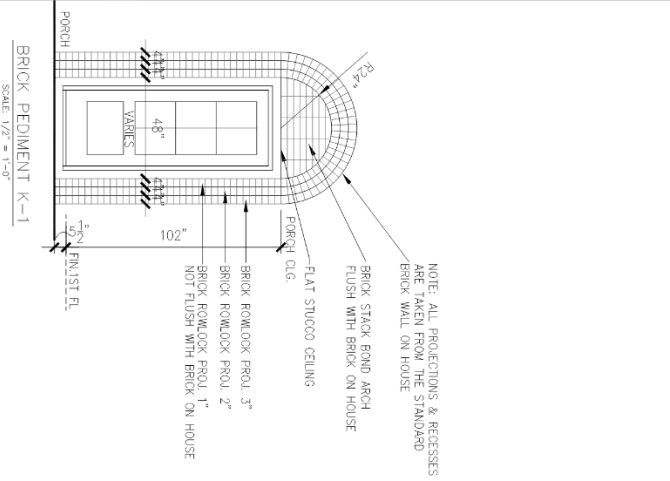
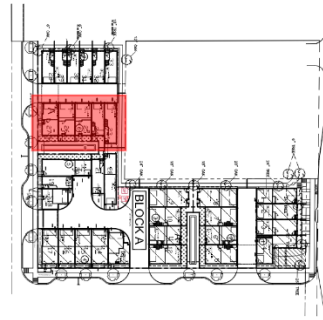
- ELEVATION NOTES**
- THESE DRAWINGS ARE CONCEPTUAL. PROVIDER SHALL VERIFY ALL BUILDING PLANS, PERMITS, AND REGULATIONS WITH LOCAL AGENCIES.
  - MATERIALS AND FINISHES SHALL BE SELECTION FROM PROVIDER, WITH ALL COSTS TO BE PROVIDED BY CONTRACTOR.
  - WORK SHALL BE SUBJECT TO ALL CITY AND COUNTY ORDINANCES AND REGULATIONS.
  - ROOF ACCESS SHALL BE PROVIDED PERMITTED BY THE CITY BUILDING DEPARTMENT.

<p>ADDISON GROVE</p> <p><b>ADDISON GROVE - BLOCK A - BUILDING 6</b></p> <p><b>WEST / REAR ELEVATION</b></p>	<p><b>URBANINTOWN HOMES</b></p> <p>1520 OLIVER STREET, HOUSTON, TX 77007              (713)880-4811 TEL (713)426-4410 FAX</p>	<p>Drawn By/Checked By: A.C./F.M.</p> <p>Original Date Issued: 09/12/2019</p> <p>Scale: 1/4" = 1'-0"</p> <p>Last Updated: 06/03/2020</p>
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# Exhibit A

Town Project #: 1821-Z



LEGEND

- BRICK
- PIER GRANT
- STUCCO BOARD

ADDITIONAL BUILDING MATERIALS

- BRICK ROWLOCK AT ENTRY
- WOOD SHUTTER
- W/TE. CLAD WOOD SHUTTERS
- FLYED SHUTTER
- 2X12 COMPOSITE BOARD

MATERIAL	QUANTITY	UNIT	PRICE
BRICK	1229	sq. ft.	56.38
STUCCO BOARD	61	sq. ft.	25.00
TOTAL	1290	sq. ft.	1112

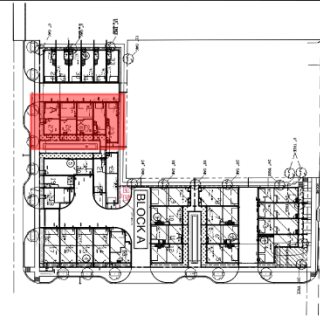
- ELEVATION NOTES
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
  - ALL MATERIALS SHALL BE APPROVED BY THE TOWN ENGINEER.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN ENGINEER'S REQUIREMENTS.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN ENGINEER'S REQUIREMENTS.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN ENGINEER'S REQUIREMENTS.
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URBAN INTOWN HOMES  
1520 OLIVER, HOUSTON, TX 77007  
PHONE: 713-961-3877

<p>ADDISON GROVE - BLOCK A - BUILDING 6</p> <p><b>SOUTH / LEFT ELEVATIONS</b></p>	<p><b>URBAN INTOWN HOMES</b></p> <p>1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL (713)426-4410 FAX</p>	<p>Drawn By/Checked By: A.G./F.M.</p> <p>Original Date Issued: 09/12/2019</p> <p>Scale: 1/4" = 1'-0"</p> <p>Last Updated: 06/03/2020</p>
		<p>A-3.3</p>

