



PLANNING AND ZONING COMMISSION AGENDA

**Planning and Zoning Commission Public Hearing
Thursday, OCTOBER 20, 2020
6:00 p.m.**

**Addison Town Hall
5300 Belt Line Road, Addison, Texas**

Notice is hereby given that the Addison Planning and Zoning Commission, using electronic medium, will conduct its meeting on Tuesday, October 20, 2020. No meeting will be conducted at Town Hall. A temporary suspension of the Open Meetings Act to allow telephone or videoconference public meetings has been granted by Governor Greg Abbott. These actions are being taken to mitigate the spread of COVID-19 by avoiding meetings that bring people into a group setting and in accordance with Section 418.016 of the Texas Government Code. Telephonic or videoconferencing capabilities will be utilized to allow individuals to address the Commission. Email comments may also be submitted to wkerr@addisontx.gov by 3:00 pm the day of the meeting. Members of the public are entitled to participate remotely via Toll-Free Dial-in Number: 877.853.5247; Meeting ID: 409.327.0683#, Participant ID: #. For more detailed instructions on how to participate in this meeting visit our Agenda Page. The meeting will be live streamed on Addison's website at www.addisontexas.net.

Call Meeting to Order & Recite the Pledge of Allegiance

1. Discuss and take action regarding approval of the minutes of the September 15, 2020 Planning and Zoning Commission meeting.
2. Case 1809-Z/Baumann Building. Discussion, and take action on a recommendation regarding an ordinance changing the zoning on a .57-acre property located at 4901 Arapaho Road, which property is currently zoned PD, Planned Development, through Ordinance O04-048, by approving a new PD district, to allow a 5-story mixed use building.

3. **PUBLIC HEARING** Case 1818-Z/3820 Belt Line Road. Public hearing, discussion, and take action on a recommendation regarding an ordinance changing the zoning on property located at 3820 Belt Line Road, from PD, Planned Development, to a new PD district to allow a two-story retail and office building.

Adjourn Meeting

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City); §551.072 (purchase, exchange, lease or value of real property); §551.074 (personnel or to hear complaints against personnel); §551.076 (deployment, or specific occasions for implementation of security personnel or devices); and §551.087 (economic development negotiations). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

Posted: _____
Irma G. Parker, City Secretary

DATE: Thursday, October 15, 2020

TIME: 2:00 pm

**THE TOWN OF ADDISON IS ACCESSIBLE TO PERSONS WITH
DISABILITIES. PLEASE CALL (972) 450-7090 AT LEAST
48 HOURS IN ADVANCE IF YOU NEED ASSISTANCE.**

Planning & Zoning Commission
Meeting Date: 10/20/2020

Agenda Caption:

Discuss and take action regarding approval of the minutes of the September 15, 2020 Planning and Zoning Commission meeting.

Attachments

09-15-20 Minutes

DRAFT

OFFICIAL ACTIONS OF THE ADDISON PLANNING AND ZONING COMMISSION

September 15, 2020
6:00 P.M. - Council Chambers
Addison Town Hall, 5300 Belt Line Road

Present: Chair Kathryn Wheeler; Vice Chair Eileen Resnik; Commissioner Robert Catalani;
Commissioner Nancy Craig; Commissioner Chris DeFrancisco; Commissioner John
Meleky; Commissioner Tom Souers

Pledge of Allegiance

1. Discuss and take action regarding approval of the minutes of the August 18, 2020 Planning and Zoning Commission meeting.

Moved by Commissioner John Meleky, Seconded by Vice Chair Eileen Resnik

AYE: Chair Kathryn Wheeler, Vice Chair Eileen Resnik, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Chris DeFrancisco, Commissioner John Meleky, Commissioner Tom Souers

Passed

2. Case 1809-Z/Baumann Building. Discussion, and take action on a recommendation regarding an ordinance changing the zoning on a .57-acre property located at 4901 Arapaho Road, which property is currently zoned PD, Planned Development, through Ordinance O04-048, by approving a new PD district, to allow a 5-story mixed use building.

Commissioner Souers inquired about the applicant wanting an answer on the issue on the night of the Planning and Zoning Commission meeting. Charles Goff responded that he did not have the opportunity to speak with the applicant about the timeline for the project after the call with the FAA and TXDOT the day prior.

Commissioner Resnik inquired as to who was the ultimate decision maker on the project as there is a concern that the proposed development would cause the FAA to revoke future funding from the Addison Airport. Charles Goff responded that the FAA would be the ultimate decision maker as to whether the town would be in violation of FAA grant assurances if a residential use is allowed within the airport noise contours.

Commissioner DeFrancisco requested that, if the issue were further tabled, that Charles Goff communicate with the applicant that the proposed plans must be complete and that such plans must meet requirements laid out by the Master Transportation Plan. Charles Goff responded that the Addison Development Services Department would use the following month to communicate with the applicant and the applicant's architectural team to ensure that the plans come as close as possible to compliance with the Master Transportation Plan.

The applicant, Bob Baumann, and the applicant's representative, Dan Anderson, answered questions from the council. They also stated that other developments that include residential use in the DFW metroplex have been completed within the same noise contour of an airport but conceded to wait for a response from the FAA as to whether the building would violate the grant assurances. Mr. Anderson also requested that the commission approve the plans subject to the approval of the FAA. Chair Wheeler asked Charles Goff for a staff recommendation on approving the plans subject to the approval of the FAA. Charles Goff responded that there were still issues with the submitted plans and that it would not be recommended for the commission to move forward with the approval process. The commission agreed that the plans should not be approved as shown.

The commission discussed tabling the item for another month to allow the FAA to respond and give a definite answer on grant assurances to the the Addison Airport, as well as allowing the applicant to present completed plans to staff.

Motion: Table the request until October 20, 2020 P&Z Commission hearing in order to allow the FAA time address the funding issues and allow the applicant to submit completed plans.

Moved by Commissioner John Meleky, Seconded by Commissioner Tom Souers

AYE: Chair Kathryn Wheeler, Vice Chair Eileen Resnik, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Chris DeFrancisco, Commissioner John Meleky, Commissioner Tom Souers

Passed

3. **PUBLIC HEARING** Case 1816-Z/Addison Senior Living. Public hearing, discussion, and take action on a recommendation regarding an ordinance changing the zoning on a 11.607-acre property located at the southwest corner of Dallas Parkway and Excel Parkway, from PD, Planned Development, to a new PD district in order to allow a senior living development and future office development.

Discussion:

Charles Goff, Director of Development Services, presented the Staff Report.

Commissioner Souers inquired as to how the Town would ensure that the fee in lieu of an open space dedication would be used to purchase more park space throughout Addison. Charles Goff responded that the town has options as to how to dedicate the funds to park space and that this whichever option is used will be decided by City Council. Charles Goff also stated that the Town would use the Parks and Open Space Master Plan to guide the decision in purchasing new park space.

Commissioners Souers and Resnik requested more information on the green space that the applicant would be providing on the property and if it would be sufficient enough to not require a dedication of open space. Charles Goff responded that the applicant would be providing multiple different amenity spaces and private green space to their tenants, which will similar to green space provided by other multifamily developments of similar size. This amenity space includes a courtyard, an amenity space on top of the parking garage, and private landscaping throughout the development. Additionally Charles Goff stated that the applicant would be improving the surrounding streetscape to comply with the Master Transportation Plan, in turn widening the sidewalks and providing walking paths throughout the site.

Commissioner Resnik inquired as to how the Addison Senior Living would expand from 217 units to 248 units. Charles Goff responded that the developers have the opportunity to expand the portion of the building at the northeast corner of Addison Road and Excel Parkway to accommodate more units.

Commissioner DeFrancisco inquired as to whether or not the 0.48 acre

open space requirement would fit on the development rather than using a fee in lieu of dedication. Charles Goff responded that the required dedication space would fit at the corner of the development's proposed urban pedestrian commercial collector street and Dallas Parkway. By consulting the Parks and Open Space Master Plan, Staff found that larger park space in other area of Addison would be preferable to open space in this location.

Commissioner DeFrancisco also inquired if the required 6-story office building on the lower portion of the property was the highest and best land use for the site. Charles Goff responded that the site has been difficult to market to office developers as there is a lack of access to the Tollway from this site. Additionally, a 6-story building allows developers to keep construction costs low, in turn keeping rental rates on par with the other office buildings in the area. Due to this, Staff believes that the office building requirements creates the best use for the remainder of the site.

The applicants, Gordon Gilmore, Peter Phillips, and Joe Seitzer, answered questions from the commission regarding the green space and amenity space that the development would provide to tenants. Chair Wheeler also inquired about the senior living rental rates. Peter Phillips responded that the rates will be comparable or slightly below the competitors in the metro area. Peter Phillips also went on to describe the other properties that the applicants completed and how Addison Senior Living will compare to their existing senior living facilities.

The commission requested a timeline for development of the project. The applicants proposed a 9 month design process followed by a 22 month development process, for a total project timeline of roughly 3 years.

Chair Kathryn Wheeler opened the meeting as a public hearing.

Public Hearing: There were no speakers on this item.

Chair Kathryn Wheeler closed the public hearing.

Motion: Recommend approval of the request without conditions.

Moved by Commissioner Chris DeFrancisco, Seconded by Commissioner Tom Souers

AYE: Chair Kathryn Wheeler, Vice Chair Eileen Resnik, Commissioner Robert Catalani, Commissioner Nancy Craig, Commissioner Chris DeFrancisco, Commissioner John Meleky, Commissioner Tom Souers

Passed

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session following the conclusion of the Executive Session.

Adjourn Meeting

There being no further business before the Commission, the meeting was adjourned.

Planning & Zoning Commission

Meeting Date: 10/20/2020

Agenda Caption:

Case 1809-Z/Baumann Building. Discussion, and take action on a recommendation regarding an ordinance changing the zoning on a .57-acre property located at 4901 Arapaho Road, which property is currently zoned PD, Planned Development, through Ordinance O04-048, by approving a new PD district, to allow a 5-story mixed use building.

Attachments

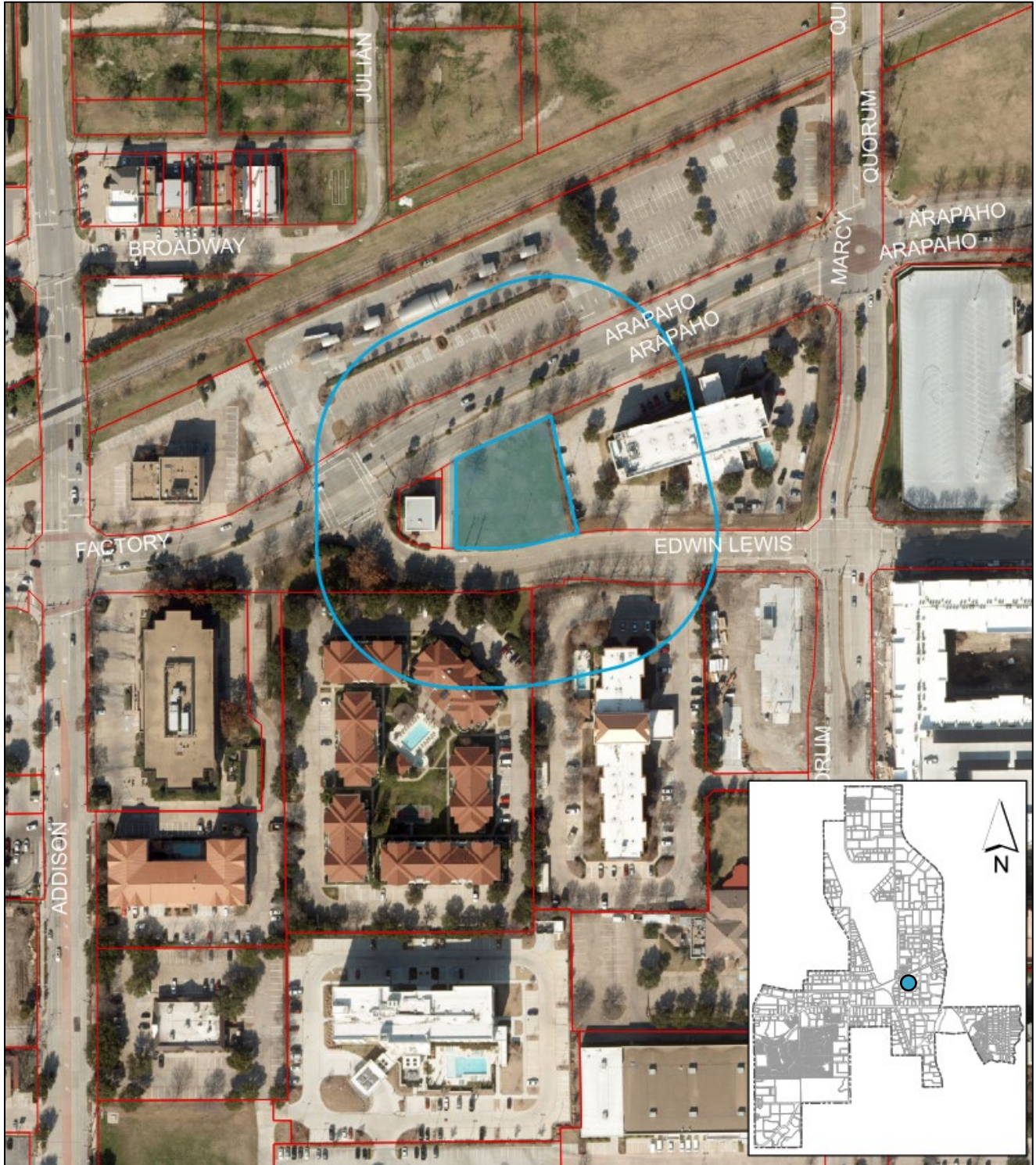
1809-Z P&Z Packet

1809-Z Plans

1809-Z

PUBLIC HEARING Case 1809-Z/Baumann Building. Public hearing, discussion, and take action on a recommendation regarding an ordinance changing the zoning on a .57-acre property located at 4901 Arapaho Road, which property is currently zoned PD, Planned Development, through Ordinance O04-048, by approving a new PD district.

LOCATION MAP





October 20, 2020

STAFF REPORT

RE: Case 1809-Z/Baumann Building
LOCATION: 4901 Arapaho Road
REQUEST: Approval of an ordinance changing the zoning from Planned Development (PD) district, through Ordinance O04-04, to a new PD district to allow development of a five-story, 41,388 square-foot multitenant commercial building with one residential unit on the top floor.
APPLICANT: Daniel Anderson, Trium Development Partners, LLC

DISCUSSION:

Background: This .57-acre vacant lot is zoned PD, Planned Development, through Ordinance O04-048. It was initially shown as a vacant lot on the approved site plan for what is currently the Raddison Hotel and was subsequently included as a parking lot expansion for the hotel through Special Use Permit Ordinance O07-029 in 2007. The parking lot expansion never came to fruition and the lot has remained vacant.

The new property owner, Bob Baumann, is proposing to develop a five-story commercial building containing Edward Baumann Clothiers on one floor, a luxury mattress showroom on another, and potential office space on one floor, with his residence on the top floor. Such action requires the property to be rezoned.

In other development projects in this area, including AMLI and Western International, Town staff has worked to extend the Addison Circle district standards south. Accordingly, Staff encouraged the applicant to follow the Urban Center (UC) zoning district standards. The applicant is requesting that the property be rezoned to a Planned Development (PD) based on the UC standards while allowing for certain alternative development standards.

Proposed Plan: The applicant is proposing to construct a five-story, 41,388 square foot building with ground floor parking garage, three floors of commercial uses, and one residential unit on the top floor. The commercial component of the building is proposed to be used as office, showroom, and retail space.

Use: The Urban Center district allows each of the proposed uses in this building. Section 2 E 4. *Airport noise restrictions*, however, states that no residential uses are permitted within the 65 decibel noise level contours of Addison Airport. The 65 decibel noise level contour is shown in the blue area on the chart below, with the subject property outlined in red.



Given the proximity of this property to the airport, the property falls entirely within the 65 decibel noise level contour. This standard comes from an FAA requirement that the Town is obligated to abide by. Therefore, residential uses should not be allowed. **The applicant is requesting that the residential unit be allowed despite the requirement.**

Building Height: Urban Center standards state that all buildings must be at least 40 feet in height. The proposed building is 78 feet tall.

Building Setback: The Urban Center standards typically require that buildings be set back 10 feet from the edge of the sidewalk, which in Addison Circle is the property line. The plans show the setback would meet this 10-foot requirement along Arapaho Road and Edwin Lewis Drive.

Building Elevations: Urban Center standards require building facades to be a minimum of 90% brick or stone, however, provided the recent passing of House Bill 2439, Staff is unable to enforce the exterior materials requirement at this time. The plans show the south and east elevations at approximately 75% brick and cast stone, and north and west elevations at approximately 50% brick and cast stone, with the rest of the façade being constructed of painted metal, EIFs, exposed concrete, and ACM panel.

Parking: There are several issues regarding the calculation of parking on the property. First, the Town's zoning code requires that parking for buildings of less than 50,000 square feet be calculated based on gross square footage, not the useable square footage of the building. Second, typically clothing stores would be required to park at a retail ratio of 1 parking space per 250 square feet. However, given that the Edward Baumann Clothiers business model is by

appointment only, Staff believes that it is reasonable to park this use as office instead of retail. Urban Center standards require that one parking space be provided per 300 square feet of office use. The applicant would like the clothing store to be considered a showroom which would be required to provide one parking space per 1,000 square feet of warehouse/showroom. Urban Center standards require one parking space per bedroom for residential uses with a maximum of two spaces per dwelling unit.

Based on the Town's typical calculation of parking requirements, with the allowance that the clothing store being parked at an office ratio, the parking requirements would be as follows:

20,232 sq ft Office	68 parking spaces
10,116 sq ft Showroom	11 parking spaces
1 Dwelling Unit	2 parking spaces
Total	81 parking spaces

If the parking requirements were calculated based on the applicant's request to only count useable square footage and to use the showroom ratio for the clothing store, the parking requirements would be as follows:

8,854 sq ft Office	30 parking spaces
17,708 sq ft Showroom	18 parking spaces
1 Dwelling Unit	2 parking spaces
Total	50 parking spaces

The proposed plan only provides a total of 46 onsite parking spaces. This is 35 spaces short of the Town's typical requirements, and even 4 spaces short of the applicant's proposed calculation method. The applicant's request for only counting usable square footage excludes the balconies on each floor. If the balconies are counted as usable square footage the development would require 53 parking spaces and the plan would be 7 spaces short of meeting requirements. **The applicant is requesting that the parking requirements be calculated based only on useable square footage of the building, that the clothing store be parked at a showroom ratio, and that the property be given relief on the additional 4 parking space based on the property being located near the future DART rail station.**

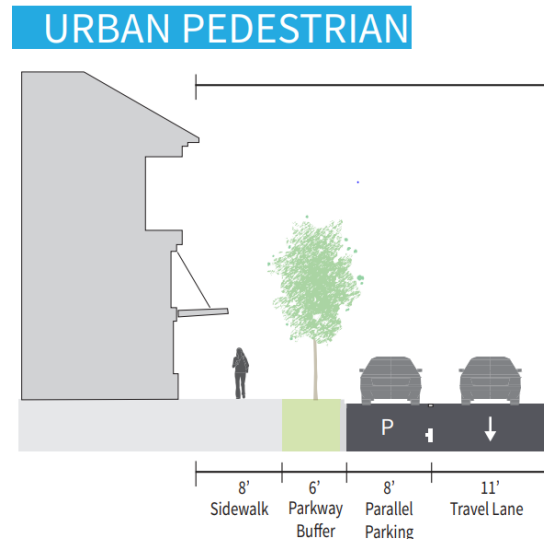
Open Space: Staff and the applicant are proposing no open space dedication for this project. The Urban Center zoning standards require that open space be provided at a certain acreage per resident. The ratio would result in a tiny dedication, and there is currently a surplus of Open Space provided in Addison Circle. The proposed residential unit would use a small portion of this surplus, leaving a remaining surplus of just over 7 acres. See calculation on the following page:

Addison Circle Open Space Required (Existing):	7.518 acres
Additional Open Space Required for One Unit:	0.003 acres

Total Open Space Required with Townhomes:	7.521 acres
Addison Circle Open Space Provided:	14.74 acres
Surplus Open Space Remaining in Addison Circle:	7.219 acres

Streetscapes: The Master Transportation Plan provides streetscape standards for various street types. Arapaho Road is defined as a Minor Arterial. The existing sidewalk along Arapaho Road has already been constructed with a specific look that runs the length of the corridor and no changes are being proposed or required by Staff.

The Master Transportation Plan defines Edwin Lewis Drive as a Commercial Collector street and provides three options for such streets to be applied based on the context of the surrounding development. Given the desire to integrate future development in this area with the existing character of Addison Circle, the Urban Pedestrian standard is most appropriate for this property. As shown in the image below, this would require an 8 foot on-street parallel parking area, a 6 foot parkway buffer with street trees, and an 8 foot sidewalk.



This is the standard that was applied to both AMLI and Western International. The applicant's plans for the redevelopment of the streetscape along Edwin Lewis Drive meet the urban pedestrian standards laid out in the Master Transportation Plan.

Landscaping: The landscape plans have been reviewed by the Parks Department to ensure compliance with the Town's Landscape Ordinance. The plans show that the applicant is proposing to comply with the landscape requirements as provided by the Urban Center district and the Town's Landscape Regulations.

RECOMMENDATION: DENIAL

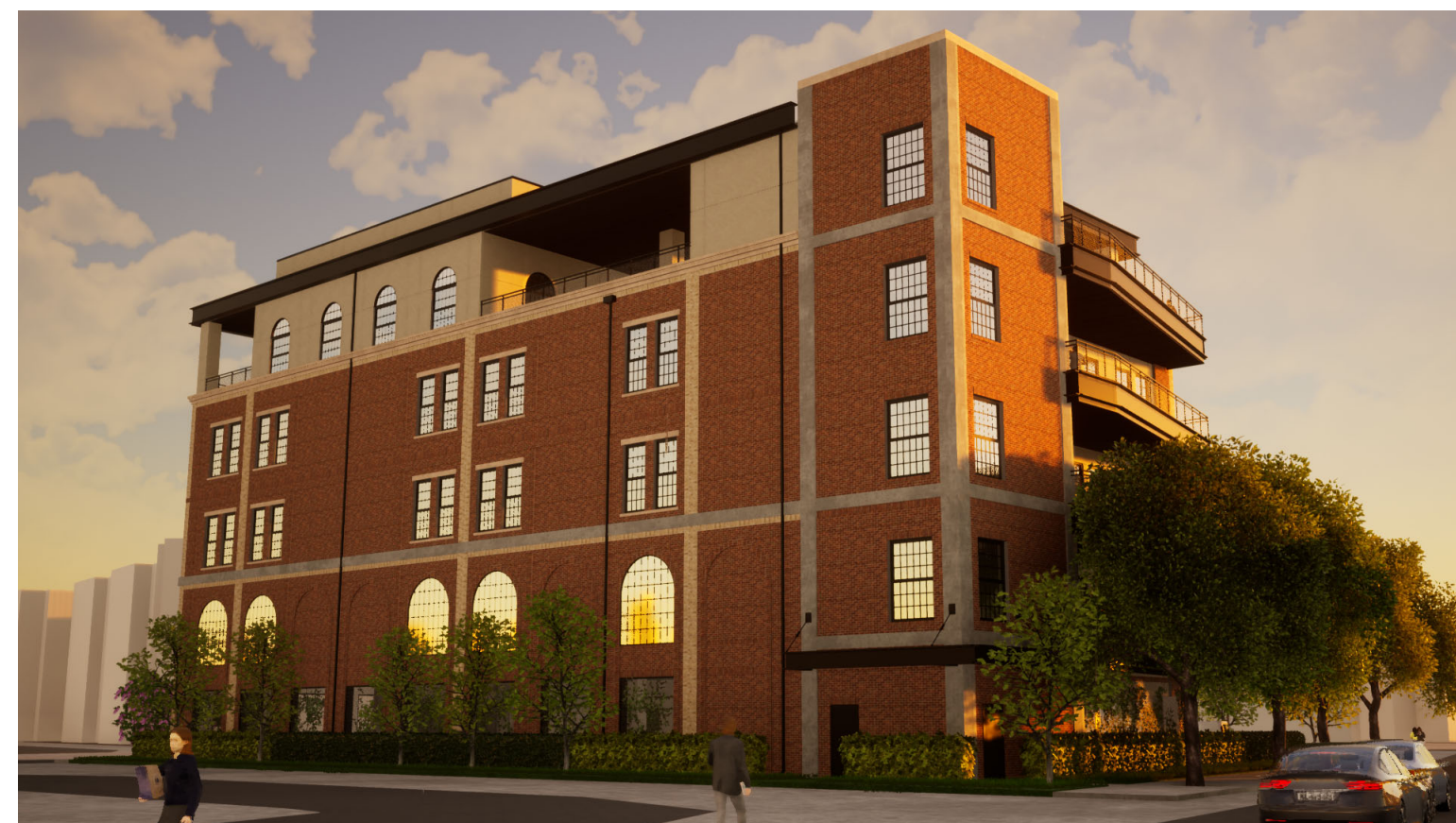
Staff believes that while the proposed commercial building fits in generally with intent to extend the Addison Circle district as well as the future transit oriented development, there are important concerns with the proposal that are the basis for Staff's recommendation on this request.

First, the proposal does not comply with parking requirements. As mentioned previously, Staff is willing to make reasonable interpretations of the uses proposed for the building, however there is no factual basis for the interpretations requested by the applicant and would result in the inconsistent application of the Town's parking requirements. Furthermore, even with the applicant's suggested calculation methodology, the property still falls 4 spaces short. While Staff does believe that consideration could be given to relaxing parking requirements adjacent to transit, a 10% reduction would be a reasonable accommodation.

Furthermore, while Staff hopes that the proposed users of the building are successful and in place for a long time, the building will be around longer. It is not in the Town's best interest to deviate from typical standards to allow the construction of what is effectively an office/retail building, while restricting all future uses to only warehouses and showrooms due to parking limitations.

Second, Addison Airport is an important part of Addison. The Town has committed to the FAA that the Town will abide by FAA requirements when making local land-use decisions. While it is true that the applicant is relocating their business and residence from a location that is also within the noise contours, that property was zoned and developed prior to the prohibition on residential uses within the noise contours of Addison Airport. Future land use decisions should consider the FAA's current requirements.

While the applicant has revised plans to comply with the Urban Pedestrian streetscape standards laid out in the Master Transportation Plan, the parking requirements and the uses proposed in the development are inconsistent with Town goals and standards. Therefore, Staff recommends denial.



BAUMANN BUILDING

ZONING RESPONSE - 10/09/2020

Zoning Sheet List				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Description	Current Revision Date
General				
G001	Zoning Index and Cover Sheet	12/13/19	Comments 6	10/09/20
G101	Conceptual Site Plan	12/13/19	Comments 5	09/24/20
G102	Site Plan	03/30/20	Comments 6	10/09/20
G110	Facade Plans	12/13/19	Comments 4	08/12/20
G111	Facade Plans	12/13/19	Comments 6	10/09/20
G121	Ground Floor	12/13/19	Comments 6	10/09/20
G122	Floor 2	12/13/19	Comments 6	10/09/20
G123	Floors 3-4	03/04/20	Comments 6	10/09/20
G125	Floor 5	12/13/19	Comments 6	10/09/20

Zoning Sheet List				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Description	Current Revision Date
Civil				
C1.1	Drainage Plan	12/13/19	Comments 6	10/09/20
C1.2	Site Utility Plan	12/13/19	Comments 6	10/09/20
Existing				
12	Existing Drainage Area Map	12/1983		
Landscape				
L1.01	Tree Preservation plan	01/24/20	Comments 6	10/09/20
L2.01	Landscape plan	01/24/20	Comments 6	10/09/20
L2.02	Landscape Specifications and Details	01/24/20	Comments 6	10/09/20
L3.01	Irrigation Plan	01/24/20	Comments 6	10/09/20
L3.02	Irrigation Specifications and Details	01/24/20	Comments 6	10/09/20

PROJECT DESCRIPTION

50,240 GROSS SQUARE FOOT, 5-STORY FULLY SPRINKLERED GARAGE, OFFICE AND SHOWROOM BUILDING. 41,388 SF EXCLUDING GARAGE. REFER TO SITE PLAN FOR ZONING INFORMATION.

