



# BAUMANN BUILDING

CITY COUNCIL SUBMITTAL - 11.03.2020

Zoning Sheet List				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Description	Current Revision Date
<b>General</b>				
G001	Zoning Index and Cover Sheet	12/13/19	City Council	11/03/20
G101	Conceptual Site Plan	12/13/19	City Council	11/03/20
G102	Site Plan	03/30/20	City Council	11/03/20
G110	Facade Plans	12/13/19	City Council	10/22/20
G111	Facade Plans	12/13/19	City Council	10/22/20
G121	Ground Floor	12/13/19	City Council	10/22/20
G122	Floor 2	12/13/19	City Council	10/22/20
G123	Floor 3	03/04/20	City Council	10/22/20
G124	Floor 4	10/22/20	City Council	10/22/20

Zoning Sheet List				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Description	Current Revision Date
G125	Floor 5	12/13/19	City Council	10/22/20
<b>Civil</b>				
C1.1	Drainage Plan	12/13/19	Comments 6	10/09/20
C1.2	Site Utility Plan	12/13/19	Comments 6	10/09/20
<b>Existing</b>				
12	Existing Drainage Area Map	12/1983		
<b>Landscape</b>				
L1.01	Tree Preservation plan	01/24/20	Comments 6	10/09/20
L2.01	Landscape plan	01/24/20	Comments 6	10/09/20
L2.02	Landscape Specifications and Details	01/24/20	Comments 6	10/09/20
L3.01	Irrigation Plan	01/24/20	Comments 6	10/09/20
L3.02	Irrigation Specifications and Details	01/24/20	Comments 6	10/09/20

## PROJECT DESCRIPTION

50,240 GROSS SQUARE FOOT, 5-STORY FULLY SPRINKLERED GARAGE, OFFICE AND SHOWROOM BUILDING. 30,663 NSF EXCLUDING GARAGE. REFER TO SITE PLAN FOR ZONING INFORMATION.

## APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
 2018 MECHANICAL CODE  
 2018 PLUMBING CODE  
 2017 NATIONAL ELECTRICAL CODE

CITY OF ADDISON, TEXAS LOCAL AMENDMENTS

2012 TEXAS ACCESSIBILITY STANDARDS

**Owner:**  
 JB Baumann Holdings LLC  
 4801 Arapaho Road  
 Suite 100  
 Addison, Texas 75001

**Architect/Applicant:**  
 Greenlight Studio, LLC  
 100 N. Coffeywood Drive  
 Suite 104  
 Richardson, Texas 75080  
 v: 214.810.4535

**Civil Engineer:**  
 Pacheco Koch  
 7557 Rambler Road  
 Suite 1400  
 Dallas, Texas 75231  
 v: 972.235.3031

**Baumann Building**  
 4901 Arapaho Road  
 Lot 1 Block A  
 Wingate Inn of Addison Addition  
 Addison, Texas  
 Town Project No. 1809-Z

DATE: 07/06/2020  
 PROJECT NO: 19006  
 LAST REVISION: 11/03/20

SHEET TITLE:  
**Zoning Index and Cover Sheet**

SHEET NUMBER:

**G001**

Building Area Schedule.	
Name	Area

Ground Floor	
Cargo Lift	185
Elevator	81
Elevator Lobby	252
Fire	86
Garage	8,833
MEP	40
Stair 1	229
Stair 2	230
	9,937

Level 2	
Balcony	523
Balcony	59
Cargo Lift	174
Elevator	73
Office	8,854
Stair 1	216
Stair 2	216
	10,116

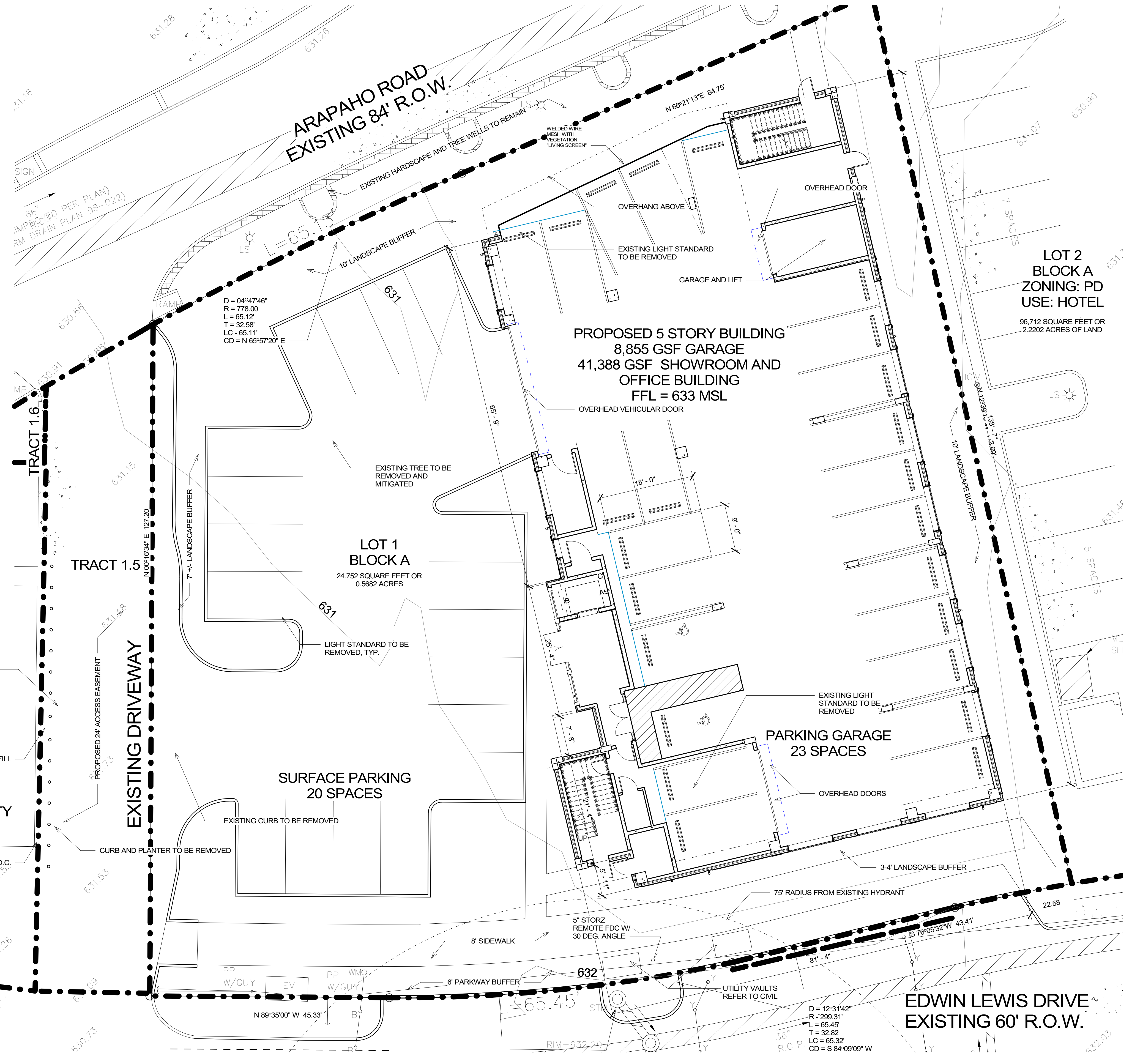
Level 3	
Balcony	523
Balcony	59
Cargo Lift	174
Elevator	73
Mattress Store	8,854
Stair 1	216
Stair 2	216
	10,116

Level 4	
Balcony	523
Balcony	59
Cargo Lift	174
Elevator	73
Showroom	8,854
Stair 1	216
Stair 2	216
	10,116

Level 5	
Balcony	59
Cargo Lift	174
Elevator	74
Showroom	4,100
Southern Balcony	815
Stair 1	216
Stair 2	216
Storage	117
Terrace	4,192
	9,963

ONE-STORY BRICK BUILDING  
NEW CURB AND CONCRETE BACKFILL  
TRACT 1.3 ZONING: PD  
USE: TELECOM UTILITY

1 Conceptual Site Plan  
scale: 1" = 10'-0"

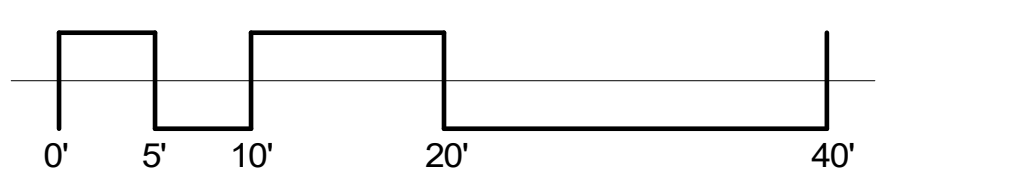
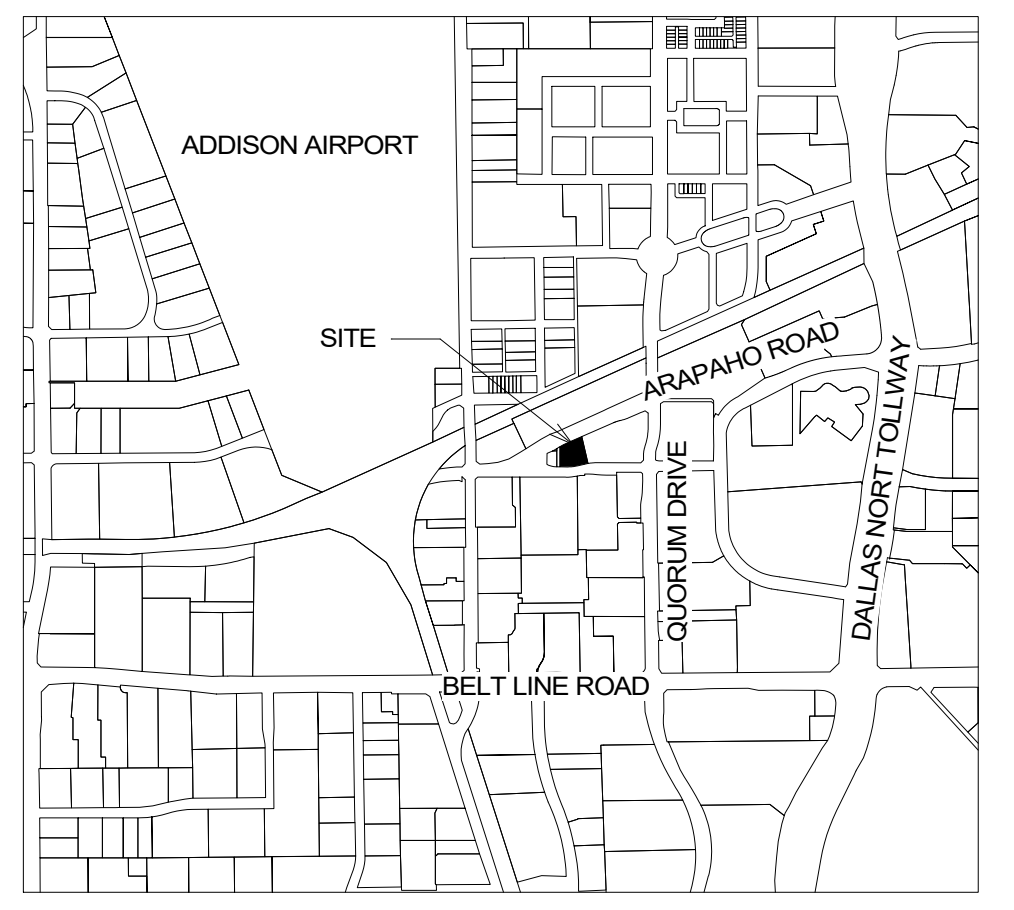


### SITE DATA SUMMARY TABLE

LOT 1 BLOCK A WINGATE INN OF ADDISON ADDITION	
EXISTING ZONING:	PLANNED DEVELOPMENT
PROPOSED ZONING:	PLANNED DEVELOPMENT
PROPOSED USE:	OFFICE SHOWROOM
LOT SIZE:	24,752 SF / .57 ACRES
BUILDING AREA:	30,663 NSF BUILDING
GARAGE AREA:	8,855 SF GARAGE
BUILDING HEIGHT:	78 FEET (TO MECH SCREENING) 5 STORIES
LOT COVERAGE:	9,935 SF/40%
<b>PARKING DATA</b>	
SPACES REQUIRED	
OFFICE SPACE (1,300 SF):	8,854 SF 30 SPACES
SHOWROOM SPACE (1,1000 SF):	21,828 SF 22 SPACES
10% TOD CREDIT	-5 SPACES
<b>PARKING REQUIRED:</b>	<b>47 SPACES</b>
<b>PARKING PROVIDED:</b>	
GARAGE PARKING:	24 SPACES
SURFACE PARKING:	18 SPACES
STREET PARKING:	5 SPACES
<b>TOTAL PARKING PROVIDED:</b>	<b>47 SPACES</b>
<b>FULL OFFICE SCENARIO</b>	
*SECOND FLOOR CONVERTED TO PARKING FOR AN ADDITIONAL 22 SPACES, TOTALING 69 SPACES.	
FLOOR 3-5: 17,708 SF	
FLOOR 5: 4,100 SF	
TOTAL: 21,808 SF	
SPACES REQUIRED	
OFFICE SPACE (1,300 SF):	21,808 SF 73 SPACES
10% TOD CREDIT	-7 SPACES
<b>PARKING REQUIRED:</b>	<b>66 SPACES</b>
<b>TOTAL PARKING PROVIDED:</b>	<b>69 SPACES</b>
NOTE: ACCESSIBLE PARKING IS PROVIDED IN ACCORDANCE WITH ADA AND TAS STANDARDS.	
REQUIRED LANDSCAPE:	4,948 SF (20%)
PROVIDED LANDSCAPE:	6,761 SF (27%)
IMPERVIOUS SURFACE AREA:	17,991 SF

### SITE PLAN NOTES

1. ANY REVISION TO THIS SITE PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
3. BUILDINGS WITH AN AGGREGATE OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
4. ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
5. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
6. OWNER SHALL PROVIDE TRASH SERVICE FOR BUILDING. ENCLOSED DUMPSTER IS NOT PROVIDED.