# Exhibit A

Town Project # 1821-Z



**LEGEND**

- Block
- Block A

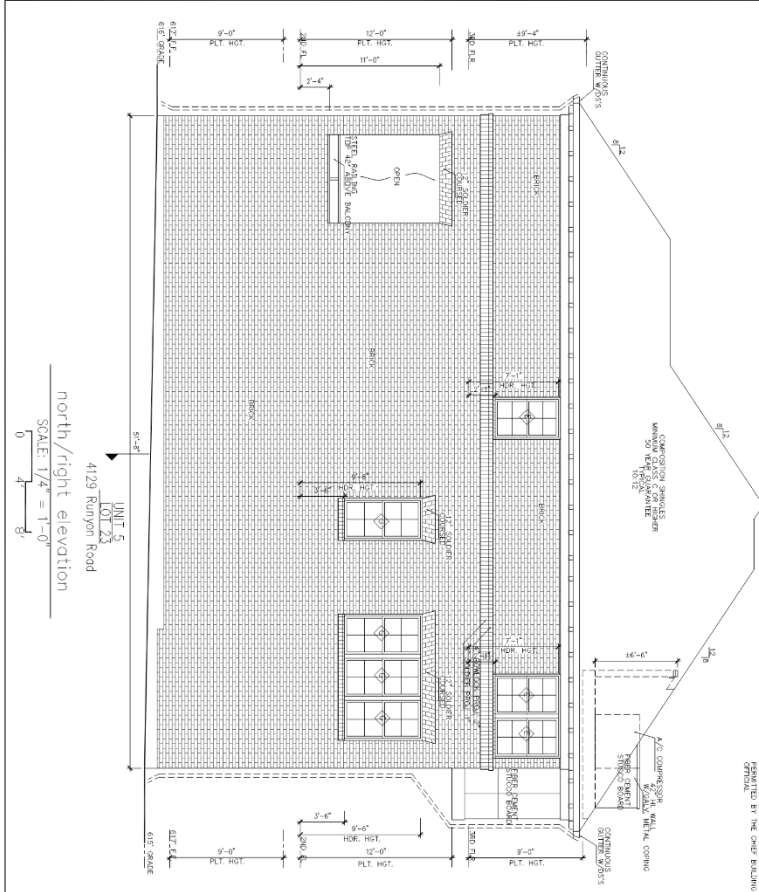
**ADDITIONAL BUILDING MATERIALS**

DESCRIPTION	QUANTITY	UNIT
2012 COMPRESSE BOARD	414	SQ. FT.

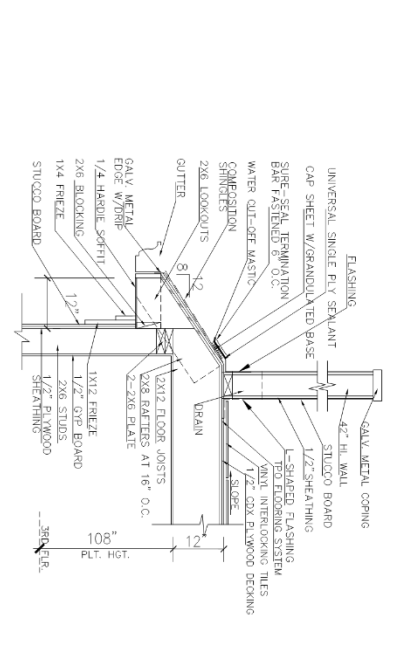
**SOUTH/RIGHT MATERIAL CALCULATION TABLE**

DESCRIPTION	QUANTITY	UNIT
2012 COMPRESSE BOARD	414	SQ. FT.
2012 COMPRESSE BOARD	133	SQ. FT.
2012 COMPRESSE BOARD	8.33	SQ. FT.

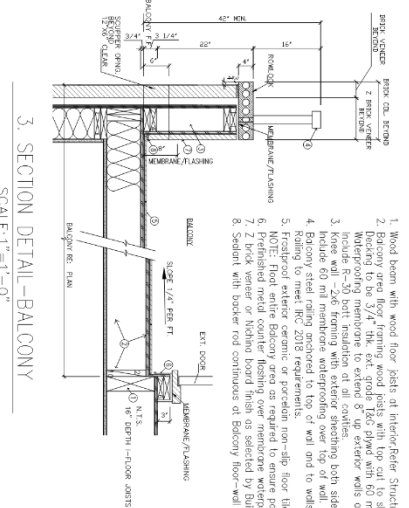
- ELEVATION NOTES**
- INDICATED ROOF IS A/S/COMPRESS BOARD WITH 2012 COMPRESSE BOARD AND 2012 COMPRESSE BOARD.
  - ROOF ACCESS SHALL BE PROVIDED PERMITTED BY THE CITY BUILDING DEPARTMENT.
  - ROOF ACCESS SHALL BE PROVIDED PERMITTED BY THE CITY BUILDING DEPARTMENT.
  - ROOF ACCESS SHALL BE PROVIDED PERMITTED BY THE CITY BUILDING DEPARTMENT.



north/right elevation  
SCALE: 1/4" = 1'-0"  
0 4 8'



