



3010 Gaylord Parkway
 Suite 190
 Frisco, TX 75034
 TEL 972.377.7480
 FAX 972.377.8380
 www.GarverUSA.com

DATE: October 1, 2020

TO: Joel Jenkinson, A.A.E.
 Airport Director
 Addison Airport
 16051 Addison Road, Suite 220
 Addison, TX 75001

PROJECT: Addison Airport
 Addison Airport US Customs and Border Protection Facility
 JC Commercial – Change Order No. 3

Mr. Jenkinson:

All items included in Change Order No. 3 are listed in the table below with the associated monetary and calendar day changes. Attached to this letter are the narratives for each of the proposed items included in the table below. Please contact us if you have any questions regarding these proposed changes.

Item Number/Description	Amount	Additional Calendar Days
Dry Wall Adjustment for Plumbing	\$2,943.10	5
Landscaping and Irrigation Changes	\$2,723.21	0
Equipment Delays Due to ASI 02	\$7,183.18	10
CCD-001 Scuppers and Downspouts	\$3,478.06	12
CCD-002 Drywall Support Labor	\$1,078.23	0
CCD-003 Door Hardware and Mullion Finishes Color Change	\$2,677.03	0
Northwest Security Camera Pole Removal from Project Scope	(\$1,612.00)	0
CCD-004 Additional Hardware for Door	\$886.60	0
Locker Credit	(\$2,100.00)	0
Subtotal	\$17,275.41	27

Signature/Date: _____
 Mitchell McAnally, P.E., PMP
 Senior Project Manager

Attachments: Town of Addison Change Order Form – Addison Airport US Customs and Border Protection Facility - Change Order No. 3
 Change Order No. 3 Narratives



TOWN OF ADDISON CHANGE ORDER FORM

Change Order Number: 3

Project Name: Addison Airport US Customs and Border Protection Facility

Project Number(s): 19-97

Contractor Name: JC Commercial, Inc.

Date: 09/22/2020

A. INTENT OF CHANGE ORDER

The purpose of this change order is to provide an amendment to the construction contract for JC Commercial to include the items mentioned below.

B. DESCRIPTION OF CHANGE

Items listed in section C will increase the contract amount to include unforeseen site conditions and requests from the US Customs and Border Protection Agency.

C. REASON FOR CHANGE

The following items will be included in the construction contract:

- Drywall adjustments submitted by the plumber for the layout of the first floor and second floor restrooms. The first location is on the first floor on the east wall of the 'Processing 109' room. Plans call for the installation of a sink into an exterior CMU block wall. All CMU walls were noted to have a 7/8" hat channel with a 5/8" layer of drywall installed on them as a typical condition per our partition types sheet. This drywall cladding layer does not allow enough thickness to conceal the required plumbing pipes within it to plumb the sink. The contractor was directed to change this interior cladding layer to an F3 furring wall which has a 3-5/8" stud attached to the block wall with a layer of 5/8" thick drywall cladding. This change provides the required space to conceal the plumbing.

The second location is on the wet wall plumbing chase between the 'Women 104' and the 'Men 105' single use restrooms on Level 01. The plumbing chase depth provided in the plans was too narrow to accommodate the back to back toilet carriers and any plumbing crossovers. The contractor was directed to expand the width of this chase and modify its extents to provide adequate covering of toilet plumbing.

The third location is on the second floor in the 'Men 214' and 'Women 215' restrooms. The plumbing chase depth provided in the plans was too narrow to accommodate the toilet carriers and any plumbing crossovers that were needed. The contractor was directed to expand the width of this chase to provide adequate covering of the toilet plumbing.

- Revisions to landscaping and irrigation for the proposed plantings called out on the plans. The contractor submitted plantings for review to the Landscape Architect who noted some concerns due to the shade coverage beneath the second level of the building. Revisions were made to the landscape plans and planting designs to include more shade tolerant plants and a more suitable aggregate design. Irrigation designs were updated to match the revisions to the plantings and aggregate design changes. The revised plants and aggregate designs were reviewed on-site with the Town Arborist after the revisions were issued to ensure they were in compliance with the Town of Addison standards.
- Proposal #26a was the result of equipment rental extensions that were needed to keep required equipment on-site beyond the initial rental duration. The revisions (ASI 02) were issued formally on November 14th, 2019 and were related to adjustments to the perimeter slab edges in the structural drawings.

Initially the project was designed with a dual layer exterior skin with lighting between the layers and perforations in the exterior layer. As a result of the Value Engineering process that was requested and completed in March of 2019 to meet the project budget, this double skin was removed and replaced with a new single skin exterior cladding when the documents were issued for bid the final time on April 24, 2019. During the Structural and Architectural review of the 03 3000-1.0 Rebar Shop Drawings submittal (returned on 11/14/2019) it was discovered that some minor discrepancies existed between the Structural and Architectural slab edge locations due to the skin revisions made during VE. These discrepancies were rectified the same day the submittal was returned when we issued ASI 02. The discrepancies were minor but did require some rework to the exterior slab edge locations where work to construct them was already underway. That re-work and the duration to complete it ultimately required the extension of rentals for two pieces of equipment. The equipment in question was a Mini Excavator and a Track Loader and each rental was extended for an additional month longer than originally anticipated. Because of the rework required and the fact that other construction required it to be in-place to proceed we agree with the requested 10-day extension included in the proposal.

- Construction Change Directive 001 (CCD-001) directs the contractor to proceed with the changes associated with the Scuppers and Downspouts. The Town of Addison Building Permit reviewer requested revisions based on the calculations that were used to size the scuppers and downspouts that run down the north and south sides of the building to drain the roof. An overflow outlet was added as a back-up based on this review. The contractor had partially constructed the scupper and downspout elements along with the openings in the parapet wall at the roof that were included in the original plan documents. Re-work was required when these review comments were incorporated into the plan documents to make the scupper openings in the parapet wall larger and to add a secondary emergency overflow opening. The recessed and hidden downspout was shifted for the primary drain to be exposed on the exterior of the building for the ease of any future maintenance. The changes the contractor is requesting are reasonable based on construction progress that was made prior to the revisions were provided. If the proposal is not approved prior to that equipment leaving the site, additional costs will be incurred to bring it back to the site to complete this work.