© Greenlight Studio, LLC  
**GREENLIGHT**  
STUDIO, LLC  
www.greenlightcompany.com

Owner:  
J&B Bourmann Holdings LLC  
4801 Arapaho Road  
Suite 100  
Addicks, Texas 75001

Architect/Applicant:  
Greenlight Studio, LLC  
100 N. Coffeywood Drive  
Suite 104  
Richardson, Texas 75080  
v: 214.810.4535

Civil Engineer:  
Pacheco Koch  
7557 Rembrandt Road  
Suite 1400  
Dallas, Texas 75231  
v: 972.235.3331

**Baumann Building**  
4901 Arapaho Road  
Lot 1 Block A  
Wingate Inn of Addison Addition  
Addicks, Texas  
Town Project No. 1809-Z

DATE: 07/06/2020  
PROJECT NO.: 19006  
LAST REVISION: 11/03/20

SHEET TITLE:  
**Conceptual Site Plan**

SHEET NUMBER:  
**G101**

Building Area Schedule		
Level	Name	Area

Building Common Area		
Ground Floor	MEP	40
Ground Floor	Elevator Lobby	252
Ground Floor	Fire	86
Level 5	Storage	117
		496

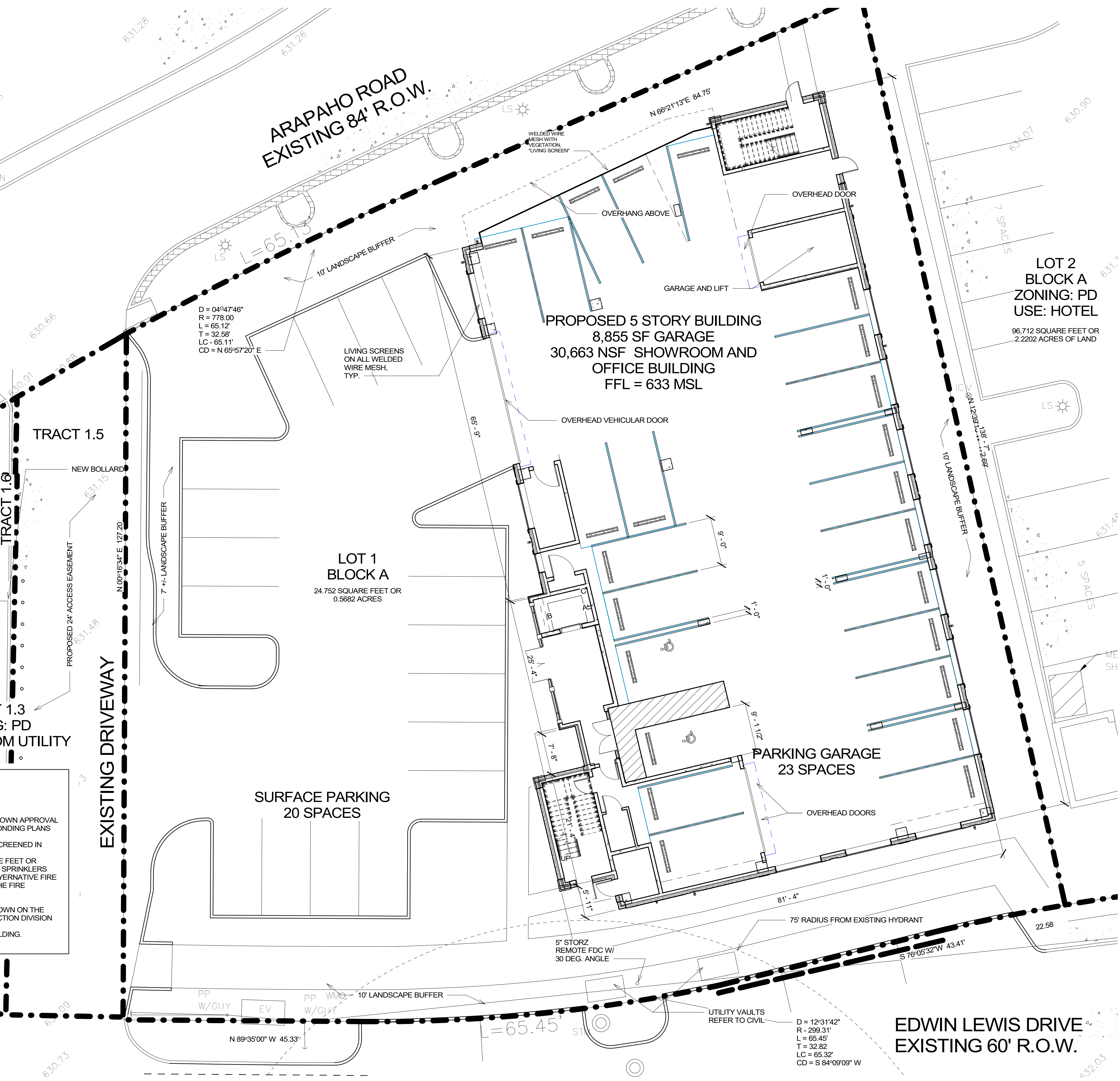
Exterior Area		
Ground Floor	Garage	8,833
Level 2	Balcony	523
Level 2	Balcony	59
Level 3	Balcony	523
Level 3	Balcony	59
Level 4	Balcony	523
Level 4	Balcony	59
Level 5	Balcony	59
Level 5	Terrace	4,192
Level 5	Southern Balcony	815
		15,645

Floor Area		
Level 2	Office	8,854
Level 3	Mattress Store	8,854
Level 4	Showroom	8,854
Level 5	Showroom	4,100
		30,663

Major Vertical Penetration		
Ground Floor	Elevator	81
Ground Floor	Stair 1	229
Ground Floor	Stair 2	230
Ground Floor	Cargo Lift	185
Level 2	Stair 1	216
Level 2	Elevator	73
Level 2	Stair 2	216
Level 2	Cargo Lift	174
Level 3	Elevator	73
Level 3	Stair 1	216
Level 3	Stair 2	216
Level 3	Cargo Lift	174
Level 4	Elevator	73
Level 4	Stair 1	216
Level 4	Stair 2	216
Level 4	Cargo Lift	174
Level 5	Elevator	74
Level 5	Stair 2	216
Level 5	Cargo Lift	174
Level 5	Stair 1	216
		3,445

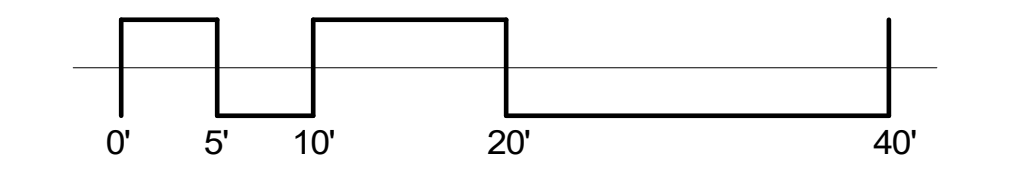
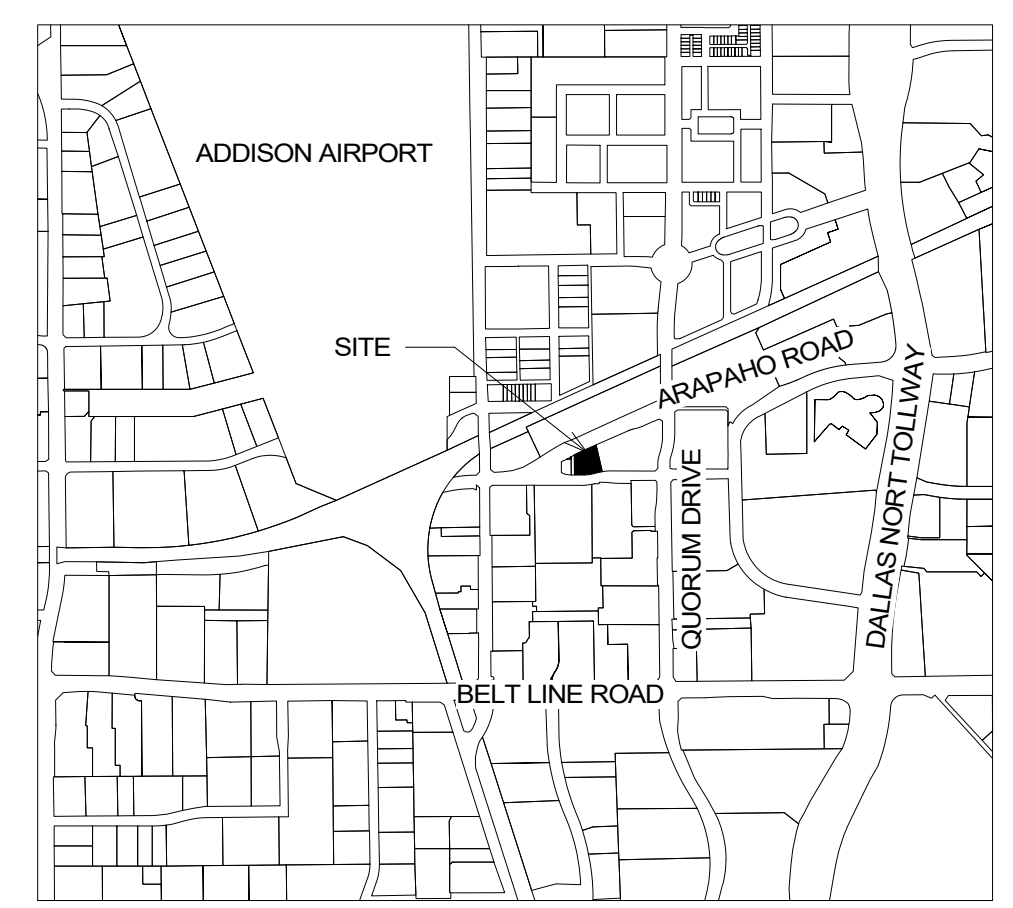
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PROVIDED LANDSCAPE: 6,761 SF (27%)		
IMPERVIOUS SURFACE AREA: 17,991 SF		



**ACTION**

APPROVED \_\_\_\_\_ DENIED \_\_\_\_\_

STAFF \_\_\_\_\_

COUCIL \_\_\_\_\_

See the Staff Approval Letter or Council Result Memo for any conditions associated with the approval of the project.

**LOT 1 BLOCK A  
WINGATE OF ADDISON ADDITION**

GW FISHER ABSTRACT NO. 482  
0.5682 ACRES  
PREPARATION DATE: 11/03/2020  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS  
TOWN PROJECT NO. 1809-Z

Owner:  
 JB Baumann Holdings LLC  
 4801 Arapaho Road  
 Suite 100  
 Addison, Texas 75001

Architect/Applicant:  
 Greenlight Studio, LLC  
 100 N. Cottonwood Drive  
 Suite 104  
 Richardson, Texas 75080  
 v: 214.810.4535

Civil Engineer:  
 Pacheco Koch  
 7557 Rambler Road  
 Suite 1400  
 Dallas, Texas 75231  
 v: 972.235.3331

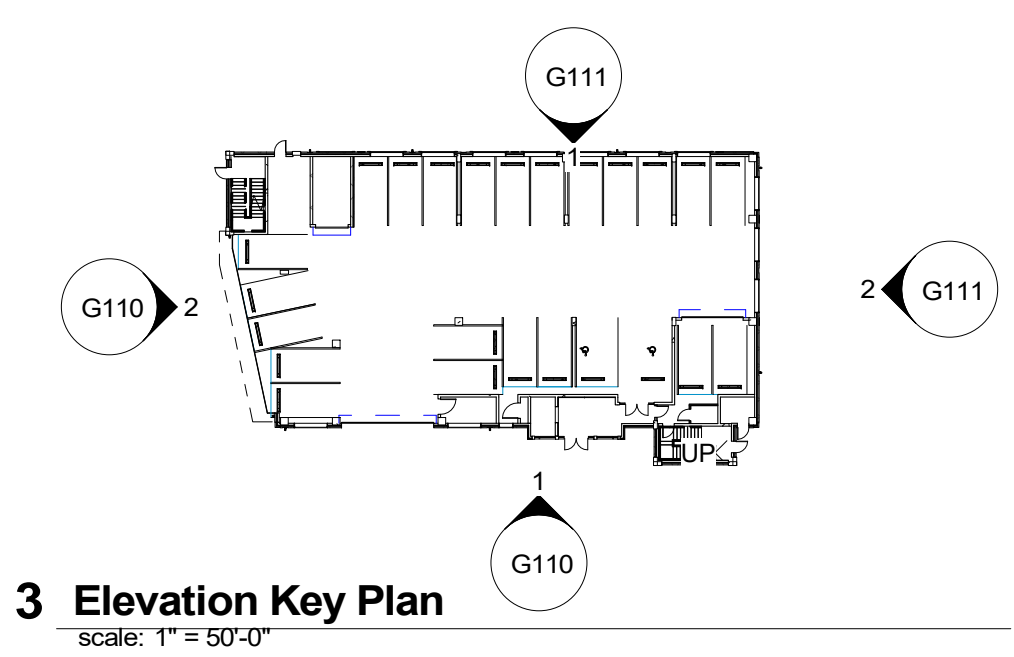
**Baumann Building**  
 4901 Arapaho Road  
 Lot 1 Block A  
 Wingate Inn of Addison Addition  
 Addison, Texas  
 Town Project No. 1809-Z

DATE: 07/06/2020  
 PROJECT NO.: 19006  
 LAST REVISION: 10/22/20

SHEET TITLE:  
**Facade Plans**

SHEET NUMBER:

**G110**



Keynote Legend.	
Key Value	Keynote Text
03 31 00	Structural Concrete
03 31 00.C1	Concrete Structural Slab
03 31 00.D1	Cast in Place Concrete Wall
04 26 00.A1	Bick veneer on Metal Studs
04 26 00.B1	Brick Soldier Course
04 26 00.B4	Stack Bond Accent
04 72 00.A1	Cast Stone Cornice
04 72 00.A4	Cast Stone Sill
05 12 00.B0	C Shape
05 12 00.M0	W Shape
05 31 00	Steel Decking
05 50 00.C1	1" Tie Rod
05 50 00.D2	4" Welded Wire Mesh "Living Wall" with vines
05 70 00.A1	
06 20 13.C1	Stained Wood Soffit
07 24 00.A1	EIFS On Insulation Board
07 40 00.A1	8"x8" Scupper Box

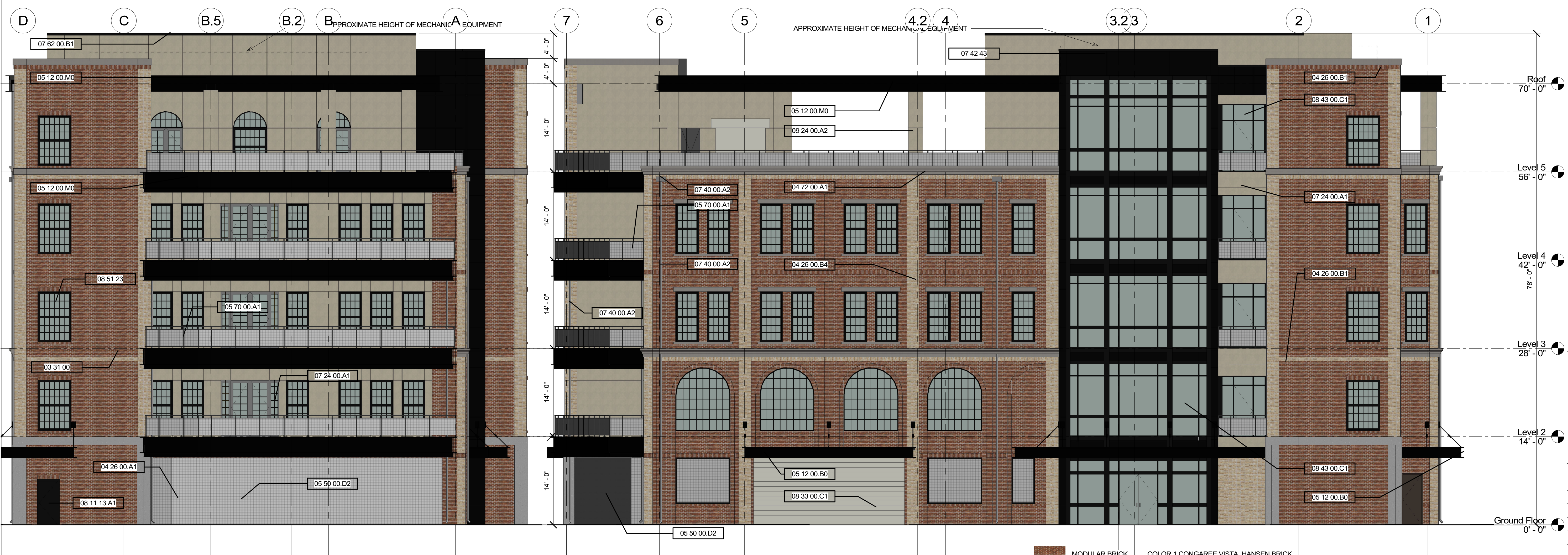
Keynote Legend.	
Key Value	Keynote Text
07 40 00.A2	4" Round Downspout
07 40 00.B2	6"x6" Square Gutter
07 42 43	Aluminum Faced Wall Panels
07 54 23.B1	TPO Roofing, Roof Board, 4" Rigid Insulation over Metal Deck
07 62 00.B1	4" Roof Edge
08 11 00.A2	Aluminum Steel Profile Door
08 11 13.A1	Hollow Metal Door and Frame
08 33 00.C1	Overhead Coiling Door With Motor
08 43 00.C1	Storefront/Steel Window System
08 51 13.A1	Steel Profile Aluminum Window
08 51 23	Steel Windows
09 00 00.A1	Gypsum Wall Assembly, Refer to Wall Types
09 24 00.A2	7/8" Cement Plaster
14 21 23.16	Machine Room-Less Traction Passenger Elevator
32 17 13	Wheel Stop