2. SECTION DETAIL - A/C COMPRESSOR LOCATION AT ROOF  
SCALE: 1" = 1'-0"



3. SECTION DETAIL - BALCONY  
SCALE: 1" = 1'-0"

### Balcony Notes/Specifications

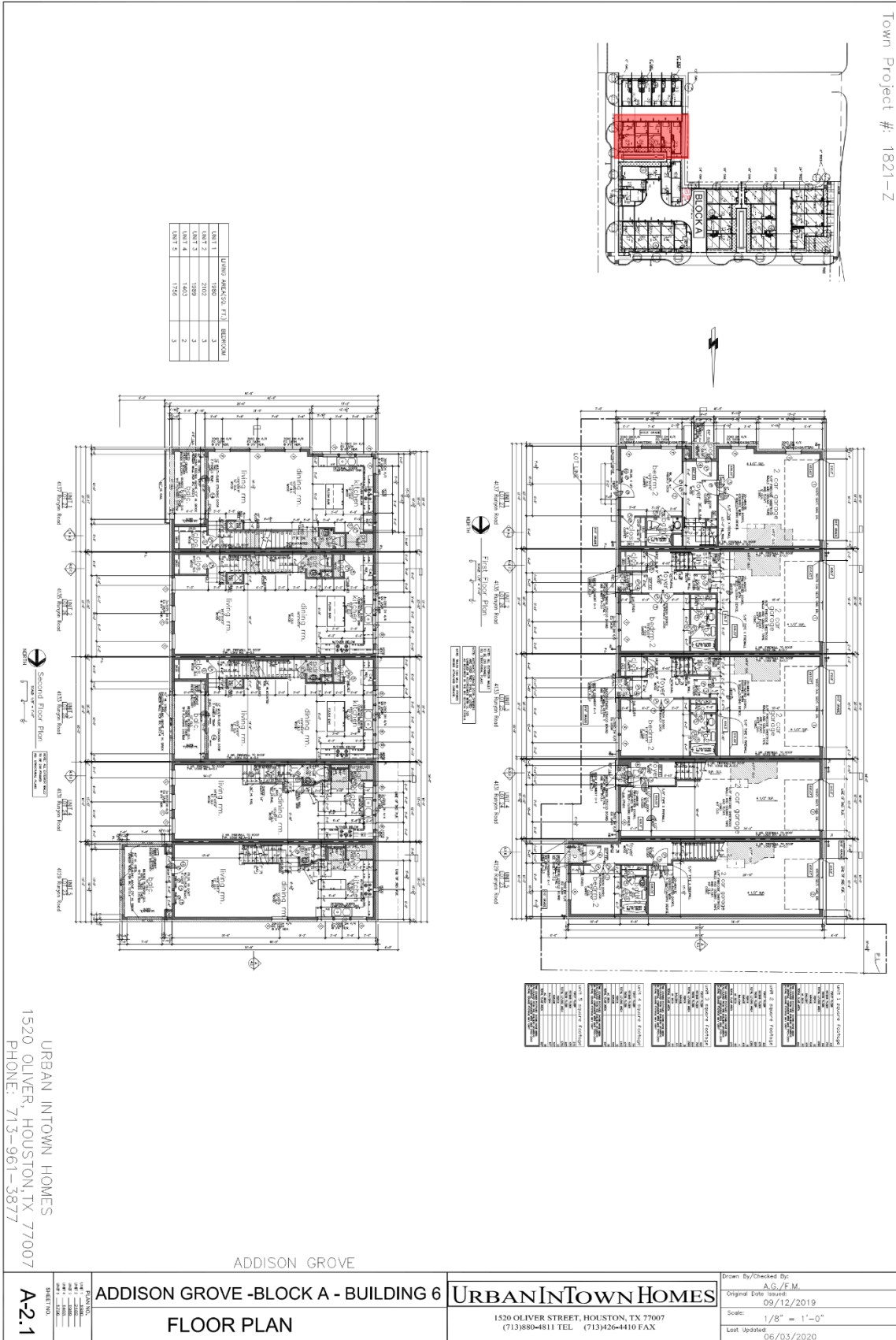
1. Wood beam with wood floor joists at interior/rear structural plan.
2. Balcony wood floor joists with top cut to slope 1/4" foot. Refer structural plan. Waterproofing membrane to extend 8" up exterior walls and overlap door sill forming knee wall - 2x6 framing with exterior sheathing both sides with 1/2" vapor barrier.
3. Railing to meet IRC 2018 requirements.
4. Railing to meet IRC 2018 requirements.
5. Finish exterior ceramic or porcelain non-slip floor (See plan).
6. Finished metal counter finish as selected by Builder.
7. 2" kick veneer or Mahogany board finish as selected by Builder.
8. Spandrel with becker rod continuous of Balcony floor-wall intersection.