APPLICABLE CODES

2012 INTERNATIONAL BUILDING CODE
 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 2012 MECHANICAL CODE
 2012 PLUMBING CODE
 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
 2016 NATIONAL ELECTRICAL CODE

CITY OF ADDISON, TEXAS LOCAL AMENDMENTS

2012 TEXAS ACCESSIBILITY STANDARDS

Owner:
 JB Baumann Holdings LLC
 4801 Arapaho Road
 Suite 100
 Addison, Texas 75001

Architect/Applicant:
 Greenlight Studio LLC
 100 N. Catherwood Drive
 Suite 104
 Richardson, Texas 75080
 v: 214.810.4535

Civil Engineer:
 Pacheco Koch
 7557 Rambler Road
 Suite 1400
 Dallas, Texas 75231
 v: 972.238.3031

Baumann Building
 4901 Arapaho Road
 Lot 1 Block A
 Wingate Inn of Addison Addition
 Addison, Texas
 Town Project No. 1809-Z

DATE: 07/06/2020

PROJECT NO: 19006

LAST REVISION: 10/09/20

SHEET TITLE:
Zoning Index and Cover Sheet

SHEET NUMBER:

G001

Building Area Schedule.	
Name	Area

Ground Floor	
Cargo Lift	185
Elevator	81
Elevator Lobby	236
Fire	60
Garage	8,855
MEP	59
Stair 1	229
Stair 2	230
	9,937

Level 2	
Balcony	523
Balcony	59
Cargo Lift	174
Elevator	73
Office	8,854
Stair 1	216
Stair 2	216
	10,116

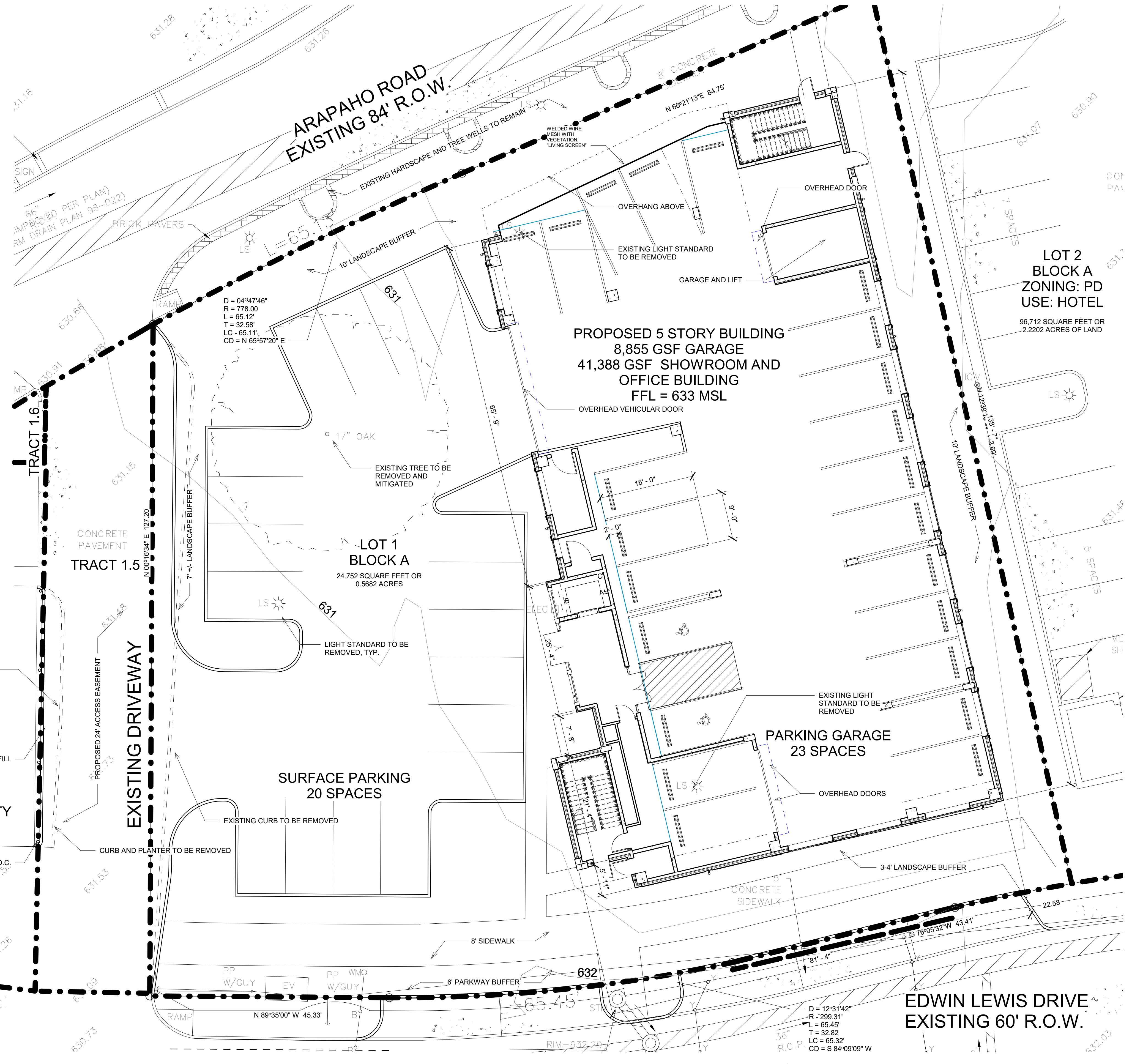
Level 3	
Balcony	523
Balcony	59
Cargo Lift	174
Elevator	73
Matress Store	8,854
Stair 1	216
Stair 2	216
	10,116

Level 4	
Balcony	523
Balcony	59
Cargo Lift	174
Clothing	8,854
Elevator	73
Stair 1	216
Stair 2	216
	10,116

Level 5	
Balcony	59
Cargo Lift	174
Elevator	74
Residence	4,100
Southern Balcony	815
Stair 1	216
Stair 2	216
Storage	117
Terrace	4,192
	9,963

ONE-STORY BRICK BUILDING
NEW CURB AND CONCRETE BACKFILL
TRACT 1.3
ZONING: PD
USE: TELECOM UTILITY

1 Conceptual Site Plan
Scale: 1" = 10'-0"



SITE DATA SUMMARY TABLE

LOT 1 BLOCK A
WINGGATE INN OF ADDISON ADDITION

EXISTING ZONING:	PLANNED DEVELOPMENT
PROPOSED ZONING:	PLANNED DEVELOPMENT
PROPOSED USE:	OFFICE SHOWROOM
LOT SIZE:	24,752 SF / .57 ACRES
BUILDING AREA:	41,388 GSF BUILDING
	8,855 SF GARAGE
BUILDING HEIGHT:	78 FEET (TO MECH SCREENING) 5 STORIES
LOT COVERAGE:	9,935 SF/40%

PARKING DATA

SPACES REQUIRED		
OFFICE SPACE (1:300 SF):	8,854 SF	30 SPACES
WAREHOUSE SHOWROOM SPACE (1:1000 SF):	17,708 SF	18 SPACES
RESIDENCE:		
10% TOD CREDIT		2 SPACES
PARKING REQUIRED:		44 SPACES

GARAGE PARKING: 23 SPACES
SURFACE PARKING: 19 SPACES
STREET PARKING: 5 SPACES
TOTAL PARKING PROVIDED: 46 SPACES

FULL OFFICE SCENARIO
*SECOND FLOOR CONVERTED TO PARKING FOR AN ADDITIONAL 23 SPACES, TOTALING 70 SPACES.
FLOORS 3-5: 17,708 SF
FLOOR 5: 4,100 SF
TOTAL: 21,808 SF

SPACES REQUIRED		
OFFICE SPACE (1:300 SF):	21,808 SF	73 SPACES
10% TOD CREDIT		-7 SPACES
PARKING REQUIRED:		66 SPACES

TOTAL PARKING PROVIDED: 69 SPACES

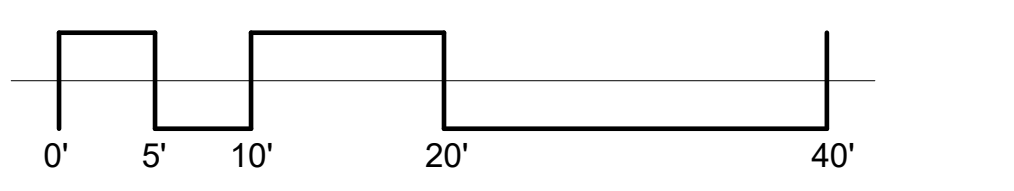
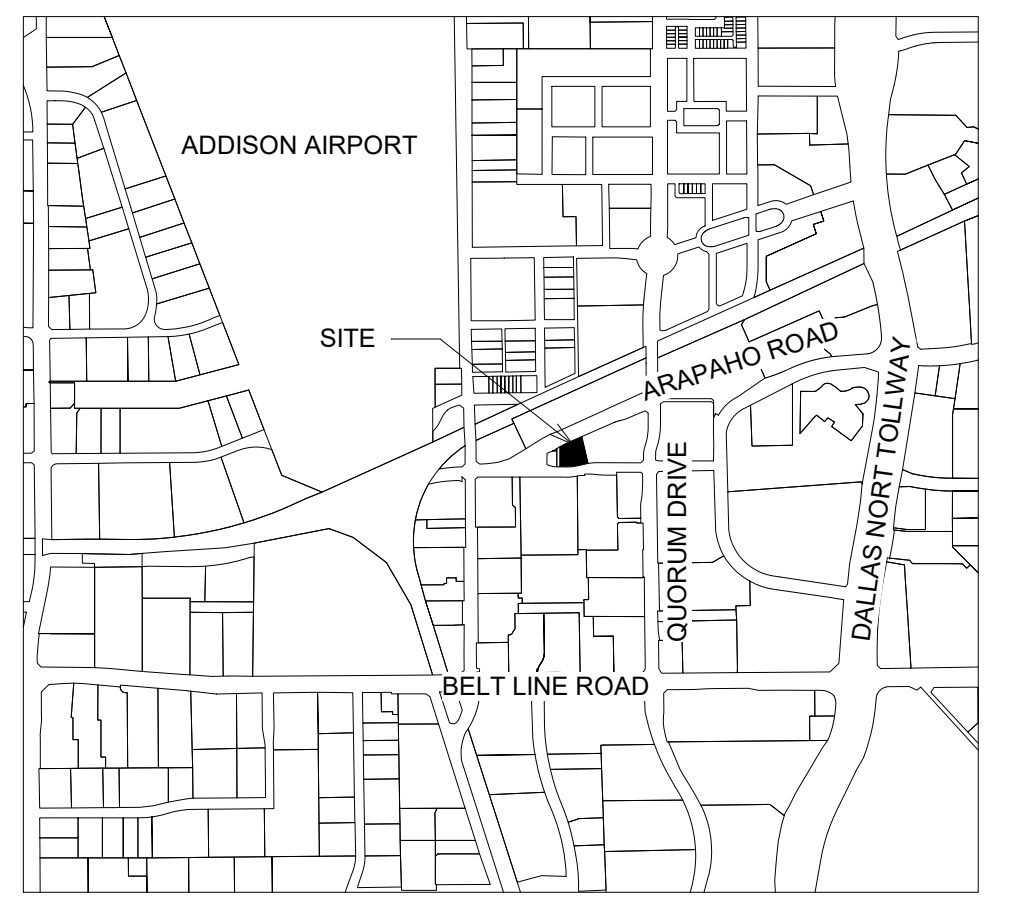
NOTE: ACCESSIBLE PARKING IS PROVIDED IN ACCORDANCE WITH ADA AND TAS STANDARDS.

REQUIRED LANDSCAPE:	4,946 SF (20%)
PROVIDED LANDSCAPE:	6,761 SF (27%)

IMPERVIOUS SURFACE AREA: 17,991 SF

SITE PLAN NOTES

- ANY REVISION TO THIS SITE PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDINGS WITH AN AGGREGATE OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
- OWNER SHALL PROVIDE TRASH SERVICE FOR BUILDING. ENCLOSED DUMPSTER IS NOT PROVIDED.



© Greenlight Studio, LLC
GREENLIGHT
STUDIO, LLC
www.greenlightcompany.com

Owner:
J&B Bourmann Holdings LLC
4801 Arapaho Road
Suite 100
Addison, Texas 75001

Architect/Applicant:
Greenlight Studio, LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4535

Civil Engineer:
Pacheco Koch
7537 Rambler Road
Suite 1400
Dallas, Texas 75231
v: 972.258.3031

Baummann Building
4901 Arapaho Road
Lot 1 Block A
Wingate Inn of Addison Addition
Addison, Texas
Town Project No. 1809-Z

DATE:	07/06/2020
PROJECT NO.:	19006
LAST REVISION:	09/24/20

SHEET TITLE:
Conceptual Site Plan

SHEET NUMBER:
G101

Owner:
 JB Baumann Holdings LLC
 4801 Arapaho Road
 Suite 100
 Addison, Texas 75001

Architect/Applicant:
 Greenlight Studio, LLC
 102 N. Cottonwood Drive
 Suite 104
 Richardson, Texas 75080
 v: 214.810.4535

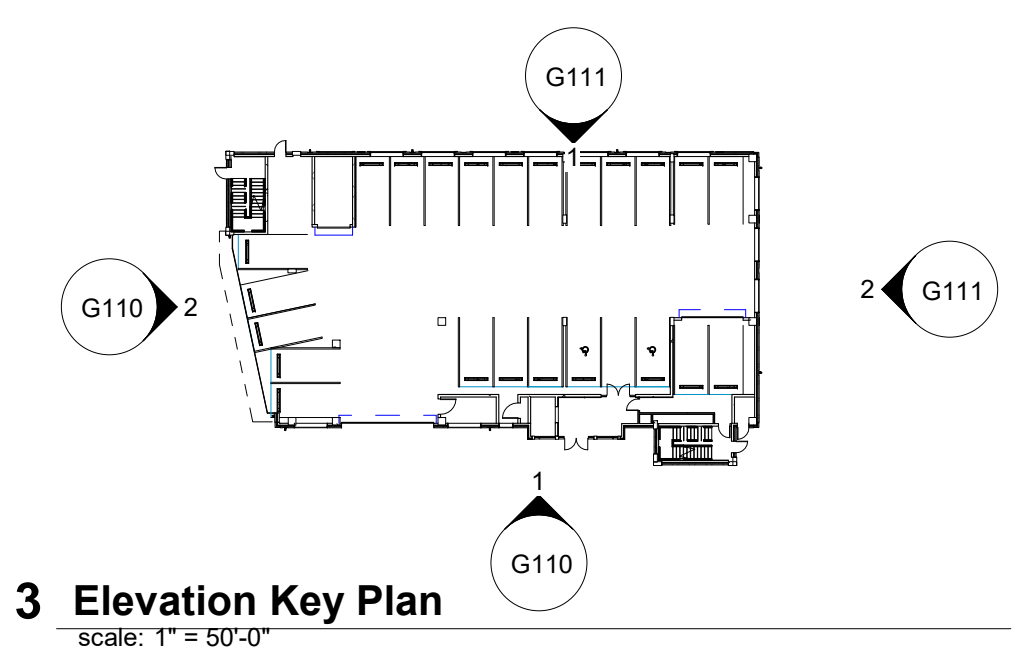
Civil Engineer:
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 7537 Rambler Road
 Suite 1400
 Dallas, Texas 75231
 v: 972.235.3031

Baumann Building
 4901 Arapaho Road
 Lot 1 Block A
 Wingate Inn of Addison Addition
 Addison, Texas
 Town Project No. 1809-Z

DATE: 07/06/2020
 PROJECT NO: 19006
 LAST REVISION: 08/12/20

SHEET TITLE:
Facade Plans
 SHEET NUMBER:

G110



Keynote Legend.	
Key Value	Keynote Text
03 31 00	Structural Concrete
03 31 00.C1	Concrete Structural Slab
03 31 00.D1	Cast in Place Concrete Wall
04 26 00.A1	Bick veneer on Metal Studs
04 26 00.B1	Brick Soldier Course
04 26 00.B4	Stack Bond Accent
04 72 00.A1	Cast Stone Cornice
04 72 00.A4	Cast Stone Sill
05 12 00.B0	C Shape
05 12 00.M0	W Shape
05 31 00	Steel Decking
05 50 00.C1	1" Tie Rod
05 50 00.D2	4" Welded Wire Mesh "Living Wall" with vines
05 70 00.A1	
06 20 13.C1	Stained Wood Soffit
07 24 00.A1	EIFS On Insulation Board
07 40 00.A1	8"x8" Scupper Box

Keynote Legend.	
Key Value	Keynote Text
07 40 00.A2	4" Round Downspout
07 40 00.B2	6"x6" Square Gutter
07 42 43	Aluminum Faced Wall Panels
07 54 23.B1	TPO Roofing, Roof Board, 4" Rigid Insulation over Metal Deck
07 62 00.B1	4" Roof Edge
08 11 00.A2	Aluminum Steel Profile Door
08 11 13.A1	Hollow Metal Door and Frame
08 33 00.C1	Overhead Coiling Door With Motor
08 43 00.C1	Storefront/Steel Window System
08 51 13.A1	Steel Profile Aluminum Window
08 51 23	Steel Windows
09 00 00.A1	Gypsum Wall Assembly, Refer to Wall Types
09 24 00.A2	7/8" Cement Plaster
14 21 23.16	Machine Room-Less Traction Passenger Elevator
32 17 13	Wheel Stop

NORTH ELEVATION MATERIALS TAKEOFF

TOTAL SF:	6295	
FENESTRATION:	1353	
RESULT:	4942	
ACM PANEL	427	8.64%
PAINTED STEEL DETAIL	775.5	15.69%
EIFS	871	17.62%
EXPOSED CONCRETE	570	11.53%
BRICK AND CAST STONE	2299	46.51%

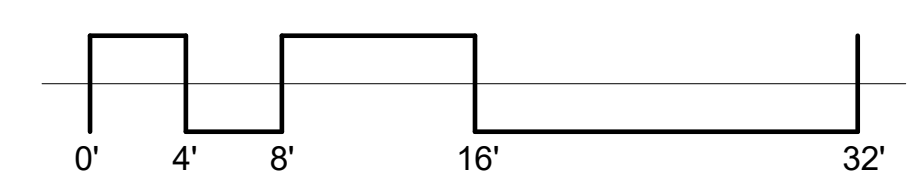
WEST ELEVATION MATERIALS TAKEOFF

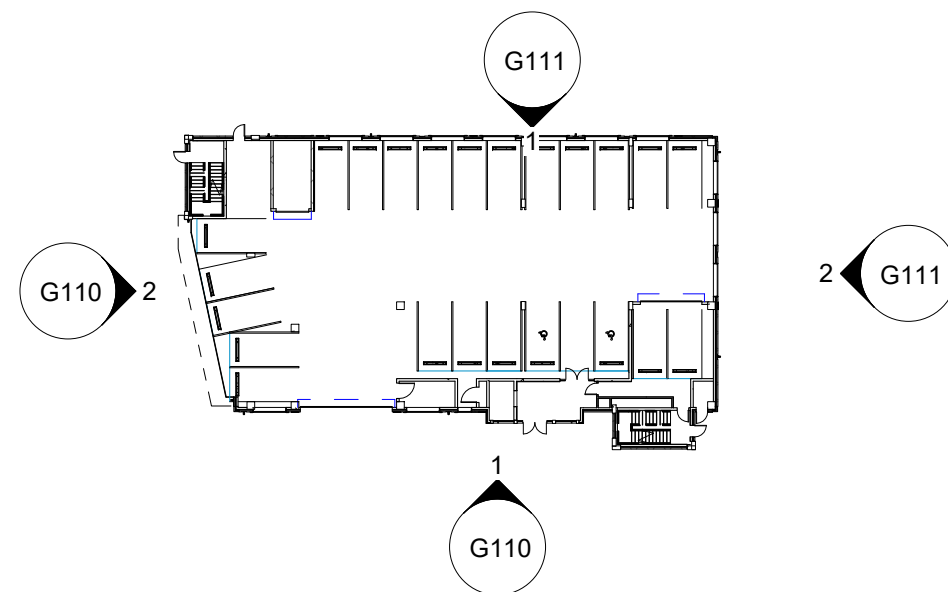
TOTAL SF:	10323	
FENESTRATION:	3626	
RESULT:	6697	
ACM PANEL	517	7.72%
PAINTED STEEL DETAIL	466	6.96%
EIFS	1278	19.08%
EXPOSED CONCRETE	670	10%
BRICK AND CAST STONE	3766	56.23%



- FACADE PLAN NOTES**
- This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
 - All mechanical units shall be screened from public view as required by the Zoning Ordinance.
 - When permitted, exposed utility boxes and conduits shall be painted to match the building.
 - All signage areas and locations are subject to approval by Development Services.
 - Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official

	MODULAR BRICK	COLOR 1 CONGAREE VISTA, HANSEN BRICK
	MODULAR BRICK	COLOR 2 AUGUST, CHEROKEE BRICK
	EXTERIOR INSULATION AND FINISH SYSTEM	BASF 3908 CRESCENT
	EXPOSED CONCRETE	BUFFED AND SEALED
	METAL	BLACK PAINTED
	CAST STONE	BUFF COLOR
	WELDED WIRE MESH	BLACK PAINTED - PLANT VINES AS A LIVING SCREEN





SOUTH ELEVATION MATERIALS TAKEOFF

TOTAL:	6293 SF	
FENESTRATION:	1462 SF	
RESULT:	4831 SF	
ACM PANEL	108	2.23%
PAINTED STEEL DETAIL	229	4.75%
EIFS	523	10.81%
EXPOSED CONCRETE	303	6.27%
BRICK AND CAST STONE	3669	75.94%

EAST ELEVATION MATERIALS TAKEOFF

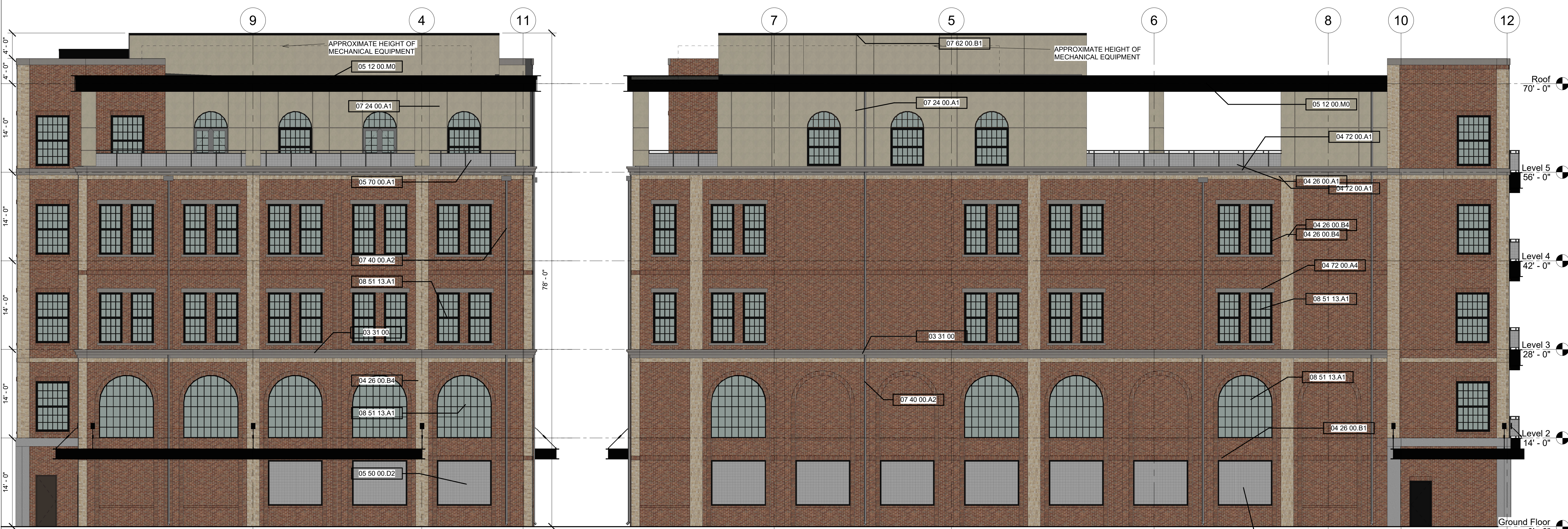
TOTAL:	10281 SF	
FENESTRATION:	2083 SF	
RESULT:	8198 SF	
ACM PANEL	190	2.32%
PAINTED STEEL DETAIL	229	2.79%
EIFS	1036	12.64%
EXPOSED CONCRETE	534	6.51%
BRICK AND CAST STONE	621	75.74%

Keynote Legend.

Key Value	Keynote Text
03 31 00	Structural Concrete
03 31 00.C1	Concrete Structural Slab
03 31 00.D1	Cast in Place Concrete Wall
04 26 00.A1	Bick veneer on Metal Studs
04 26 00.B1	Brick Soldier Course
04 26 00.B4	Stack Bond Accent
04 72 00.A1	Cast Stone Cornice
04 72 00.A4	Cast Stone Sill
05 12 00.B0	C Shape
05 12 00.M0	W Shape
05 31 00	Steel Decking
05 50 00.C1	1" Tie Rod
05 50 00.D2	4" Welded Wire Mesh "Living Wall" with vines
05 70 00.A1	
06 20 13.C1	Stained Wood Soffit
07 24 00.A1	EIFS On Insulation Board
07 40 00.A1	8"x8" Scupper Box

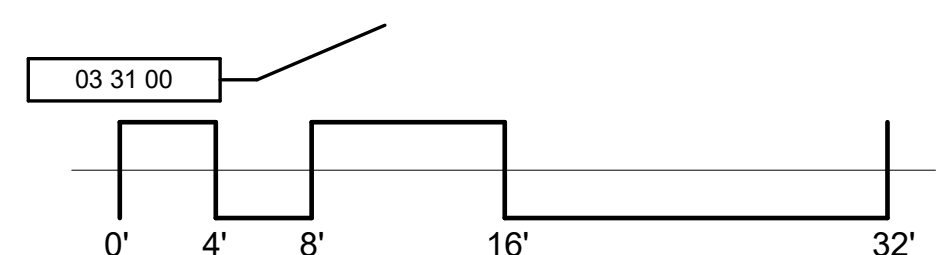
Keynote Legend.

Key Value	Keynote Text
07 40 00.A2	4" Round Downspout
07 40 00.B2	6"x6" Square Gutter
07 42 43	Aluminum Faced Wall Panels
07 54 23.B1	TPO Roofing, Roof Board, 4" Rigid Insulation over Metal Deck
07 62 00.B1	4" Roof Edge
08 11 00.A2	Aluminum Steel Profile Door
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08 51 23	Steel Windows
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	MODULAR BRICK	COLOR 2 AUGUST, CHEROKEE BRICK
	EXTERIOR INSULATION AND FINISH SYSTEM	BASF 3908 CRESCENT
	EXPOSED CONCRETE	BUFFED AND SEALED
	METAL	BLACK PAINTED
	CAST STONE	BUFF COLOR
	WELDED WIRE MESH	BLACK PAINTED - PLANT VINES AS A LIVING SCREEN



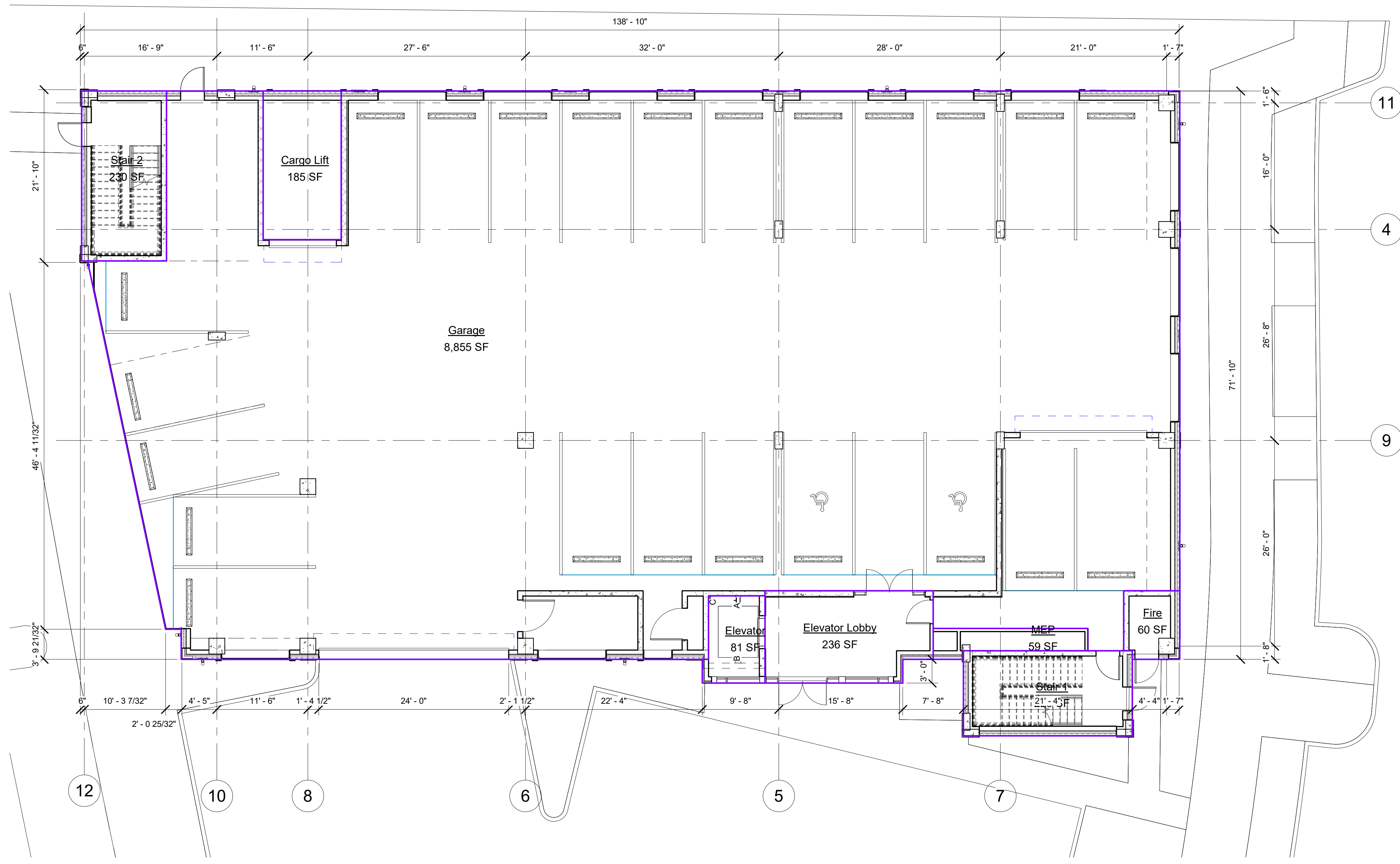
Owner:
 JB Baumann Holdings LLC
 4801 Arapaho Road
 Suite 100
 Addison, Texas 75001

Architect/Applicant:
 Greenlight Studio, LLC
 100 N. Cottonwood Drive
 Suite 104
 Richardson, Texas 75080
 v: 214.810.4535