- Construction Change Directive 002 (CCD-002) directs the contractor to proceed with the changes associated with the installation of Raco Wall Supports. The drywall framing installed for the walls between the 'Pre Processing 103' and 'Post Processing 102' rooms have glass and aluminum framing that take up the top half of the wall. This does not allow the stud framing to run continuously from floor to deck above. The wall support elements were installed below the windows inside the 3'-6" tall section of drywall framing to brace the wall from overturning/folding if a lateral force is applied to it in the middle of the wall.
- Proposal #34 resulted when the Architect was reviewing the Door Hardware submittal in conjunction with the Curtainwall and Interior Glazing packages for coordination purposes and noticed a discrepancy.

During earlier reviews of the Curtainwall and Interior Glazing submittals the final aluminum frame finish colors for these systems were formally reviewed and confirmed to be Black.

When the door hardware submittal was reviewed (5/11/2020) and compared to the Curtainwall and Interior Glazing systems aluminum frame finishes, we realized that the originally specified and submitted door hardware sets for these doors called for a satin stainless-steel brushed finish that clashes when applied to the black finish of the aluminum framing systems and doors.

Because we noted this discrepancy during the submittal review process, we asked for a proposal from the GC to provide all door hardware located in the Curtainwall and Interior Glazing systems in black to match the finish on these frames/doors. This proposal was significantly higher than we were expecting and was rejected due to cost and the fact that some hardware elements on the doors in question was not available in black. Since we could not get every hardware element in black and due to the cost, we asked for a revised proposal that just included the hinges in black since they will stand out the most.

The hinges for most exterior doors are a continuous geared style hinge and run the full height of each opening on the hinge side of the door. When these hinges are installed on black frames, a silver stripe would have been visible on the exterior hinge side at each of these doors. We had similar concerns inside the building relative to the black finish of the interior glazing aluminum frames and made the same shift. All other hardware elements were left the originally specified finish for continuity and because they are less likely to stand out so much from the black frames due to location or size. All door handles were left the original finish to make them easily visible when in operation and so that they all matched throughout. This change was made to minimize the added cost and quantity of revised hardware and still change the individual element that our designers were most concerned about from an aesthetic standpoint.

Construction Change Directive 003 (CCD-002) directs the contractor to proceed with the changes associated with proposal #34 to avoid any additional delays.

- The light and camera pole at the Northwest side of the building are proposed in a location that will conflict with the airside construction. Therefore, the light and camera pole concrete foundation and erection of the pole will be removed from this contract. The airside project will perform the installation of this light and camera pole with foundation as well as extend the conduit to this proposed pole location. JC Commercial will provide the light pole to the airside contractor. JC Commercial will still be responsible for the installation of the wiring, fixtures, and cameras upon completion of the light pole foundation performed by the airside contractor.
- Additional Hardware for Door S2A is the result of a Town Staff request when reviewing keying and access paths into and out of the building to generate the keying schedule. During a keying meeting held on August 18th the Architect reviewed all keying and access situations with Town Staff and they expressed a desire to have access to the building using an exterior stairwell door at the northeast corner of the building. Construction Change Directive 004 (CCD-002) directs the contractor to proceed with the changes associated with proposal #41 to avoid any additional delays.
- Lockers Credit is the result of a request made by Town staff to remove the small metal lockers in the gang restrooms on the second floor from the project scope. The request was made based on changes to the make-up and use of the lockers that was discussed during the furniture meetings held in the middle of August. The town wanted larger lockers based on a request from the airport police officer and these are being accommodated in the furniture package. Therefore, the need for the small metal lockers already in the project became redundant and unnecessary.

D. EFFECT OF CHANGE ON CONTRACT PRICE

This change order will have the following effect on the cost of this project:

Item Number/Description	Amount
Dry Wall Adjustment for Plumbing	\$2,943.10
Landscaping and Irrigation Changes	\$2,723.21
Equipment Delays Due to ASI 02	\$7,183.18
CCD-001 Scuppers and Downspouts	\$3,478.06
CCD-002 Drywall Support Labor	\$1,078.23
CCD-003 Door Hardware and Mullion Finishes Color Change	\$2,677.03
Northwest Security Camera Pole Removal from Project Scope	(\$1,612.00)
CCD-004 Additional Hardware for Door	\$886.60
Locker Credit	(\$2,100.00)
Subtotal	\$17,257.41
Amount of this Change Order	\$17,257.41
Original Contract Amount	\$6,223,949.00
Overall Contract Amount (Including Previous Change Orders)	\$6,388,090.26
Revised Contract Amount	\$6,405,347.67
Total % Increase/Decrease (Including Previous Change Orders)	2.91%

E. EFFECT OF CHANGE ON CONTRACT TIME

The work required under this change will affect 27 days of the contract time.

Item Number/Description	Calendar Days
Dry Wall Adjustment for Plumbing	5
Equipment Delays Due to ASI 02	10
CCD-001 Scuppers and Downspouts	12
Subtotal	27
Original Contract Start Date	September 30, 2019
Original Contract Time	450
Previously Approved Contract Time Extensions	25
Approved Contract Time Extensions this Change Order	27
New Contract Time	502
New Contract Completion Date	February 13, 2021

F. AGREEMENT

By the signatures below, duly authorized agent of the Town of Addison, and JC Commercial, Inc, do hereby agree to append this Change Order Number 3 to the original contract between themselves, dated September 18, 2019.