URBAN INTOWN HOMES  
1520 OLIVER, HOUSTON, TX 77007  
PHONE: 713-961-3877

<b>A-3.4</b>	<b>ADDISON GROVE - BLOCK A - BUILDING 6</b>	<b>URBAN INTOWN HOMES</b>	Drawn By/Checked By: A.G./F.M. Original Date Issued: 09/12/2019 Scale: 1/4" = 1'-0" Last Updated: 06/03/2020
<b>NORTH / RIGHT ELEVATIONS</b>		1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL (713)426-4410 FAX	

# Exhibit A

Town Project #: 1821-Z



URBAN INTOWN HOMES  
 1520 OLIVER - HOUSTON, TX 77007  
 PHONE: 713-961-3877

ADDISON GROVE

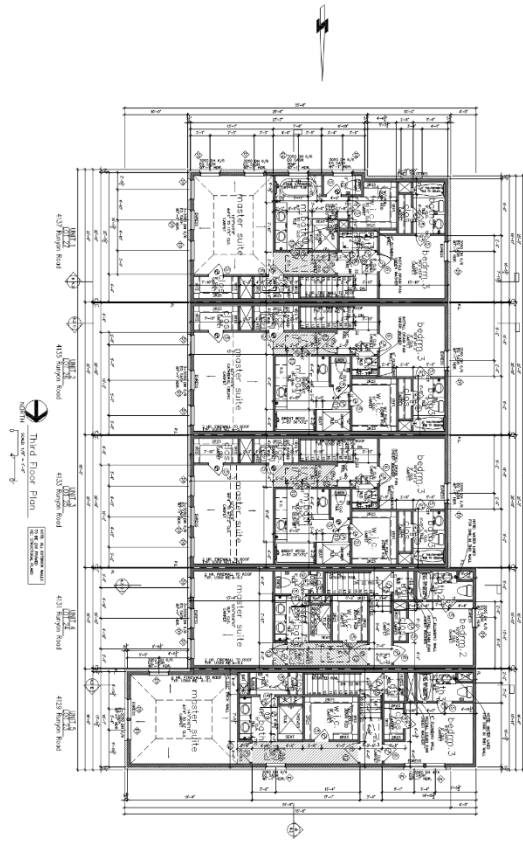
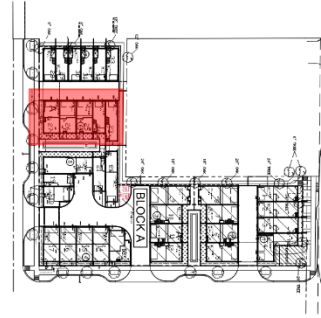
**ADDISON GROVE - BLOCK A - BUILDING 6**  
**FLOOR PLAN**

**URBANINTOWN HOMES**  
 1520 OLIVER STREET, HOUSTON, TX 77007  
 (713)880-4811 TEL (713)426-4410 FAX

Drawn By/Checked By:	A.G./F.M.
Original Date Issued:	09/12/2019
Scale:	1/8" = 1'-0"
Last Updated:	06/03/2020