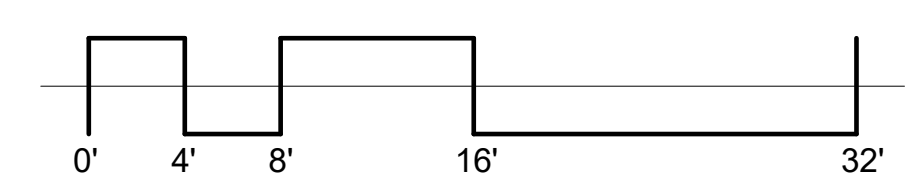
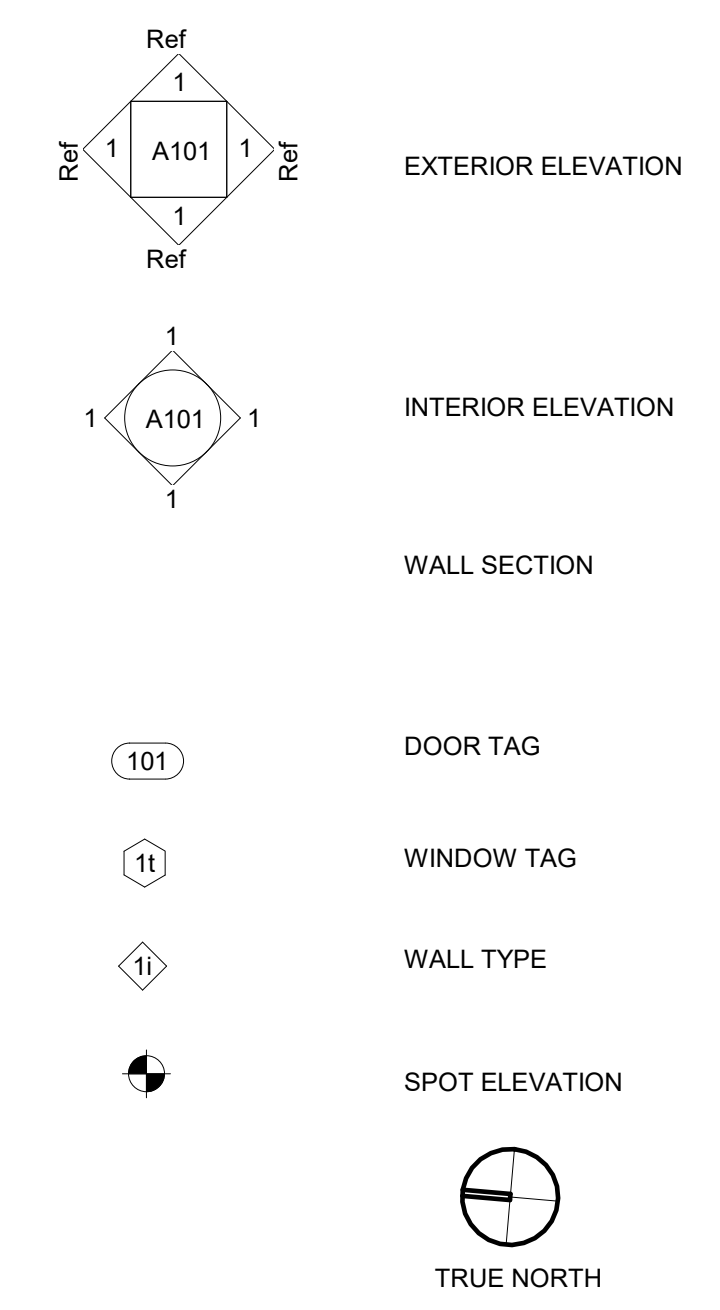
Civil Engineer:
 Pacheco Koch
 7557 Rambler Road
 Suite 1400
 Dallas, Texas 75231
 v: 972.235.3031

Baumann Building
 4901 Arapaho Road
 Lot 1 Block A
 Wingate Inn of Addison Addition
 Addison, Texas
 Town Project No. 1809-Z

- ALL PARTITIONS ARE TO BE TYPE A UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
- CONTRACTOR TO VERIFY ALL MEP AND STRUCTURAL ENCLOSURES.
- DIMENSIONS SHOWN ON THE FLOOR PLANS ARE FROM CENTERLINE OF COLUMNS TO FACE OF FINISH OF INTERIOR WALLS AND TO FACE OF FINISH OF EXTERIOR WALLS UNLESS OTHERWISE INDICATED OR DETAILED.
- FOR FURTHER DIMENSIONING, SEE LARGE SCALE PLANS, SECTIONS, ELEVATIONS, AND DETAILS.
- SEE SHEET A8.01 FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES AND TOILET ACCESSORIES.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXT. WINDOW FRAMES, CABINET WORK, AND CASEWORK W/ ADJACENT MATERIALS EVEN THOUGH JOINT MAY NOT BE VISIBLE.
- PROVIDE 5/8" TYPE "X" GYP. BOARD ON ALL UNFINISHED WALLS.
- PROVIDE INSULATION ON ALL EXTERIOR WALLS AS INDICATED IN THE COMCHECK INCLUDED IN THE DOCUMENTS.
- ADD SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE WEIGHT OF ATTACHED ITEMS IS TOO GREAT TO BE SUPPORTED BY METAL STUDS.
- ADD METAL STRAPS TO AREAS WITH LIGHTWEIGHT WALL MOUNTED EQUIPMENT OR FINISHES WHICH CANNOT MOUNT TO STUD SPACING.
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- PROVIDE WATER RESISTANT GYP BOARD AT ALL PLUMBING FIXTURES, WITH THE EXCEPTION OF TILE BACKER AT TILED SHOWERS. DO NOT INSTALL WATER RESISTANT GYP BOARD IN CEILINGS.
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1 Ground Floor
 scale: 1/8" = 1'-0"



DATE:	07/06/2020
PROJECT NO.:	19006
LAST REVISION:	10/09/20
SHEET TITLE:	Ground Floor
SHEET NUMBER:	G121

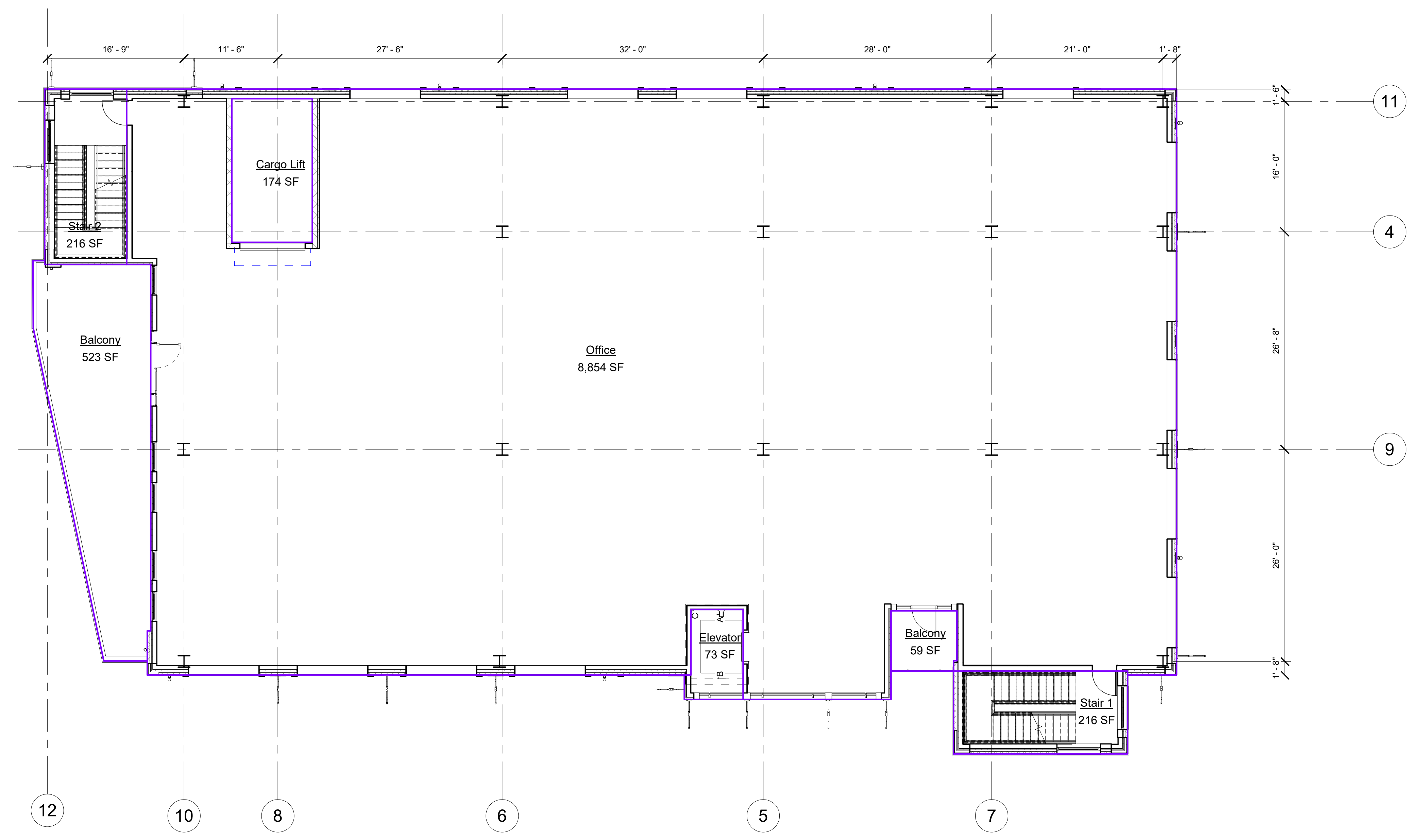
Owner:
 JB Baumann Holdings LLC
 4801 Arapaho Road
 Suite 100
 Addison, Texas 75001

Architect/Applicant:
 Greenlight Studio, LLC
 1020 N. Cottonwood Drive
 Suite 104
 Richardson, Texas 75080
 v: 214.810.4535

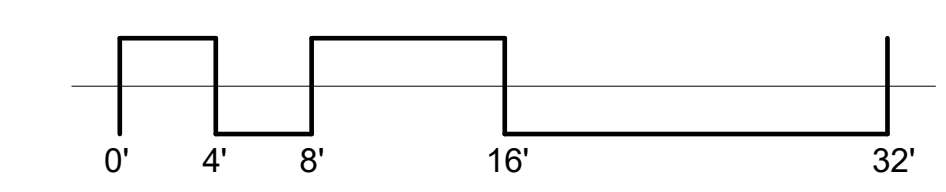
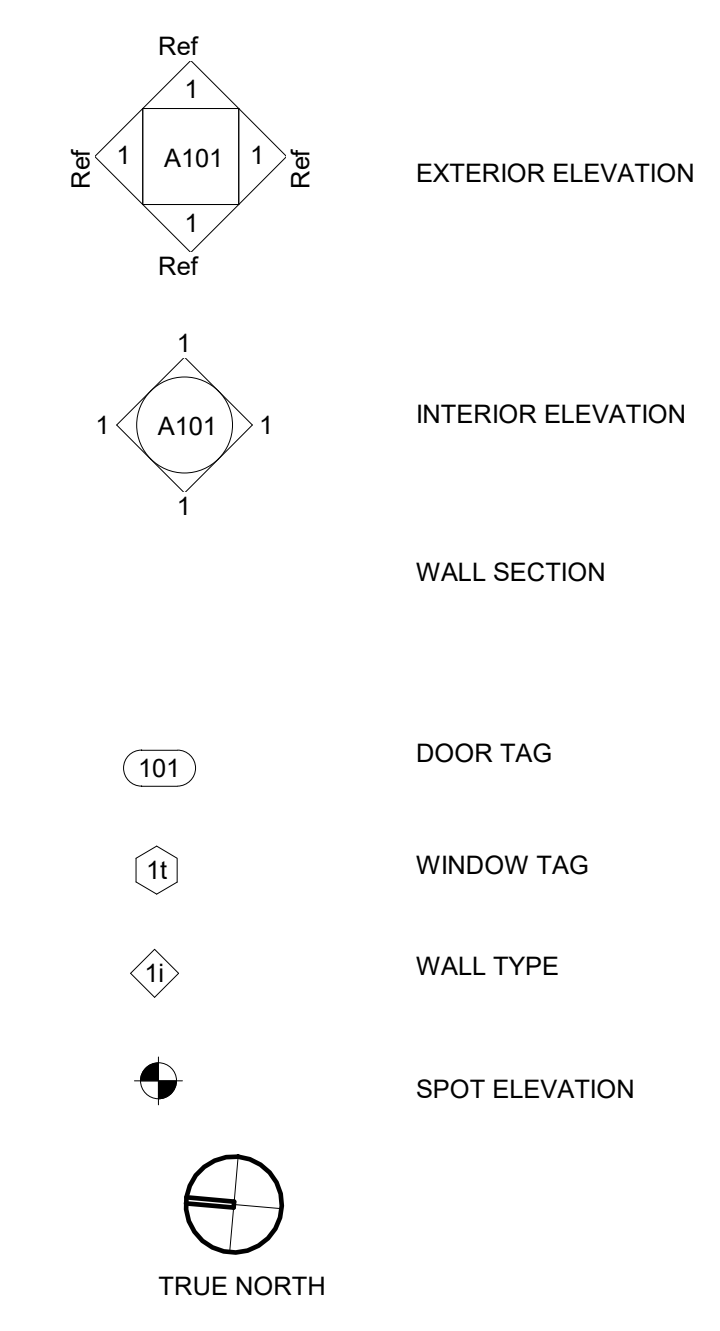
Civil Engineer:
 Pacheco Koch
 7557 Rambler Road
 Suite 1400
 Dallas, Texas 75231
 v: 972.235.3031

Baumann Building
 4901 Arapaho Road
 Lot 1 Block A
 Wingate Inn of Addison Addition
 Addison, Texas
 Town Project No. 1809-Z

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1 Level 2
 scale: 1/8" = 1'-0"



DATE:	07/06/2020
PROJECT NO.:	19006
LAST REVISION:	10/09/20
SHEET TITLE:	Floor 2
SHEET NUMBER:	

G122

Owner:
 J8 Baumann Holdings LLC
 4801 Arapaho Road
 Suite 100
 Addison, Texas 75001

Architect/Applicant:
 Greenlight Studio, LLC
 100 N. Cottonwood Drive
 Suite 104
 Richardson, Texas 75080
 v: 214.810.4535

Civil Engineer:
 Pacheco Koch
 7537 Rambler Road
 Suite 1400
 Dallas, Texas 75231
 v: 972.235.3031

Baumann Building
 4901 Arapaho Road
 Lot 1 Block A
 Wingate Inn of Addison Addition
 Addison, Texas
 Town Project No. 1809-Z

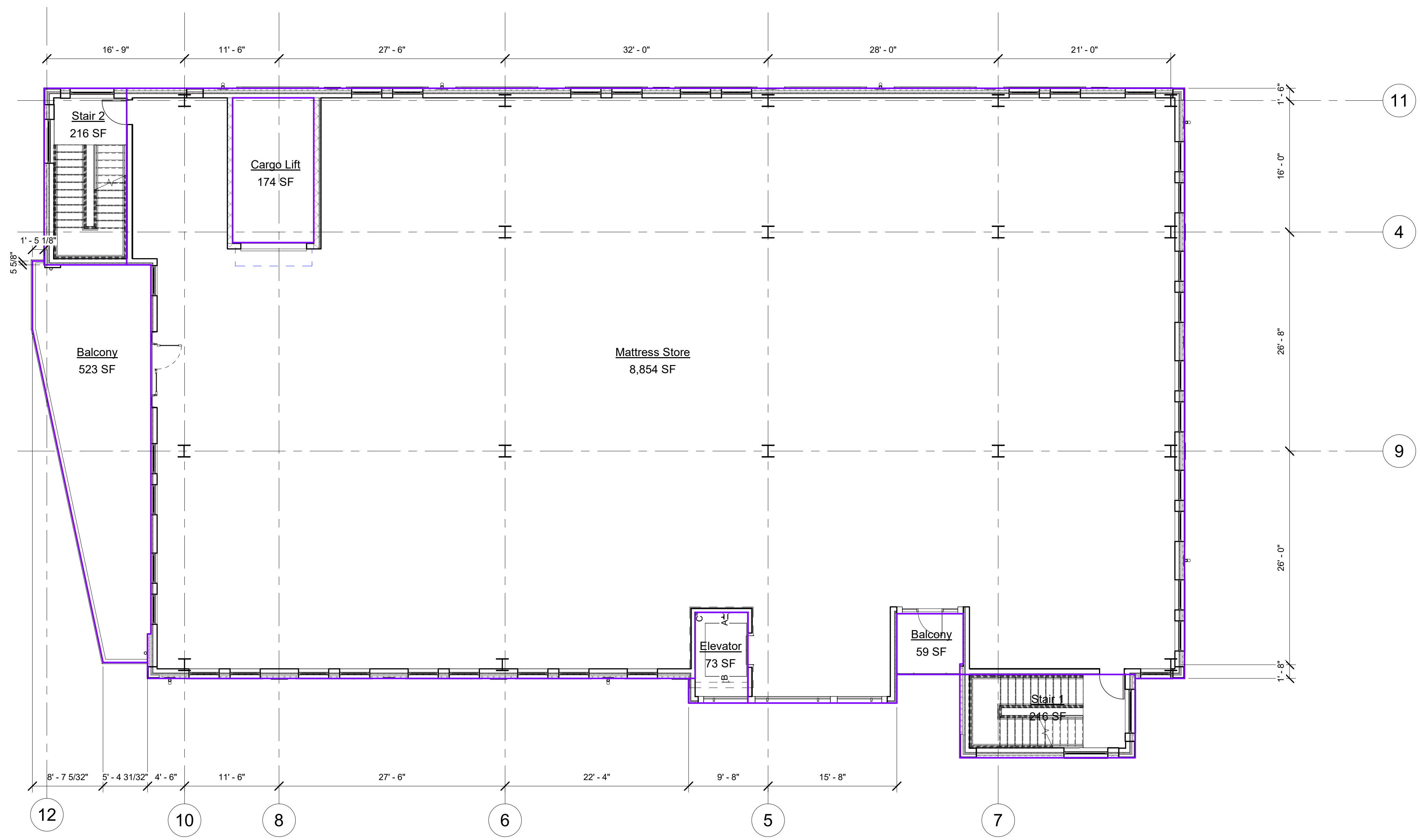
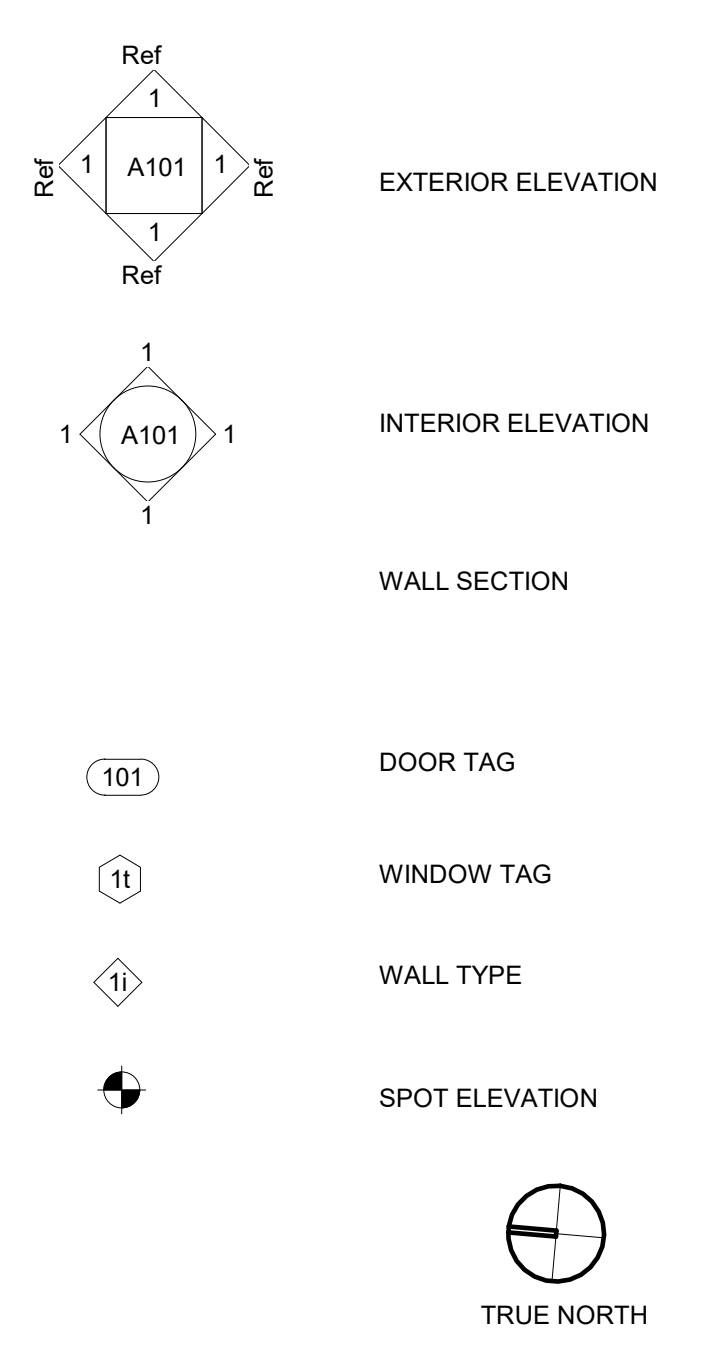
DATE: 07/06/2020
 PROJECT NO: 19006
 LAST REVISION: 10/09/20

SHEET TITLE:
Floors 3-4

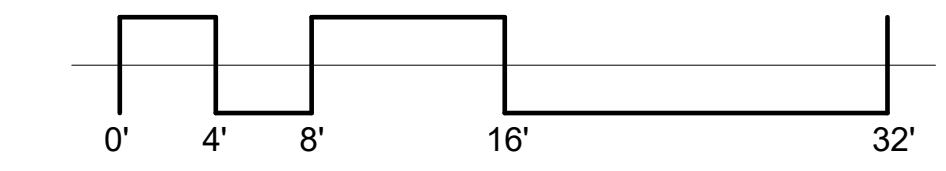
SHEET NUMBER:

G123

- ALL PARTITIONS ARE TO BE TYPE A UNLESS OTHERWISE NOTED.
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1 Level 3 (LEVEL 4 - IDENTICAL - 9,381 SF USE - CLOTHIER)
 scale: 1/8" = 1'-0"



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 JB Baumann Holdings LLC
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 Addison, Texas 75001

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 v: 972.235.3031

Baumann Building
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 Lot 1 Block A
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 Addison, Texas
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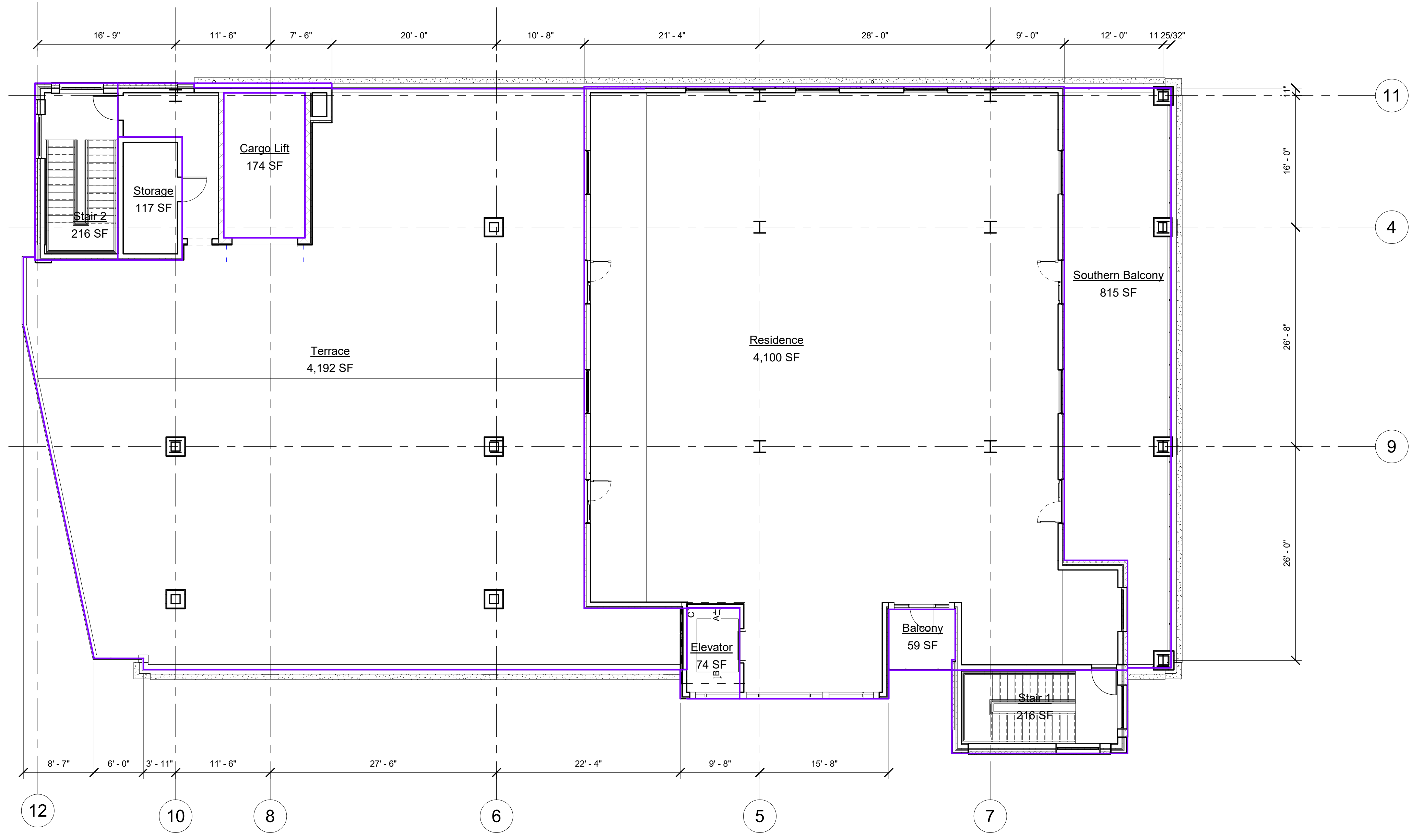
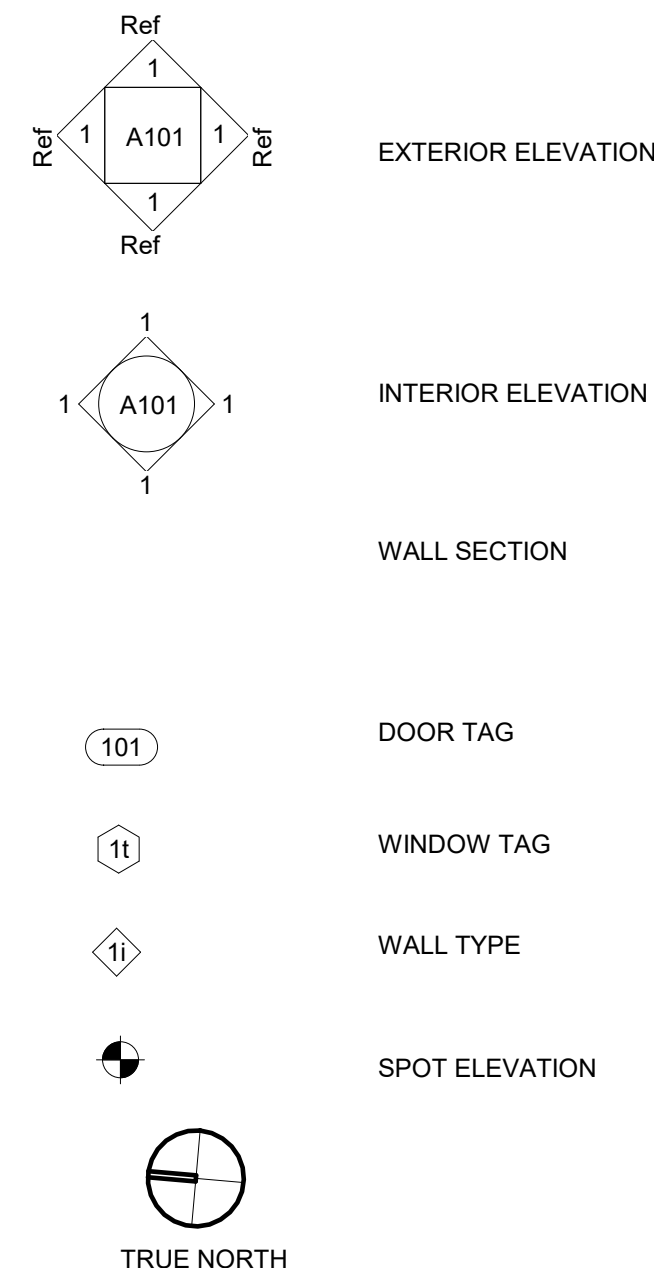
DATE: 07/06/2020
 PROJECT NO: 19006
 LAST REVISION: 10/09/20

SHEET TITLE:
Floor 5

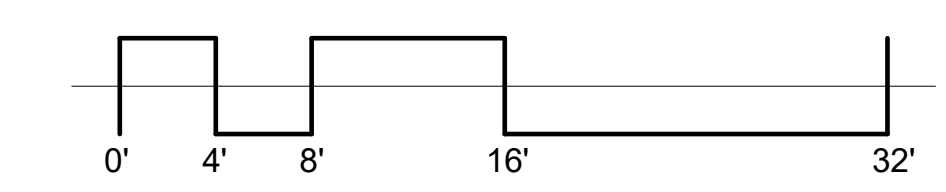
SHEET NUMBER:

G125

1. ALL PARTITIONS ARE TO BE TYPE A UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
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1 Level 5
 scale: 1/8" = 1'-0"



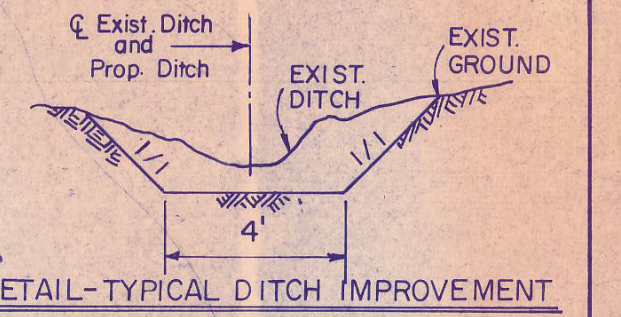


CAUTION
 6" High Pressure Petroleum Transmission line
 Contractor Shall notify Petro-Fina (214) 750-2816
 24 hrs. prior to Commencing ANY work in this Area.