**NORTH ELEVATION MATERIALS TAKEOFF**

TOTAL SF:	6295	
FENESTRATION:	1353	
RESULT:	4942	
ACM PANEL	427	8.64%
PAINTED STEEL DETAIL	775.5	15.69%
EIFS	871	17.62%
EXPOSED CONCRETE	570	11.53%
BRICK AND CAST STONE	2299	46.51%

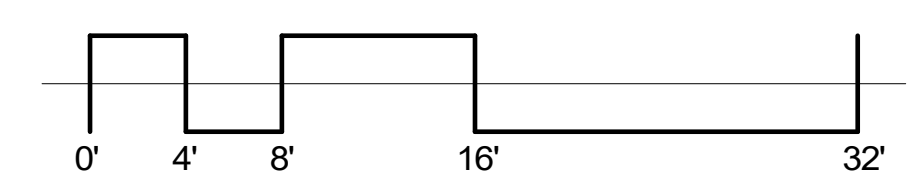
**WEST ELEVATION MATERIALS TAKEOFF**

TOTAL SF:	10323	
FENESTRATION:	3626	
RESULT:	6697	
ACM PANEL	517	7.72%
PAINTED STEEL DETAIL	466	6.96%
EIFS	1278	19.08%
EXPOSED CONCRETE	670	10%
BRICK AND CAST STONE	3766	56.23%



- FACADE PLAN NOTES**
- This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
  - All mechanical units shall be screened from public view as required by the Zoning Ordinance.
  - When permitted, exposed utility boxes and conduits shall be painted to match the building.
  - All signage areas and locations are subject to approval by Development Services.
  - Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official

	MODULAR BRICK	COLOR 1 CONGAREE VISTA, HANSEN BRICK
	MODULAR BRICK	COLOR 2 AUGUST, CHEROKEE BRICK
	EXTERIOR INSULATION AND FINISH SYSTEM	BASF 3908 CRESCENT
	EXPOSED CONCRETE	BUFFED AND SEALED
	METAL	BLACK PAINTED
	CAST STONE	BUFF COLOR
	WELDED WIRE MESH	BLACK PAINTED - PLANT VINES AS A LIVING SCREEN



Owner:  
 JB Baumann Holdings LLC  
 4801 Arapaho Road  
 Suite 100  
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Civil Engineer:  
 Pacheco Koch  
 7557 Rambler Road  
 Suite 1400  
 Dallas, Texas 75231  
 v: 972.235.3031

**Baumann Building**  
 4901 Arapaho Road  
 Lot 1 Block A  
 Wingate Inn of Addison Addition  
 Addison, Texas  
 Town Project No. 1809-Z

DATE: 07/06/2020  
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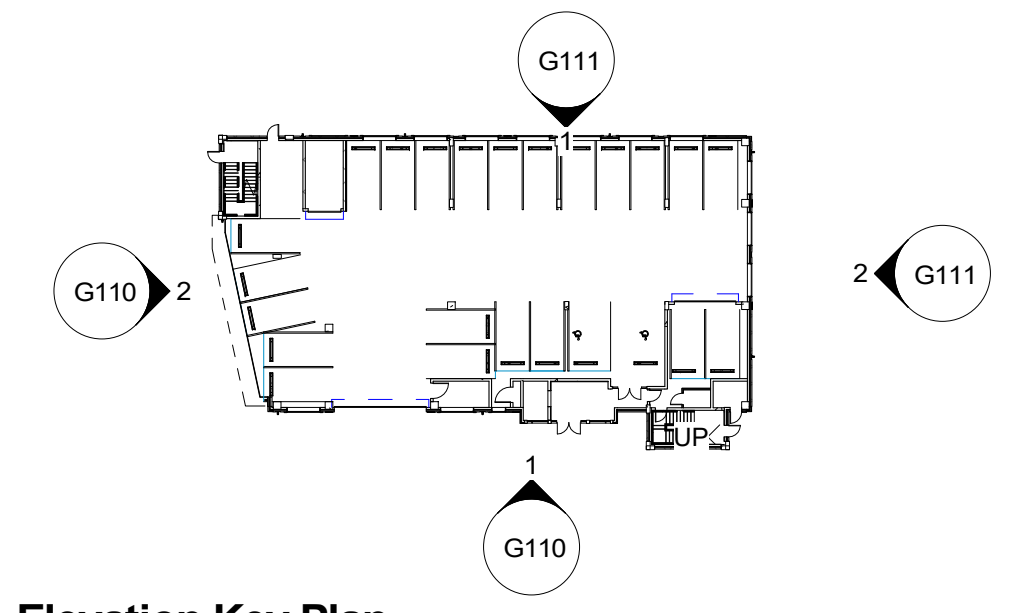
SHEET TITLE:  
**Facade Plans**

SHEET NUMBER:

**G111**

Keynote Legend.	
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**SOUTH ELEVATION MATERIALS TAKEOFF**

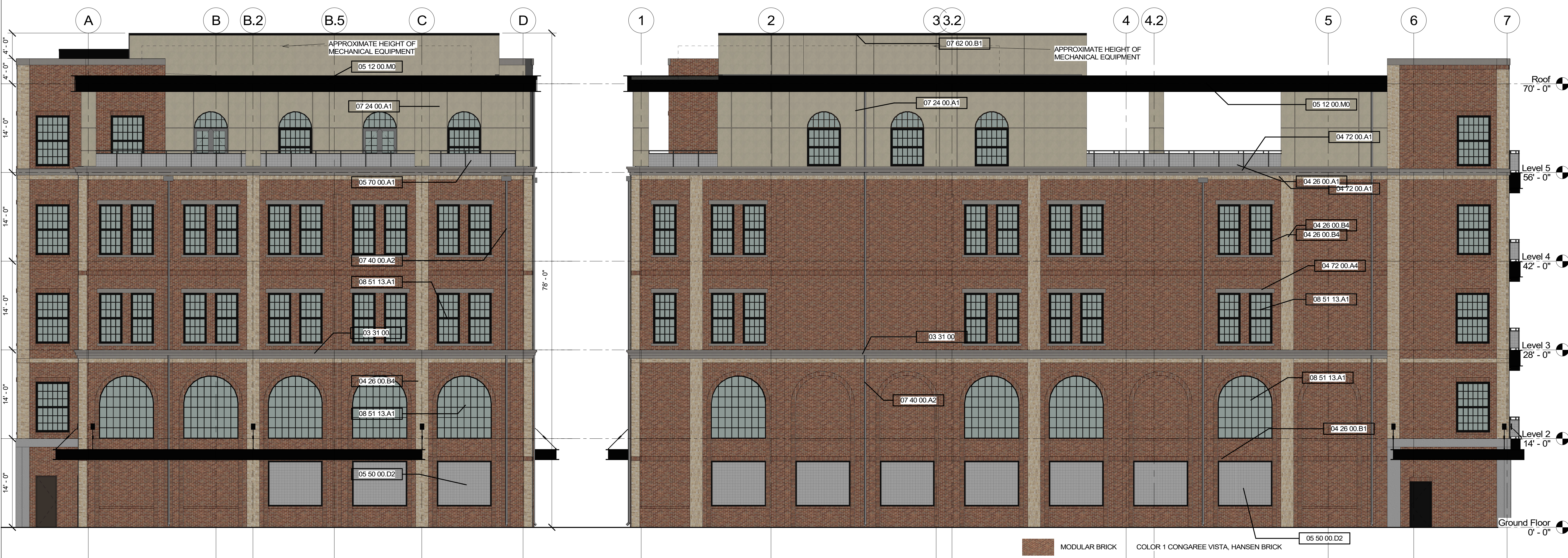
TOTAL:	6293 SF
FENESTRATION:	1462 SF
RESULT:	4831 SF

ACM PANEL	108	2.23%
PAINTED STEEL DETAIL	229	4.75%
EIFS	523	10.81%
EXPOSED CONCRETE	303	6.27%
BRICK AND CAST STONE	3669	75.94%

**EAST ELEVATION MATERIALS TAKEOFF**

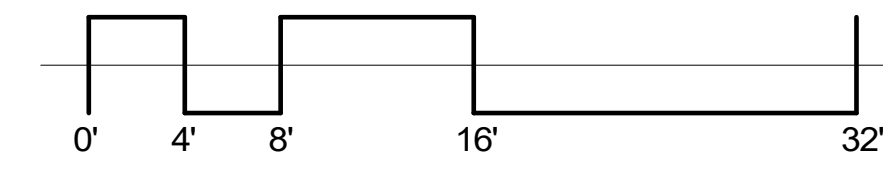
TOTAL:	10281 SF
FENESTRATION:	2083 SF
RESULT:	8198 SF

ACM PANEL	190	2.32%
PAINTED STEEL DETAIL	229	2.79%
EIFS	1036	12.64%
EXPOSED CONCRETE	534	6.51%
BRICK AND CAST STONE	621	7.574%



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	MODULAR BRICK	COLOR 2 AUGUST, CHEROKEE BRICK
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	EXPOSED CONCRETE	BUFFED AND SEALED
	METAL	BLACK PAINTED
	CAST STONE	BUFF COLOR
	WELDED WIRE MESH	BLACK PAINTED - PLANT VINES AS A LIVING SCREEN



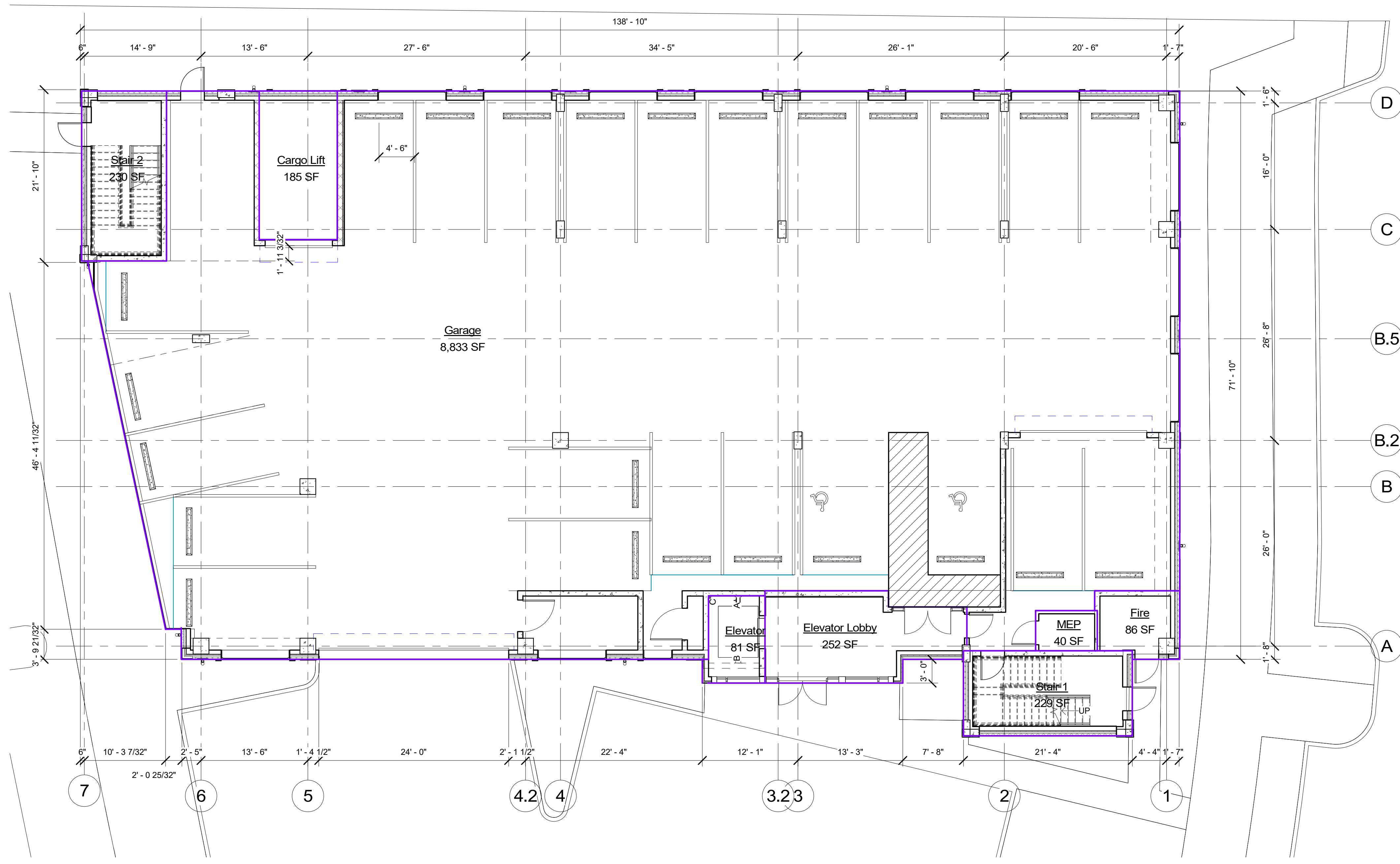
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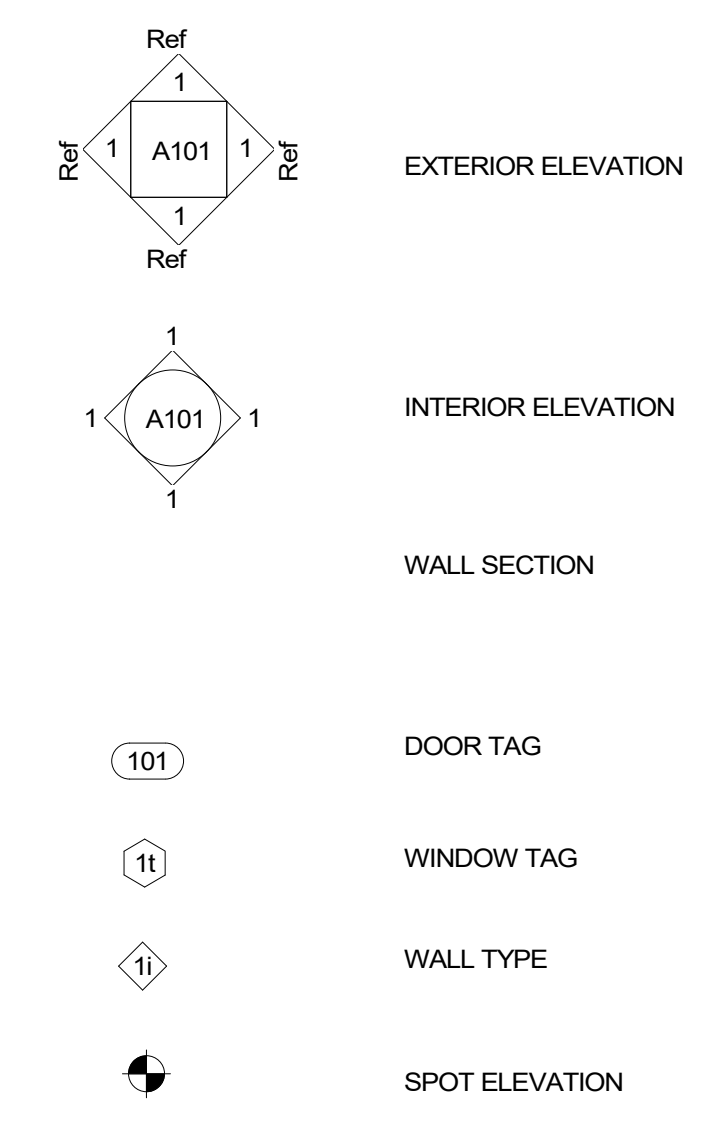
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**Baumann Building**  
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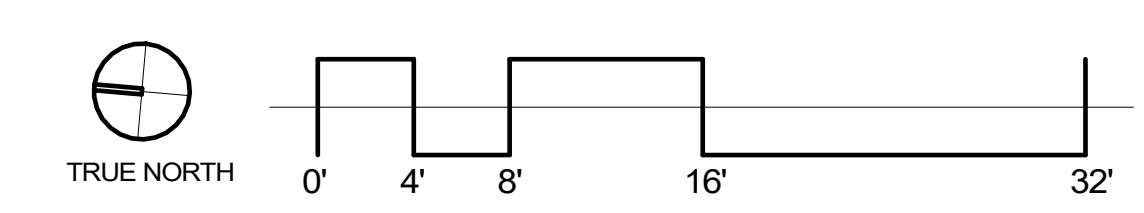
- ALL PARTITIONS ARE TO BE TYPE A UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
- CONTRACTOR TO VERIFY ALL MEP AND STRUCTURAL ENCLOSURES.
- DIMENSIONS SHOWN ON THE FLOOR PLANS ARE FROM CENTERLINE OF COLUMNS TO FACE OF FINISH OF INTERIOR WALLS AND TO FACE OF FINISH OF EXTERIOR WALLS UNLESS OTHERWISE INDICATED OR DETAILED.
- FOR FURTHER DIMENSIONING, SEE LARGE SCALE PLANS, SECTIONS, ELEVATIONS, AND DETAILS.
- SEE SHEET A8.01 FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES AND TOILET ACCESSORIES.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXT. WINDOW FRAMES, CABINET WORK, AND CASEWORK W/ ADJACENT MATERIALS EVEN THOUGH JOINT MAY NOT BE VISIBLE.
- PROVIDE 5/8" TYPE "X" GYP. BOARD ON ALL UNFINISHED WALLS.
- PROVIDE INSULATION ON ALL EXTERIOR WALLS AS INDICATED IN THE COMCHECK INCLUDED IN THE DOCUMENTS.
- ADD SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE WEIGHT OF ATTACHED ITEMS IS TOO GREAT TO BE SUPPORTED BY METAL STUDS.
- ADD METAL STRAPS TO AREAS WITH LIGHTWEIGHT WALL MOUNTED EQUIPMENT OR FINISHES WHICH CANNOT MOUNT TO STUD SPACING.
- ALL DOOR FRAMES TO BE LOCATED 4" FROM ADJACENT WALL TO INSIDE OF DOOR FRAME UNLESS NOTED OTHERWISE.
- THERE SHALL BE NO WALL ACCESS PANELS IN THE PUBLIC SPACES. ALL ACCESS PANEL LOCATIONS SHALL BE APPROVED BY THE ARCHITECT.
- PROVIDE WATER RESISTANT GYP BOARD AT ALL PLUMBING FIXTURES, WITH THE EXCEPTION OF TILE BACKER AT TILED SHOWERS. DO NOT INSTALL WATER RESISTANT GYP BOARD IN CEILINGS.
- DO NOT BOLT, SHOT FASTEN, OR PENETRATE BOTTOM SURFACE OF JOISTS AND BEAMS. DO NOT BOLT HEAVY LOADS INTO FLAT SECTIONS OF SLABS. REVIEW PROPOSED CORE PENETRATIONS IN STRUCTURAL FLOORS, ROOFS, AND WALLS WITH ARCHITECT.