 City State Zip

Phone: _____

 Project Manager Printed Name

 Contractor's Signature Printed Name

 Department Director Printed Name

 Engineer's Signature Printed Name

 Fin. & Strat. Services Rep. Printed Name

 City Manager Printed Name

Copies: Contractor (2)
 Department

Council Agenda: Agenda Date _____
 (if applicable) Item Number _____

City Secretary

Approved

September 22,2020

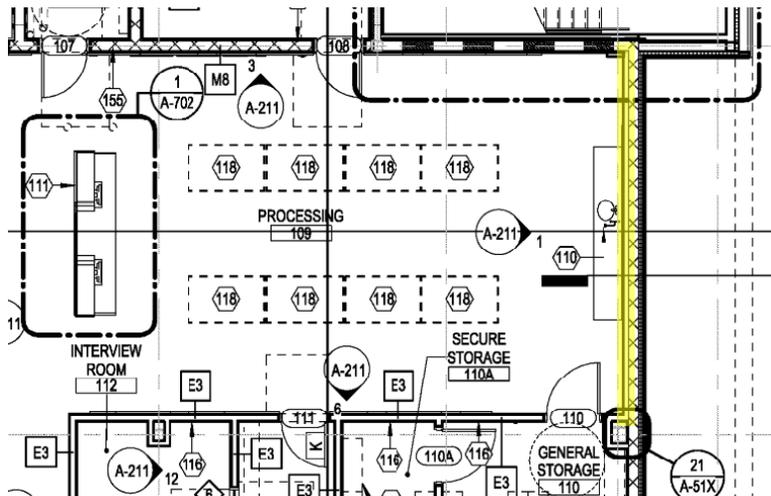
Town of Addison Council
Addison Service Center
16801 Westgrove Drive
Addison, TX 75001

Re: Narrative for Proposal #24-24a – Wall Adjustments (Drywall)(Revised)
Project No: 417151

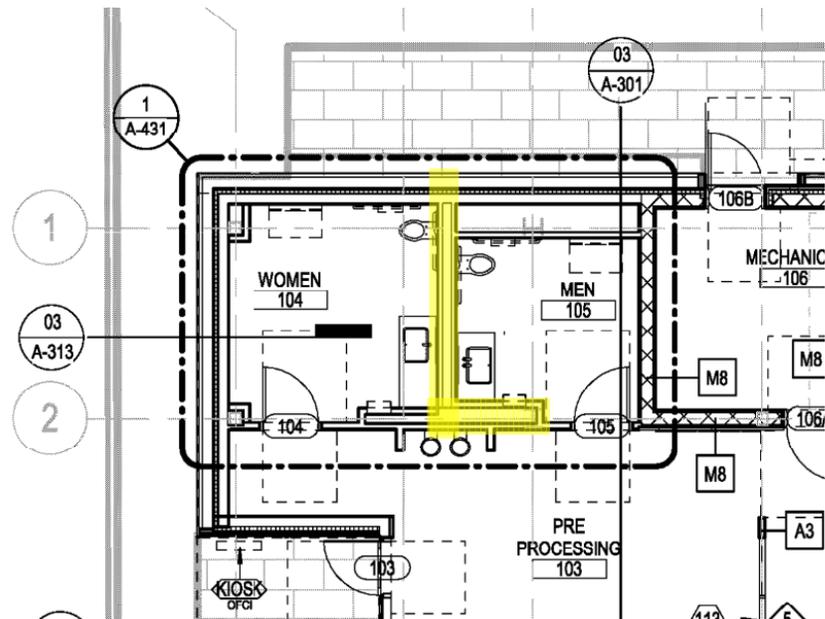
To Whom it May Concern,

Proposal #24a – Wall Adjustments (Drywall) (Revised) is the result of an issue noted by the plumber when doing his piping and fixture layout work at the wet wall chases on both level 01 and level 02. The GC submitted RFI's 103 & 104 in late May to formally bring the issue to our attention. There were 3 separate locations where issues were present, and each was addressed by modifying the framing type or wall layout slightly to resolve them and fully conceal any in-wall plumbing pipes and/or fixture carriers. Responses to the RFI's with mark-ups showing the solution were sent back to the GC approximately a week after the questions came in, and after the responses were reviewed in the field to confirm that they worked.

The first location in question was the plan east wall of Processing 109 where we had a sink being installed on the inside of an exterior CMU block wall. All CMU walls were noted to have a 7/8" hat channel with a 5/8" layer of drywall installed on them as a typical note from our partition types sheet. This drywall cladding layer does not allow enough thickness to conceal the required plumbing pipes within it to plumb the sink. We allowed the GC to change this interior cladding layer to an F3 furring wall which has a 3-5/8" stud attached to the block wall with a layer of 5/8" thick drywall cladding. This modification provides the required space to conceal the plumbing in the wall. Hat channels had already been installed when the question came up, so some re-work was required based on this change. See below for reference:

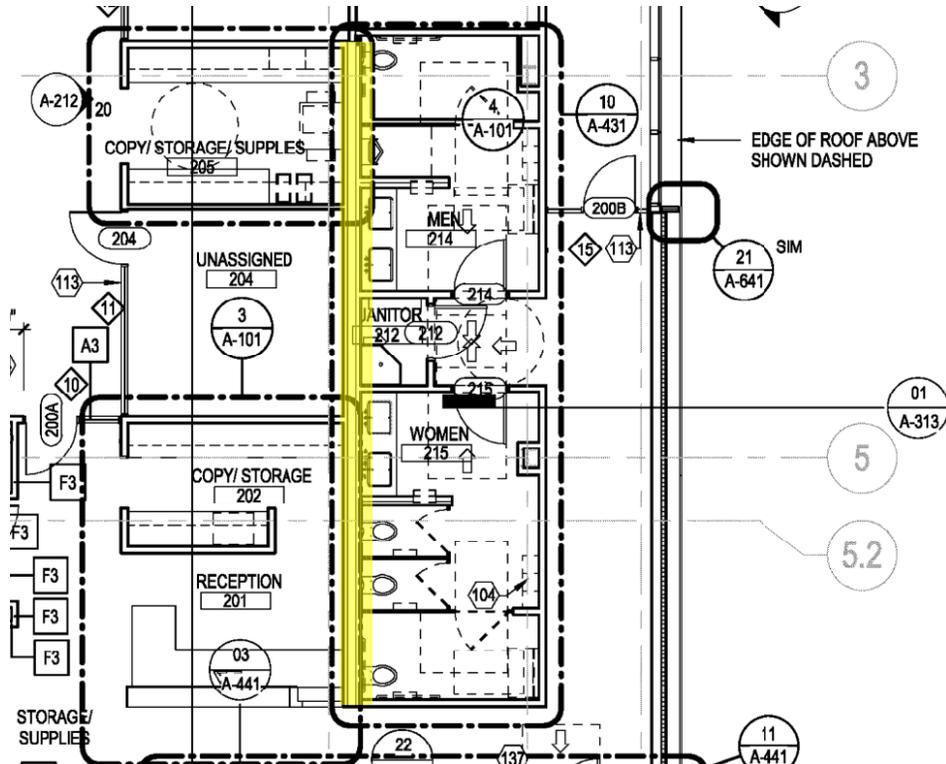


The next location we had an issue was at the wet wall plumbing chase between Women 104 and Men 105 single use restrooms on Level 01. The plumbing chase depth provided in the documents was too narrow to accommodate the back to back toilet carriers and any plumbing crossovers. We allowed the GC to expand the width of this chase and modify its extents slightly to make everything fit. We double checked all required ADA clearances prior to allowing the shift in chase size just to be safe. Some framing had already been completed in this area when the issue was noted so a minor amount of framing rework was required. See below for reference:



See next page for 3rd location.

The third location where an issue was noted was the plumbing chase wall at both Men 214 and Women 215 gang restrooms on Level 02. The plumbing chase depth provided in the documents was too narrow to accommodate the toilet carriers and any plumbing crossovers that were needed. We allowed the GC to expand the width of this chase to make everything fit. We double checked all required clearances prior to allowing the shift in chase size to be safe. Some framing was already complete when the issue was noted so a minor amount of rework was required. See below for reference:



The costs and time extensions associated with this proposal were negotiated with the GC based on industry standards and best practices and the value/days included for this proposal is reasonable and customary based on the work that was required.

Proposal #24-24a Cost Increase: **\$2,943.10**
Proposal #24-24a Contract Days Extension: **5 Days**

Sincerely,

Will Butler
Senior Associate



Request for Information 103

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor: Paramount Plumbing

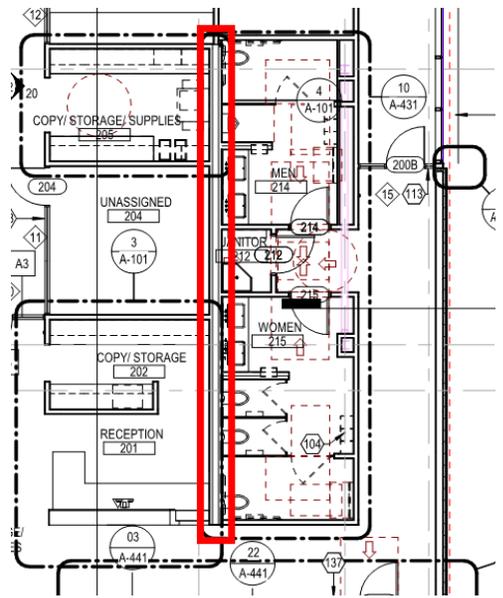
Date Created: 5/20/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Chase Wall
Category: Architectural

Question: Date Required: 5/27/2020

Please see markup below. The chase wall between rooms 214/215 and rooms 201/202/204/205 needs to have a minimum clearance of 14" (Required for the depth of the carriers) from inside drywall to inside drywall and the plans currently account for 10 3/8" of space. Please advise on how to proceed.



Answer: Date Answered:

RFI Response

RFI ID	103		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	6/3/2020	Transmittal ID	00726
Subject	Chase Wall		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: Please see markup below. The chase wall between rooms 214/215 and rooms 201/202/204/205 needs to have a minimum clearance of 14" (Required for the depth of the carriers) from inside drywall to inside drywall and the plans currently account for 10 3/8" of space. Please advise on how to proceed.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

See attached mark-up for further direction - Shift the plan east wall of the plumbing chase to the east by 3 5/8" to allow for the required 14" of space required in the plumbing chase. Other shifts are noted to the toilet partitions related to this shift - GC to coordinate with the toilet partition installer as required.