# Exhibit A

Town Project #: 1821-Z

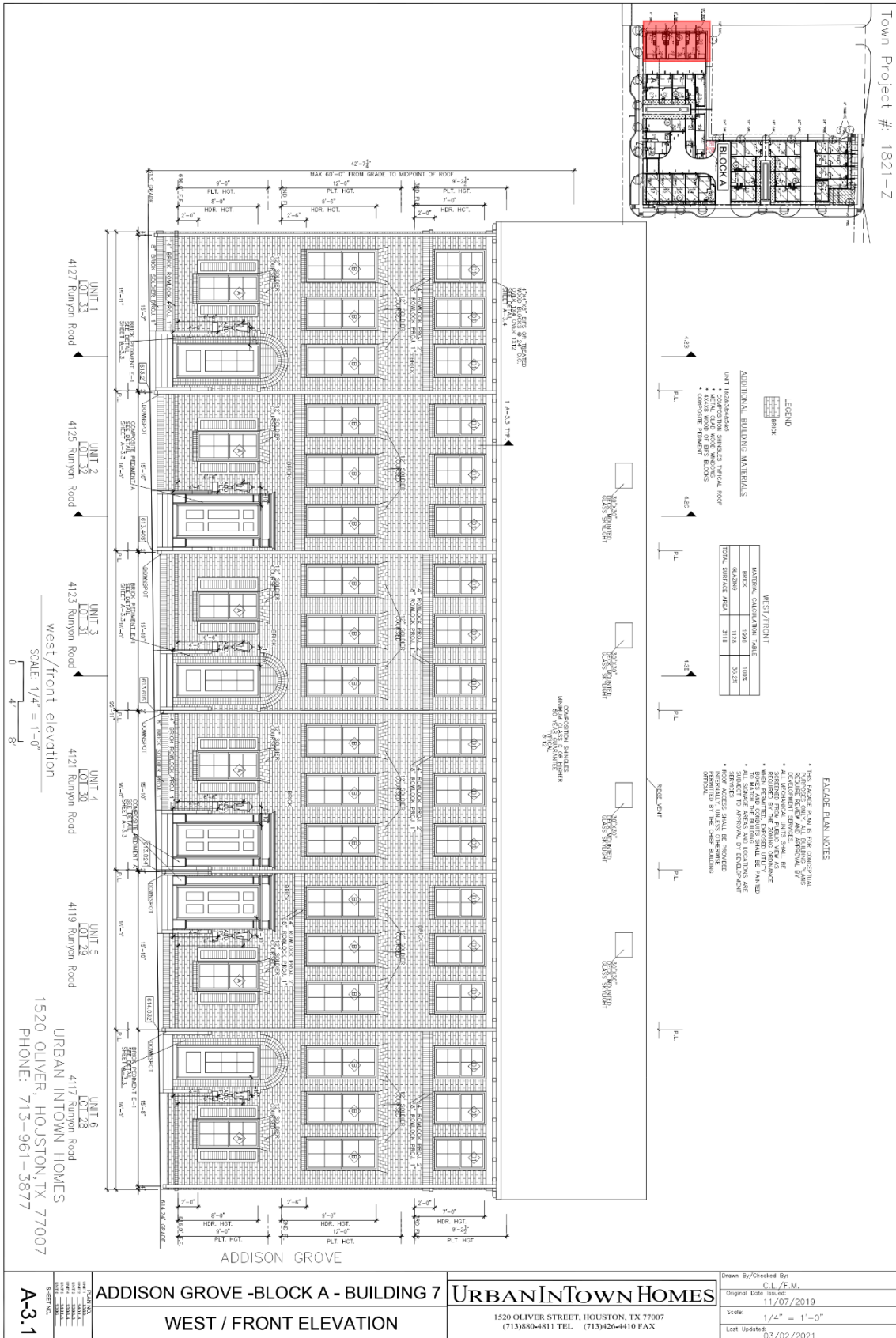


URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX 77007  
 PHONE: 713-961-3877

ADDISON GROVE

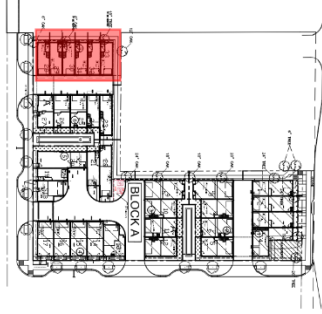
<b>A-2.2</b>	<b>ADDISON GROVE -BLOCK A - BUILDING 6</b> <b>FLOOR PLAN</b>	<b>URBANINTOWN HOMES</b> 1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL (713)426-4410 