**1 Ground Floor**  
 scale: 1/8" = 1'-0"



DATE:	07/06/2020
PROJECT NO.:	19006
LAST REVISION:	10/22/20
SHEET TITLE:	Ground Floor
SHEET NUMBER:	G121





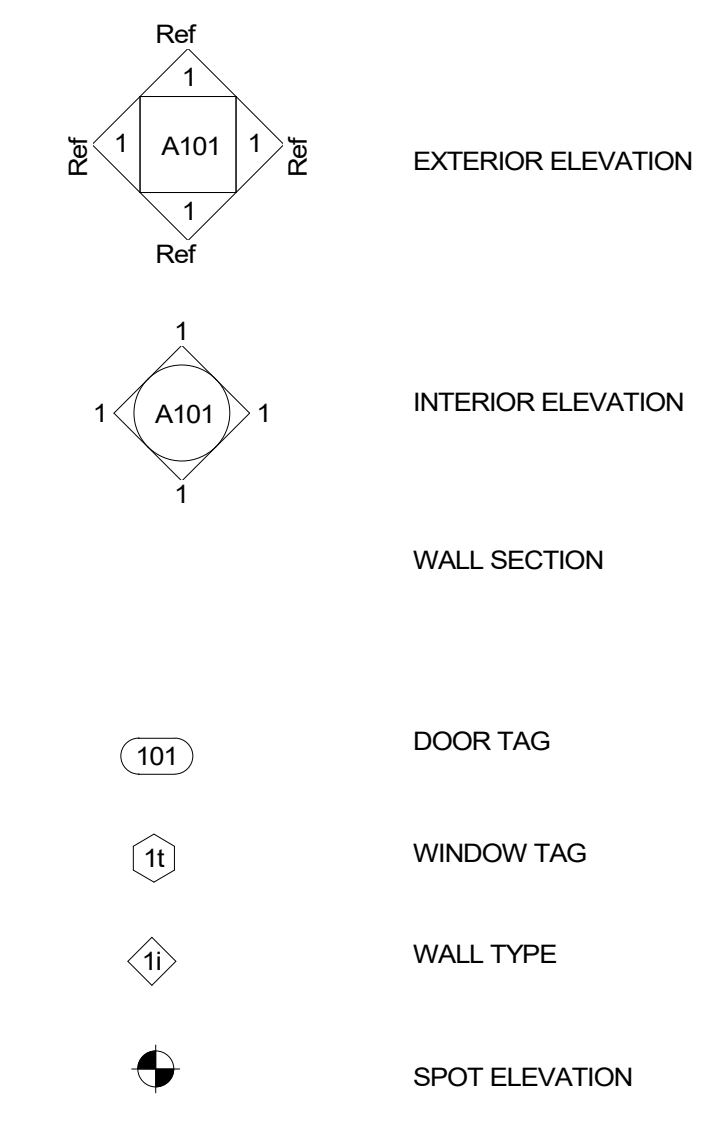
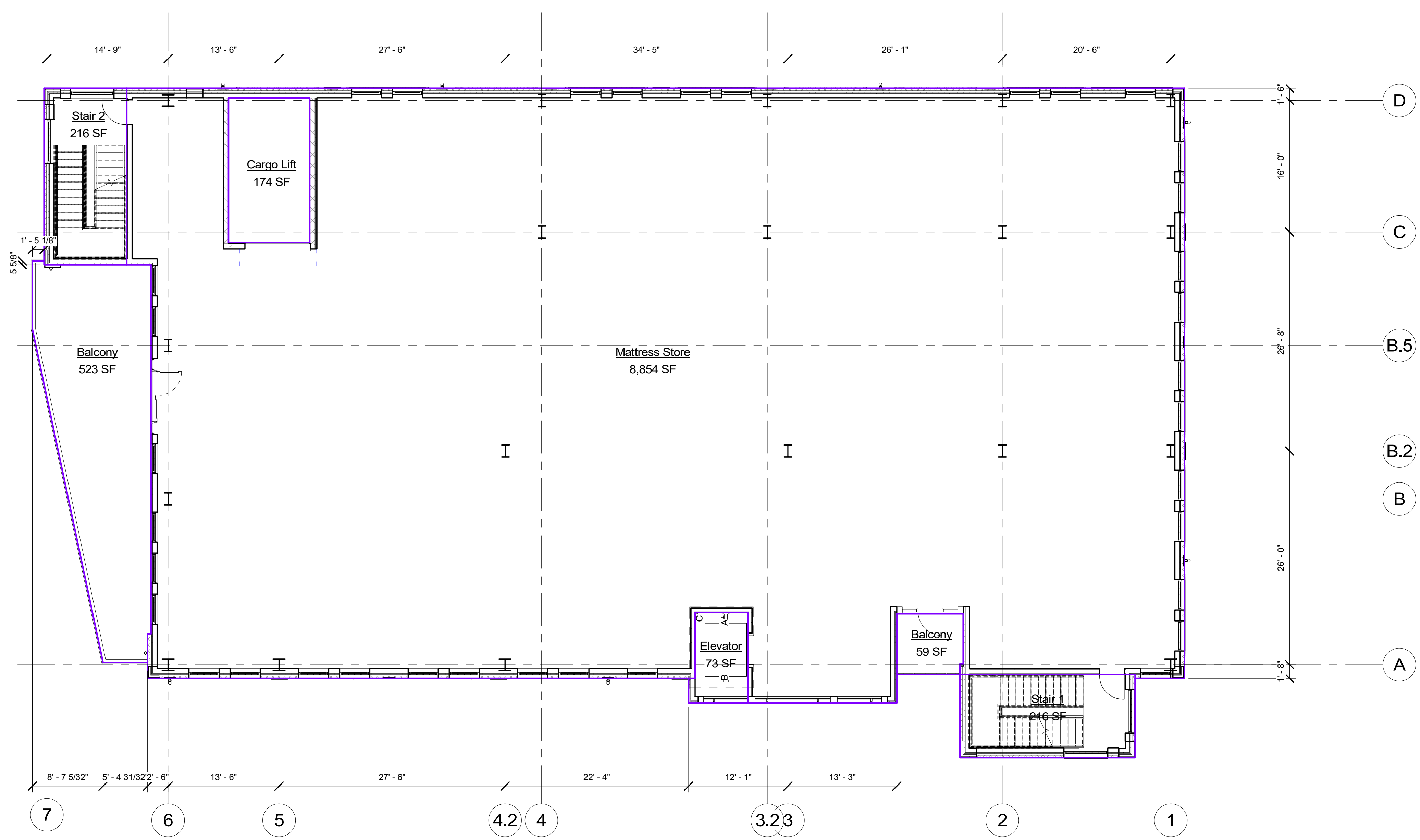
Owner:  
 JB Baumann Holdings, LLC  
 4801 Arapaho Road  
 Suite 100  
 Addison, Texas 75001

Architect/Applicant:  
 Greenlight Studio, LLC  
 100 N. Cottonwood Drive  
 Suite 104  
 Richardson, Texas 75080  
 v: 214.810.4535

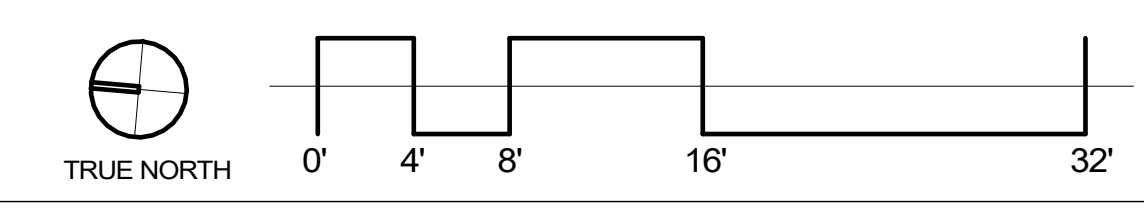
Civil Engineer:  
 Pacheco Koch  
 7557 Rambler Road  
 Suite 1400  
 Dallas, Texas 75231  
 v: 972.235.3331

**Baumann Building**  
 4901 Arapaho Road  
 Lot 1 Block A  
 Wingate Inn of Addison Addition  
 Addison, Texas  
 Town Project No. 1809-Z

- ALL PARTITIONS ARE TO BE TYPE A UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
- CONTRACTOR TO VERIFY ALL MEP AND STRUCTURAL ENCLOSURES.
- DIMENSIONS SHOWN ON THE FLOOR PLANS ARE FROM CENTERLINE OF COLUMNS TO FACE OF FINISH OF INTERIOR WALLS AND TO FACE OF FINISH OF EXTERIOR WALLS UNLESS OTHERWISE INDICATED OR DETAILED.
- FOR FURTHER DIMENSIONING, SEE LARGE SCALE PLANS, SECTIONS, ELEVATIONS, AND DETAILS.
- SEE SHEET A8.01 FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES AND TOILET ACCESSORIES.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXT. WINDOW FRAMES, CABINET WORK, AND CASEWORK W/ ADJACENT MATERIALS EVEN THOUGH JOINT MAY NOT BE VISIBLE.
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- PROVIDE INSULATION ON ALL EXTERIOR WALLS AS INDICATED IN THE COMCHECK INCLUDED IN THE DOCUMENTS.
- ADD SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE WEIGHT OF ATTACHED ITEMS IS TOO GREAT TO BE SUPPORTED BY METAL STUDS.
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**1 Level 3** (LEVEL 4 - IDENTICAL - 9,381 SF USE - CLOTHIER)  
 scale: 1/8" = 1'-0"



DATE:	07/06/2020
PROJECT NO.:	19006
LAST REVISION:	10/22/20
SHEET TITLE:	Floor 3
SHEET NUMBER:	

**G123**



**Owner:**  
 JB Baumann Holdings LLC  
 4801 Arapaho Road  
 Suite 100  
 Addison, Texas 75001

**Architect/Applicant:**  
 Greenlight Studio, LLC  
 100 N. Cottonwood Drive  
 Suite 104  
 Richardson, Texas 75080  
 v: 214.810.4535

**Civil Engineer:**  
 Pacheco Koch  
 7557 Rimbalee Road  
 Suite 1400  
 Dallas, Texas 75231  
 v: 972.235.3031

**Baumann Building**  
 4901 Arapaho Road  
 Lot 1 Block A  
 Wingate Inn of Addison Addition  
 Addison, Texas  
 Town Project No. 1809-Z

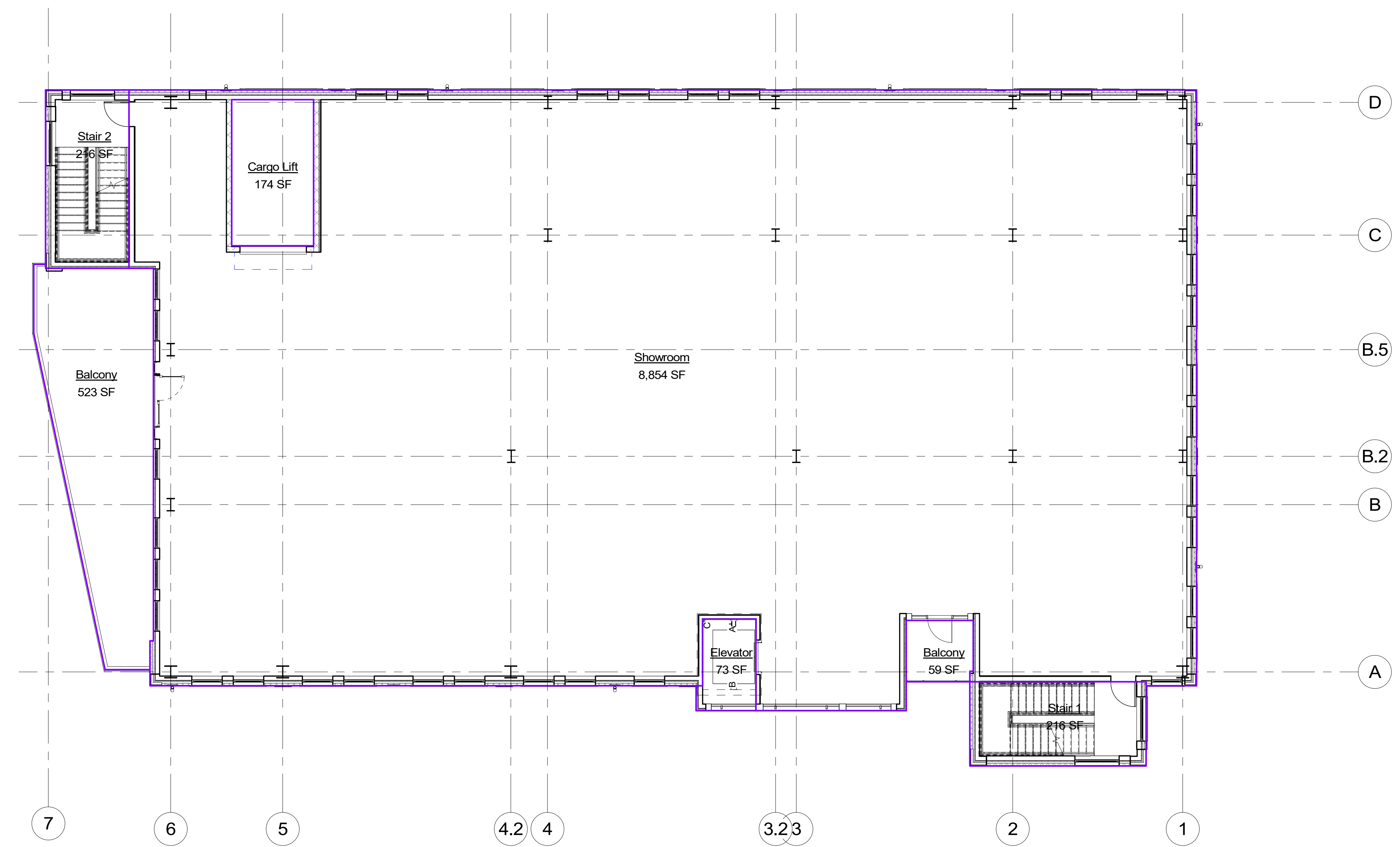
DATE: 07/06/2020  
 PROJECT NO.: 19006  
 LAST REVISION: 10/22/20