Cont shall maintain a min. cover of 18" on 6" Gas Line

Sta. 6+75
 Cut 4.0'
 STA. 6+75
 Exist. Ground 621.76
 Top 6" Gas line 617.00
 E. Ditch 618.77

NOTE: FROM THIS POINT, CONTINUE NORTHEASTERLY, PARALLEL TO R.R. TRACK, CONCURRENT WITH EXIST. DITCH, APPROXIMATELY 150 L.F. TO Elev. 618.00 w/ TYPICAL DITCH IMPROVEMENT (See Section Below) min. 0.30% slope



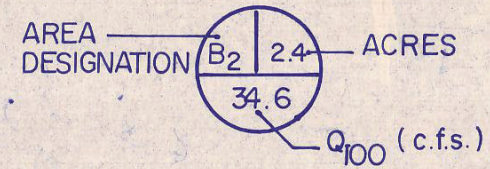
APPROX. 575 L.F. DITCH IMPROVEMENT, 0.3% SLOPE

For Detail of this area See Sheet 16

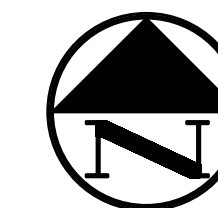
DRAINAGE CALCULATIONS (Tech. Paper 40)
 Rational Formula $Q=CIA$, where $C=0.95$

$I = \text{Intensity, in./hr.}$
 I_{100} (min $I = 11.6$)
 $(T_c = 10 \text{ minutes})$

$A = \text{Area, acres}$



CITY OF ADDISON			
ARAPAHO RD./QUORUM DR. IMPROVEMENTS			
DRAINAGE AREA MAP			
GINN, INC., Consulting Engineers			
Designed - G.F.	Drawn - G.F.	Date - DECEMBER, 1983	
Approved - H.W.G.	Checked - G.F.	Scale - 1" = 100'	Sheet 12 OF 22



LEGEND

BL	BOLLARD	---	PROPERTY LINE
EM	ELECTRIC METER	-x-	FENCE
FP	POWER POLE	---	EXISTING CONTOUR
LS	LIGHT STANDARD	---	PROPOSED CONTOUR
WM	WATER METER	---	DRAINAGE FLOW DIRECTION
WV	WATER VALVE	---	100-YR FLOODPLAIN LIMITS
ICV	IRRIGATION CONTROL VALVE	---	DRAINAGE DIVIDE
FH	FIRE HYDRANT	DA 8	PROPOSED DRAINAGE AREA ID
MC	MANHOLE	1.00	AREA IN ACRES
MS	MANHOLE	7.99	Q ₁₀₀ IN CUBIC FEET PER SECOND
TSC	TRAFFIC SIGNAL CONTROL		
TSP	TRAFFIC SIGNAL POLE		
TELE	TELEPHONE BOX		
FL	FLOOD LIGHT		
FP	FLAG POLE		
SIGN	TRAFFIC SIGN		

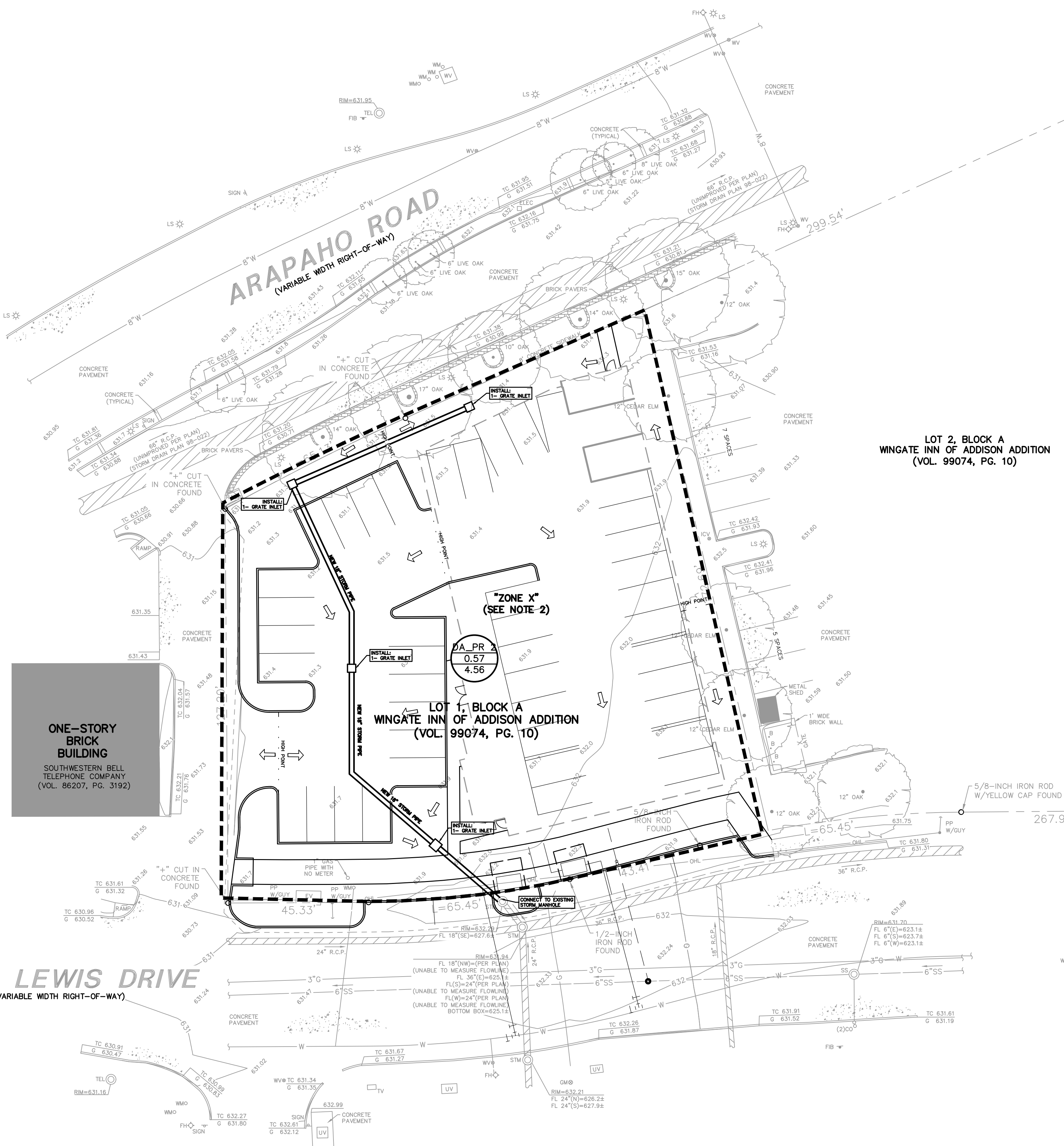
THE EXISTING DRAINAGE AREA MAP FOR THIS SITE WAS COMPLETED BY GINN, INC. CONSULTING ENGINEERS AS PART OF THE TOWN OF ADDISON-ARAPAHO ROAD/QUORUM DRIVE IMPROVEMENTS PACKAGE DATED DECEMBER 1983

EXISTING DRAINAGE AREA TABLE						
DRAINAGE AREA ID	AREA (acres)	C	T _c (min)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	COMMENTS
DA 1	0.57	0.95	10	11.6	6.28	DRAINS TO EXISTING STORM SYSTEM IN EDWIN LEWIS DRIVE

PROPOSED DRAINAGE AREA TABLE						
DRAINAGE AREA ID	AREA (acres)	C	T _c (min)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	COMMENTS
DA PR 2	0.57					
DA 8	4.56					

GRADING & DRAINAGE GENERAL NOTES

- REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
- UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN MAXIMUM LIFTS OF 6 INCHES.
- SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A RUNNING SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.
- GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO FEDERAL, STATE, AND LOCAL GUIDELINES.
- ALL PROPOSED AND EXISTING GRADES IN NON-PAVED AREAS ARE "FINISHED GRADE" (I.E. IN LANDSCAPE BEDS, TOP OF MULCH/BEDDING MATERIAL).
- UNLESS NOTED, STORM DRAIN LINES SHALL BE OF THE FOLLOWING MATERIALS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS:
 - 6.A. RCP C-76, CLASS III
 - 6.B. ADS N-12
 - 6.C. HANCOR HI-Q
 - 6.D. CONTECH ALUMINIZED ULTRA FLOW
- UNLESS NOTED, GRATE INLETS TO BE "FORTERRA PIPE AND PRECAST" CATCH BASIN SIZED AS SHOWN, OR APPROVED EQUAL.
- FINAL PAVING, CURB, AND SIDEWALK ELEVATIONS WILL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
- REFER TO LANDSCAPE SPECIFICATIONS FOR SEEDING AND SODDING REQUIREMENTS.
- ANY CONCRETE, ROCK, OR MATERIAL DEEMED BY THE ENGINEER TO BE UNSUITABLE FOR SUBGRADE SHALL BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD TOWN SPECIFICATIONS.
- EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS NEAR THE OUTLET PIPE.
- ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO NCTCOG ITEM 702.2.4, CLASS "A" (3000 PSI) UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD TOWN SPECIFICATIONS.
- CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM FOR CRUSHED STONE BEDDING.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.



ONE-STORY BRICK BUILDING
SOUTHWESTERN BELL TELEPHONE COMPANY (VOL. 86207, PG. 3192)

LOT 2, BLOCK A WINGATE INN OF ADDISON ADDITION (VOL. 99074, PG. 10)

LOT 1, BLOCK A WINGATE INN OF ADDISON ADDITION (VOL. 99074, PG. 10)

EDWIN LEWIS DRIVE (VARIABLE WIDTH RIGHT-OF-WAY)

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY (SUBJECT TO REVISION PRIOR TO CONSTRUCTION)
THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND, THEREFORE, REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION BY ANY USE OF THESE DOCUMENTS. THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

NO.	DATE	REVISION
		7557 RAMBLER ROAD SUITE 1400 DALLAS, TX 75231 972.235.3031 TX REG. ENGINEERING FIRM F-469 TX REG. SURVEYING FIRM LS-10008000

Pacheco Koch

PRELIMINARY DRAINAGE PLAN

BAUMANN BUILDING

LOT 1, BLOCK A

4901 ARAPAHO RD.

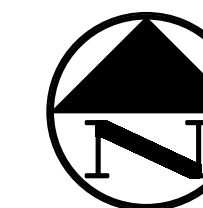
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
EMZ	GAC	OCT 2020				C1.1

PRELIMINARY NOT FOR CONSTRUCTION
THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.
PLANS PREPARED UNDER THE DIRECT SUPERVISION OF EMILY M. ZOELLNER, P.E. TEXAS REGISTRATION NO. 123461 DATE: 10/06/2020

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BAUMANN BUILDING



LEGEND

B	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FH	FIRE HYDRANT
CO	CLEANOUT
MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TELE	TELEPHONE BOX
FL	FLOOD LIGHT
FP	FLAG POLE
SIG	TRAFFIC SIGN
IRS	1/2-INCH IRON ROD
(C.M.)	W/"PACHECO KOCH" CAP SET
---	CONTROLLING MONUMENT
---	PROPERTY LINE
X	FENCE
OHL	OVERHEAD UTILITY LINE
E	UNDERGROUND ELECTRIC LINE
T	UNDERGROUND TELEPHONE LINE
C	UNDERGROUND CABLE LINE
W	UNDERGROUND WATER LINE
SS	UNDERGROUND SANITARY SEWER LINE
W/B	PROP WATER LINE W/ BEND
SS	PROP SANITARY SEWER LINE
FC	FIRE HYDRANT CIRCLE
150'	150' RADIUS

WATER & SANITARY SEWER GENERAL NOTES

- ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED.
- ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 14, CLASS 305 AND INSTALLED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE FIRE PROTECTION PLANS TO BE PREPARED BY A LICENSED FIRE PROTECTION CONTRACTOR.
- WATER AND SANITARY SEWER SERVICES SHALL MEET PLUMBING CODE REQUIREMENTS.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES BELOW IMPROVED FINISHED GRADE, UNLESS OTHERWISE NOTED.
- SANITARY SEWER PIPE SHALL BE PVC SDR-35.
- WHEN WATER AND SANITARY SEWER MAINS, SERVICES, AND LATERALS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CHAPTERS SHALL APPLY:
 - TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATION DISTANCES.
 - TCEQ CHAPTER 290.44 WATER DISTRIBUTION, SECTION (e) LOCATION OF WATERLINES.
- CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL TIE A ONE INCH WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36 INCHES OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OR ALLEY IN ACCORDANCE WITH THE STANDARD TOWN SPECIFICATIONS.
- ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD TOWN SPECIFICATIONS.
- THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
- ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD TOWN SPECIFICATIONS.
- EMBEDDING SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD TOWN SPECIFICATIONS.
- VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE UTILITY CONTRACTOR SHALL POUR A 24"x24"x6" CONCRETE BLOCK AROUND ALL VALVE BOX TOPS LEVEL WITH THE FINISHED GRADE.
- CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICES AND MAINTAIN EXISTING SERVICES THROUGHOUT CONSTRUCTION.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

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NO.	DATE	REVISION

Pacheco Koch 7557 RAMBLER ROAD SUITE 1400 DALLAS, TX 75231 972.235.3031 TX REG. ENGINEERING FIRM F-469 TX REG. SURVEYING FIRM LS-10008000

SITE UTILITY PLAN
BAUMANN BUILDING
LOT 1, BLOCK A
4901 ARAPAHO RD.
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
EMZ	GAC	OCT 2020	1"=20'			C1.2

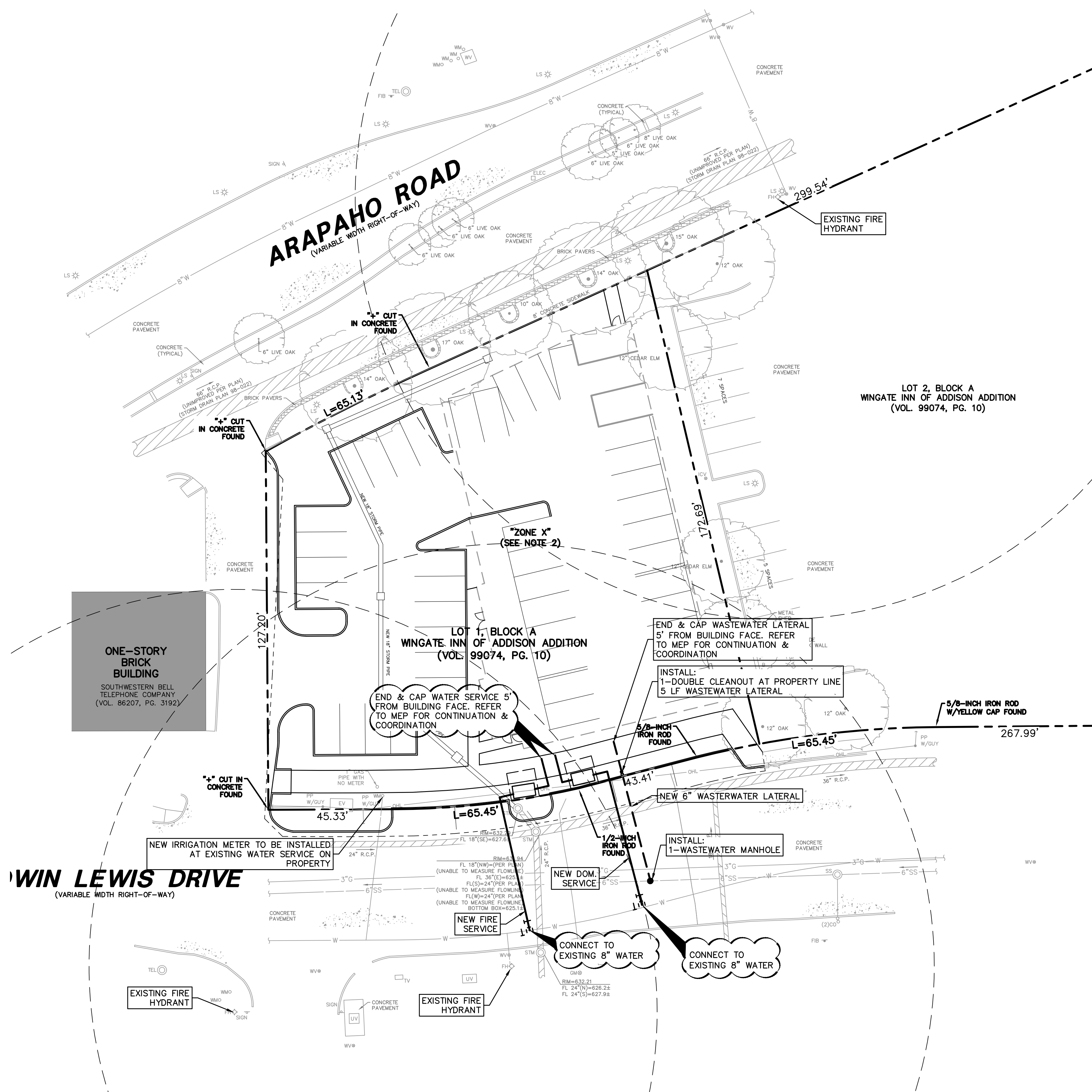
THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEMS REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL

TOWN PROJECT NO. 1809-Z

PRELIMINARY NOT FOR CONSTRUCTION

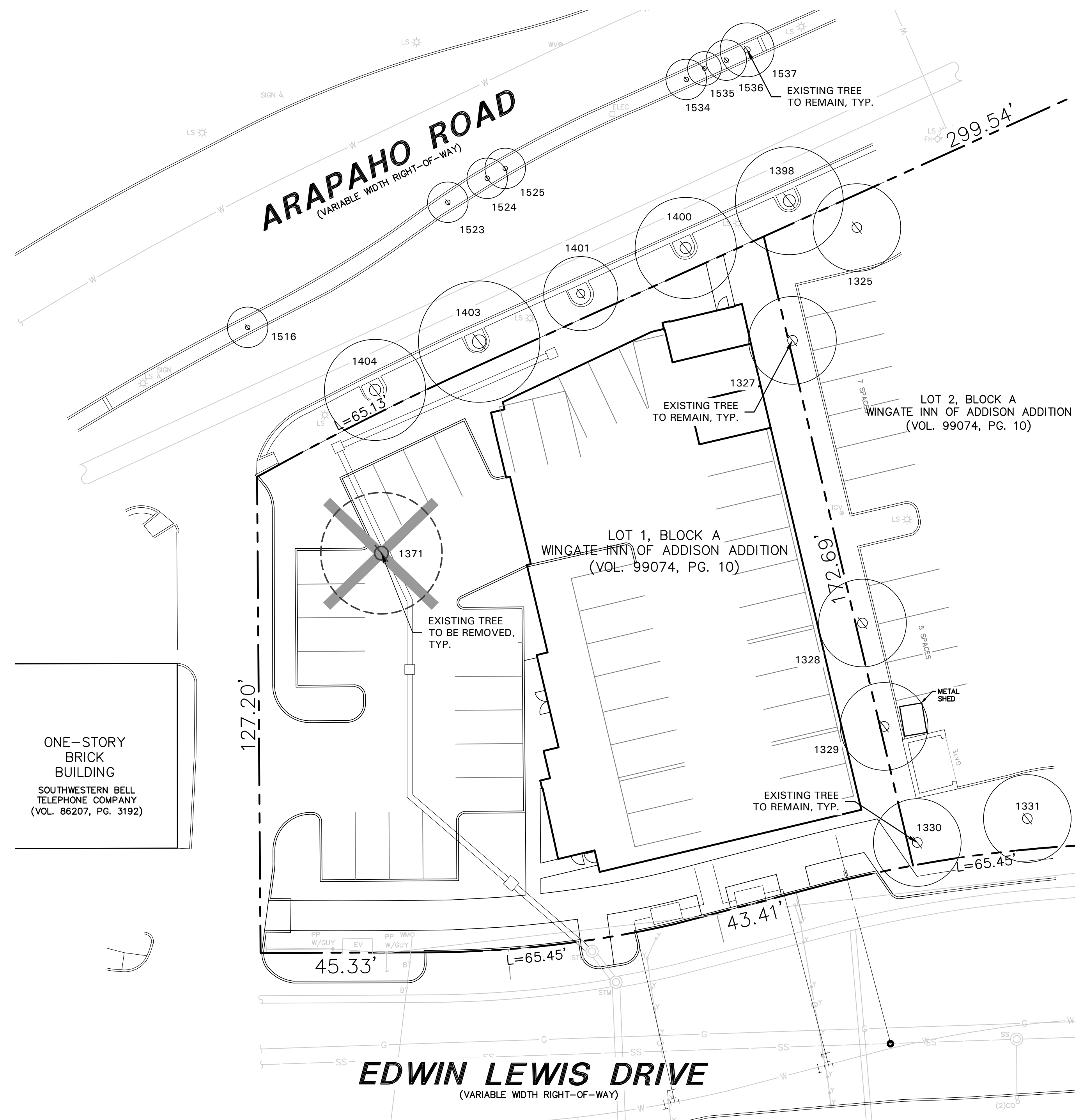
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PLANS PREPARED UNDER THE DIRECT SUPERVISION OF EMILY M. ZOELLNER, P.E. TEXAS REGISTRATION NO. 123461 DATE: 10/06/2020



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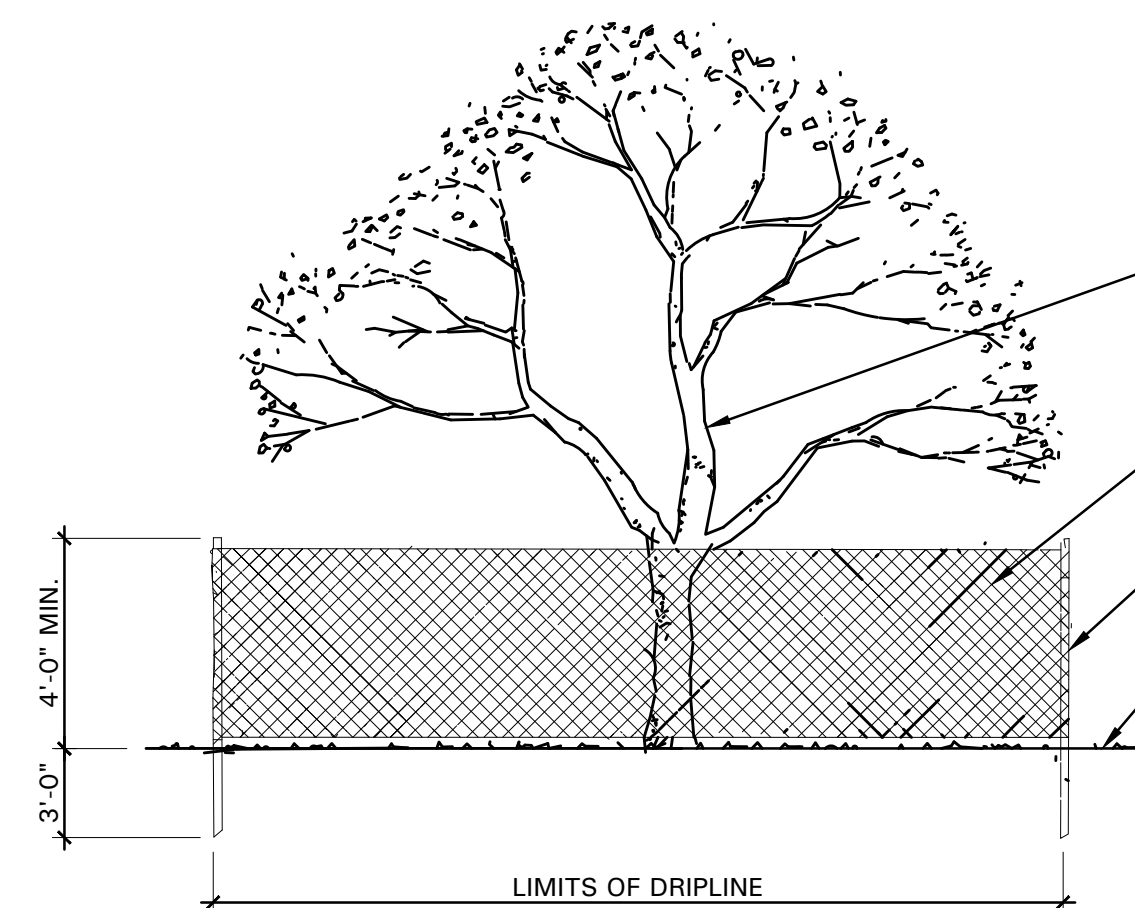
BAUMANN BUILDING



TREE SURVEY FIELD DATA				
No.	Dia. (Inches)	Species (Common name)	Status	Remarks
1325	12	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1327	12	CEDAR ELM	TO REMAIN	OUTSIDE OF PROPERTY
1328	12	CEDAR ELM	TO REMAIN	OUTSIDE OF PROPERTY
1329	12	CEDAR ELM	TO REMAIN	OUTSIDE OF PROPERTY
1330	12	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1331	12	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1371	17	OAK	TO BE REMOVED	
1398	15	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1400	14	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1401	10	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1403	17	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1404	14	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1516	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1523	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1524	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1525	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1534	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1535	5	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1536	8	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1537	8	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
Total Caliper Inches on Site				17
Total Caliper Inches Removed				17
Total Mitigation Inches Required				17

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



01 TREE PROTECTIVE FENCING
NOT TO SCALE

REFER TO PLAN FOR EXISTING TREE TO REMAIN

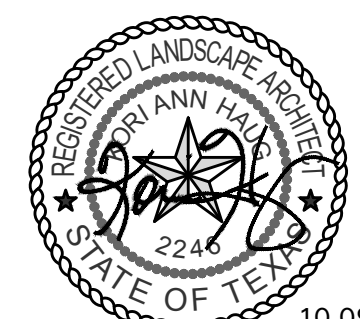
SNOW FENCE, ORANGE VINYL CONSTRUCTION FENCE, OR CHAINLINK FENCE

METAL T-POST PLACED NO FURTHER THAN 8' APART

EXISTING GRADE TO REMAIN UNDISTURBED



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



Baumann Building

4901 Arapaho Road
Lot 1, Block A
Wingate Inn of Addison Addition
Addison, Texas
Town Project No. 1809-Z

Project Number: 19147
Issue Date: 01.24.2020
Drawn By: NAY
Checked By: KAH

Revisions
No: Date: Detail:
03.27.20 Town Comments
10.09.20 Town Comments

Sheet Title:
TREE PRESERVATION PLAN

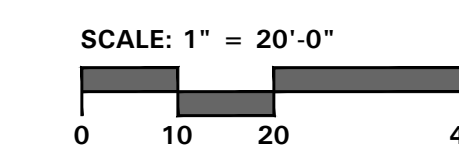
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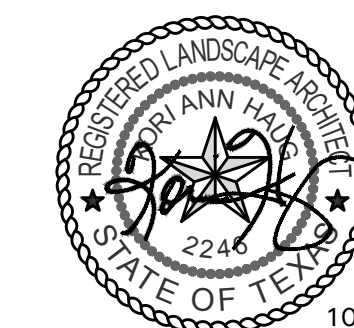
L1.01

Owner:
JR Baumann Holdings LLC
4801 Arapaho Road
Suite 100
Addison, Texas 75001

Architect/Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
214.810.4535

Civil Engineer:
Pacheco Koch
7557 Rambler Road
Suite 1400
Dallas, Texas 75231
972.235.3031





Baumann Building

4901 Arapaho Road
Lot 1, Block A
Wingate Inn of Addison Addition
Addison, Texas
Town Project No. 1809-Z

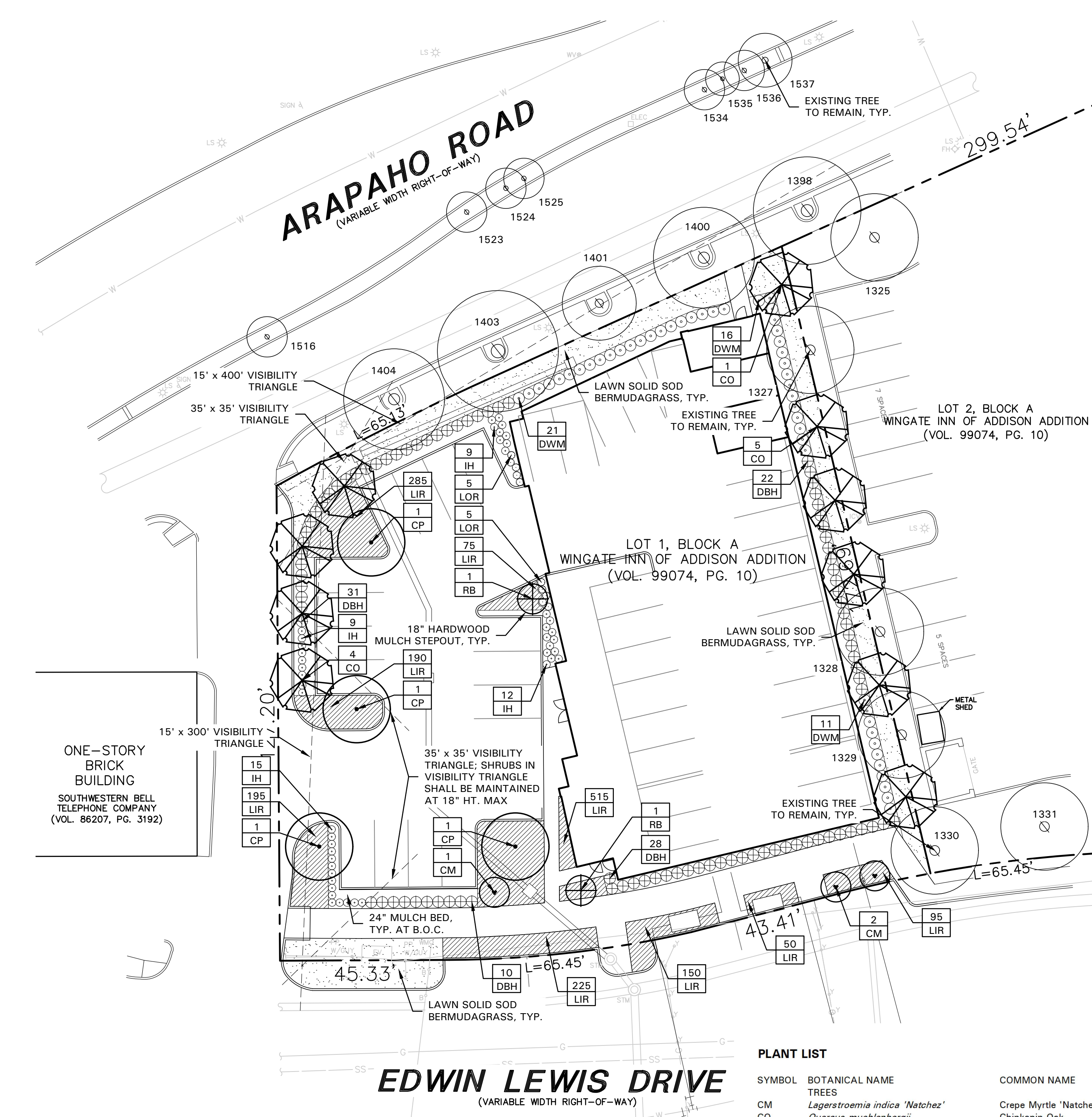
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Revisions
No: Date: Detail:
03.27.20 Town Comments
10.09.20 Town Comments

Sheet Title:

LANDSCAPE PLAN

Sheet Number:
L2.01



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS
THE CITY OF ADDISON, TEXAS

SITE LANDSCAPE

1. 20% of the site to be landscape area.
Total Site Area: 24,730 s.f. (0.57 acre)

Required 4,946 s.f. (20%)	Provided 6,005 s.f. (24%)
------------------------------	------------------------------

STREET LANDSCAPE BUFFER

- 20' landscape buffer.
- One (1) shade tree, 4" cal., per 30 l.f. of street frontage.
- Evergreen shrubs planted 3' to 3.5' on center.