FAX	Drawn By/Checked By: A.G./F.M. Original Date Issued: 09/12/2019 Scale: 1/4" = 1'-0" Last Updated: 06/03/2020
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# Exhibit A



# Exhibit A

Town Project #: 1821-Z



**LEGEND**

- BRICK
- PERFORATED BRICK

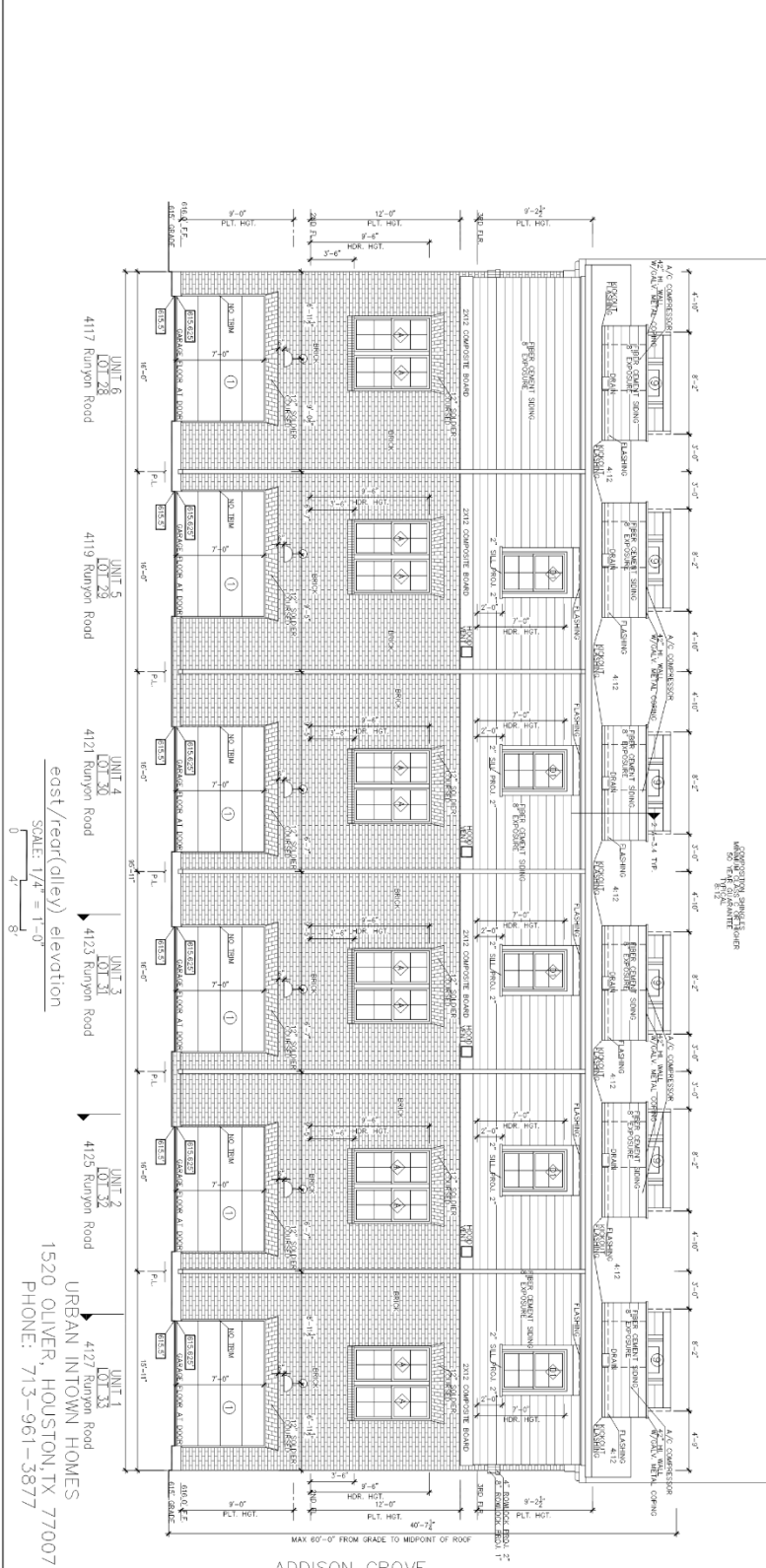
EAST/REAR	
PERFORATED BRICK	1530
GLASS	230
TOTAL SURFACE AREA	1111.6
2012	2027