SHEET TITLE:  
**Floor 4**

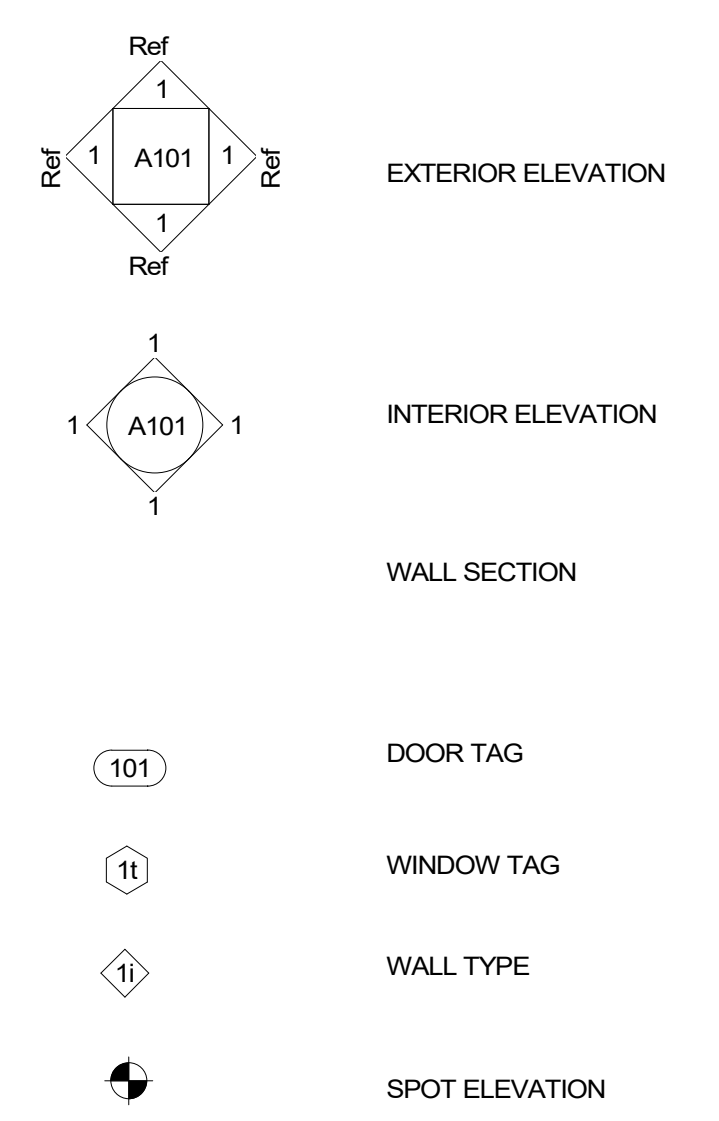
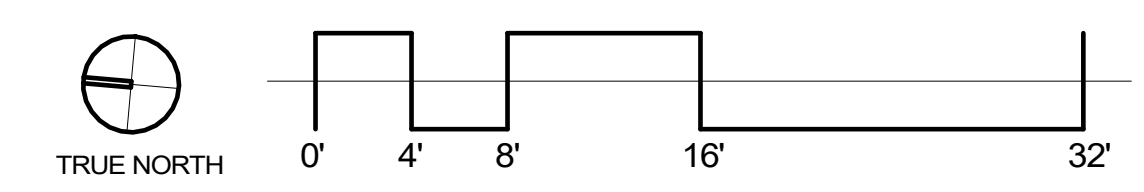
SHEET NUMBER:

**G124**

1. ALL PARTITIONS ARE TO BE TYPE A UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
3. CONTRACTOR TO VERIFY ALL MEP AND STRUCTURAL ENCLOSURES.
4. DIMENSIONS SHOWN ON THE FLOOR PLANS ARE FROM CENTERLINE OF COLUMNS TO FACE OF FINISH OF INTERIOR WALLS AND TO FACE OF FINISH OF EXTERIOR WALLS UNLESS OTHERWISE INDICATED OR DETAILED.
5. FOR FURTHER DIMENSIONING, SEE LARGE SCALE PLANS, SECTIONS, ELEVATIONS, AND DETAILS.
6. SEE SHEET A8.01 FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES AND TOILET ACCESSORIES.
7. CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXT. WINDOW FRAMES, CABINET WORK, AND CASEWORK W/ ADJACENT MATERIALS EVEN THOUGH JOINT MAY NOT BE VISIBLE.
8. PROVIDE 5/8" TYPE "X" GYP. BOARD ON ALL UNFINISHED WALLS.
9. PROVIDE INSULATION ON ALL EXTERIOR WALLS AS INDICATED IN THE COMCHECK INCLUDED IN THE DOCUMENTS.
10. ADD SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE WEIGHT OF ATTACHED ITEMS IS TOO GREAT TO BE SUPPORTED BY METAL STUDS.
11. ADD METAL STRAPS TO AREAS WITH LIGHTWEIGHT WALL MOUNTED EQUIPMENT OR FINISHES WHICH CANNOT MOUNT TO STUD SPACING.
12. ALL DOOR FRAMES TO BE LOCATED 4" FROM ADJACENT WALL TO INSIDE OF DOOR FRAME UNLESS NOTED OTHERWISE.
13. THERE SHALL BE NO WALL ACCESS PANELS IN THE PUBLIC SPACES. ALL ACCESS PANEL LOCATIONS SHALL BE APPROVED BY THE ARCHITECT.
14. PROVIDE WATER RESISTANT GYP BOARD AT ALL PLUMBING FIXTURES, WITH THE EXCEPTION OF TILE BACKER AT TILED SHOWERS. DO NOT INSTALL WATER RESISTANT GYP BOARD IN CEILINGS.
15. DO NOT BOLT, SHOT FASTEN, OR PENETRATE BOTTOM SURFACE OF JOISTS AND BEAMS. DO NOT BOLT HEAVY LOADS INTO FLAT SECTIONS OF SLABS. REVIEW PROPOSED CORE PENETRATIONS IN STRUCTURAL FLOORS, ROOFS, AND WALLS WITH ARCHITECT.



**1 Level 4**  
 scale: 1/8" = 1'-0"



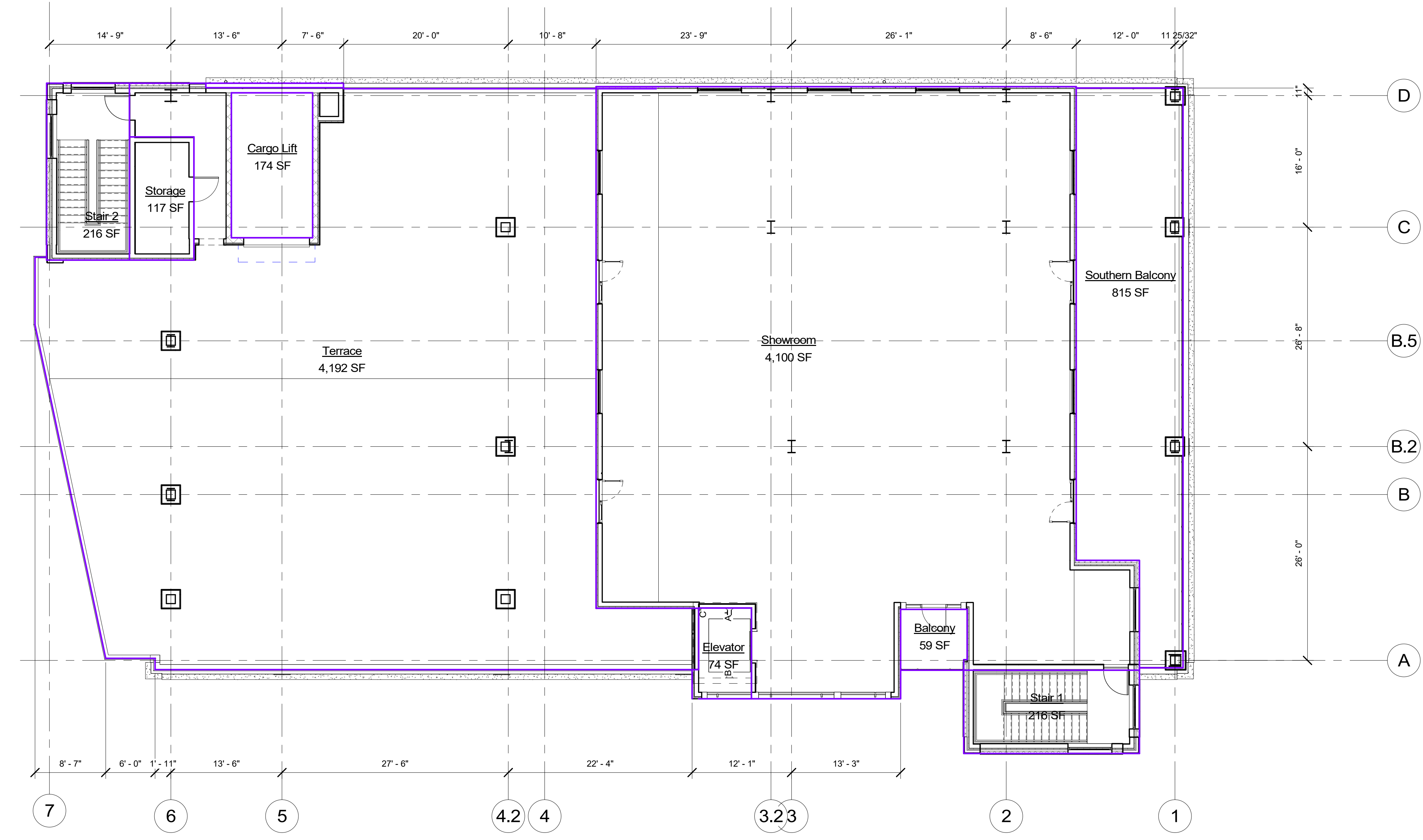
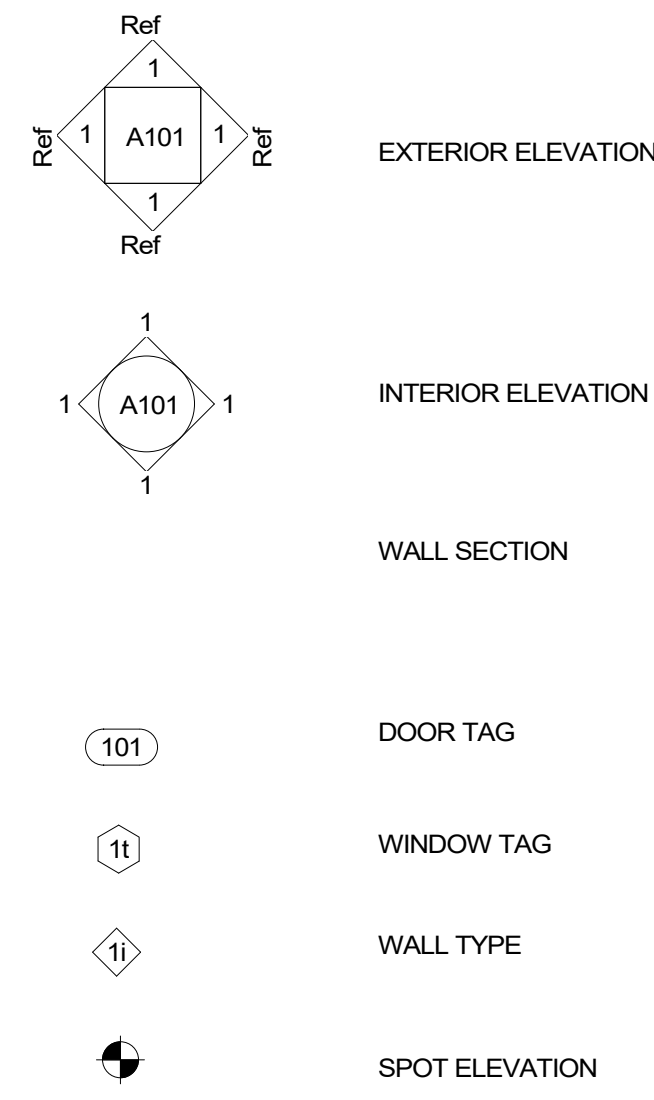
Owner:  
 JB Baumann Holdings LLC  
 4801 Arapaho Road  
 Suite 100  
 Addison, Texas 75001

Architect/Applicant:  
 Greenlight Studio LLC  
 100 N. Cottonwood Drive  
 Suite 104  
 Richardson, Texas 75080  
 v: 214.810.4535

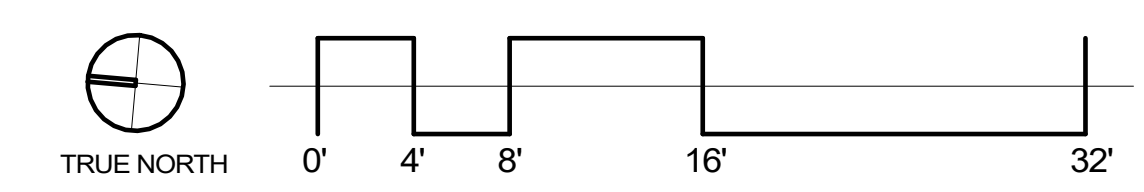
Civil Engineer:  
 Pacheco Koch  
 7557 Rambler Road  
 Suite 1400  
 Dallas, Texas 75231  
 v: 972.235.3331

**Baumann Building**  
 4901 Arapaho Road  
 Lot 1 Block A  
 Wingate Inn of Addison Addition  
 Addison, Texas  
 Town Project No. 1809-Z

- ALL PARTITIONS ARE TO BE TYPE A UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
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**1 Level 5**  
 scale: 1/8" = 1'-0"



DATE:	07/06/2020
PROJECT NO.:	19006
LAST REVISION:	10/22/20
SHEET TITLE:	Floor 5
SHEET NUMBER:	

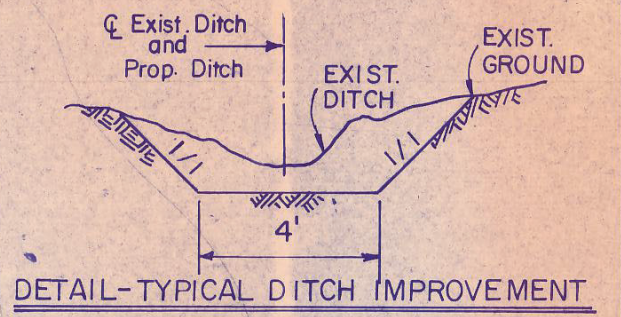
**G125**



**CAUTION**  
 6" High Pressure Petroleum Transmission line  
 Contractor Shall notify Petro-Fina (214) 750-2816  
 24 hrs. prior to Commencing ANY work in this Area.