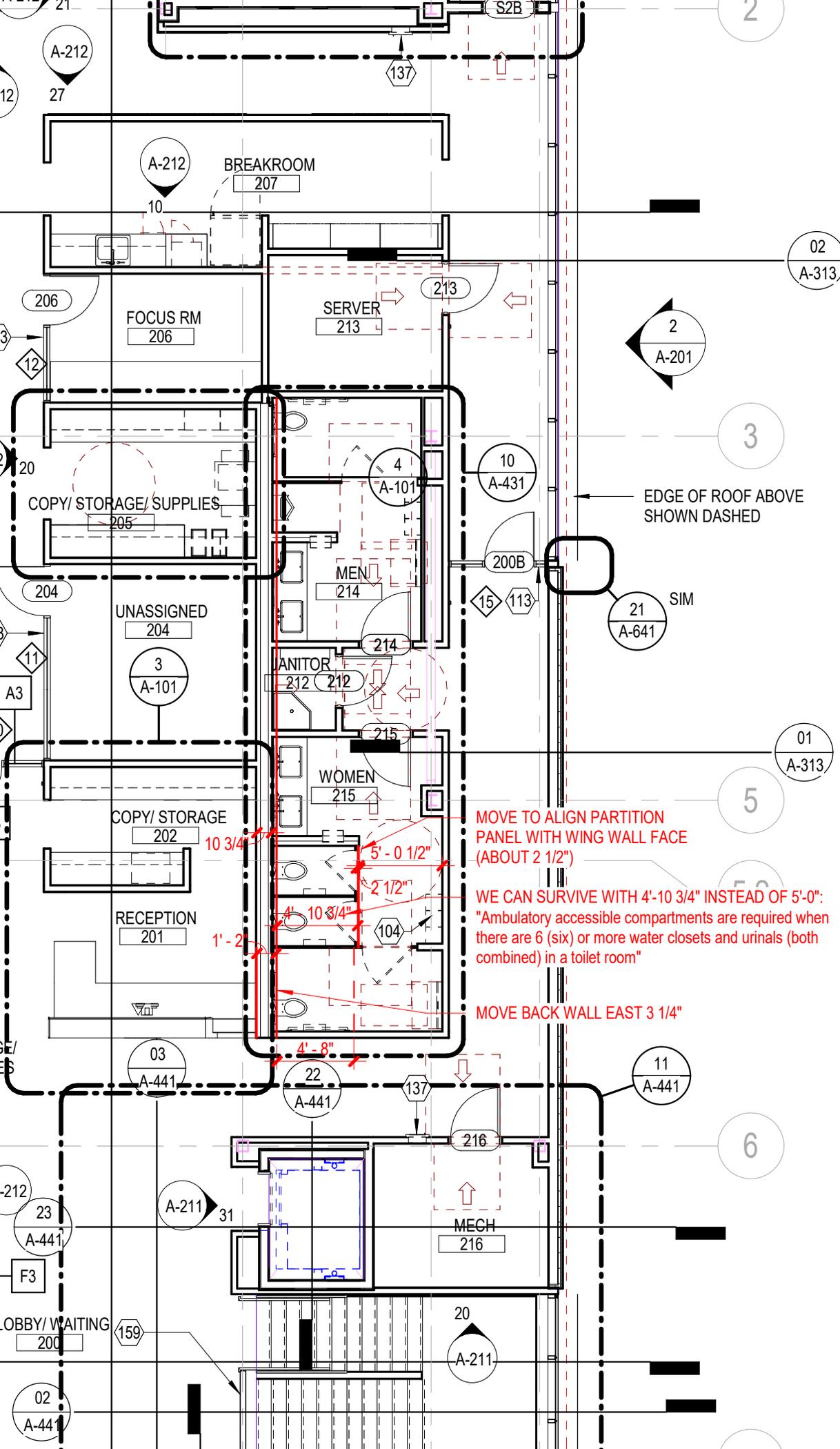
Contents

Copies	Date	Number	Description
1	5/20/2020		RFI 103 - Chase Wall.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Will Butler



- 123 PENAL GRADE TOILET PAPER
- 124 PENAL GRADE
- 125 FLUSH CONTR
- 126 TAMPER PROO
- 127 ALL ITEMS AND PROOF AND W
- 129 PENAL GRADE WINDOW WITH INGRESS SIDE
- 130 GSA CLASS 5 S EQUIPMENT PL
- 131 INTERCOM STA FOR ACCESS C WITHIN OFFICE
- 132 THIS DOOR TO COORDINATE V
- 134 PROVIDE SLEE
- 135 SLAB OPENING
- 137 FIRE EXTINGUI
- 155 REINFORCED 8
- 159 GUARDRAIL TO

FL

SYMBOL
ROOM NAME

MOVE TO ALIGN PARTITION PANEL WITH WING WALL FACE (ABOUT 2 1/2")
 WE CAN SURVIVE WITH 4'-10 3/4" INSTEAD OF 5'-0":
 "Ambulatory accessible compartments are required when there are 6 (six) or more water closets and urinals (both combined) in a toilet room"
 MOVE BACK WALL EAST 3 1/4"



Request for Information 116

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor: Jefferson Construction

Date Created: 6/22/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #24 - Wall Adjustments (Drywall)
Category: Change Proposal

Question:
Date Required: 6/29/2020

Please see attached change proposal. This is for wall adjustments by RR 1st floor, Processing Area and RR 2nd Floor per RFIs 103 and 104.

Answer:
Date Answered:



CHANGE ORDER PROPOSAL WORKSHEET

PROJECT: Addison Airport- C&B

CHANGE ORDER DESCRIPTION: #02- Wall adjustments.

Wall adjustments By RR 1st floor, Processing Area and RR 2nd Floor (see attached)

Material					
Item No.	Quantity	Description	Unit Cost	Units	Total
1	1	Metal Components/Gyp Bd./ Fastners	\$210.00		\$210.00
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00
8					\$0.00
9					\$0.00
10					\$0.00
Material Subtotal:					\$210.00

Labor					
Item No.	Quantity	Description	Unit Cost	Units	Total
1	24	Mechanic: 2 men 1 day (RR 1st Floor)	\$35.00	Hrs	\$840.00
2				Hrs	\$0.00
3	24	Mechanic: 2 men 1 day (Processing Area)	\$35.00	Hrs	\$840.00
4				Hrs	\$0.00
5	24	Mechanic: 2 men 1.5 days (RR 2nd Floor)	\$35.00	Hrs	\$840.00
Labor Subtotal:					\$2520.00

Lower TieredSubcontractors (include quote in backup)					
Item No.	Quantity	Description	Unit Cost	Units	Total
1				LS	\$0.00
2				LS	\$0.00
3				LS	\$0.00
4				LS	\$0.00
5				LS	\$0.00
Lower Tiered Subcontractor Subtotal:					\$0.00

SUBTOTAL: \$2730.00
 OH%P (08%): \$218.40
 \$0.00

TOTAL: \$2948.40

JC Commercial Inc.