**ADDITIONAL BUILDING MATERIALS**

- UNIT 16243444444
- COMPOSITE QUARTER TYPICAL ROOF
- WOOD TRIM
- WOOD TRIM OF THE BLOCKS

**FACADE PLAN NOTES**

1. THE FACADE SHALL BE PERFORMED BY THE ARCHITECT OR HIS REPRESENTATIVE.
2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
4. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
5. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

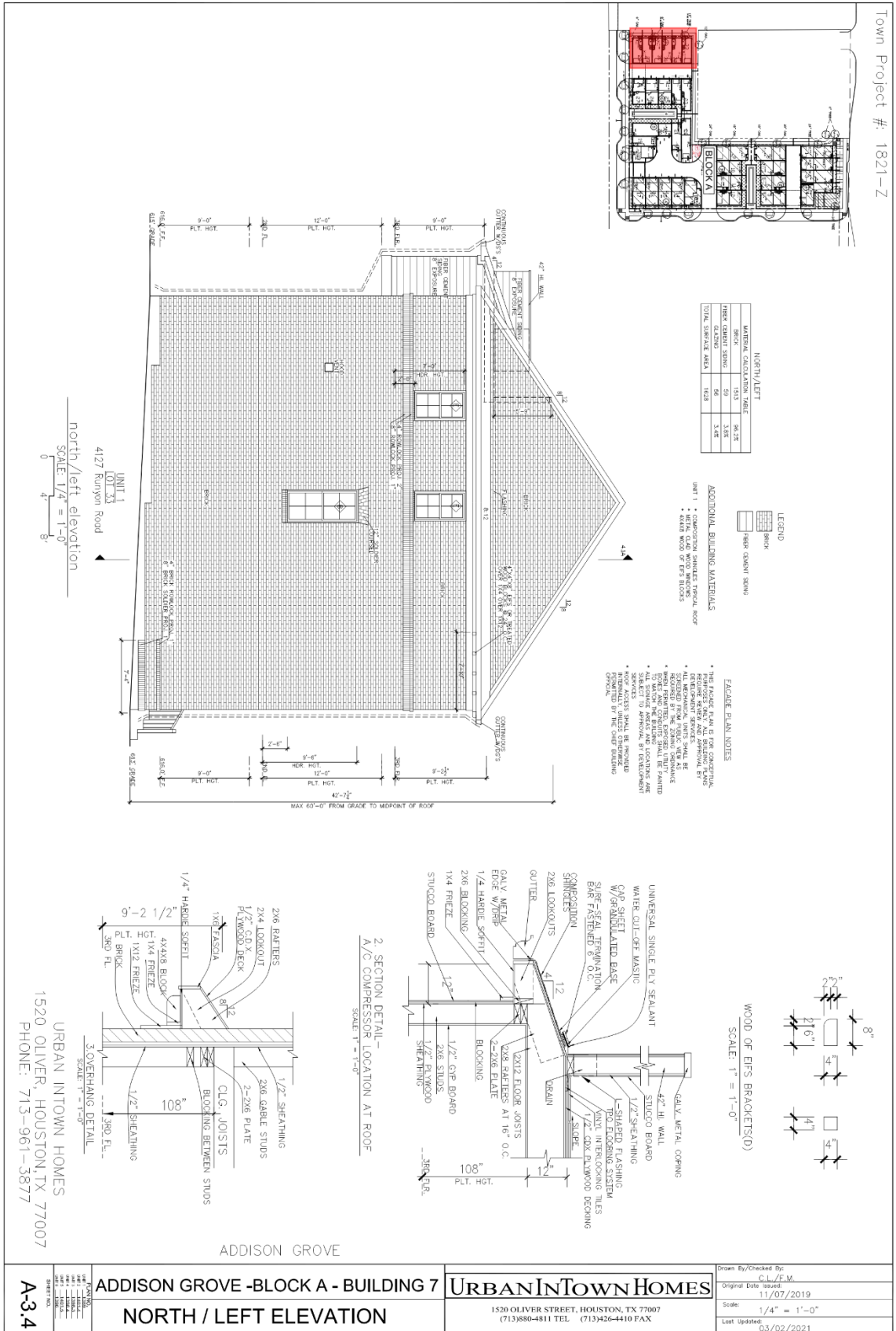


<p><b>A-3.2</b></p>	<p><b>ADDISON GROVE - BLOCK A - BUILDING 7</b></p> <p><b>EAST / REAR ELEVATION</b></p>	<p><b>URBAN INTOWN HOMES</b></p> <p>1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL. (713)426-4410 FAX</p>	<p>Drawn By/Checked By: C.L./F.M.</p> <p>Original Date Issued: 11/07/2019</p> <p>Scale: 1/4" = 1'-0"</p> <p>Last Updated: 03/02/2021</p>
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# Exhibit A

Town Project #: 1821-Z



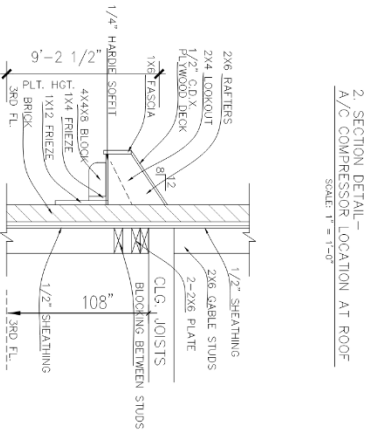
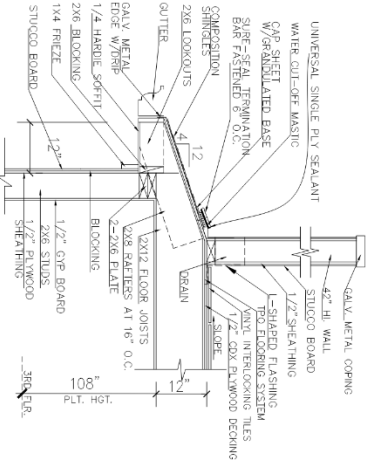
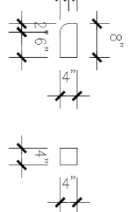
NORTH/LEFT