Sta. 6+75  
 Cut 4.0'  
 STA. 6+75  
 Exist. Ground 621.76  
 Top 6" Gas line 617.00  
 E. Ditch 618.77

NOTE: FROM THIS POINT, CONTINUE NORTHEASTERLY, PARALLEL TO R.R. TRACK, CONCURRENT WITH EXIST. DITCH, APPROXIMATELY 150 L.F. TO Elev. 618.0) w/ TYPICAL DITCH IMPROVEMENT (See Section Below) min. 0.30% slope



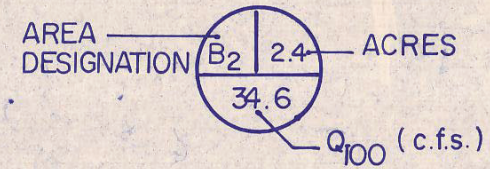
APPROX. 575 L.F. DITCH IMPROVEMENT, 0.3% SLOPE

STA. 1+00.0  
 El. 620.50  
 (cut 3.6')  
 60' RCP  
 For Detail of this area See Sheet 16

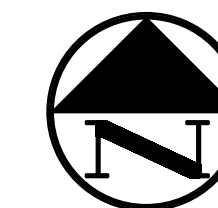
DRAINAGE CALCULATIONS (Tech. Paper 40)  
 Rational Formula  $Q = C \cdot I \cdot A$ , where  $C = 0.95$

$I =$  Intensity, in./hr.  
 $I_{100}$  (min  $I = 11.6$ )  
 $(T_c = 10 \text{ minutes})$

$A =$  Area, acres



<b>CITY OF ADDISON</b>			
<b>ARAPAHO RD./QUORUM DR. IMPROVEMENTS</b>			
<b>DRAINAGE AREA MAP</b>			
GINN, INC., Consulting Engineers			
Designed - G.F.	Drawn - G.F.	Date - DECEMBER, 1983	
Approved - H.W.G.	Checked - G.F.	Scale - 1" = 100'	Sheet 12 OF 22



**LEGEND**

BL	BOLLARD	---	PROPERTY LINE
EM	ELECTRIC METER	-x-	FENCE
FP	POWER POLE	---	EXISTING CONTOUR
LS	LIGHT STANDARD	---	PROPOSED CONTOUR
WM	WATER METER	---	DRAINAGE FLOW DIRECTION
WV	WATER VALVE	---	100-YR FLOODPLAIN LIMITS
ICV	IRRIGATION CONTROL VALVE	---	DRAINAGE DIVIDE
FH	FIRE HYDRANT	DA 8	PROPOSED DRAINAGE AREA ID
MC	MANHOLE	1.00	AREA IN ACRES
MS	MANHOLE	7.99	Q <sub>100</sub> IN CUBIC FEET PER SECOND
TSC	TRAFFIC SIGNAL CONTROL		
TSP	TRAFFIC SIGNAL POLE		
TELE	TELEPHONE BOX		
FL	FLOOD LIGHT		
FP	FLAG POLE		
SIGN	TRAFFIC SIGN		

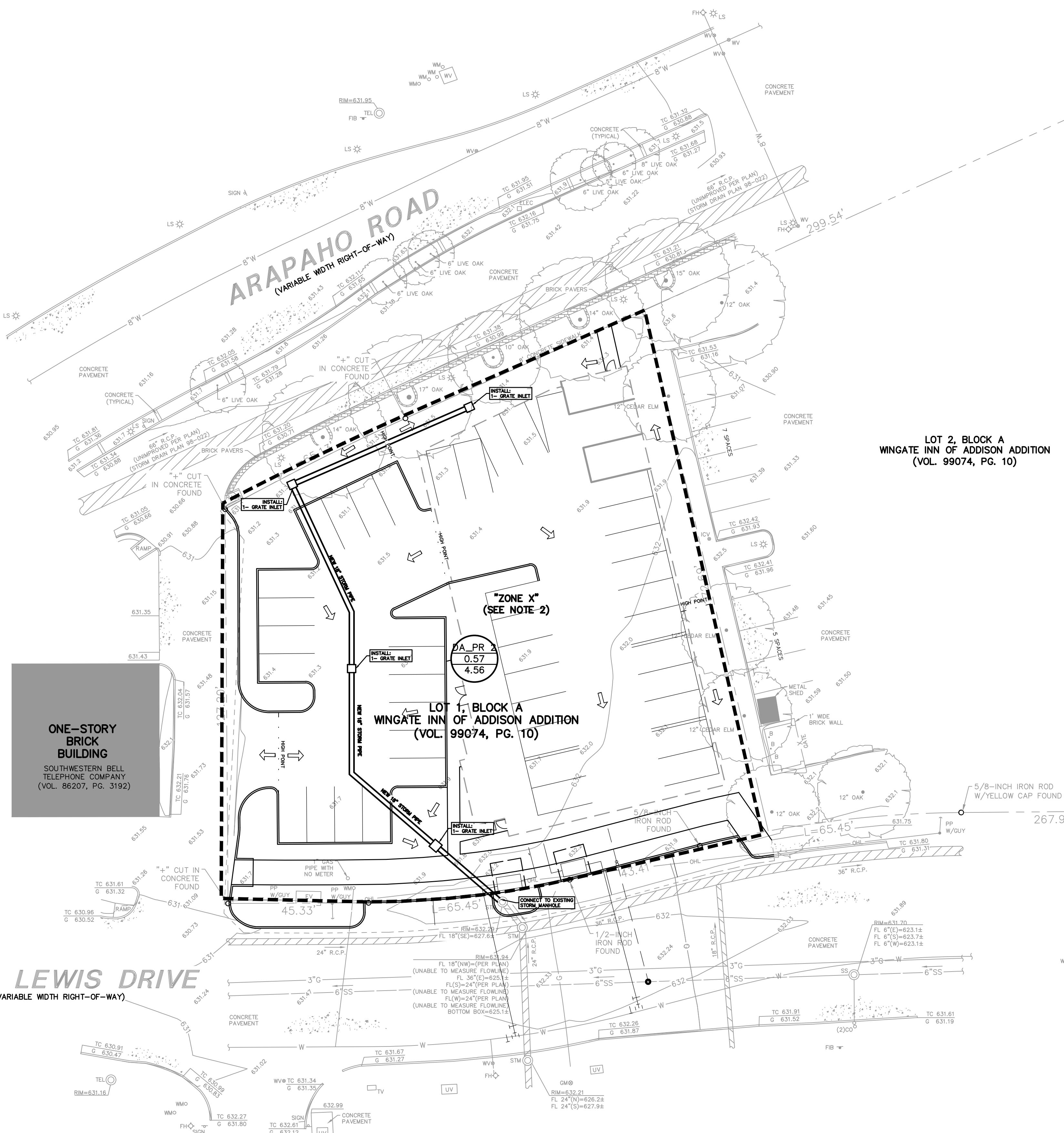
THE EXISTING DRAINAGE AREA MAP FOR THIS SITE WAS COMPLETED BY GINN, INC. CONSULTING ENGINEERS AS PART OF THE TOWN OF ADDISON-ARAPAHO ROAD/QUORUM DRIVE IMPROVEMENTS PACKAGE DATED DECEMBER 1983

EXISTING DRAINAGE AREA TABLE						
DRAINAGE AREA ID	AREA (acres)	C	T <sub>c</sub> (min)	I <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)	COMMENTS
DA 1	0.57	0.95	10	11.6	6.28	DRAINS TO EXISTING STORM SYSTEM IN EDWIN LEWIS DRIVE

PROPOSED DRAINAGE AREA TABLE						
DRAINAGE AREA ID	AREA (acres)	C	T <sub>c</sub> (min)	I <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)	COMMENTS
DA PR 2	0.57					
DA 8	4.56					

**GRADING & DRAINAGE GENERAL NOTES**

- REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
- UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN MAXIMUM LIFTS OF 6 INCHES.
- SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A RUNNING SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.
- GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO FEDERAL, STATE, AND LOCAL GUIDELINES.
- ALL PROPOSED AND EXISTING GRADES IN NON-PAVED AREAS ARE "FINISHED GRADE" (I.E. IN LANDSCAPE BEDS, TOP OF MULCH/BEDDING MATERIAL).
- UNLESS NOTED, STORM DRAIN LINES SHALL BE OF THE FOLLOWING MATERIALS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS:
  - 6.A. RCP C-76, CLASS III
  - 6.B. ADS N-12
  - 6.C. HANCOR HI-Q
  - 6.D. CONTECH ALUMINIZED ULTRA FLOW
- UNLESS NOTED, GRATE INLETS TO BE "FORTERRA PIPE AND PRECAST" CATCH BASIN SIZED AS SHOWN, OR APPROVED EQUAL.
- FINAL PAVING, CURB, AND SIDEWALK ELEVATIONS WILL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
- REFER TO LANDSCAPE SPECIFICATIONS FOR SEEDING AND SODDING REQUIREMENTS.
- ANY CONCRETE, ROCK, OR MATERIAL DEEMED BY THE ENGINEER TO BE UNSUITABLE FOR SUBGRADE SHALL BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD TOWN SPECIFICATIONS.
- EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS NEAR THE OUTLET PIPE.
- ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO NCTCOG ITEM 702.2.4, CLASS "A" (3000 PSI) UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD TOWN SPECIFICATIONS.
- CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM FOR CRUSHED STONE BEDDING.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.



**ONE-STORY BRICK BUILDING**  
SOUTHWESTERN BELL TELEPHONE COMPANY (VOL. 86207, PG. 3192)

**EDWIN LEWIS DRIVE**  
(VARIABLE WIDTH RIGHT-OF-WAY)

**LOT 2, BLOCK A WINGATE INN OF ADDISON ADDITION (VOL. 99074, PG. 10)**

**LOT 1, BLOCK A WINGATE INN OF ADDISON ADDITION (VOL. 99074, PG. 10)**

**PRELIMINARY NOT FOR CONSTRUCTION**  
THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.  
PLANS PREPARED UNDER THE DIRECT SUPERVISION OF EMILY M. ZOELLNER, P.E. TEXAS REGISTRATION NO. 123461  
DATE: 10/06/2020

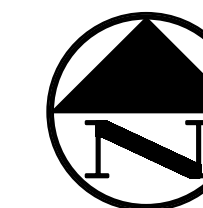
**ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY**  
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)  
THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND, THEREFORE, REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

NO.	DATE	REVISION

**Pacheco Koch**  
7557 RAMBLER ROAD SUITE 1400  
DALLAS, TX 75231 972.235.3031  
TX REG. ENGINEERING FIRM F-469  
TX REG. SURVEYING FIRM LS-10008000

**PRELIMINARY DRAINAGE PLAN**  
**BAUMANN BUILDING**  
**LOT 1, BLOCK A**  
**4901 ARAPAHO RD.**  
**TOWN OF ADDISON, DALLAS COUNTY, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
EMZ	GAC	OCT 2020				<b>C1.1</b>



**LEGEND**

B	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FH	FIRE HYDRANT
CO	CLEANOUT
MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TELE	TELEPHONE BOX
FL	FLOOD LIGHT
FP	FLAG POLE
SIG	TRAFFIC SIGN
IRS	1/2-INCH IRON ROD
(C.M.)	W/"PACHECO KOCH" CAP SET
---	CONTROLLING MONUMENT
---	PROPERTY LINE
X	FENCE
OHL	OVERHEAD UTILITY LINE
E	UNDERGROUND ELECTRIC LINE
T	UNDERGROUND TELEPHONE LINE
C	UNDERGROUND CABLE LINE
W	UNDERGROUND WATER LINE
SS	UNDERGROUND SANITARY SEWER LINE
W/B	PROP WATER LINE W/ BEND
SS	PROP SANITARY SEWER LINE
FC	FIRE HYDRANT CIRCLE
150'	150' RADIUS

**WATER & SANITARY SEWER GENERAL NOTES**

- ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED.
- ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 14, CLASS 305 AND INSTALLED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE FIRE PROTECTION PLANS TO BE PREPARED BY A LICENSED FIRE PROTECTION CONTRACTOR.
- WATER AND SANITARY SEWER SERVICES SHALL MEET PLUMBING CODE REQUIREMENTS.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES BELOW IMPROVED FINISHED GRADE, UNLESS OTHERWISE NOTED.
- SANITARY SEWER PIPE SHALL BE PVC SDR-35.
- WHEN WATER AND SANITARY SEWER MAINS, SERVICES, AND LATERALS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CHAPTERS SHALL APPLY:
  - TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATION DISTANCES.
  - TCEQ CHAPTER 290.44 WATER DISTRIBUTION, SECTION (e) LOCATION OF WATERLINES.
- CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL TIE A ONE INCH WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36 INCHES OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OR ALLEY IN ACCORDANCE WITH THE STANDARD TOWN SPECIFICATIONS.
- ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD TOWN SPECIFICATIONS.
- THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
- ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD TOWN SPECIFICATIONS.
- EMBEDDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD TOWN SPECIFICATIONS.
- VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE UTILITY CONTRACTOR SHALL POUR A 24"x24"x6" CONCRETE BLOCK AROUND ALL VALVE BOX TOPS LEVEL WITH THE FINISHED GRADE.
- CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICES AND MAINTAIN EXISTING SERVICES THROUGHOUT CONSTRUCTION.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY  
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND THEREFORE REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

NO.	DATE	REVISION

**Pacheco Koch** 7557 RAMBLER ROAD SUITE 1400 DALLAS, TX 75231 972.235.3031 TX REG. ENGINEERING FIRM F-469 TX REG. SURVEYING FIRM LS-10008000

**SITE UTILITY PLAN**  
**BAUMANN BUILDING**  
**LOT 1, BLOCK A**  
**4901 ARAPAHO RD.**  
**TOWN OF ADDISON, DALLAS COUNTY, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
EMZ	GAC	OCT 2020	1"=20'			<b>C1.2</b>