Arapaho Road: 150 l.f.

Required 20' landscape buffer (5) trees, 4" cal.	Provided provided (4) existing trees (1) tree, 4" cal. evergreen shrubs 3' o.c.
--	---

Edwin Lewis Drive: 177 l.f.

Required 20' landscape buffer (6) trees, 4" cal.	Provided provided (1) tree, 4" cal. (4) trees, 3" cal. evergreen shrubs 3' o.c.
--	---

PARKING LOT PERIMETER

- One (1) tree, 4" cal., per 35 l.f. of perimeter.
- Evergreen shrubs planted 3' to 3.5' on center.

Parking Lot Perimeter: 185 l.f.

Required (5) shade tree, 4" cal. evergreen shrubs, 3' o.c.	Provided (5) shade tree, 4" cal. evergreen shrubs, 3' o.c.
--	--

PARKING LOT SCREENING

- Evergreen shrubs, 3' ht., planted 3' on center in a single row in a bed at least 42" wide.
- Evergreen shrubs, 3' ht., must be at least 3.5' higher than the finished elevation of the adjacent parking lot.

Required evergreen shrubs, 3' ht.	Provided evergreen shrubs, 3' ht.
--------------------------------------	--------------------------------------

PARKING LOT LANDSCAPE

- 5% of the total parking area to be landscaped.
- One (1) large shade tree per 10 parking spaces.

Total Parking Area: 5,659 s.f.
Total Parking spaces: 18

Required 284 s.f. (5%) (2) shade trees, 4" cal.	Provided 1,308 s.f. (23%) (2) shade trees, 4" cal.
---	--

PLANT LIST

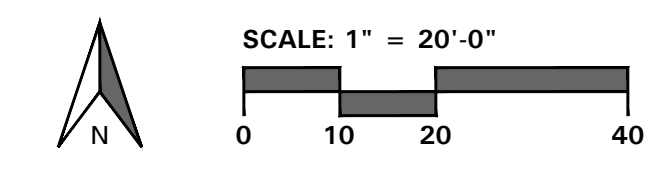
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle 'Natchez'	3	8' ht.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muehlenbergii</i>	Chinkapin Oak	10	4" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	4	4" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
RB	<i>Cercis canadensis</i> 'Oklahoma'	Oklahoma Redbud	2	3" cal.	container grown, 8' ht., 4' spread min.
SHRUBS/GROUND COVER					
DBH	<i>Ilex cornuta</i> 'Dwarf Burford'	Dwarf Burford Holly	91	5 gal.	container full, 20" spread, 36" o.c.
DWM	<i>Myrica pusilla</i>	Dwarf Wax Myrtle	48	5 gal.	container full, 20" spread, 36" o.c.
IH	<i>Raphiolepis indica</i> 'Clara'	Indian Hawthorne 'Clara'	45	5 gal.	container full, 20" spread, 24" o.c.
LIR	<i>Liriope muscari</i> 'Big Blue'	Liriope 'Big Blue'	1780	4" pots	container full top of container, 12" o.c.
LOR	<i>Loropetalum chinensis</i> 'Plum Delight'	Loropetalum 'Plum Delight'	10	3 gal.	container full, 18" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

Owner:
JR Baumann Holdings LLC
4801 Arapaho Road
Suite 100
Addison, Texas 75001

Architect/Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
214.810.4535

Civil Engineer:
Pacheco Koch
7557 Rambler Road
Suite 1400
Dallas, Texas 75231
972.235.3031



SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 1. Planting (trees, shrubs and grasses)
 2. Bed preparation and fertilization
 3. Notification of sources
 4. Water and maintenance until final acceptance
 5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) – plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- 6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- 7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 6. Remove rejected plant material immediately from job site.
 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - a. Clay – between 7-27 percent
 - b. Silt – between 15-25 percent
 - c. Sand – less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
 - B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
 - C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
 - D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
 - E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
 - F. Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
 - G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
 - H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.
- 2.3 MISCELLANEOUS MATERIALS**
- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDEGE Heavy Duty Steel.
 - B. Staking Material for Shade Trees: refer to details.
 - C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
 - D. Filter Fabric: "Mirafri Mirascape" by Mirafri Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
 - E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

- 1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than its vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾) inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.

- 1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
- 2. Pruning shall be done with clean, sharp tools.
- 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Q. Steel Curbing Installation:
 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 2. All steel curbing shall be free of kinks and abrupt bends.
 3. Top of curbing shall be ½" maximum height above final finished grade.
 4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 5. Do not install steel edging along sidewalks or curbs.
 6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

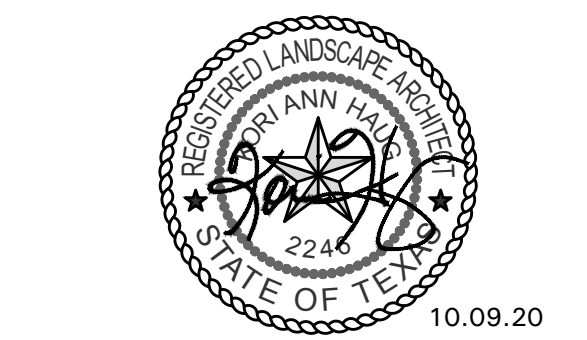
3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



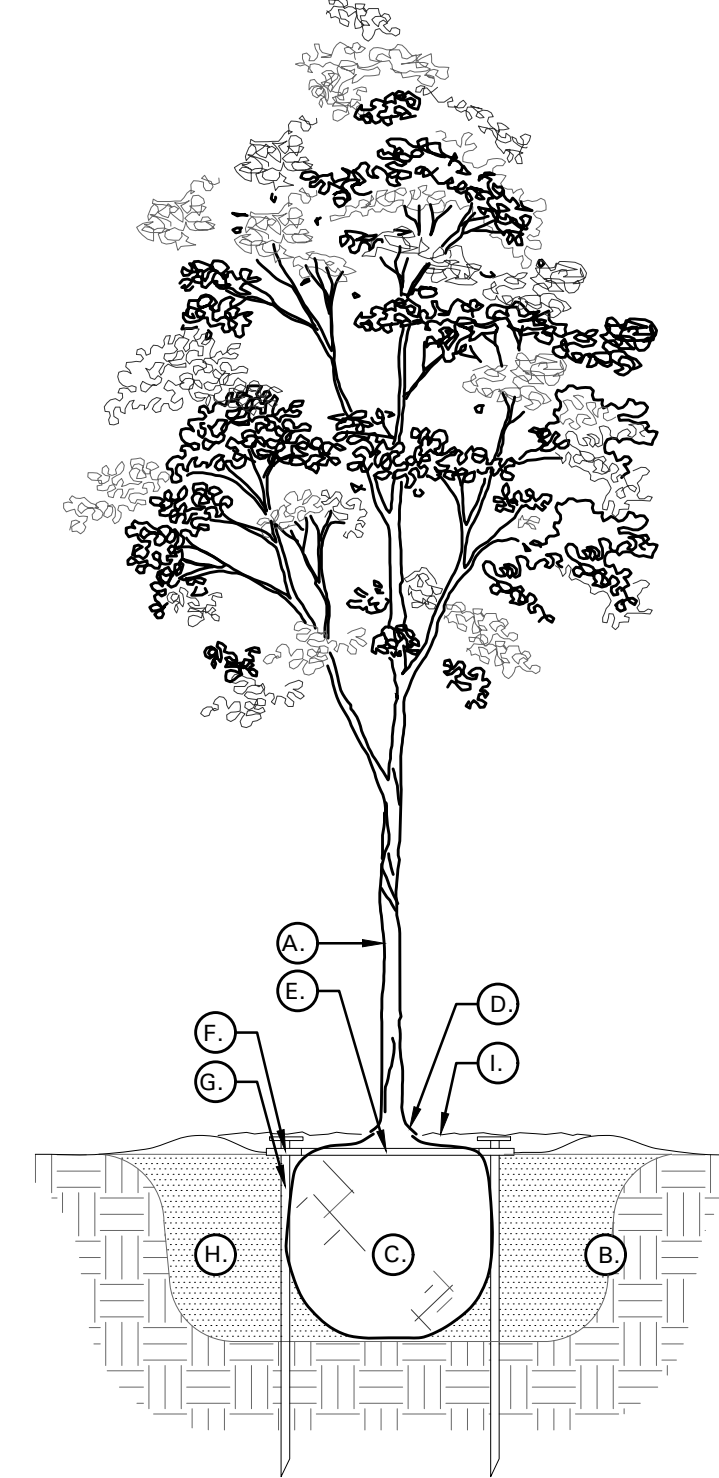
Baumann Building
4901 Arapaho Road
Lot 1, Block A
Wingate Inn of Addison Addition
Addison, Texas
Town Project No. 1809-Z

Project Number: 19147
Issue Date: 01.24.2020
Drawn By: NAY
Checked By: KAH

Revisions
No: Date: Detail:
03.27.20 Town Comments
10.09.20 Town Comments

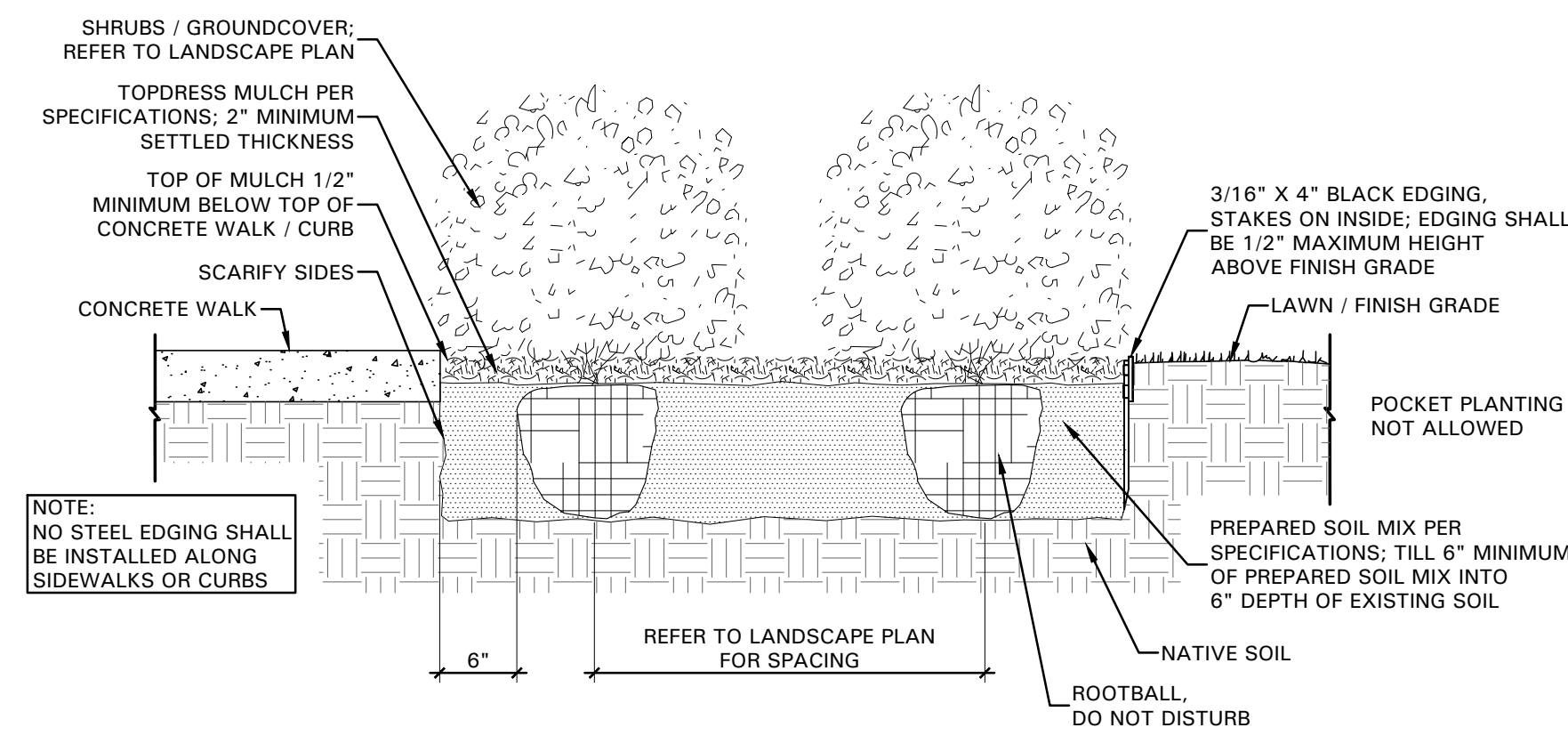
Owner:
JR Baumann Holdings LLC
4801 Arapaho Road
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Architect/Applicant:
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7557 Rambler Road
Suite 1400
Dallas, Texas 75231
972.235.3031

Sheet Title:
LANDSCAPE SPECIFICATIONS AND DETAILS
Sheet Number:
L2.02



TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP ½ BURLAP AND ANY OTHER FOREIGN OBJECT. CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL IS AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



01 TREE PLANTING DETAIL
NOT TO SCALE

02 SHRUB / GROUNDCOVER DETAIL
NOT TO SCALE

Planning & Zoning Commission

Meeting Date: 10/20/2020

Agenda Caption:

PUBLIC HEARING Case 1818-Z/3820 Belt Line Road. Public hearing, discussion, and take action on a recommendation regarding an ordinance changing the zoning on property located at 3820 Belt Line Road, from PD, Planned Development, to a new PD district to allow a two-story retail and office building.

Attachments

1818-Z P&Z Packet

1818-Z Plans

1818-Z

PUBLIC HEARING Case 1818-Z/3820 Belt Line Road. Public hearing, discussion, and take action on a recommendation regarding an ordinance changing the zoning on property located at 3820 Belt Line Road, from PD, Planned Development, to a new PD district to allow a two-story retail and office building.

LOCATION MAP





October 20, 2020

STAFF REPORT

RE: Case 1818-Z/3820 Belt Line Road

LOCATION: 3820 Belt Line Road

REQUEST: Approval of an ordinance changing the zoning from Planned Development (PD) district, through Ordinance O93-018, as amended by Ordinance O15-030, to a new PD district in order to permit development of a new two-story retail and office building.

APPLICANT: Gregg Lisciotti, Addison Retail LLC

DISCUSSION:

Background: This 2.034-acre property is part of a Planned Development (PD) district through Ordinance O93-018, as amended by Ordinance O15-030. This is a large PD that applies to several properties including Addison Town Center. The property currently contains a one-story restaurant building, previously occupied by Humperdink's Restaurant and Brewpub. The building has been vacant since May 2017.

Addison Retail LLC recently purchased the property with the intent to develop a retail center. Given the existing site is governed by the previously approved development plans, such action requires a rezoning.

In 2006, the Town established the Belt Line District, requiring all properties along the Belt Line Road corridor to follow the envisioned standards as they redevelop in order to accommodate more density and provide for a more pedestrian friendly experience. The intent of this zoning district is:

1. To provide a comfortable and attractive environment for pedestrians which includes such things as buildings framing public space, street trees, lighting and awnings.
2. To construct buildings close to the sidewalk and street.
3. To construct continuous building frontage along block faces except where it is desirable to provide for pedestrian and auto pass-throughs to parking at mid-block.

4. To provide shared parking both on-street and in the center of blocks that will benefit the entire district.
5. To contribute to the definition and use of public parks and plazas.
6. To design and build nonresidential buildings to accommodate a range of uses over time without the need to destroy older buildings and rebuild them for each successive use.
7. To design streets and buildings that will contribute to creating a safe environment.
8. To encourage redevelopment on a block-by-block basis.

Since the Town adopted the Belt Line District, only the Asbury Circle townhome neighborhood, located just east of this site, has been zoned to the Belt Line District. The Belt Line District also served as the foundation for the Addison Grove Planned Development district with several additional requirements.

Proposed Plan: The applicant is proposing to develop a new two-story, surface-parked, retail and office building. The building is proposed to be 3,223 square feet with 2,503 square feet of first floor retail and 720 square feet of second floor office. The proposed development is located on the eastern portion of the site and will not replace the existing restaurant space.

A new Planned Development district is being proposed based, in part, on the Belt Line District standards as well as the streetscape standards established in the Master Transportation Plan (MTP).

Land Uses: Under the Belt Line District retail and commercial uses are permitted as-of-right and are required to be constructed to a depth of 50 feet. Restaurant uses are permitted through a Special Use Permit (SUP). It is noted that uses that are not explicitly authorized, are prohibited. The applicant is proposing retail and commercial uses, to be constructed at a depth of just over 94 feet, this meets the requirements of the Belt Line District.

Block Face:

Block Length: The Belt Line District standards call for a block length minimum of 200 feet and maximum of 600 feet. The proposed plans show the main building face as 60 feet and the existing standalone restaurant building face as 99.4 feet. **At 159.4 feet this does not meet the requirements of the Belt Line District. The applicant is asking to count the property in its entirety as one full block, measuring approximately 420 feet.**

Building Setback: The Belt Line District identifies Belt Line Road as street type A-1, which has a required built-to line of 94 feet. The submitted site plan shows a 94-foot building setback.

Building Height: The Belt Line District standards require a minimum height of 2 stories and a maximum height of 4 stories, for this subdistrict. The submitted façade plans show a two-story building with a maximum height of 25 feet. The first-floor retail will have ceiling heights of 16 feet, which meets Belt Line District Requirements.

Streets: The Belt Line District standards require conformity with the Master Transportation Plan and show street type A-1 to have a 14-foot sidewalk directly in front of the front building façade, an 18-foot row of parking, a 24-foot drive aisle another 18-foot row of parking, then a 4-foot landscape buffer, and an 8-foot sidewalk protected by a 8-foot parkway buffer from Belt Line Road. The submitted site plan shows a 14.8-foot sidewalk directly in front of the proposed building, an 18-foot row of parking, a 24-foot drive aisle, a 17.7-foot row of parking, a 3.4-foot landscape buffer, an 8-foot sidewalk at the back of curb, and an 8.2-foot parkway buffer. **This is consistent with the Belt Line District standards and the Master Transportation Plan. The row of parking closest to Belt Line Road is 5 inches less than the minimum parking space length, this was allowed to accommodate landscape improvements along Belt Line Road.**

Streetscape and Landscape: The landscape plans have been reviewed by the Parks Department for compliance with the Town's Landscape Ordinance. The proposed landscape plans meet all requirements and the applicant agreed to provide 50% of the funding for the landscape improvements along Belt Line Road, including a landscape buffer and sidewalk improvements.

Building Standards:

Building Form: The Belt Line District standards require a tripartite architecture and landmark features when a building is located on an axis with a terminating street or at the intersection of streets. The proposed building facades show unique building articulations which are offset from the front wall planes.

Architectural Features: The Belt Line District standards require that windows be a vertical proportion and prohibits glass curtain walls. The proposed façade plans shown meet all Belt Line District requirements.

External Facades: The Belt Line District standards require ground floor exterior walls to be constructed of 80% brick or stone, and windows/glazing for each building façade to be limited to a minimum of 30% glazing and maximum of 70% glazing. The submitted plans show the facades as primarily brick or stone. **However, not all building elevations meet the glazing requirements, showing the primary building south façade at 17% glazing. The south façade's building materials are made up of 73% brick or stone, which is also less the Belt Line Road requirements of 80%. The applicant is requesting that the Town allow the south façade of the building to be exempt from the 30% glazing requirement and the 80% brick or stone building materials requirement.**

Color: The Belt Line District standards require the dominant color of all buildings to be muted shades of color. Black and stark white shall not be used except as an accent color. The submitted plans show facades of the main building in cool light and dark grey tones and the standalone restaurant building in light grey and maroon, with black trim.

Retail Ground Floor: The Belt Line District standards require a minimum clear height of 16 feet between finished floors, an awning or canopy which extends 6 feet over the sidewalk for at least 75% of the frontage on any portion of the building and maintains a 7.5-foot clearance over the sidewalk, and highly transparent glass windows. The submitted façade plans show all the requirements will be met.

Parking:

Automobile Parking: The Belt Line District parking requirement ratio for a retail use is 1 parking space per 200 square feet, for a restaurant use the ratio is 1 parking space per 100 square feet, and for office space the ratio is 1 parking space per 300 square feet. The site shows a total of 128 parking spaces. The proposed 10,382 square feet of existing restaurant space would require 112 parking spaces, the 2,503 square feet of retail would require 13 parking spaces, and the 720 square feet would require 3 parking spaces, all totaling 128 parking spaces. The proposed development meets parking requirements.

Bicycle Parking: The Belt Line District requires bicycle parking at a ratio of 1 bicycle parking space per 10 automobile required parking spaces, located within 50 feet of an entrance to the building. The proposed site requires 13 bicycle parking spaces and the submitted site plan shows 14 bicycles spaces will be provided.

Fire Access: Plans have been reviewed by the Fire Marshal to ensure sufficient site access and building coverage. The submitted site plans show all requirements will be met.

RECOMMENDATION: APPROVAL

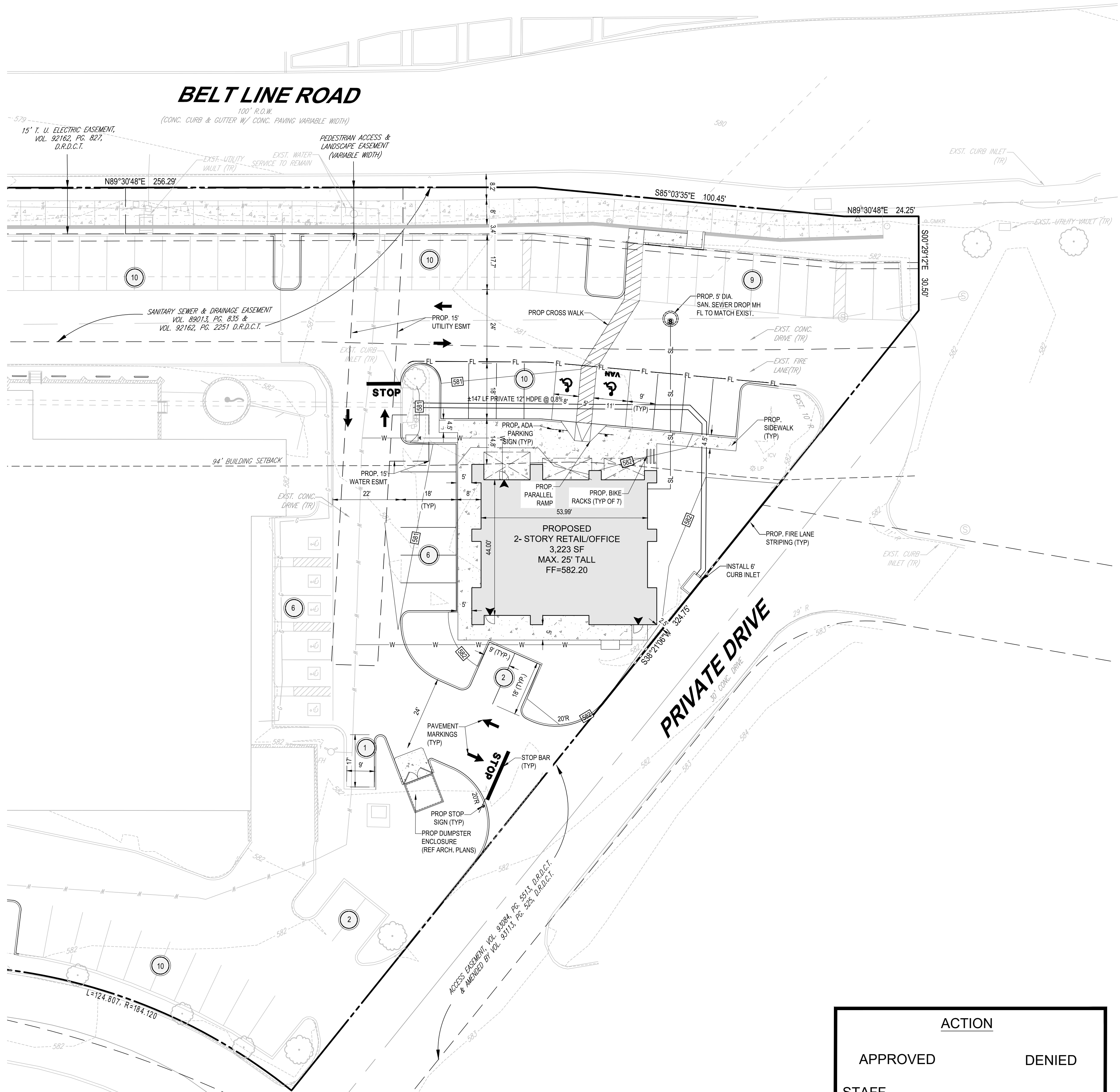
In approaching this case, staff has attempted to work with the developer to apply as many of the Belt Line District standards as possible. While implementing the Belt Line District standards is the long-term goal, some standards are not feasible on a small in-fill site such as this. As a result, a Planned Development District is necessary.

The property does not comply with the Belt Line District standards in the following ways:

- The block length of the buildings is smaller than required.
- The southern facade of the building does not provide the required percentage of glazing and brick or stone.

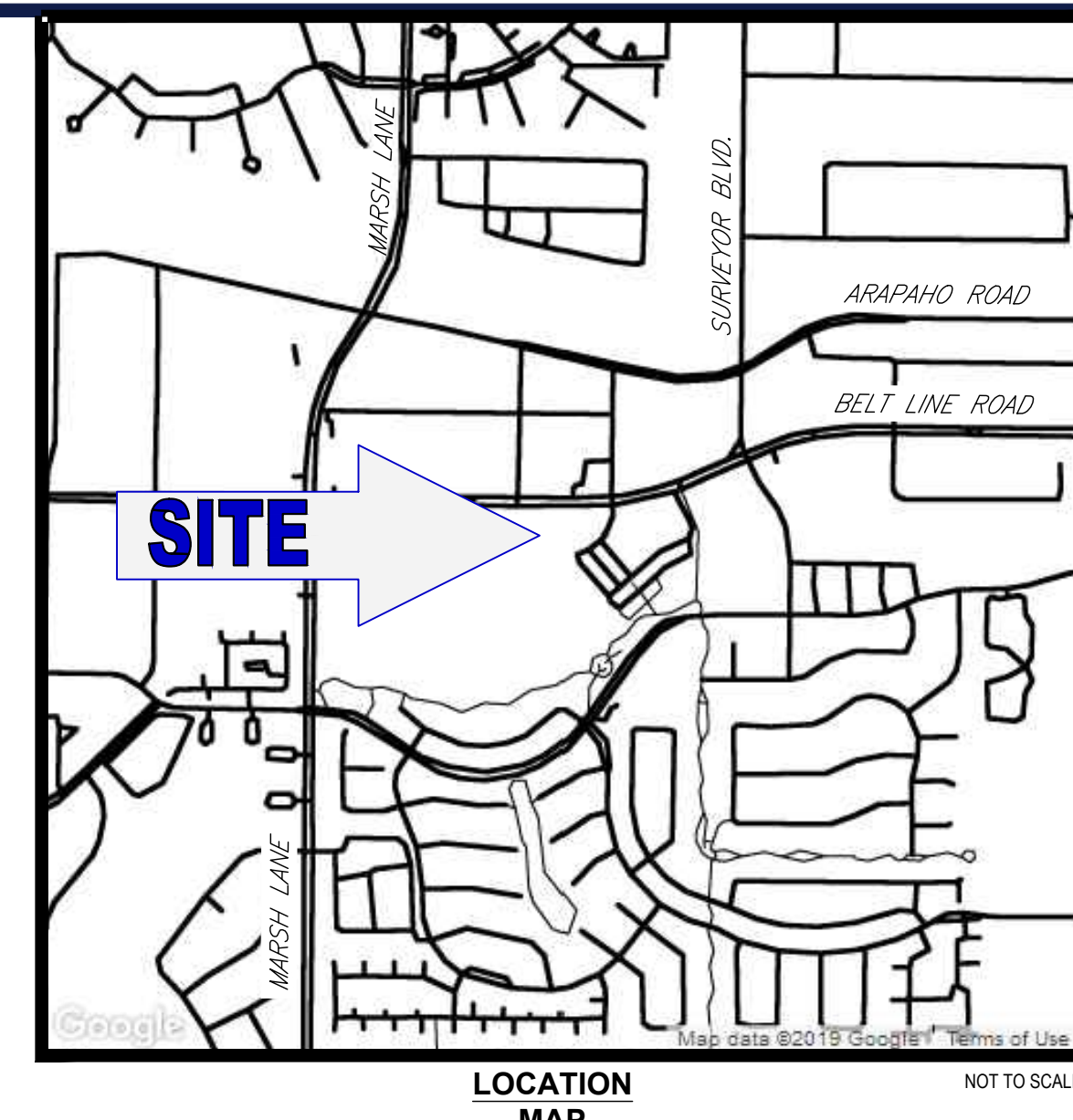
While these standards are not met, Staff recognizes that the small size of the site's block face, 420 feet, makes a minimum 200-foot façade unfeasible. Additionally, Staff supports reducing the minimum glazing and brick or stone requirements for the southern façade as they are not visible from Belt Line Road.