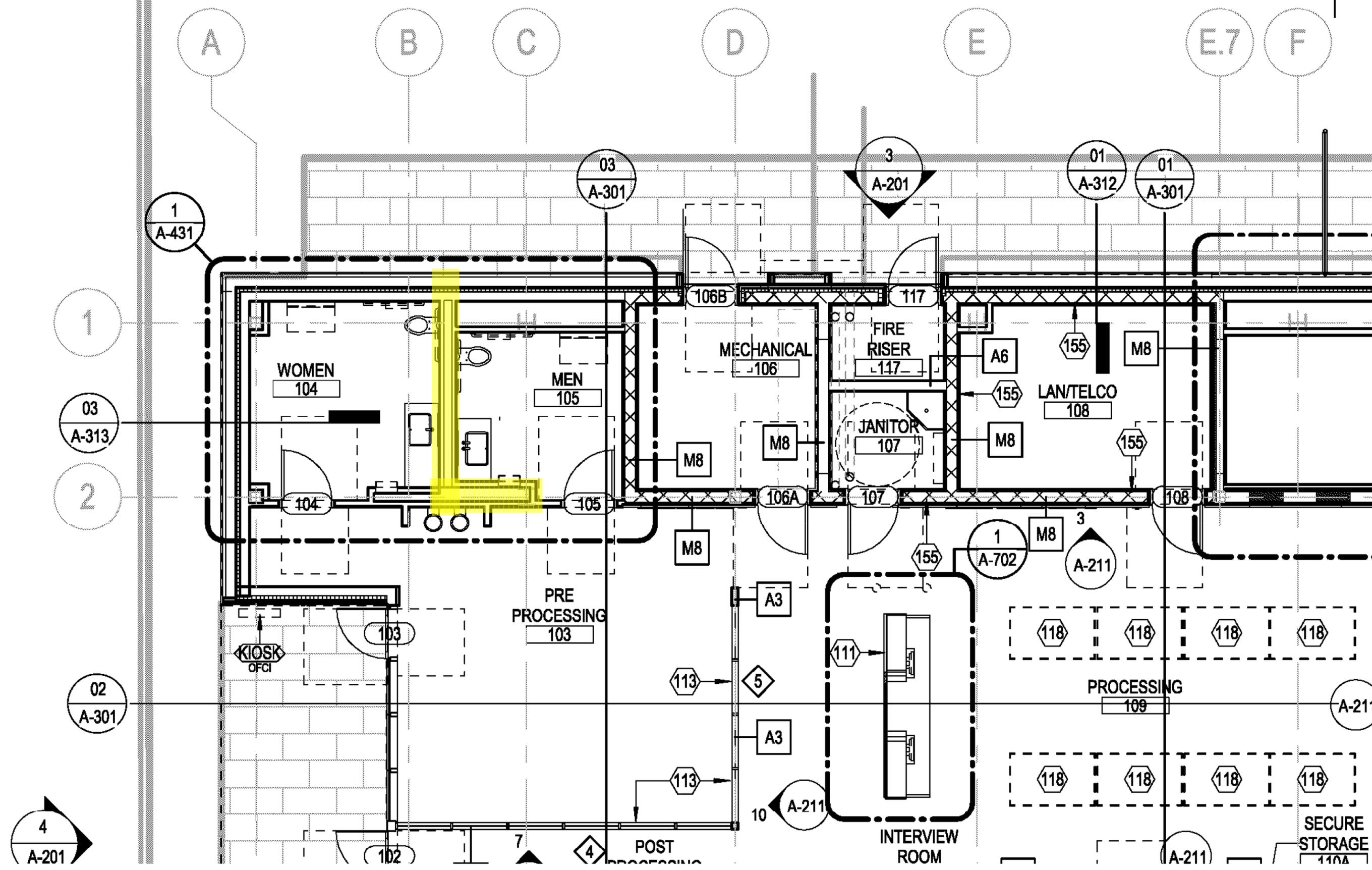
Jefferson Construction Services

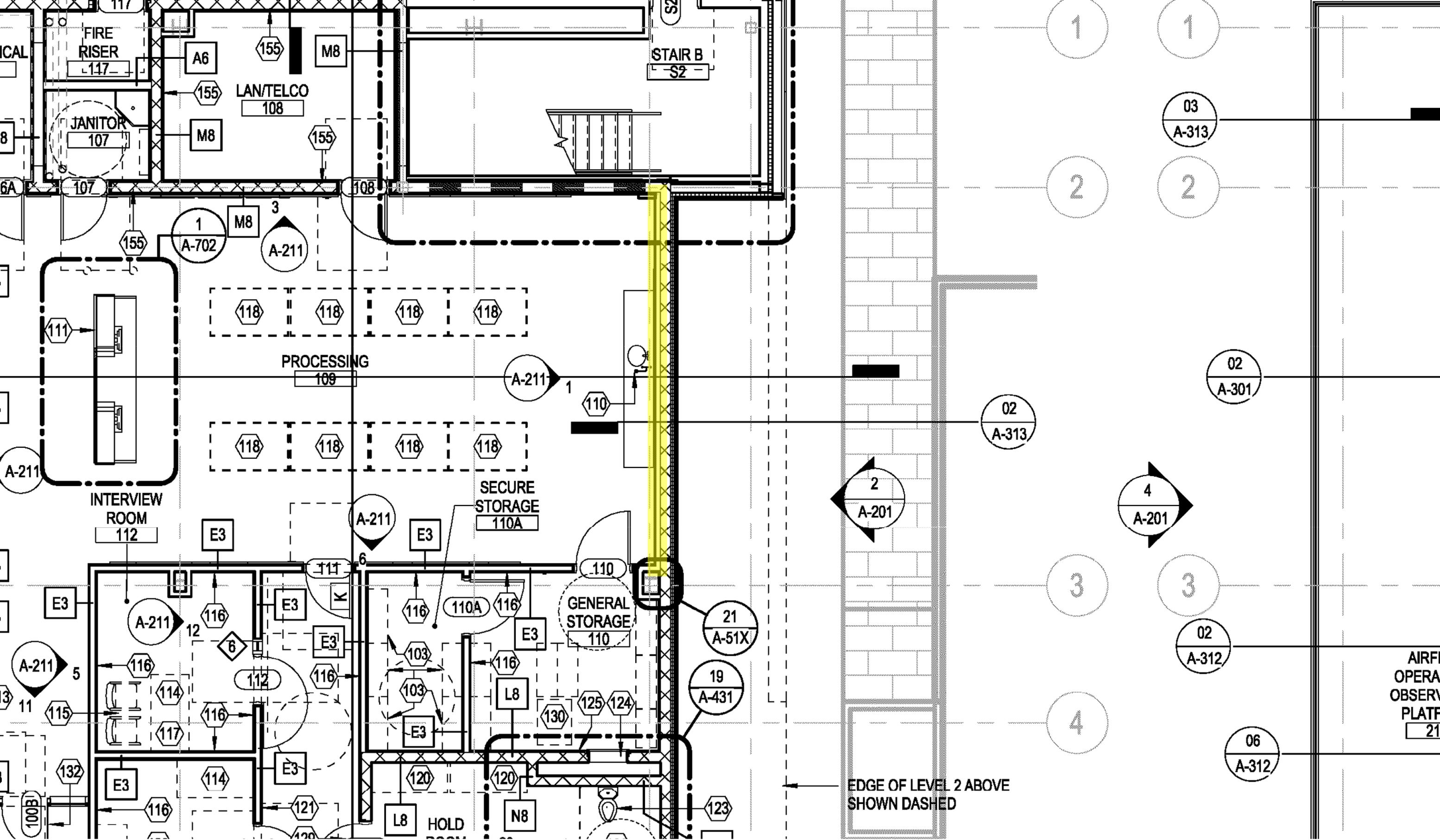
Signature Date

Signature Date

Printed Name & Title

Printed Name & Title







Request for Information 116

Project Title: Addison Airport Customs and Border Protection Facility

Submitted by Subcontractor: Jefferson Construction

Date Created: 6/22/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject:	Category:
Proposal #24 - Wall Adjustments (Drywall)	Change Proposal

Question: Date Required: 6/29/2020

Please see attached change proposal. This is for wall adjustments by RR 1st floor, Processing Area and RR 2nd Floor per RFIs 103 and 104.

Answer: Date Answered:

Page Response:

Drywall framing at the 1st and 2nd floor restroom and the furring strips called for in the processing area were already underway when the plumber noted the issues with the clearances required inside the restroom and wall chases that drove the RFI response. The RFI response did modify the framing at both restroom chases and the furring wall at the processing area to fully conceal the plumbing pipes and allow them to slope/cross each other as required.

The submitted values are acceptable but the quantity of hours and contract days extension seems to be off given what is called out vs how the number is calculated. See the mark-up on page 2/3 of 6 for more detailed comments. Please revise hours, contract extension days, and pricing to align with the durations quoted and resubmit. Once numbers are adjusted as noted, the proposal will be approved.



CHANGE ORDER PROPOSAL WORKSHEET

PROJECT: Addison Airport- C&B

CHANGE ORDER DESCRIPTION: #02- Wall adjustments.

Wall adjustments By RR 1st floor, Processing Area and RR 2nd Floor (see attached)

Material					
Item No.	Quantity	Description	Unit Cost	Units	Total
1	1	Metal Components/Gyp Bd./ Fastners	\$210.00		\$210.00
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00
8					\$0.00
9					\$0.00
10					\$0.00
Material Subtotal:					\$210.00

As calculated each guy would have worked a 12 hour day to get 24 here and that does not seem reasonable. I will give you 2 guys for an 8 hour day each to rework.

Labor					
Item No.	Quantity	Description	Unit Cost	Units	Total
1	24	Mechanic: 2 men 1 day (RR 1st Floor)	\$35.00	Hrs	\$840.00 \$560.00