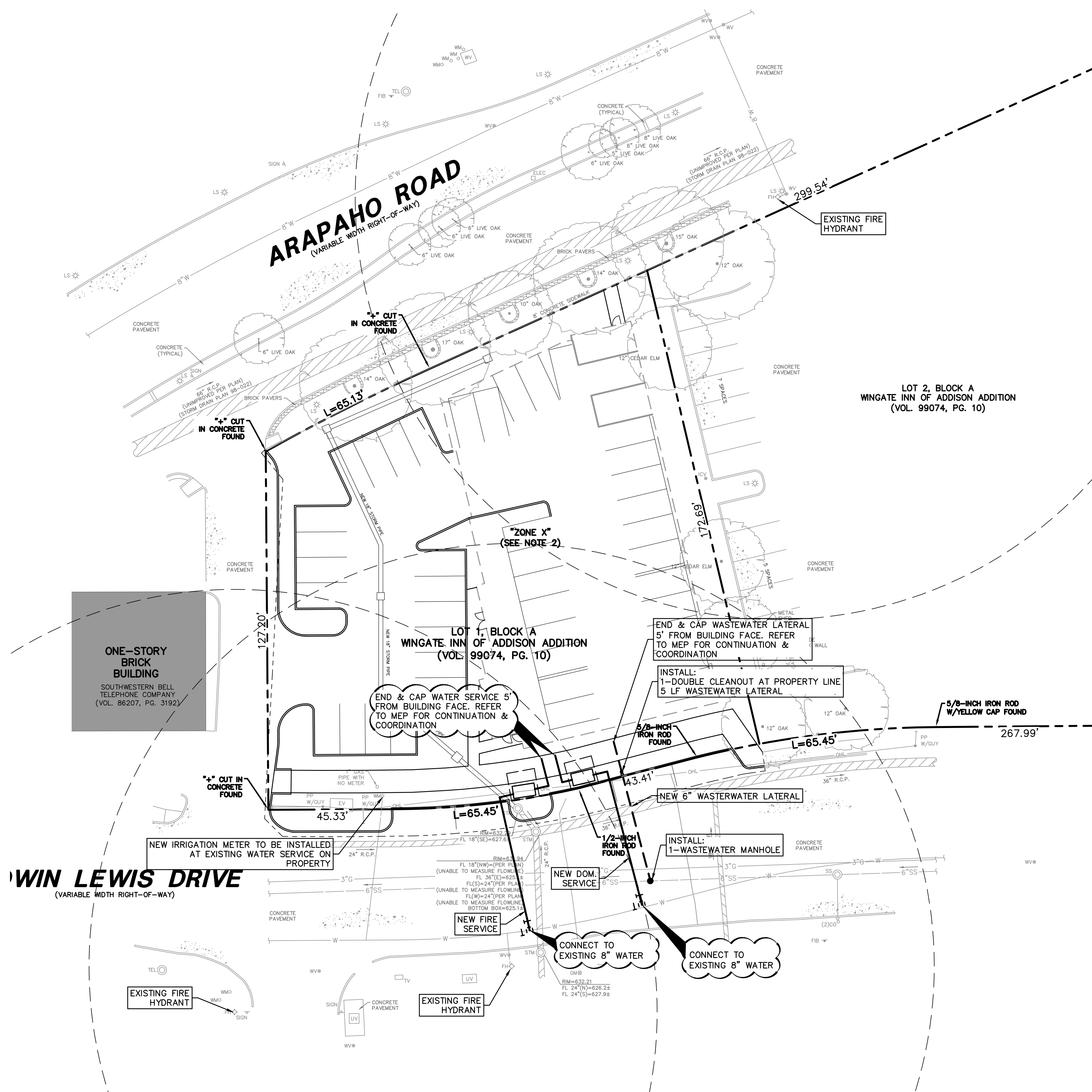
THIS PLAN CONFORMS WITH DESIGN STANDARDS INCLUDED IN THE TOWN OF ADDISON TRANSPORTATION PLAN, WATER SYSTEMS REQUIREMENTS, WASTE WATER SYSTEM REQUIREMENTS, AND DRAINAGE CRITERIA MANUAL

**TOWN PROJECT NO. 1809-Z**

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

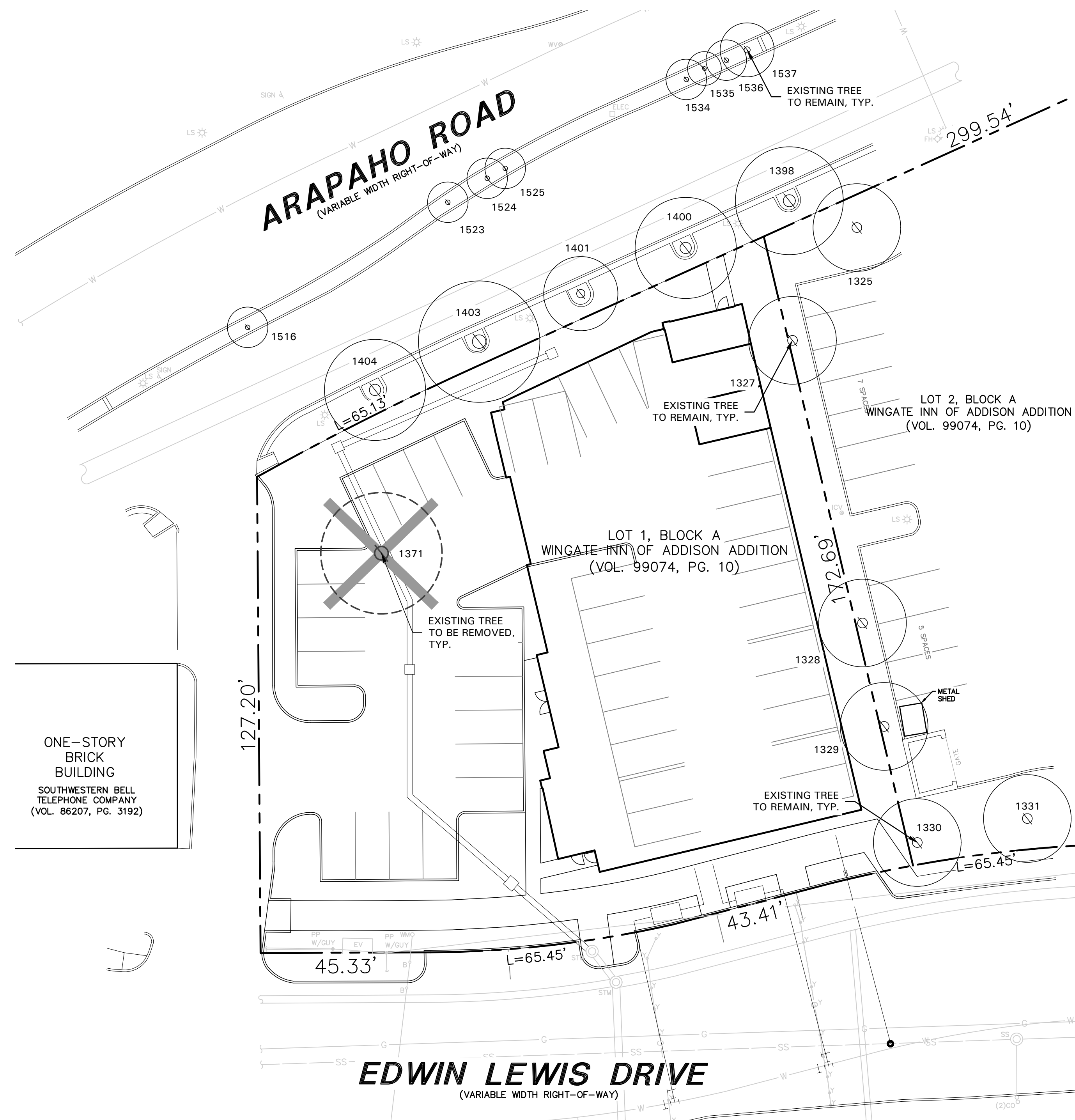
THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT SUPERVISION OF EMILY M. ZOELLNER, P.E. TEXAS REGISTRATION NO. 123461 DATE: 10/06/2020



EZOELLNER 10/6/2020 3:30 PM M: DWS-29 2860-19.596 UTIL.DWG

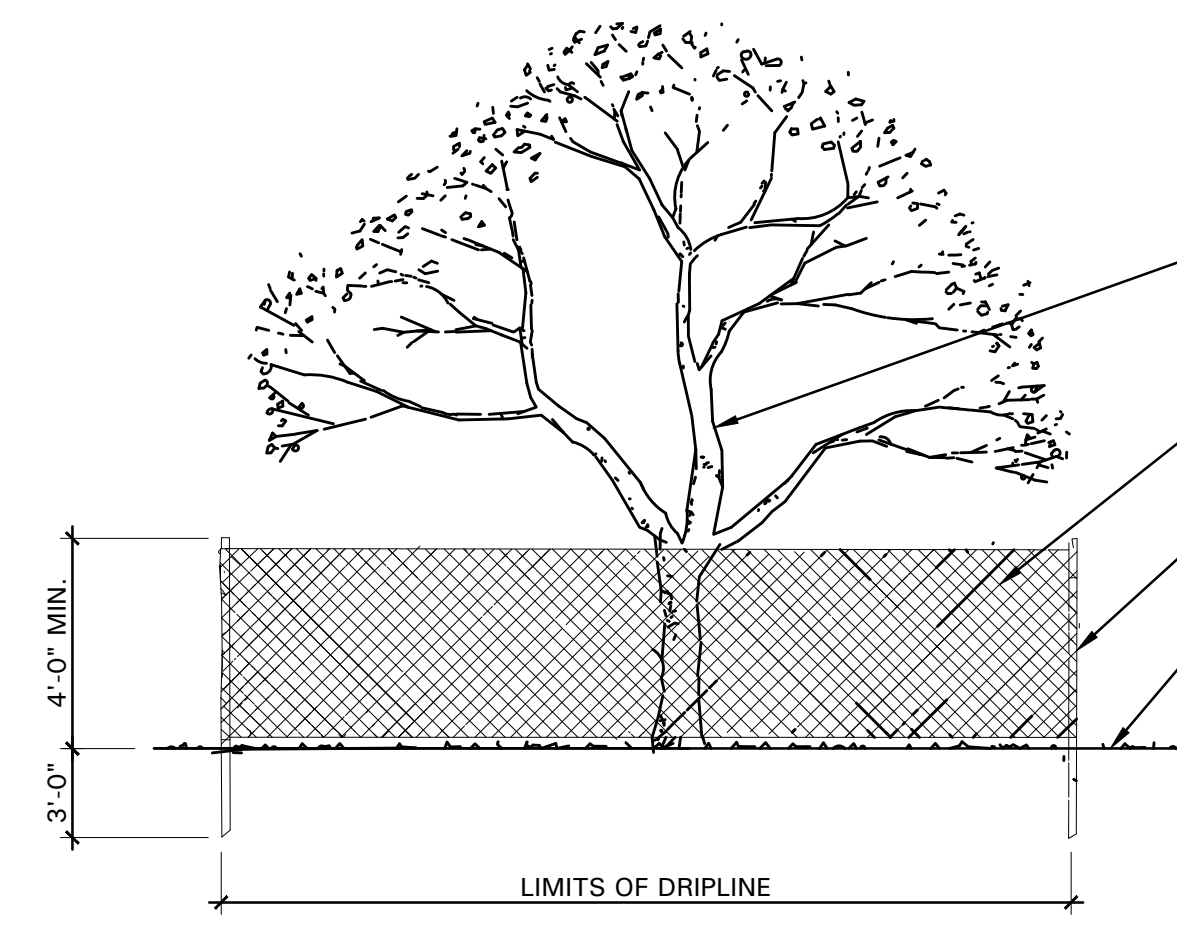
BAUMANN BUILDING



TREE SURVEY FIELD DATA				
No.	Dia. (Inches)	Species (Common name)	Status	Remarks
1325	12	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1327	12	CEDAR ELM	TO REMAIN	OUTSIDE OF PROPERTY
1328	12	CEDAR ELM	TO REMAIN	OUTSIDE OF PROPERTY
1329	12	CEDAR ELM	TO REMAIN	OUTSIDE OF PROPERTY
1330	12	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1331	12	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1371	17	OAK	TO BE REMOVED	
1398	15	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1400	14	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1401	10	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1403	17	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1404	14	OAK	TO REMAIN	OUTSIDE OF PROPERTY
1516	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1523	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1524	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1525	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1534	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1535	5	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1536	6	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
1537	8	LIVE OAK	TO REMAIN	OUTSIDE OF PROPERTY
Total Caliper Inches on Site				17
Total Caliper Inches Removed				17
Total Mitigation Inches Required				17

**TREE PRESERVATION NOTES**

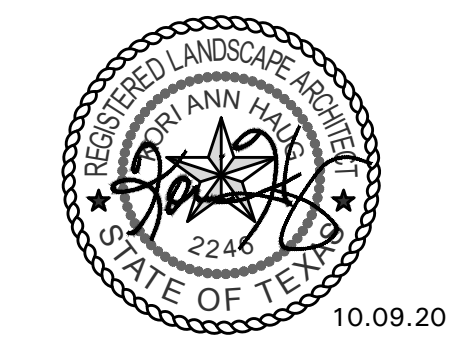
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



**01 TREE PROTECTIVE FENCING**  
NOT TO SCALE



4245 North Central Expy  
Suite 501  
Dallas, Texas 75205  
214.865.7192 office



**Baumann Building**

4901 Arapaho Road  
Lot 1, Block A  
Wingate Inn of Addison Addition  
Addison, Texas  
Town Project No. 1809-Z

Project Number: 19147  
Issue Date: 01.24.2020  
Drawn By: NAY  
Checked By: KAH

Revisions No.	Date:	Detail:
	03.27.20	Town Comments
	10.09.20	Town Comments

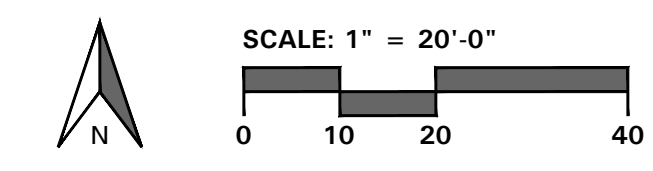
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**TREE PRESERVATION PLAN**

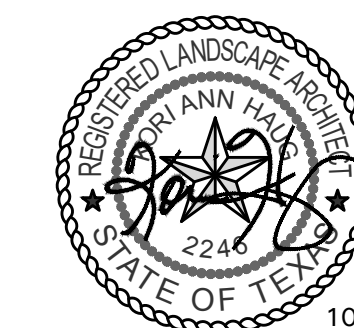
Sheet Number:  
**L1.01**

**Owner:** JR Baumann Holdings LLC  
4801 Arapaho Road  
Suite 100  
Addison, Texas 75001

**Architect/Applicant:** Greenlight Studio LLC  
100 N. Cottonwood Drive  
Suite 104  
Richardson, Texas 75080  
214.810.4535

**Civil Engineer:** Pacheco Koch  
7557 Rambler Road  
Suite 1400  
Dallas, Texas 75231  
972.235.3031





**Baumann Building**

4901 Arapaho Road  
Lot 1, Block A  
Wingate Inn of Addison Addition  
Addison, Texas  
Town Project No. 1809-Z

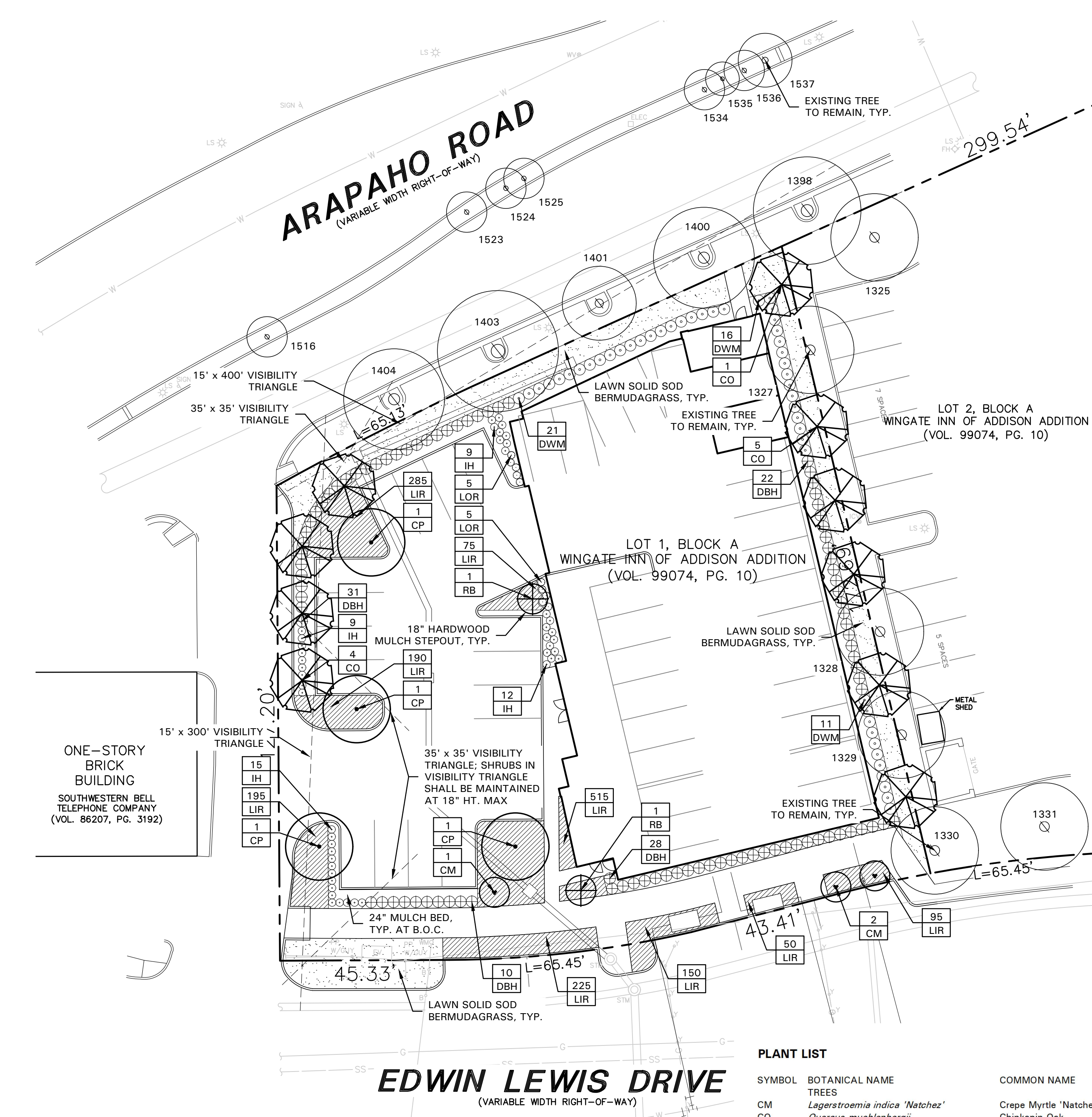
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Revisions  
No: Date: Detail:  
03.27.20 Town Comments  
10.09.20 Town Comments