Staff believes that the development meets the future vision for the Belt Line District and recommends approval without conditions.



LEGEND

---	BOUNDARY
5	EXISTING PARKING COUNT TO REMAIN
5	PROPOSED PARKING COUNT
○	EXISTING TREE
○	EXISTING SHRUB
▨	PROPOSED CONCRETE SIDEWALK
⊗	EXISTING WATER VALVE
⊗	EXISTING LIGHT POLE
○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING SANITARY SEWER MAIN
○	EXISTING WATER MAIN
○	PROPOSED SANITARY SEWER MAIN
○	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED SANITARY SEWER CLEANOUT
○	PROPOSED WATER MAIN
○	PROPOSED FIRE HYDRANT
○	PROPOSED WATER METER
○	PROPOSED FIRE DEPARTMENT CONNECTION
TR	TO REMAIN



SITE DATA SUMMARY

SITE INFORMATION	
TOTAL LOT AREA	88,597 SF (2.034 AC)
PROPOSED BUILDING AREAS & HEIGHTS:	3,223 SF, 25' HEIGHT (2,503 SF = RETAIL; 720 SF = OFFICE)
EXISTING BUILDING AREAS	10,382 SF, 1-STORY 760 SF PATIO
TOTAL LOT COVERAGE	13,645 SF (15.4%)
PARKING DATA	
REQUIRED	
GENERAL RETAIL/PROFESSIONAL SERVICES	1 SPACE / 200 SF
RETAIL REQUIRED	13 SPACES
OFFICE	1 SPACE / 300 SF
OFFICE REQUIRED	3 SPACES
RESTAURANT	1 SPACE / 100 SF
RESTAURANT REQUIRED	112 SPACES
TOTAL PARKING REQUIRED	128 SPACES
BIKE PARKING (1 / 10 SPACES)	13 SPACES
PROVIDED	
GENERAL PARKING	120 SPACES
ADA COMPLIANT PARKING*	8 SPACES
TOTAL PROPOSED PARKING	128 SPACES
PROPOSED BIKE PARKING	14 SPACES
SPACE USAGE	
REQUIRED OPEN SPACE	20% (17,719 SF)
PROVIDED OPEN SPACE	21.5% (19,123 SF) (INCLUDES OPEN SPACE IN ROW)
IMPERVIOUS SURFACE AFTER DEVELOPMENT	71,294 SF
JURISDICTIONAL	
EXISTING ZONING / USE	PD 93-018 / RESTAURANT
PROPOSED ZONING / USE	BELT LINE DISTRICT & RESTAURANT/RETAIL/OFFICE
BUILDING SETBACKS:	
FRONT	94'
SIDE	N/A
REAR	N/A
LANDSCAPE BUFFER**	19.6' LANDSCAPE BUFFER INCLUDING SIDEWALK

TOWN OF ADDISON SITE PLAN NOTES:

- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

GENERAL SITE PLAN NOTES:

- ALL DIMENSIONS ARE FROM FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- ALL CURB RADII ARE 3' UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- THIS DEVELOPMENT WILL NOT IMPACT THE EXISTING NATURAL RESOURCES OF THE SURROUNDING PROPERTIES.
- SITE LIES WITHIN ZONE X, 0.2 PCT ANNUAL CHANCE FLOOD HAZARD, ACCORDING TO FEMA FLOOD MAP 48113C0180K.
- THE CONSTRUCTION OF THIS PROJECT WILL INCLUDE THE REMOVAL OF 6 TREES AND THE PLANTING OF 25 TREES, RESULTING IN A SURPLUS OF 19 TREES.
- THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTEWATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.
- REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS OF PROPOSED BUILDINGS. ONLY THE OVERALL FOOTPRINTS HAVE BEEN OUTLINED IN THIS SITE PLAN.
- REFERENCE APPROVED CONSTRUCTION DOCUMENTS TITLED BELT LINE 1.5 PREPARED BY PACHECO KOCH DATED 01/02/2020 SIGNED BY AMBER M. DAVIS.
- ANY PAVEMENT REPLACEMENT SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON'S PAVEMENT SECTION SPECIFICATIONS, OR MATCH EXISTING SECTIONS WHICHEVER IS GREATER.

WATER METER TABLE

METER TYPE	AMOUNT
1.5" METER - PROPOSED	1

ENGINEER: BOHLER ENGINEERING 6017 MAIN STREET FRISCO, TX 75034 PHONE:(469) 458-7300 CONTACT: MATHIAS HAUBERT	SURVEYOR: AXIS SURVEYING 714 FERRIS AVE E WAXAHACHIE, TX 75168 PHONE: (214) 903-8200 CONTACT: SEAN SHROPSHIRE	OWNER/APPLICANT: ADDISON RETAIL, LLC 83 ORCHARD HILL PARK DR LEOMINSTER, MA 01453 PHONE: (978) 466-6661 CONTACT: GREGG LISCIOTTI
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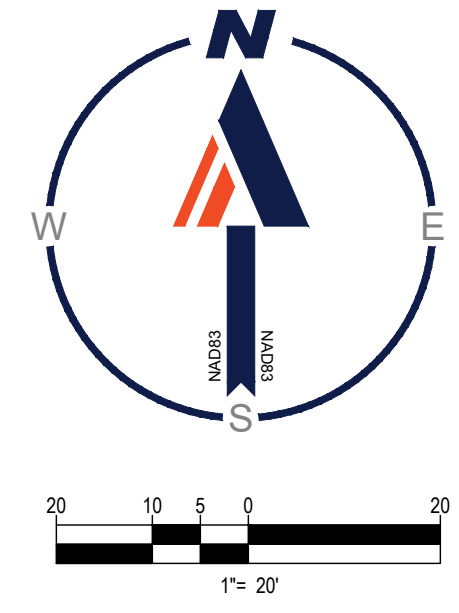
ACTION

APPROVED _____ DENIED _____

STAFF _____ DATE _____ INITIALS _____

COUNCIL _____ DATE _____ INITIALS _____

SEE THE STAFF APPROVAL LETTER OR COUNCIL RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE APPROVAL OF THE PROJECT



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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Know what's below.
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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

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PROJECT No.: TD180002
DRAWN BY: JJB
CHECKED BY: MJM
DATE: 10/7/2020
CAD I.D.: SP0

SITE DEVELOPMENT PLANS
FOR

ADDISON RETAIL LLC

3820 BELT LINE ROAD
ADDISON, TX 75001
DALLAS COUNTY
THOMAS L CHINOWITH ABST. 273
BLOCK A, LOT 1R, 2.034 AC

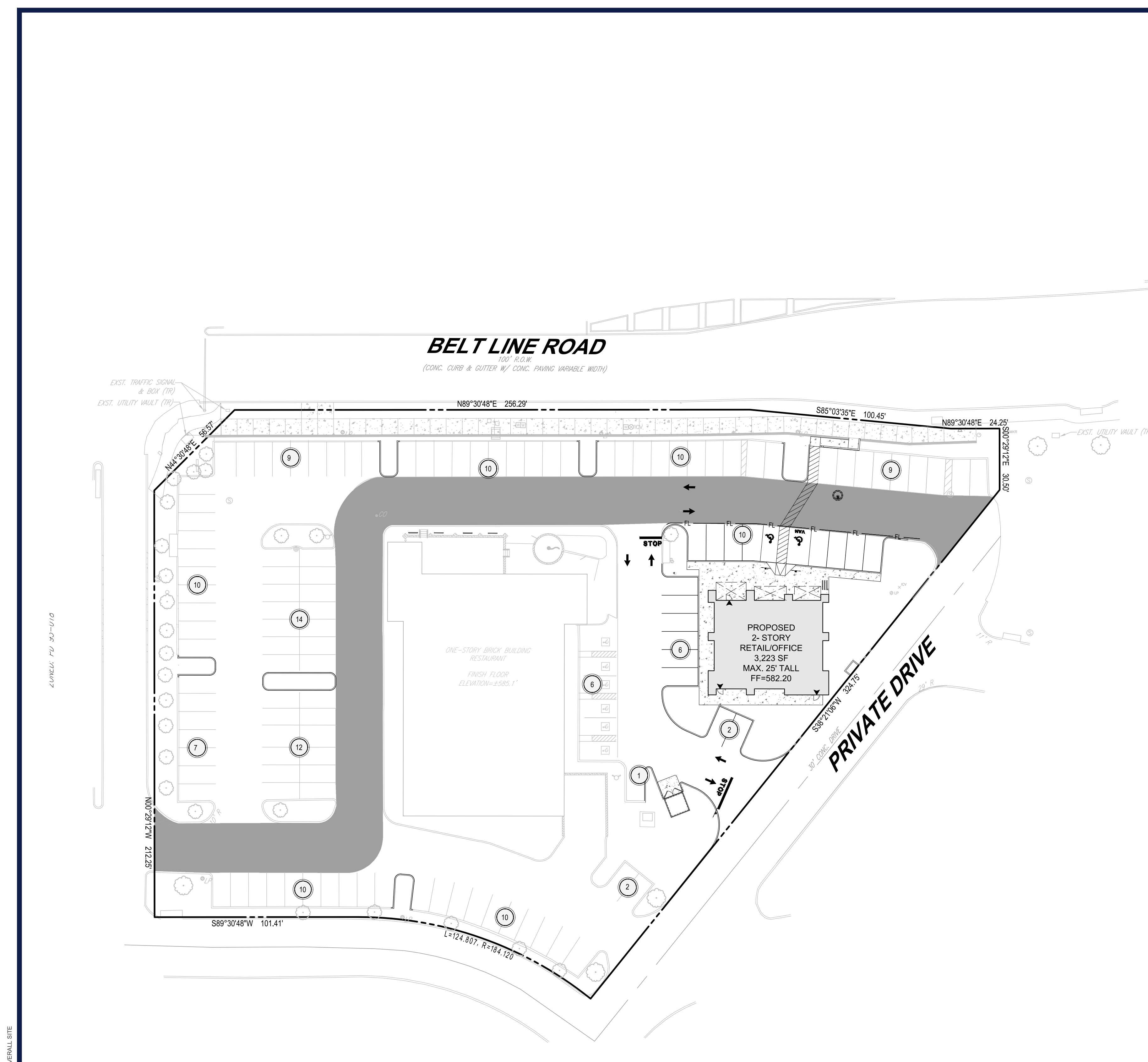
BOHLER

6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TBPE No. 18065 | TBPLS No. 10194413

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-300

TOWN PROJECT #1818-Z



LEGEND

---	BOUNDARY
5	EXISTING PARKING COUNT TO REMAIN
5	PROPOSED PARKING COUNT
○	EXISTING TREE
○	EXISTING SHRUB
▨	PROPOSED CONCRETE SIDEWALK
WV	EXISTING WATER VALVE
LP	EXISTING LIGHT POLE
S	EXISTING SANITARY SEWER MANHOLE
S	EXISTING SANITARY SEWER MAIN
---	EXISTING WATER MAIN
S-S	PROPOSED SANITARY SEWER MAIN
S	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED SANITARY SEWER CLEANOUT
W-W	PROPOSED WATER MAIN
○	PROPOSED FIRE HYDRANT
○	PROPOSED WATER METER
△	PROPOSED FIRE DEPARTMENT CONNECTION
TR	TO REMAIN
FL-FL	PROPOSED FIRE LANE STRIPING
---	FIRELANE



SITE DATA SUMMARY

SITE INFORMATION	
TOTAL LOT AREA	88,597 SF (2.034 AC)
PROPOSED BUILDING AREAS & HEIGHTS:	3,223 SF, 25' HEIGHT (2,503 SF = RETAIL, 720 SF = OFFICE)
EXISTING BUILDING AREAS	10,382 SF, 1-STORY 760 SF PATIO
TOTAL LOT COVERAGE	13,645 SF (15.4%)

PARKING DATA

REQUIRED	PROVIDED
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OFFICE REQUIRED	3 SPACES
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RESTAURANT REQUIRED	112 SPACES
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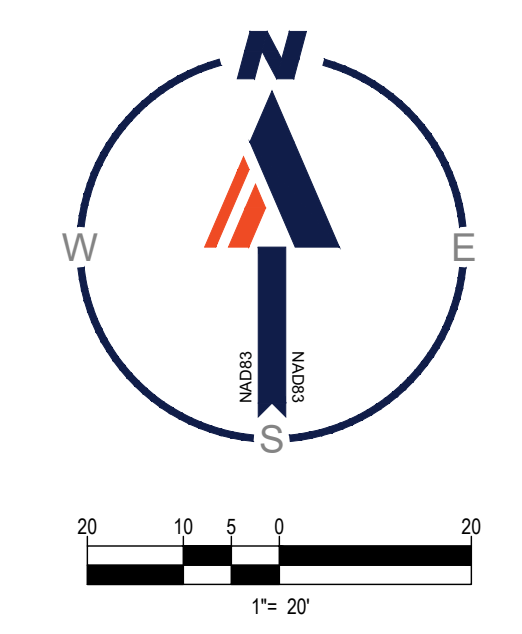
SPACE USAGE

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PROVIDED OPEN SPACE	21.5% (19,123 SF) (INCLUDES OPEN SPACE IN ROW)
IMPERVIOUS SURFACE AFTER DEVELOPMENT	71,294 SF

JURISDICTIONAL

EXISTING ZONING / USE	PD 93-018 / RESTAURANT
PROPOSED ZONING / USE	BELT LINE DISTRICT & RESTAURANT/RETAIL/OFFICE
BUILDING SETBACKS:	
FRONT	94'
SIDE	N/A
REAR	N/A
LANDSCAPE BUFFER**	19.6' LANDSCAPE BUFFER INCLUDING SIDEWALK

* HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
 ** EXISTING LANDSCAPE BUFFER RANGES FROM 18'-19'. EXISTING SIDEWALK AND LANDSCAPE AREA TO REMAIN IN CURRENT CONDITIONS. REQUIRED LANDSCAPE BUFFER HAS BEEN CALCULATED AS 19' FROM THE BELT LINE DISTRICT THOROUGHFARE PLAN.



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- REFERENCE APPROVED CONSTRUCTION DOCUMENTS TITLED BELT LINE 1.5 PREPARED BY PACHECO KOCH DATED 01/22/2020 SIGNED BY AMBER M. DAVIS.
- ANY PAVEMENT REPLACEMENT SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON'S PAVEMENT SECTION SPECIFICATIONS, OR MATCH EXISTING SECTIONS WHICHEVER IS GREATER.

WATER METER TABLE

METER TYPE	AMOUNT
1.5" METER - PROPOSED	1

ENGINEER:	SURVEYOR:	OWNER/APPLICANT:
BOHLER ENGINEERING 6017 MAIN STREET FRISCO, TX 75034 PHONE: (469) 458-7300 CONTACT: MATHIAS HAUBERT	AXIS SURVEYING 714 FERRIS AVE B WAXAHACHIE, TX 75168 PHONE: (214) 903-8200 CONTACT: SEAN SHROPSHIRE	ADDISON RETAIL, LLC 83 ORCHARD HILL PARK DR LECOMINSTER, MA 04153 PHONE: (978) 456-6861 CONTACT: GREGG LISCIOTTI

ACTION			
APPROVED		DENIED	
STAFF	DATE	INITIALS	
COUNCIL	DATE	INITIALS	

SEE THE STAFF APPROVAL LETTER OR COUNCIL RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE APPROVAL OF THE PROJECT

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

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PROJECT No.:	TD180002
DRAWN BY:	JJB
CHECKED BY:	MJH
DATE:	10/7/2020
CAD I.D.:	SPD

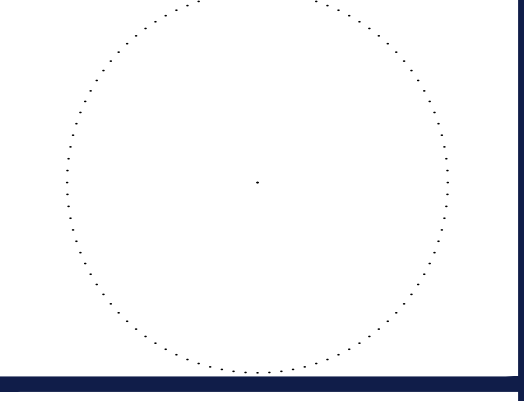
SITE DEVELOPMENT PLANS

FOR

ADDISON RETAIL LLC

3820 BELT LINE ROAD
 ADDISON, TX 75001
 DALLAS COUNTY
 THOMAS L CHINOWITH ABST. 273
 BLOCK A, LOT 1R, 2.034 AC

BOHLER
 6017 MAIN STREET
 FRISCO, TX 75034
 Phone: (469) 458-7300
 TX@BohlerEng.com
 TBPE No. 18065 | TBPLS No. 10194413



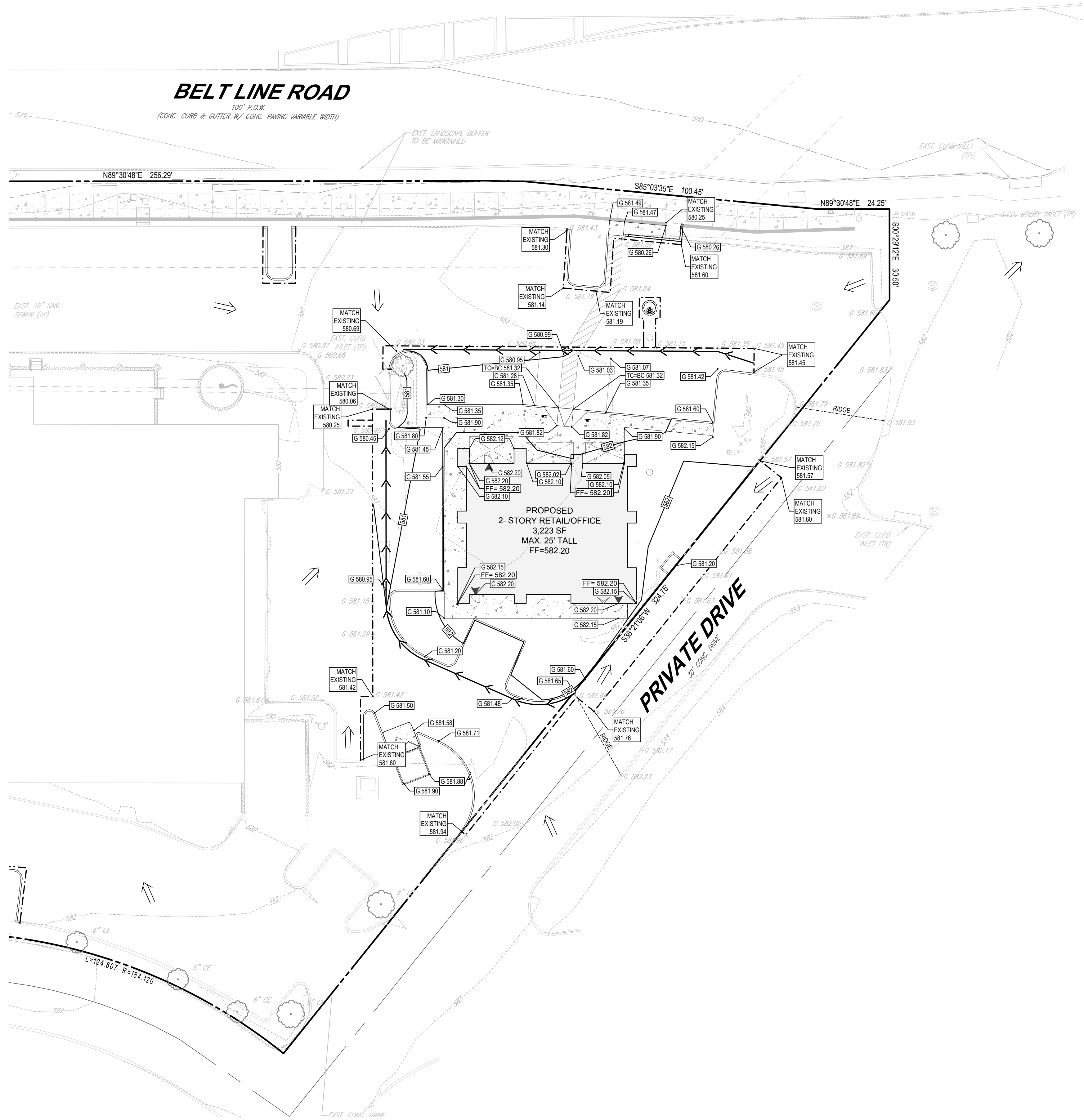
SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C-301

TOWN PROJECT #1818-Z

BELT LINE ROAD

100' R.O.W.
(CONC. CURB & CUTTER W/ CONC. PAVING VARIABLE WIDTH)



LEGEND

	BOUNDARY
	PROPOSED SAWCUT LIMIT
	EXISTING TREE
	EXISTING SHRUB
	EXISTING WATER VALVE
	EXISTING LIGHT POLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED CONTOUR

GRADING NOTES:

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER, PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE TEXAS GENERAL T.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM BOUNDARY/TOPOGRAPHIC SURVEY FROM BOHLER ENGINEERING. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL SUBSURFACE AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- ALL VEGETATION SHALL BE CLEARED AND GRUBBED FOR ALL AREAS TO BE DISTURBED.

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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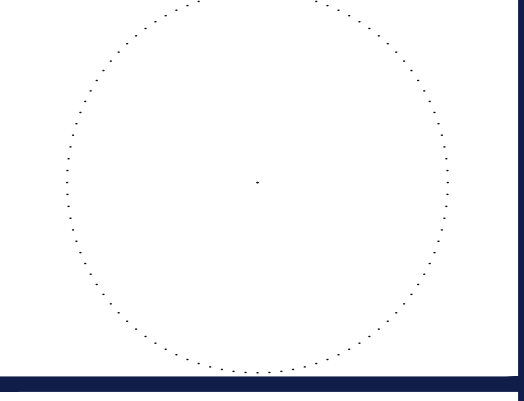
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PROJECT No.:	TD180002
DRAWN BY:	JMB
CHECKED BY:	MJH
DATE:	08/03/2020
CAD I.D.:	GPD

PROJECT: **SITE DEVELOPMENT PLANS** FOR **ADDISON RETAIL LLC**

3820 BELT LINE ROAD
ADDISON, TX 75001
DALLAS COUNTY
THOMAS L CHINOWITH ABST. 273
BLOCK A, LOT 1R, 2.034 AC

BOHLER
6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TBPE No. 18065 | TBPLS No. 10194413

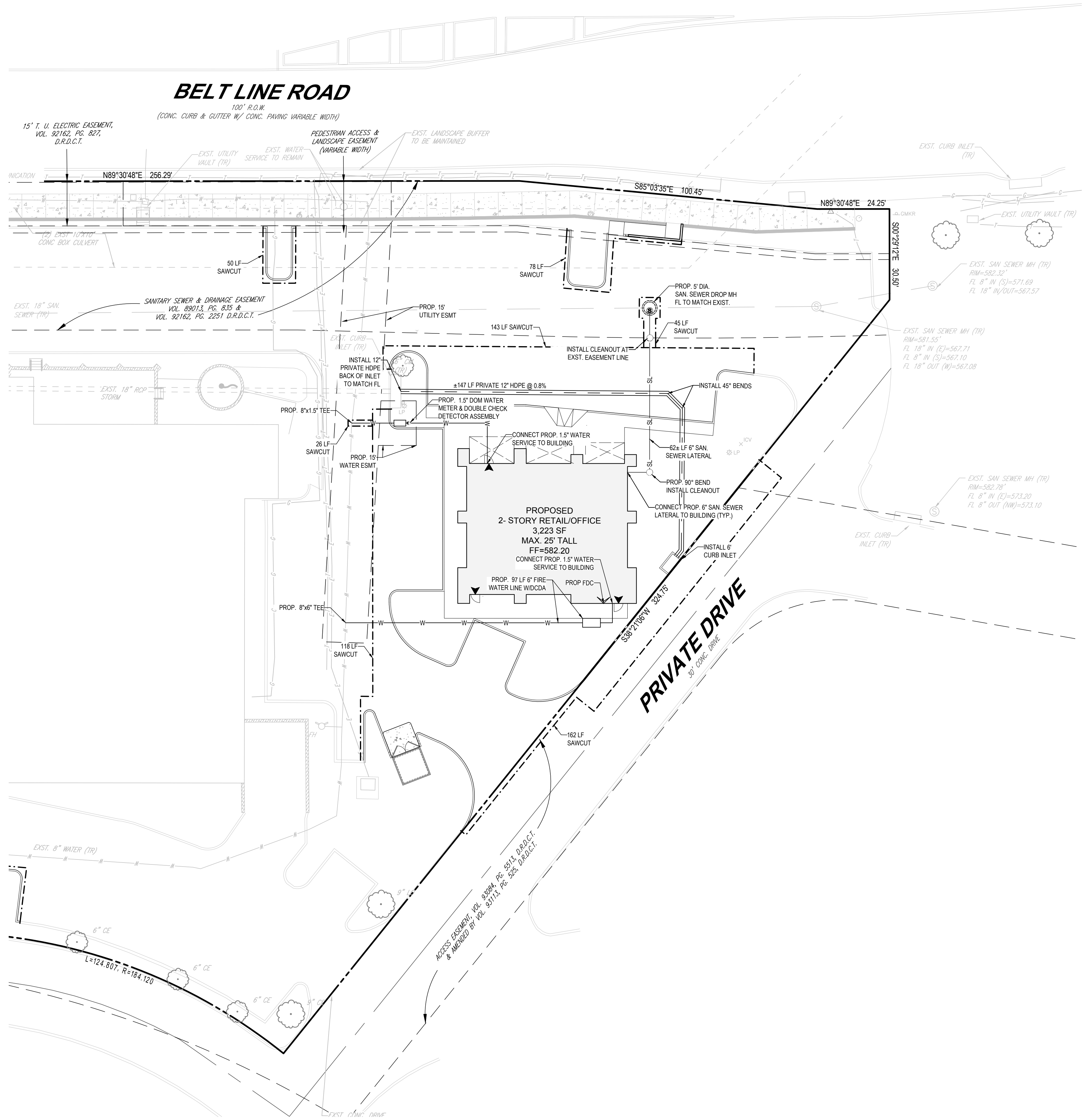


SHEET TITLE: **PRELIMINARY GRADING PLAN**

SHEET NUMBER: **C-400**

TOWN PROJECT #1818-Z

Sep. 20, 2020
 H:\1818\TD180002\DRAWINGS\PLAN SET\STD180002_GPD---K\AVOUT-GRADING



LEGEND

	BOUNDARY
	PROPOSED PARKING COUNT
	EXISTING TREE
	EXISTING SHRUB
	EXISTING WATER VALVE
	EXISTING WATER METER & SERVICE
	EXISTING LIGHT POLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MAIN
	EXISTING WATER MAIN
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED WATER MAIN
	EXISTING FIRE HYDRANT
	PROPOSED WATER METER & BACK FLOW PREVENTION ASSEMBLY
	PROPOSED FIRE DEPARTMENT CONNECTION
	TO REMAIN

- UTILITY NOTES:**
- CONTRACTOR TO NOTIFY THE ENGINEER IN WRITING SHOULD ANY DISCREPANCIES EXIST.
 - CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND COORDINATE WITH ADJACENT USERS AND APPROPRIATE JURISDICTIONS FOR ANY ANTICIPATED SERVICE DISRUPTION.
 - CONTRACTOR TO PROVIDE NECESSARY FITTINGS TO CONNECT TO BUILDING SERVICE. SEE ARCHITECTURAL AND M.E.P. PLANS FOR FURTHER DETAIL.
 - THE CONTRACTOR WILL ENSURE THAT FIRE HYDRANTS ARE ACCESSIBLE TO FIRE TRUCKS AT ALL TIMES.
 - THE CONTRACTOR SHALL SEQUENCE HIS CONSTRUCTION SUCH THAT NO MORE THAN ONE FIRE HYDRANT IS OUT OF SERVICE AT ANY GIVEN TIME.
 - EXISTING UTILITIES ARE SHOWN USING REFERENCED ALTA SURVEY DATA, RECORD PLANS, AND LIMITED FIELD VERIFICATION.
 - CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATIONS WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN AND UNSHOWN).
 - CONTRACTOR SHALL REPLACE, AT THEIR OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED.
 - ALL EXISTING WATER SERVICES ARE TO BE CAPPED AND ABANDONED PER TOWN OF ADDISON STANDARDS AND REGULATIONS UNLESS NOTED OTHERWISE.
 - ACCORDING TO THE SANITARY SEWER MAP PROVIDED BY THE TOWN OF ADDISON, THIS SITE FALLS WITHIN THE D2 WASTEWATER SERVICE BASIN. IT IS SURROUNDED BY THE D1 SERVICE BASIN ON THE NORTH, THE F SERVICE BASIN ON THE EAST, AND THE D3 SERVICE BASIN ON THE WEST.
 - THE NUMBER AND PLACEMENT OF WATER VALVES IS SUBJECT TO CHANGE UPON DETAILED CIVIL PLAN REVIEW. APPROVAL OF THE CONCEPT PLAN DOES NOT LOCK IN APPURTENANCES.
 - REFERENCE THE SPAGHETTI WAREHOUSE, INC. AS-BUILT PLAN SET BY JOHN W. BAIRD, JR., DATED 01/12/1993, FOR MORE INFORMATION REGARDING THE EXISTING UTILITIES WITHIN THE SITE.
 - THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEM REQUIREMENTS, WASTEWATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL.