2				Hrs	\$0.00
3	24	Mechanic: 2 men 1 day (Processing Area)	\$35.00	Hrs	\$840.00 \$560.00
4				Hrs	\$0.00
5	24	Mechanic: 2 men 1.5 days (RR 2nd Floor)	\$35.00	Hrs	\$840.00
Labor Subtotal:					\$2520.00 \$1960.00

24 hours x \$35.00 = \$840.00 but the line item notes 2 men for 1 day which would be 16 hours x \$35.00 = \$560.00

Lower Tiered Subcontractors (include quote in backup)					
Item No.	Quantity	Description	Unit Cost	Units	Total
1				LS	\$0.00
2				LS	\$0.00
3				LS	\$0.00
4				LS	\$0.00
5				LS	\$0.00
Lower Tiered Subcontractor Subtotal:					\$0.00

SUBTOTAL: \$2730.00
 OH%P (08%): \$218.40
 \$0.00

TOTAL: \$2948.40

Recalculate per comments above and resubmit for final approval.

JC Commercial Inc.

Jefferson Construction Services

Signature _____ Date _____

Signature _____ Date _____

Printed Name & Title _____

Printed Name & Title _____

RFI Response

RFI ID	116		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	7/7/2020	Transmittal ID	00794
Subject	Proposal #24 - Wall Adjustments (Drywall)		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: Please see attached change proposal. This is for wall adjustments by RR 1st floor, Processing Area and RR 2nd Floor per RFIs 103 and 104.

Suggestion:

Answer: **Response (Additional Information Needed) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

See attached mark-up of the submitted proposal for notes and comments. Please review durations and values as noted and adjust pricing/durations as required and resubmit for review and final approval.

Contents

Copies	Date	Number	Description
1	6/22/2020		RFI 116 - Proposal #24 - Wall Adjustments (Drywall).pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Will Butler



Request for Information 133

Project Title: Addison Airport Customs and Border Protection Facility

Submitted by Subcontractor: Jefferson Construction

Date Created: 7/10/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject:	Category:
Proposal #24a - Wall Adjustments (Drywall)	Proposal

Question: Date Required: 7/17/2020

Please see the attached change proposal for review. This is a revised version of "Proposal #24 - Wall Adjustments" based on the comments in RFI #116. The subcontractor has lowered their price and we have agreed to the suggested amount of additional days.