Sheet Title:

**LANDSCAPE PLAN**

Sheet Number:  
**L2.01**



**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

**MAINTENANCE NOTES**

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

**GENERAL LAWN NOTES**

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

**SOLID SOD NOTES**

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

**LANDSCAPE TABULATIONS**  
THE CITY OF ADDISON, TEXAS

**SITE LANDSCAPE**

1. 20% of the site to be landscape area.  
Total Site Area: 24,730 s.f. (0.57 acre)

Required 4,946 s.f. (20%)	Provided 6,005 s.f. (24%)
------------------------------	------------------------------

**STREET LANDSCAPE BUFFER**

- 20' landscape buffer.
- One (1) shade tree, 4" cal., per 30 l.f. of street frontage.
- Evergreen shrubs planted 3' to 3.5' on center.

**Arapaho Road: 150 l.f.**

Required 20' landscape buffer (5) trees, 4" cal.	Provided provided (4) existing trees (1) tree, 4" cal. evergreen shrubs 3' o.c.
--	---

**Edwin Lewis Drive: 177 l.f.**

Required 20' landscape buffer (6) trees, 4" cal.	Provided provided (1) tree, 4" cal. (4) trees, 3" cal. evergreen shrubs 3' o.c.
--	---

**PARKING LOT PERIMETER**

- One (1) tree, 4" cal., per 35 l.f. of perimeter.
- Evergreen shrubs planted 3' to 3.5' on center.

Parking Lot Perimeter: 185 l.f.

Required (5) shade tree, 4" cal. evergreen shrubs, 3' o.c.	Provided (5) shade tree, 4" cal. evergreen shrubs, 3' o.c.
--	--

**PARKING LOT SCREENING**

- Evergreen shrubs, 3' ht., planted 3' on center in a single row in a bed at least 42" wide.
- Evergreen shrubs, 3' ht., must be at least 3.5' higher than the finished elevation of the adjacent parking lot.

Required evergreen shrubs, 3' ht.	Provided evergreen shrubs, 3' ht.
--------------------------------------	--------------------------------------

**PARKING LOT LANDSCAPE**

- 5% of the total parking area to be landscaped.
- One (1) large shade tree per 10 parking spaces.

Total Parking Area: 5,659 s.f.  
Total Parking spaces: 18

Required 284 s.f. (5%) (2) shade trees, 4" cal.	Provided 1,308 s.f. (23%) (2) shade trees, 4" cal.
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**PLANT LIST**

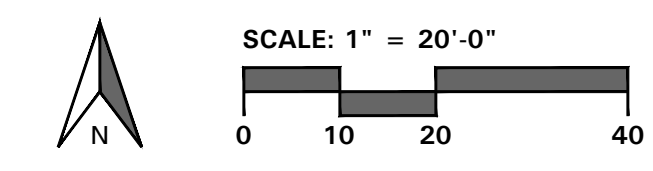
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
<b>TREES</b>					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle 'Natchez'	3	8' ht.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CO	<i>Quercus muehlenbergii</i>	Chinkapin Oak	10	4" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	4	4" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
RB	<i>Cercis canadensis</i> 'Oklahoma'	Oklahoma Redbud	2	3" cal.	container grown, 8' ht., 4' spread min.
<b>SHRUBS/GROUND COVER</b>					
DBH	<i>Ilex cornuta</i> 'Dwarf Burford'	Dwarf Burford Holly	91	5 gal.	container full, 20" spread, 36" o.c.
DWM	<i>Myrica pusilla</i>	Dwarf Wax Myrtle	48	5 gal.	container full, 20" spread, 36" o.c.
IH	<i>Raphiolepis indica</i> 'Clara'	Indian Hawthorne 'Clara'	45	5 gal.	container full, 20" spread, 24" o.c.
LIR	<i>Liriope muscari</i> 'Big Blue'	Liriope 'Big Blue'	1780	4" pots	container full top of container, 12" o.c.
LOR	<i>Loropetalum chinensis</i> 'Plum Delight'	Loropetalum 'Plum Delight'	10	3 gal.	container full, 18" spread, 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.  
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.  
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

**Owner:**  
JR Baumann Holdings LLC  
4801 Arapaho Road  
Suite 100  
Addison, Texas 75001

**Architect/Applicant:**  
Greenlight Studio LLC  
100 N. Cottonwood Drive  
Suite 104  
Richardson, Texas 75080  
214.810.4535

**Civil Engineer:**  
Pacheco Koch  
7557 Rambler Road  
Suite 1400  
Dallas, Texas 75231  
972.235.3031



SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- 1. Planting (trees, shrubs and grasses)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
C. Texas Association of Nurserymen, Grades and Standards
D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
C. Selection of Plant Material:
1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
B. Delivery:
1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
6. Remove rejected plant material immediately from job site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaded, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
a. Clay - between 7-27 percent
b. Silt - between 15-25 percent
c. Sand - less than 52 percent
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
F. Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.
2.3 MISCELLANEOUS MATERIALS
A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16" long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDEGE Heavy Duty Steel.
B. Staking Material for Shade Trees: refer to details.
C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
D. Filter Fabric: "Mirafi Mirascape" by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

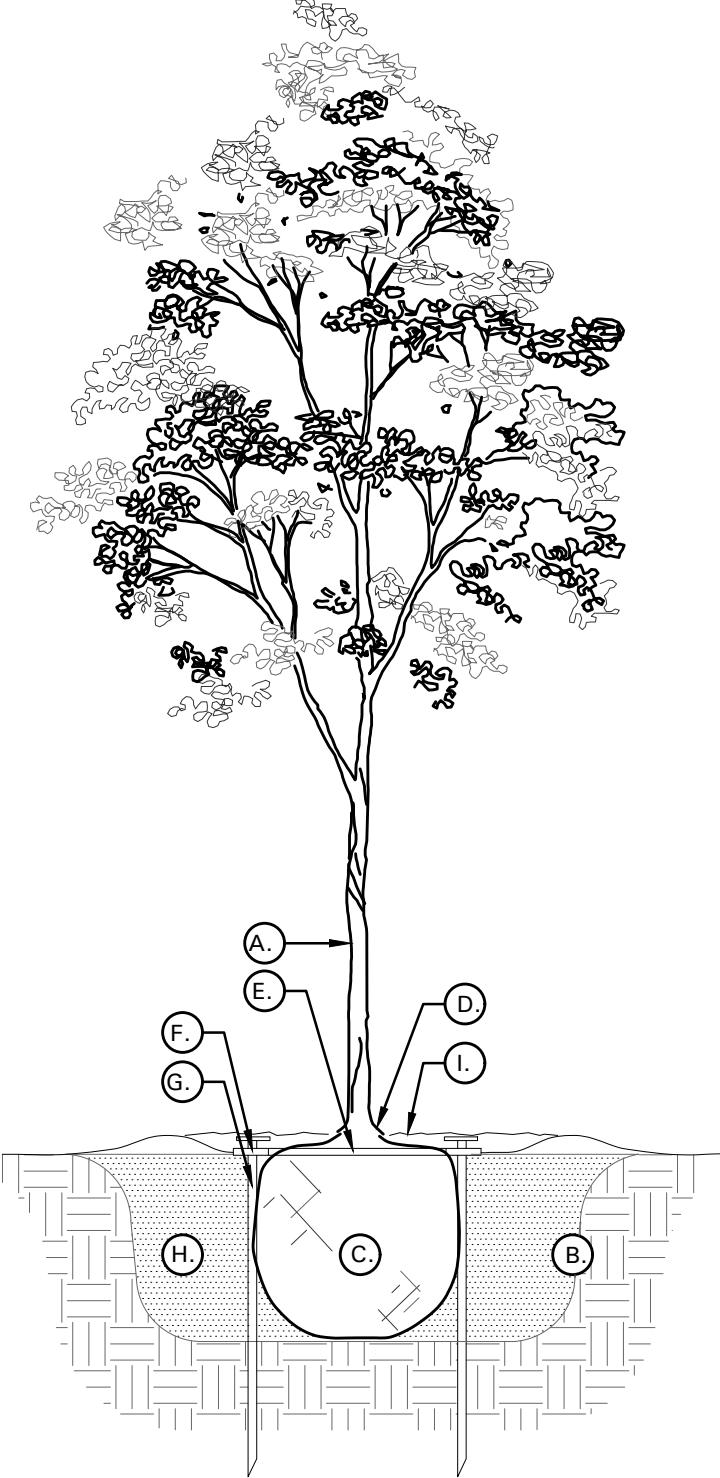
- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
B. All planting areas shall be conditioned as follows:
1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
C. Grass Areas:
1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
C. Position the trees and shrubs in their intended location as per plan.
D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than its vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4) inch in diameter. Plants should be thoroughly moist before removing containers.
G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

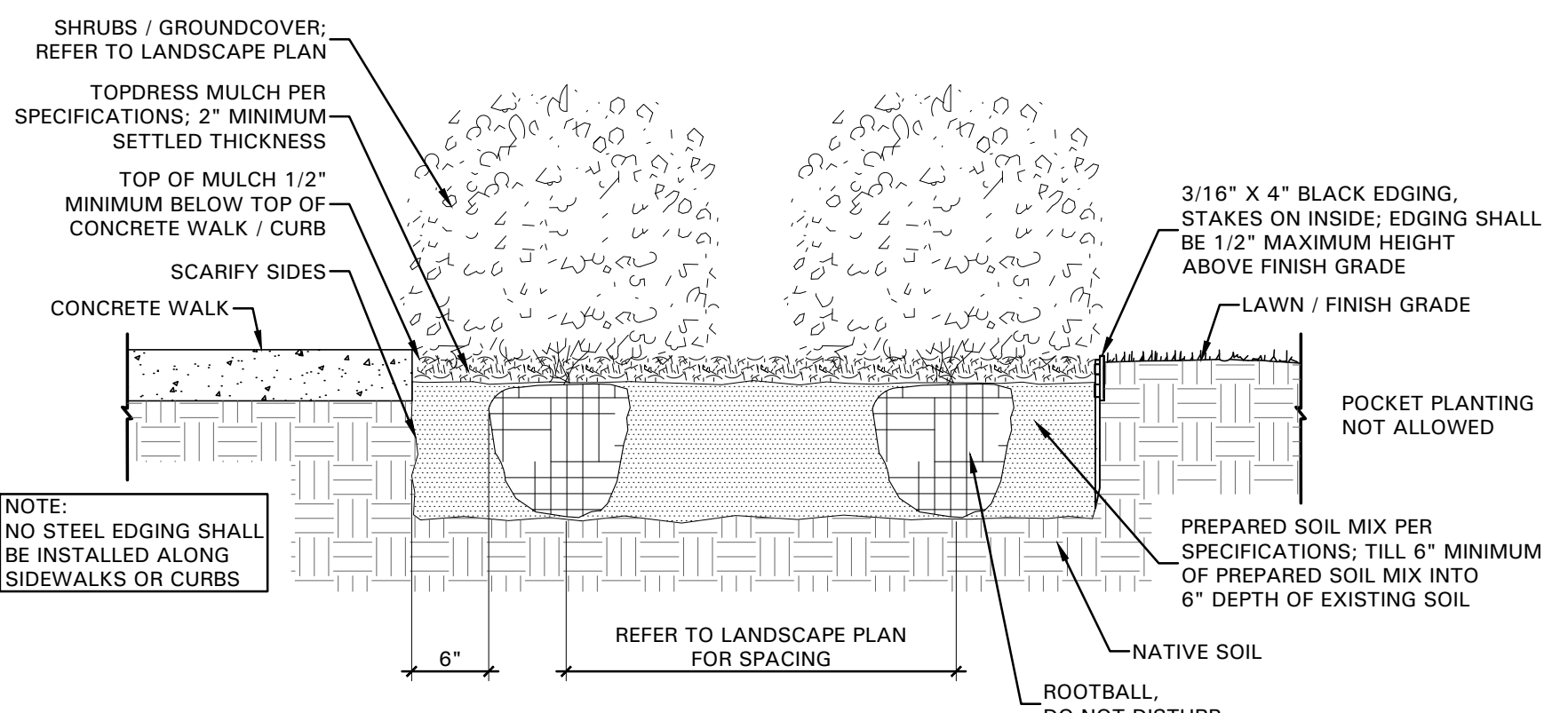
tree planting detail as approved by the Landscape Architect if the percolation test fails.

- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
J. Do not wrap trees.
K. Do not over prune.
L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
2. Pruning shall be done with clean, sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
Q. Steel Curbing Installation:
1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
2. All steel curbing shall be free of kinks and abrupt bends.
3. Top of curbing shall be 1/2" maximum height above final finished grade.
4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
5. Do not install steel edging along sidewalks or curbs.
6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.
3.3 CLEANUP AND ACCEPTANCE
A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.
END OF SECTION



TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE RING.
F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED, BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL IS AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



01 TREE PLANTING DETAIL NOT TO SCALE

02 SHRUB / GROUNDCOVER DETAIL NOT TO SCALE



4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office



Baumann Building 4901 Arapaho Road Lot 1, Block A Wingate Inn of Addison Addition Addison, Texas Town Project No. 1809-Z

Project Number: 19147 Issue Date: 01.24.2020 Drawn By: NAY Checked By: KAH

Owner: JR Baumann Holdings LLC 4801 Arapaho Road Suite 100 Addison, Texas 75001 Architect/Applicant: Greenlight Studio LLC 100 N. Cottonwood Drive Suite 104 Richardson, Texas 75080 214.810.4535 Civil Engineer: Pacheco Koch 7557 Rambler Road Suite 1400 Dallas, Texas 75231 972.235.3031

Table with 3 columns: Revisions No., Date, Detail. Row 1: 03.27.20, Town Comments. Row 2: 10.09.20, Town Comments.

LANDSCAPE SPECIFICATIONS AND DETAILS

Sheet Title: LANDSCAPE SPECIFICATIONS AND DETAILS Sheet Number: L2.02