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SITE CIVIL AND CONSULTING ENGINEERING
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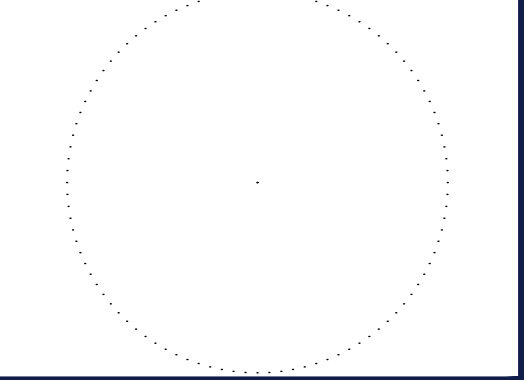
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DATE:	08/03/2020
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SITE DEVELOPMENT PLANS
FOR
ADDISON RETAIL LLC

3820 BELT LINE ROAD
ADDISON, TX 75001
DALLAS COUNTY
THOMAS L CHINOWITH ABST. 273
BLOCK A, LOT 1R, 2.034 AC

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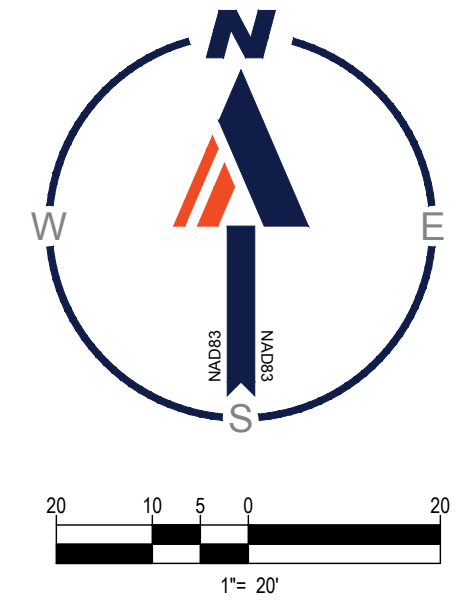
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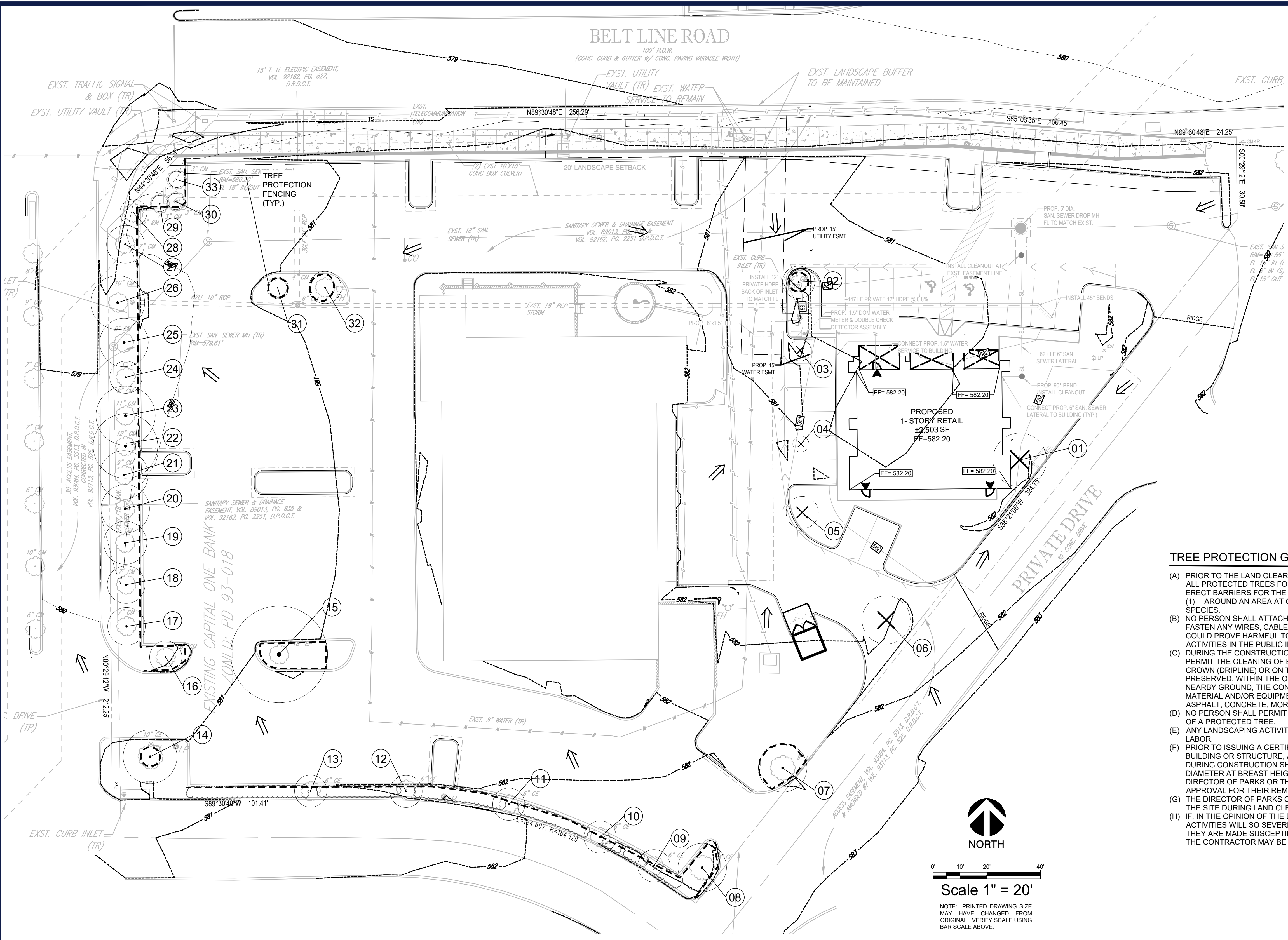


SHEET TITLE:
PRELIMINARY UTILITY PLAN

SHEET NUMBER:
C-500

TOWN PROJECT #181Z





TREE INVENTORY

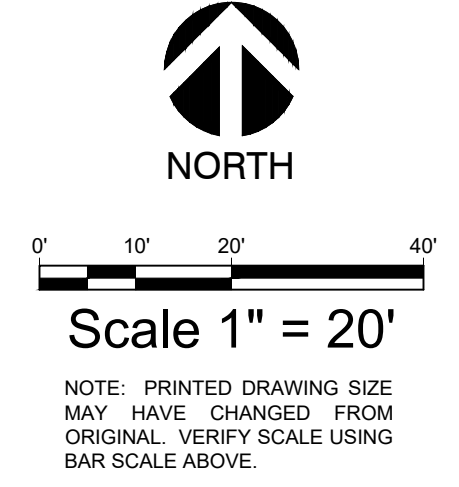
No	DBH	Type	Health	Status	R.C.I.
1	10	LIVE OAK	GOOD	REMOVE	10
2	6	CREPE MYRTLE	GOOD	REMAIN	0
3	4	CREPE MYRTLE	GOOD	REMOVE	4
4	3	CREPE MYRTLE	POOR	REMOVE	3
5	6	CREPE MYRTLE	GOOD	REMOVE	6
6	9	LIVE OAK	GOOD	REMOVE	9
7	9	LIVE OAK	GOOD	REMAIN	0
8	9	CEDAR ELM	GOOD	REMAIN	0
9	6	CEDAR ELM	GOOD	REMAIN	0
10	6	CEDAR ELM	GOOD	REMAIN	0
11	6	CEDAR ELM	GOOD	REMAIN	0
12	C	CEDAR ELM	GOOD	REMAIN	0
13	10	CEDAR ELM	GOOD	REMAIN	0
14	4	CEDAR ELM	FAIR	REMAIN	0
15	8	BRADFORD PEAR	FAR	REMAIN	0
16	6	CREPE MYRTLE	GOOD	REMAIN	0
17	7	CREPE MYRTLE	GOOD	REMAIN	0
18	7	CREPE MYRTLE	GOOD	REMAIN	0
19	8	CREPE MYRTLE	GOOD	REMAIN	0
20	9	CREPE MYRTLE	GOOD	REMAIN	0
21	12	CREPE MYRTLE	GOOD	REMAIN	0
22	11	CREPE MYRTLE	GOOD	REMAIN	0
23	11	CREPE MYRTLE	GOOD	REMAIN	0
24	6	CREPE MYRTLE	GOOD	REMAIN	0
25	9	CREPE MYRTLE	GOOD	REMAIN	0
26	10	CREPE MYRTLE	GOOD	REMAIN	0
27	7	CREPE MYRTLE	GOOD	REMAIN	0
28	5	CREPE MYRTLE	GOOD	REMAIN	0
29	3	CREPE MYRTLE	GOOD	REMAIN	0
30	3	CREPE MYRTLE	GOOD	REMAIN	0
31	4	CREPE MYRTLE	GOOD	REMAIN	0
32	6	CREPE MYRTLE	GOOD	REMAIN	0
33	3	CREPE MYRTLE	GOOD	REMAIN	0
TOTAL CALIPER REPLACEMENT INCHES					32

R.C.I. = REPLACEMENT CALIPER INCHES

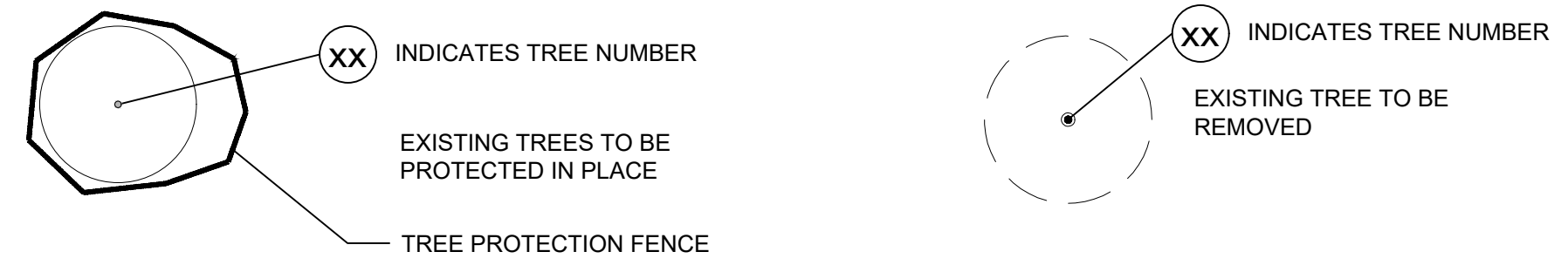
TOTAL NUMBER OF TREES	33
TOTAL NUMBER OF TREES REMOVED	5
TOTAL CALIPER INCHES OF REMOVED TREES	32"
TOTAL CALIPER INCHES TO MITIGATE	32"

TREE PROTECTION GENERAL NOTES

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - (1) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE DIRECTOR OF PARKS OR THE DIRECTOR'S DESIGNEE, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE DIRECTOR OF PARKS OR THE DIRECTOR'S DESIGNEE MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE DIRECTOR OF PARKS OR THE DIRECTOR'S DESIGNEE, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



LEGEND



NOTE:
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. AS SUCH THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.

ENGINEER
 BOHLER ENGINEERING
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 FRISCO, TX 75034
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 CONTACT: MATHIAS HAUBERT

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 EVERGREEN DESIGN GROUP
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 PH# 800-680-6630
 CONTACT: RODNEY MCNABB

OWNER/APPLICANT
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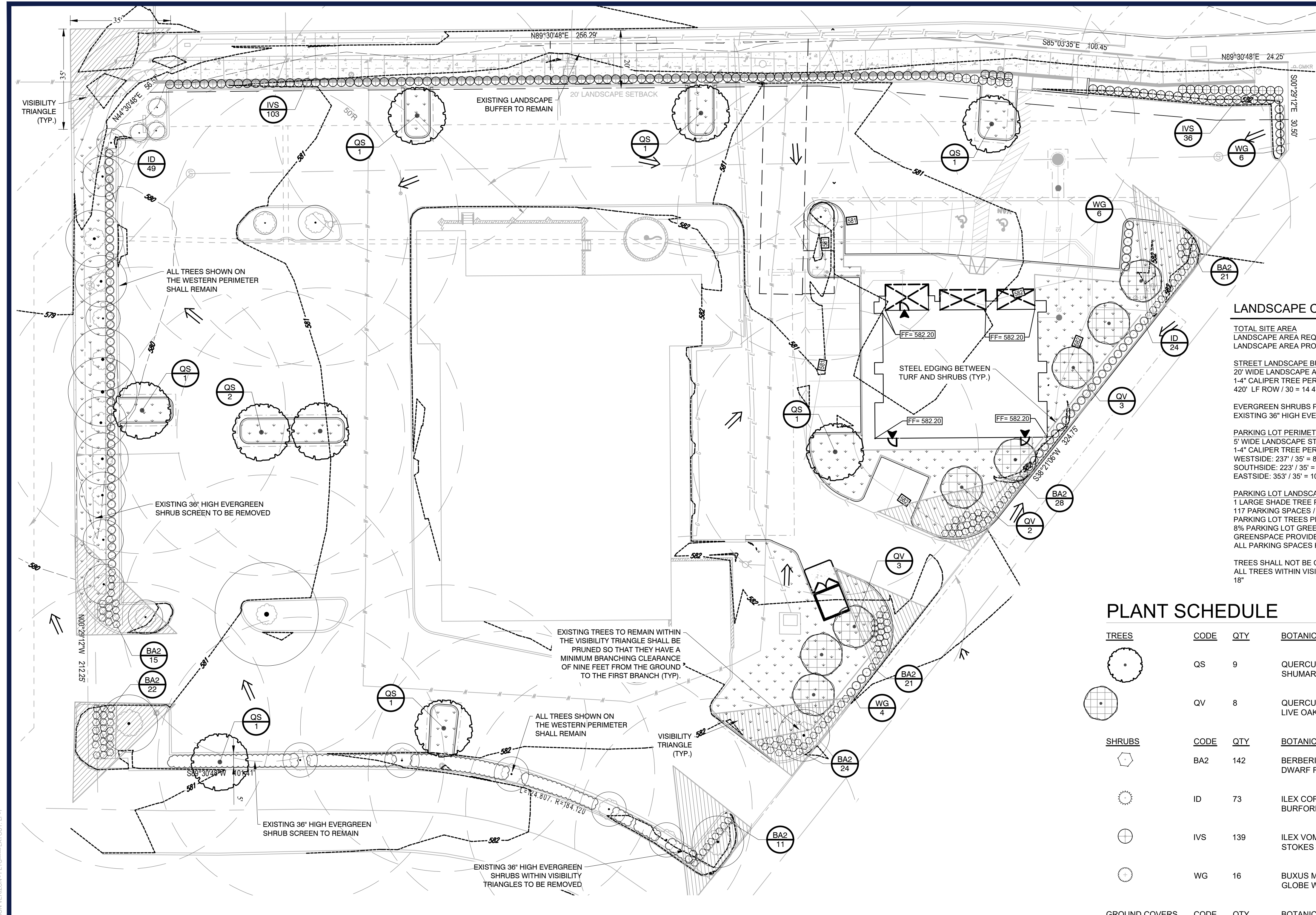
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PROJECT No.: TD180002
 DRAWN BY: MNB
 CHECKED BY: KB/RM
 DATE: 08/28/2020
 CAD I.D.: 1"= 20'

SITE DEVELOPMENT PLANS
 FOR
ADDISON RETAIL LLC
 3820 BELT LINE ROAD
 ADDISON, TX 75001
 DALLAS COUNTY
 THOMAS L CHINOWITH ABST. 273
 BLOCK A, LOT 1R, 2.034 AC

BOHLER
 6017 MAIN STREET
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 Phone: (469) 458-7300
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 TBPE No. 18085 | TBPLS No. 10194413

09/04/2020
 SHEET TITLE:
TREE PRESERVATION
 SHEET NUMBER:
TP-1
 TOWN PROJECT #181R-Z



Scale 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

NOTE: THIS PLAN CONFORMS TO THE TOWN OF ADDISON LANDSCAPE ORDINANCE Sec. 34-207 - LANDSCAPE DESIGN STANDARDS TO THE EXTENT ALLOWED BY THE PRE-EXISTING CONDITIONS ON THE SITE. AREAS OF NON-CONFORMANCE ARE AS FOLLOWS:
 1. PERIMETER TREES NOT PLACED ALONG NORTH BOUNDARY BECAUSE OF EXISTING UTILITY EASEMENT AND OVERHEAD UTILITY LINES

LANDSCAPE CALCULATIONS

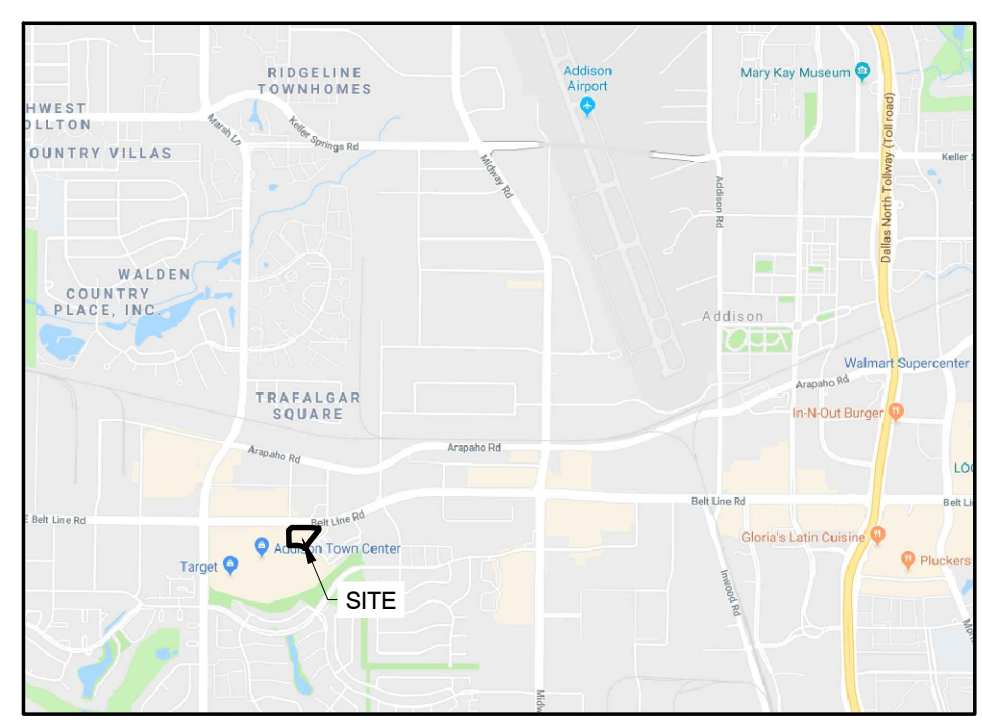
TOTAL SITE AREA	88,597 SF
LANDSCAPE AREA REQUIRED:	17,719 SF (20% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	17,789 SF (20.08% OF SITE AREA)
STREET LANDSCAPE BUFFER	
20' WIDE LANDSCAPE AT RIGHT OF WAYS	20' LANDSCAPE BUFFER PROVIDED
1-4" CALIPER TREE PER EVERY 35' ALONG PERIMETER	TREES NOT PROVIDED DUE TO EXISTING CONDITION
420' LF ROW / 30 = 14.4 TREES REQUIRED	
EVERGREEN SHRUBS PLANTED 3.5' O.C.	
EXISTING 36" HIGH EVERGREEN SCREEN	36" EVERGREEN SCREEN PROVIDED
PARKING LOT PERIMETER SCREENING	
5' WIDE LANDSCAPE STRIP ALONG PARKING LOT	5' PARKING LOT LANDSCAPE STRIP PROVIDED
1-4" CALIPER TREE PER EVERY 35' ALONG PERIMETER	
WESTSIDE: 237 / 35 = 8 TREES / 80 SHRUBS REQUIRED	12 TREES/86 SHRUBS PROVIDED
SOUTH SIDE: 223 / 35 = 6 TREES / 60 SHRUBS REQUIRED	6 TREES/EXISTING SHRUB HEDGE PROVIDED
EAST SIDE: 353 / 35 = 10 TREES PROVIDED / 100 SHRUBS REQUIRED	10 TREES / 139 SHRUBS PROVIDED
PARKING LOT LANDSCAPING	
1 LARGE SHADE TREE PER 10 PARKING SPACES	12 TREES
117 PARKING SPACES / 10 = 11.7	12 TREES
PARKING LOT TREES PROVIDED	3,692 SF (46,142 x .08)
8% PARKING LOT GREENSPACE REQUIRED	4,482 SF
GREENSPACE PROVIDED	PROVIDED
ALL PARKING SPACES HAVE TO BE WITHIN 50' OF A TREE	
TREES SHALL NOT BE CLOSER THAN 36" TO ANY PORTION OF THE PAVED SURFACE	
ALL TREES WITHIN VISIBILITY TRIANGLES SHALL BE LIMBED UP TO 9' MIN. AND ALL SHRUBS SHALL BE NO HIGHER THAN 18"	

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	QS	9	QUERCUS SHUMARDII SHUMARD RED OAK	B & B	4" CAL	14'-16" (16" MAX.)
	QV	8	QUERCUS VIRGINIANA LIVE OAK	B & B	4" CAL	14'-16" (16" MAX.)
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	BA2	142	BERBERIS THUNBERGII 'ATROPURPUREA NANA' DWARF REDLEAF JAPANESE BARBERRY	5 GAL	30" OC	
	ID	73	ILEX CORNUTA 'BURFORDII' BURFORD HOLLY	5 GAL	36" OC	
	IVS	139	ILEX VOMITORIA 'STOKES DWARF' STOKES DWARF YAUPON HOLLY	5 GAL	36" OC	
	WG	16	BUXUS MICROPHYLLA 'WINTER GEM' GLOBE WINTER GEM BOXWOOD	5 GAL	36" OC	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
	CH	7,690 SF	CYNODON DACTYLON '419 HYBRID' BERMUDA GRASS	SOD		

EXISTING TREES
SEE EXISTING TREE LIST ON SHEET TP-1 FOR TYPE, SIZE AND STATUS OF TREES

TOTAL NUMBER OF TREES	33
TOTAL NUMBER OF TREES REMOVED	5
TOTAL CALIPER INCHES OF REMOVED TREES	32"
TOTAL CALIPER INCHES TO MITIGATE	32"



VICINITY MAP N.T.S.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

ENGINEER
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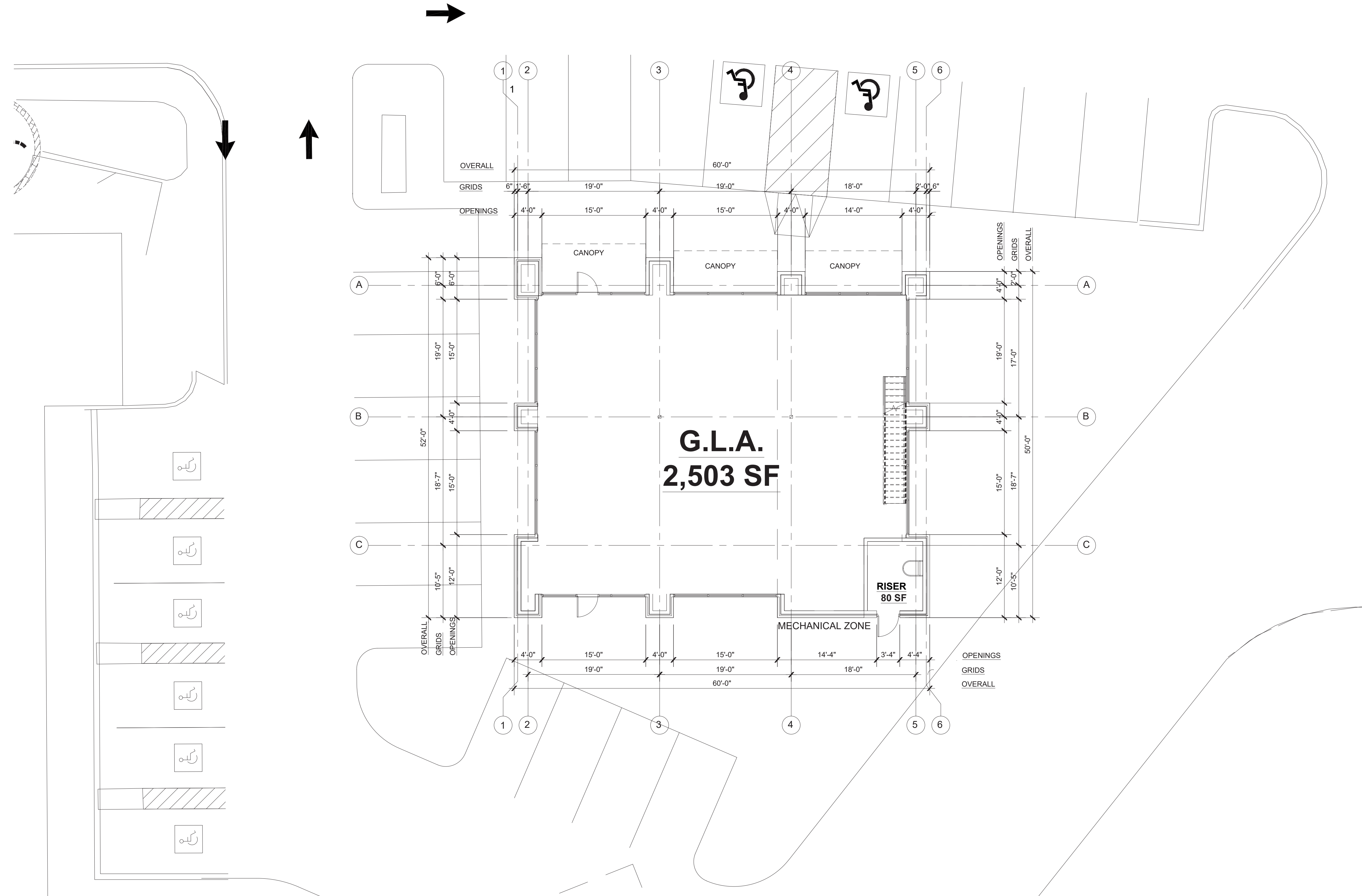
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SHEET NUMBER:
LP-1
TOWN PROJECT #181Z

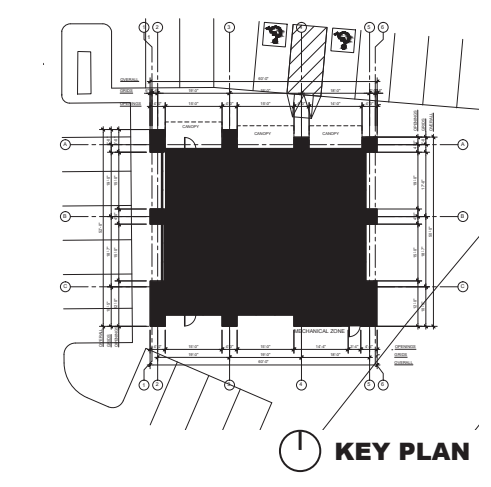


FIRST FLOOR PLAN
 0' 5' 10' 20' 50'
 SCALE: 1/8" = 1'-0"

FLOOR PLAN
 1796-Z
 ADDISON RETAIL LLC
 3820 BELTLINE RD
 ADDISON, TX 75001
 DALLAS COUNTY
 PRINTEMPS 2 REP
 BLOCK A, LOT 1R, 2.034 AC
 DATE: 09.15.2020

ARCHITECT
 O'BRIEN ARCHITECTS
 5310 HARVEST HILL RD.
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 DALLAS, TX 75230
 PHONE: (972) 788.1010
 CONTACT: GEOFFREY BROWN

OWNER AND APPLICANT
 LISCIOTTI DEVELOPMENT
 83 ORCHARD HILL PARK DRIVE
 LEOMINSTER, MA 01453
 PHONE: (978) 466.6661
 CONTACT: GREGG LISCIOTTI



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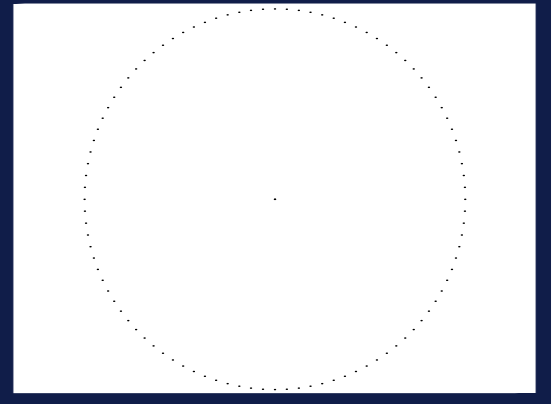
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 THOMAS L CHINOWITH ABST. 273
 BLOCK A, LOT 1R, 2.034 AC