MATERIAL CALCULATION TABLE	BRICK	193	94.2%
BRICK QUANTITY (SQ. FT.)	50	3.8%	
TOTAL SURFACE AREA	1628		

ADDITIONAL BUILDING MATERIALS  
 UNIT 1 • COMPRESSOR BRACKET TYPICAL ROOF  
 • 4x8 WOOD OF EAVES BRACKETS

FAÇADE PLAN NOTES

- THIS FACADE PLAN IS FOR CONSTRUCTION OF THE EXTERIOR WALLS AND ROOF.
- ALL MATERIALS LISTED SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
- ALL MATERIALS LISTED SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
- ALL MATERIALS LISTED SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
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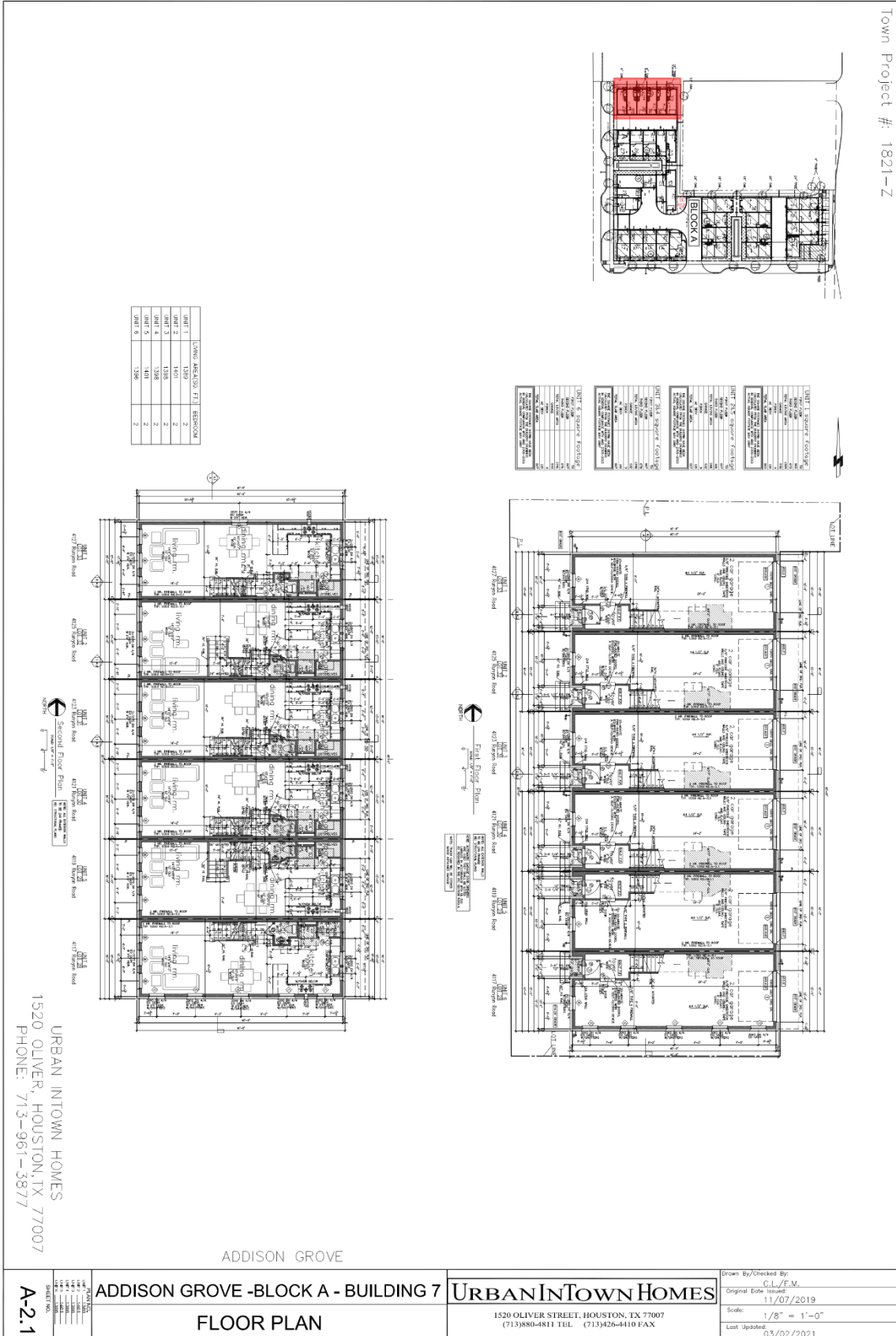
URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX 77007  
 PHONE: 713-961-3877

<p><b>A-3.4</b></p>	<p>ADDISON GROVE - BLOCK A - BUILDING 7</p>	<p><b>URBANINTOWN HOMES</b></p>	<p>Drawn By/Checked By: C.L./Z.V.</p>
	<p><b>NORTH / LEFT ELEVATION</b></p>	<p>1520 OLIVER STREET, HOUSTON, TX 77007                  (713)880-4811 TEL (713)426-4410 FAX</p>	<p>Original Date Issued: 11/07/2019</p>
			<p>Scale: 1/4" = 1'-0"</p>
			<p>Last Updated: 03/02/2021</p>



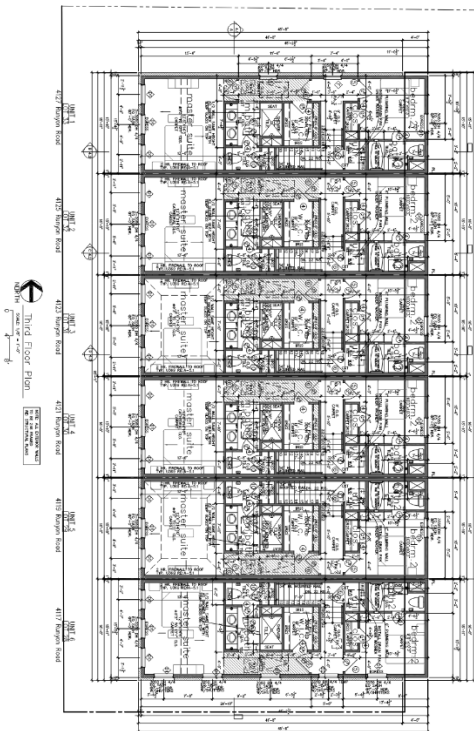
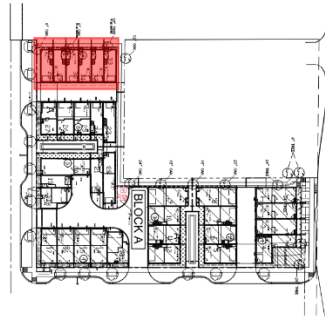
# Exhibit A

Town Project #: 1821-Z



# Exhibit A

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URBAN INTOWN HOMES  
 1520 OLIVER, HOUSTON, TX 77007  
 PHONE: 713-961-3877

ADDISON GROVE

<b>A-2.2</b>	<b>ADDISON GROVE -BLOCK A - BUILDING 7</b>  <b>FLOOR PLAN</b>	<b>URBANINTOWN HOMES</b>  1520 OLIVER STREET, HOUSTON, TX 77007 (713)880-4811 TEL (713)426-4410 FAX	Drawn By/Checked By: C.L./F.M. Original Date Issued: 11/07/2019 Scale: 1/8" = 1'-0" Last Updated: 03/02/2021
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