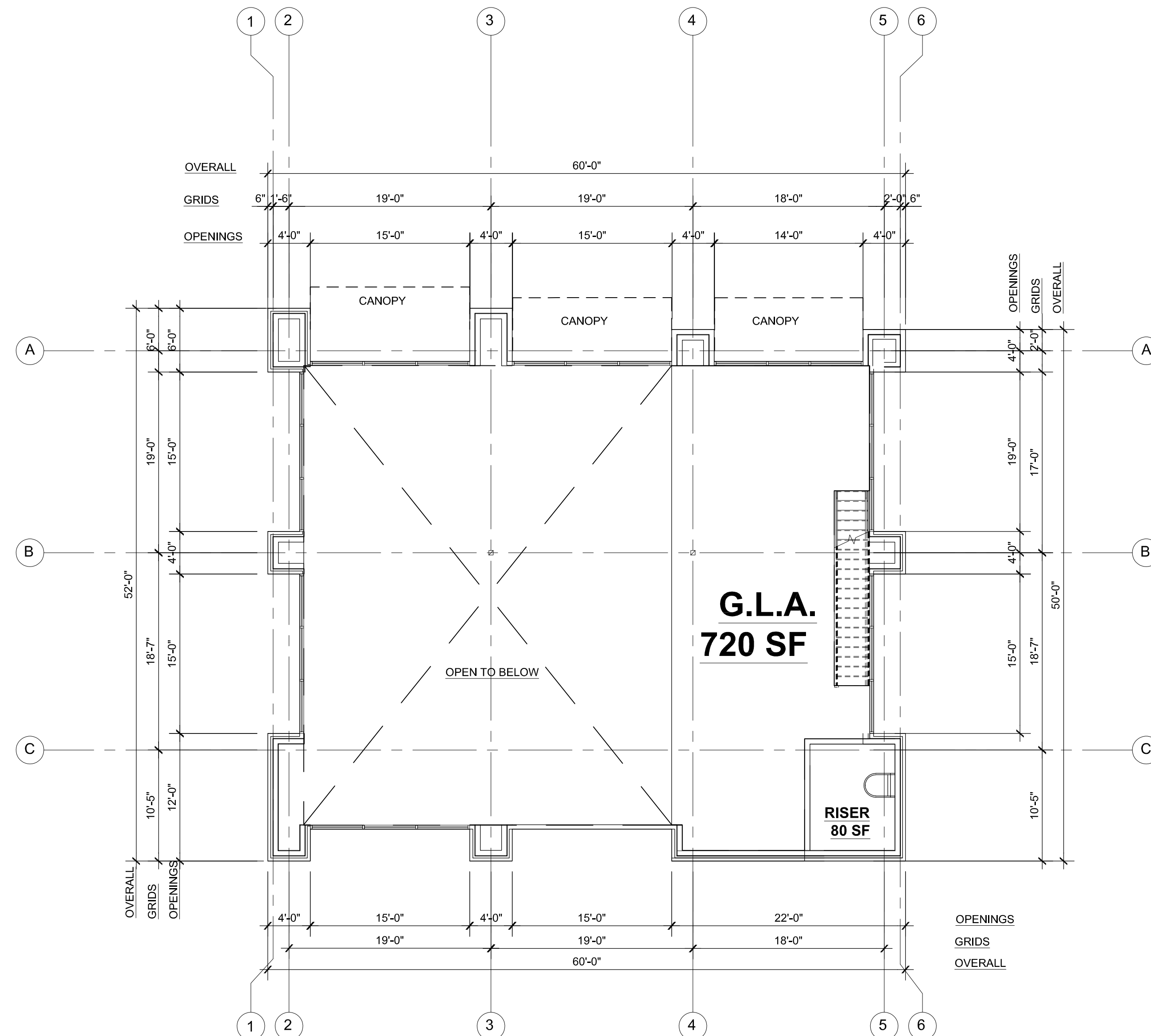
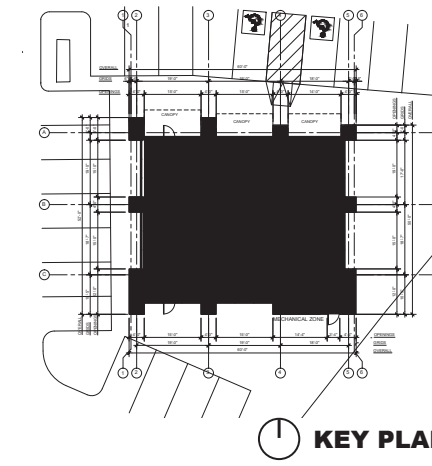
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 Phone: (469) 458-7300
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 TBPE No. 18065 | TBPLS No. 10194413



SHEET TITLE:
FLOOR PLAN

SHEET NUMBER:
1

TOWN PROJECT #1818-Z



SECOND FLOOR PLAN
 0' 5' 10' 20' 50'
 SCALE: 1/8" = 1'-0"



FLOOR PLAN

1796-Z
 ADDISON RETAIL LLC
 3820 BELTLINE RD
 ADDISON, TX 75001
 DALLAS COUNTY
 PRINTemps 2 REP
 BLOCK A, LOT 1R, 2.034 AC
 DATE: 09.15.2020

ARCHITECT

O'BRIEN ARCHITECTS
 5310 HARVEST HILL RD.
 SUITE 136, LB 161
 DALLAS, TX 75230
 PHONE: (972) 788.1010
 CONTACT: GEOFFREY BROWN

OWNER AND APPLICANT

LISCIOTTI DEVELOPMENT
 83 ORCHARD HILL PARK DRIVE
 LEOMINSTER, MA 01453
 PHONE: (978) 466.6661
 CONTACT: GREGG LISCIOTTI

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PROJECT No.: TD180022
 DRAWN BY: JJB
 CHECKED BY: MJH
 DATE: 08/03/2020
 CAD I.D.: SSO

PROJECT:

SITE DEVELOPMENT PLANS

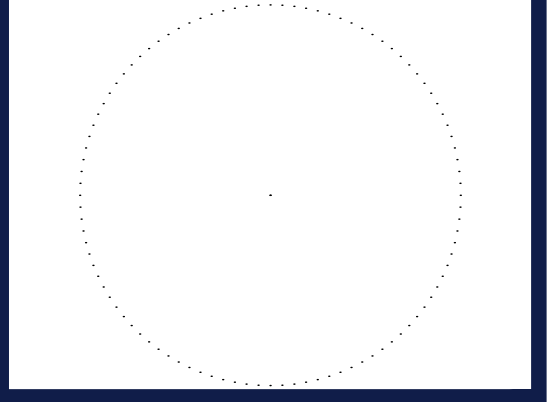
FOR

ADDISON RETAIL LLC

3820 BELT LINE ROAD
 ADDISON, TX 75001
 DALLAS COUNTY
 THOMAS L CHINOWITH ABST. 273
 BLOCK A, LOT 1R, 2.034 AC

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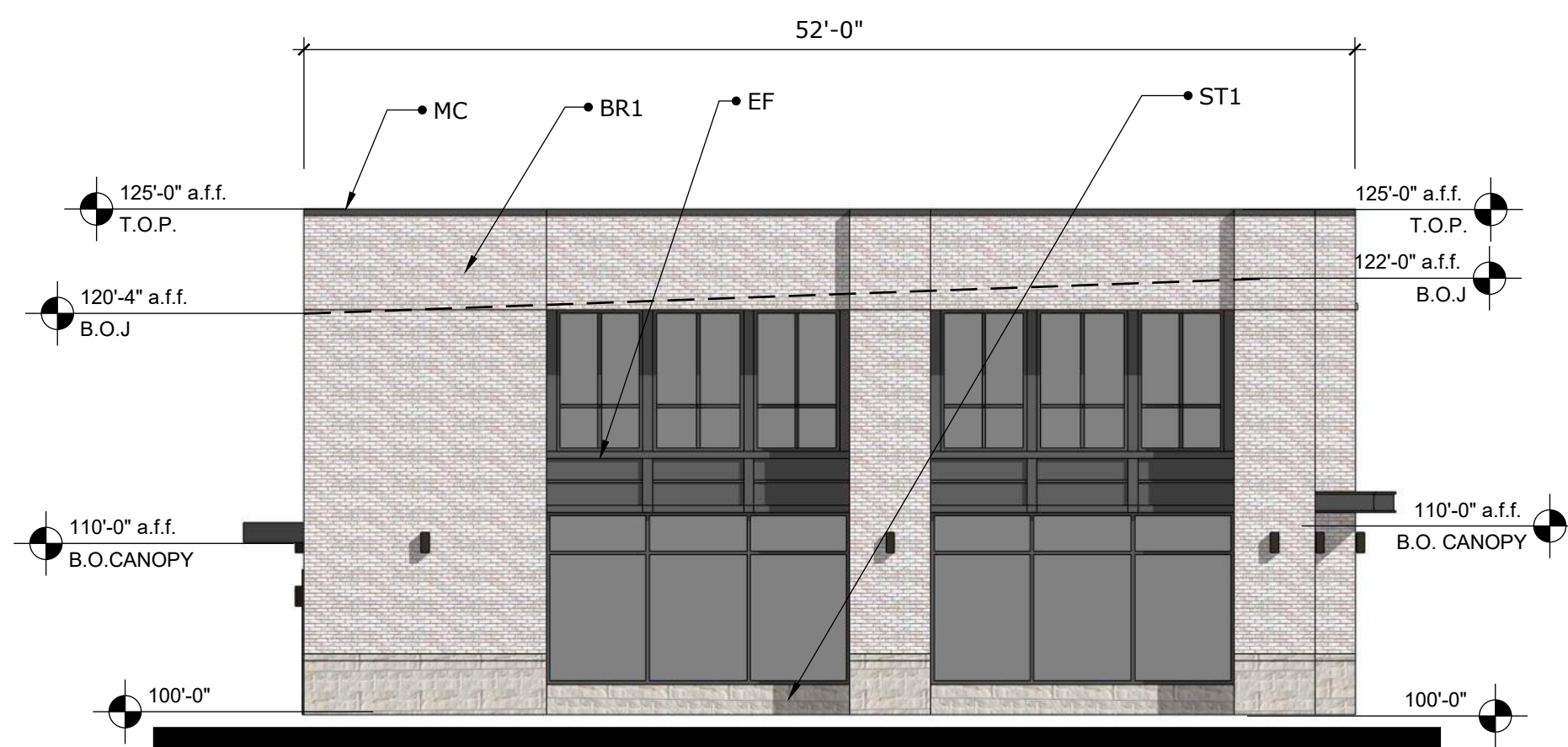
SHEET TITLE:

FLOOR PLAN

SHEET NUMBER:

2

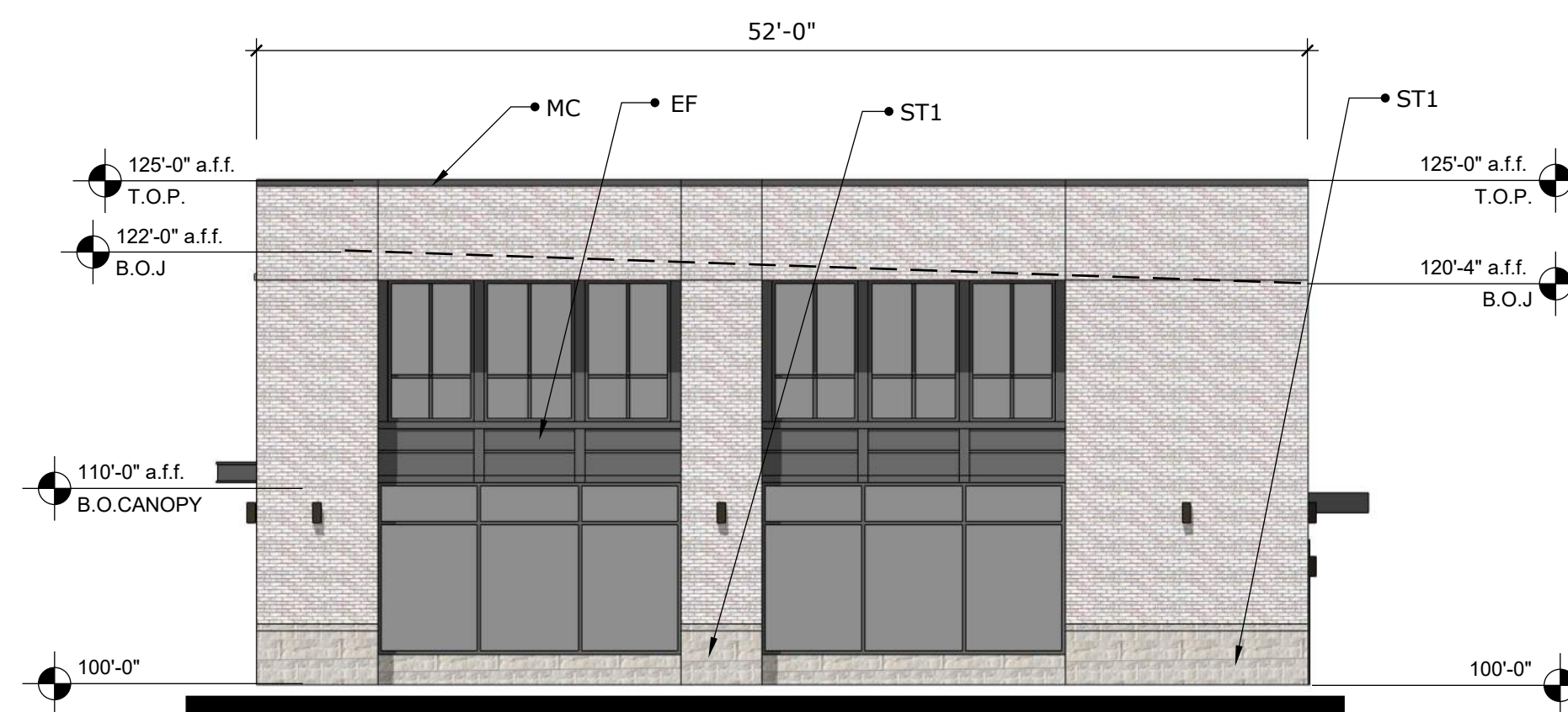
TOWN PROJECT #1818-Z



EAST ELEVATION



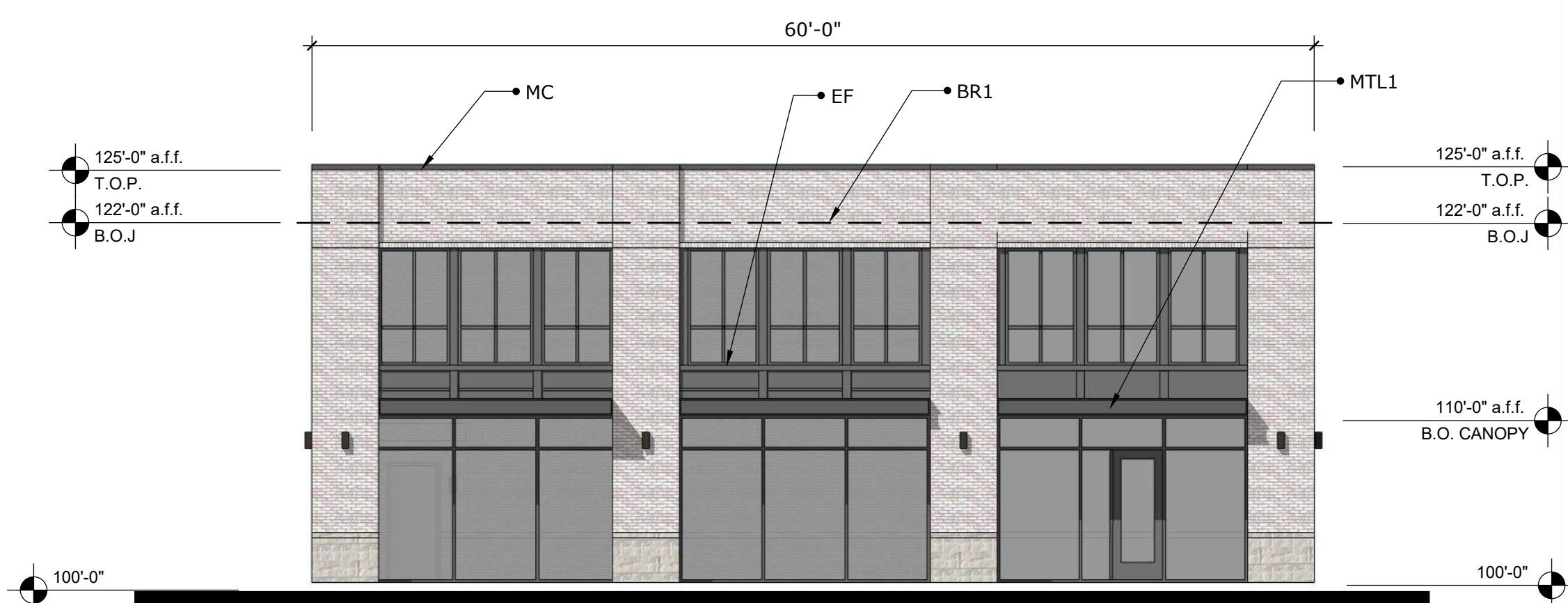
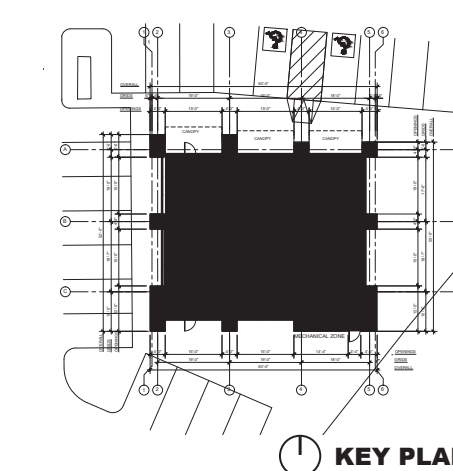
SCALE: 1/8" = 1'-0"



WEST ELEVATION



SCALE: 1/8" = 1'-0"

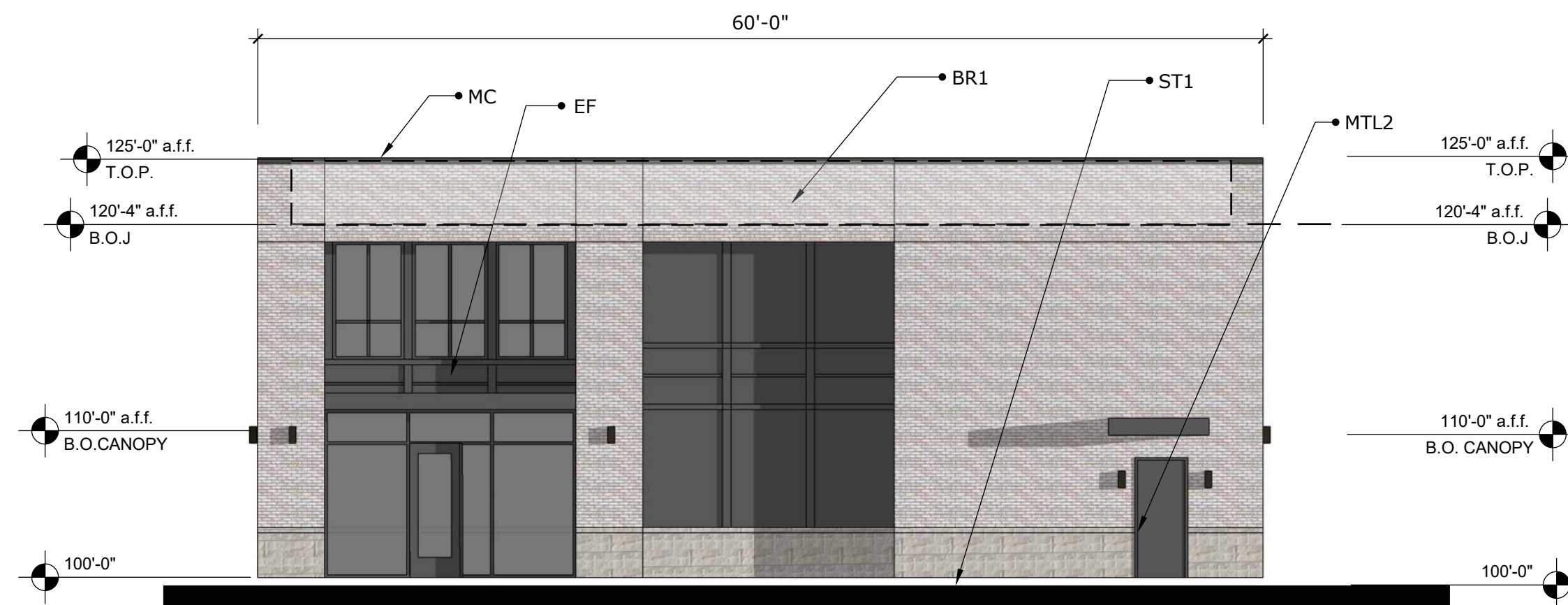


NORTH ELEVATION

FRONT



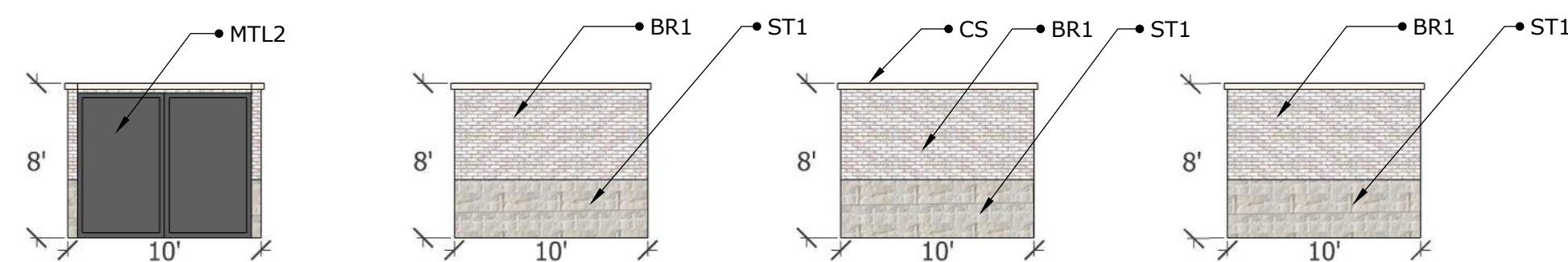
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION



SCALE: 1/8" = 1'-0"



NORTH

SOUTH

EAST

WEST

DUMPSTER ENCLOSURE



SCALE: 1/8" = 1'-0"

	NORTH	SOUTH	EAST	WEST
TOTAL SURFACE AREA SQ.FT. WITHOUT GLAZING	768	1,275	859	859
MATERIAL PERCENTAGES				
Stone sq.ft.	6%	10%	13%	13%
Brick sq.ft.	48	126	111	111
Metal Accents sq. ft.	74%	63%	74%	74%
EIFS trim sq. ft.	568	800	639	639
	8%	5%	2%	2%
	64	64	19	19
	11%	22%	10%	10%
	88	285	90	90
TOTAL SURFACE AREA SQ.FT. WITH GLAZING	1,516	1,530	1,324	1,324
Glazing sq.ft.	49%	17%	35%	35%
	748	255	465	465

FACADE PLAN NOTES

- This Façade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
- All mechanical units shall be screened from public view as required by the Zoning Ordinance
- When permitted, exposed utility boxes and conduits shall be painted to match the building
- All signage areas and locations are subject to approval by Development Services
- Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official

FACADE PLAN

1796-Z
ADDISON RETAIL LLC
3820 BELTLINE RD
ADDISON, TX 75001
DALLAS COUNTY
PRINTEMPS 2 REP
BLOCK A, LOT 1R, 2.034 AC
DATE: 09.15.2020

ARCHITECT

O'BRIEN ARCHITECTS
5310 HARVEST HILL RD.
SUITE 136, LB 161
DALLAS, TX 75230
PHONE: (972) 788.1010
CONTACT: GEOFFREY BROWN

OWNER AND APPLICANT

LISCIOTTI DEVELOPMENT
83 ORCHARD HILL PARK DRIVE
LEOMINSTER, MA 01453
PHONE: (978) 466.6661
CONTACT: GREGG LISCIOTTI

Proposed Finishes:

- MC- Metal Coping: Berridge, PreWeathered Galvalume Painted: SW 7674 Peppercorn
- MTL1- Flat Metal Canopy: Berridge, PreWeathered Galvalume Painted: SW 7674 Peppercorn
- MTL2- Hollow Metal Door: Hollow Metal Door Painted: SW7067 Cityscape
- ST1- Manufactured stone: Stone: #1 - Coronado Stone Products Hill Country Limestone- Cream
- BR1- Brick: Acme Brick- Rustic White- Velour
- CS- Cast Stone: Enterprise Precast Concrete- Buff
- EF- EIFS: Dryvit #616 King's Gray
- GL1- Storefront Glass: Vitro- Architectural Glass-Storefront
- Paint/Stucco: (A) SW7674 Peppercorn (B) SW7067 Cityscape

MATERIAL LIST

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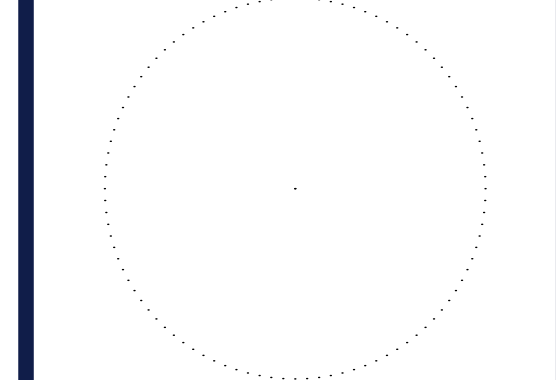
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PROJECT No.:	TD180002
DRAWN BY:	JUB
CHECKED BY:	MJH
DATE:	08/03/2020
CAD I.D.:	SS0

PROJECT: **SITE DEVELOPMENT PLANS** FOR **ADDISON RETAIL LLC**

3820 BELT LINE ROAD
ADDISON, TX 75001
DALLAS COUNTY
THOMAS L CHINOWITH ABST. 273
BLOCK A, LOT 1R, 2.034 AC

6017 MAIN STREET
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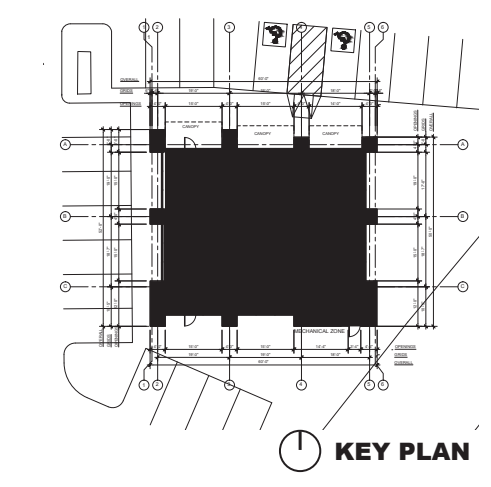
SHEET TITLE: **FACADE PLAN**

SHEET NUMBER: **3**

TOWN PROJECT #1818-Z



NORTHWEST CORNER



FACADE PLAN

1796-Z
 ADDISON RETAIL LLC
 3820 BELTLINE RD
 ADDISON, TX 75001
 DALLAS COUNTY
 PRINTEMPS 2 REP
 BLOCK A, LOT 1R, 2.034 AC
 DATE: 09.15.2020

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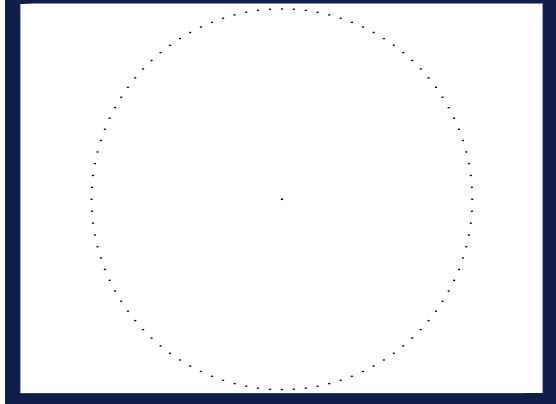
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PROJECT No.:	TD180002
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CHECKED BY:	MJH
DATE:	08/03/2020
CAD I.D.:	SS0

PROJECT:
SITE DEVELOPMENT PLANS
 FOR
ADDISON RETAIL LLC
 3820 BELT LINE ROAD
 ADDISON, TX 75001
 DALLAS COUNTY
 THOMAS L CHINOWITH ABST. 273
 BLOCK A, LOT 1R, 2.034 AC

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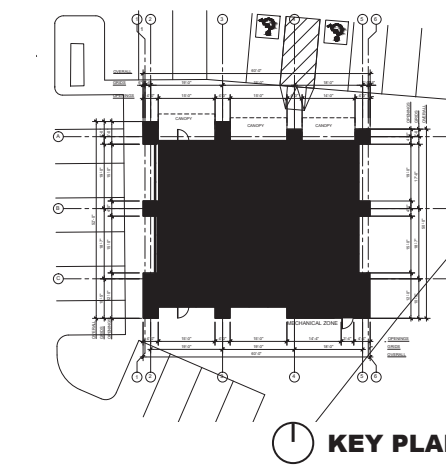
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SHEET TITLE:
BUILDING PERSPECTIVES
 SHEET NUMBER:
4
 TOWN PROJECT #1818-Z



NORTHEAST CORNER



KEY PLAN

FACADE PLAN

1796-Z
 ADDISON RETAIL LLC
 3820 BELTLINE RD
 ADDISON, TX 75001
 DALLAS COUNTY
 PRINTEMPS 2 REP
 BLOCK A, LOT 1R, 2.034 AC
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 CAD LD.: SSO

SITE DEVELOPMENT PLANS

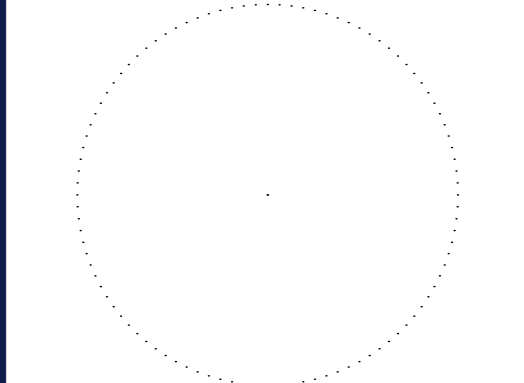
FOR

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SHEET TITLE:

BUILDING PERSPECTIVES

SHEET NUMBER:

5

TOWN PROJECT #1818-Z