Answer: Date Answered:

Page Response:

The values submitted here are reasonable given the extent of the changes required and the amount of time/work required to complete the revised layouts. The stud walls had been partially framed per the contract drawings and those sections had to be reworked based on the RFI response.

The submitted days extension is also reasonable given the delay in work while waiting on the RFI response and additional days of work required to remove and reinstall portions of the already framed walls.



CHANGE ORDER PROPOSAL WORKSHEET

PROJECT: Addison Airport- C&B

CHANGE ORDER DESCRIPTION: #02- Wall adjustments.

Wall adjustments By RR 1st floor, Processing Area and RR 2nd Floor (see attached)

Material					
Item No.	Quantity	Description	Unit Cost	Units	Total
1	1	Metal Components/Gyp Bd./ Fastners	\$210.00		\$210.00
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00
8					\$0.00
9					\$0.00
10					\$0.00
Material Subtotal:					\$210.00

Labor					
Item No.	Quantity	Description	Unit Cost	Units	Total
1	16	Mechanic: 2 men 1 day (RR 1st Floor)	\$35.00	Hrs	\$560.00
2				Hrs	\$0.00
3	16	Mechanic: 2 men 1 day (Processing Area)	\$35.00	Hrs	\$560.00
4				Hrs	\$0.00
5	24	Mechanic: 2 men 1.5 days (RR 2nd Floor)	\$35.00	Hrs	\$840.00
Labor Subtotal:					\$1,960.00

Lower TieredSubcontractors (include quote in backup)					
Item No.	Quantity	Description	Unit Cost	Units	Total
1				LS	\$0.00
2				LS	\$0.00
3				LS	\$0.00
4				LS	\$0.00
5				LS	\$0.00
Lower Tiered Subcontractor Subtotal:					\$0.00

SUBTOTAL: \$2,170.00
 OH%P (08%): \$173.60
 \$0.00
TOTAL: \$ 2,343.60

JC Commercial Inc.

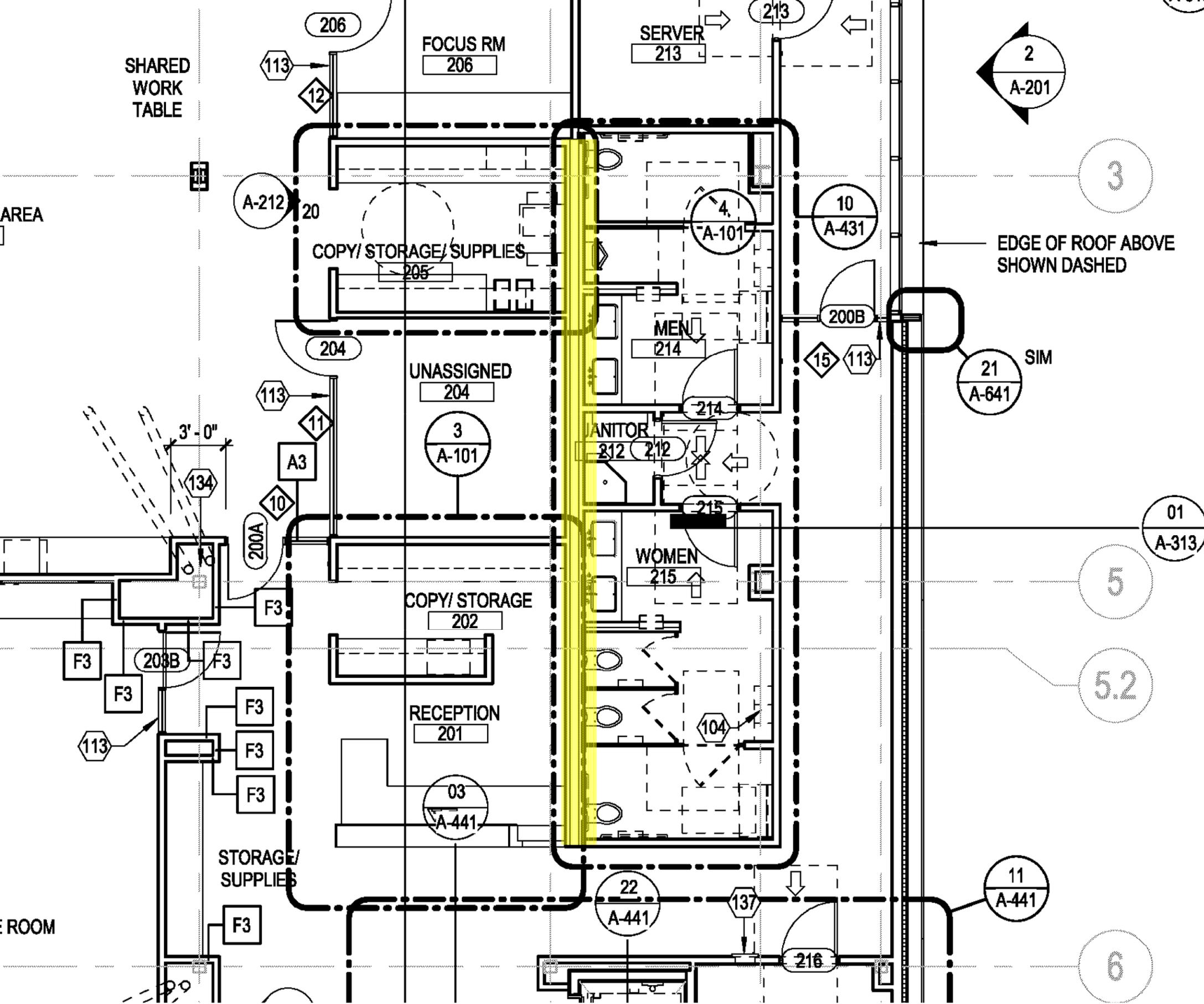
Jefferson Construction Services

Signature Date

Signature Date

Printed Name & Title

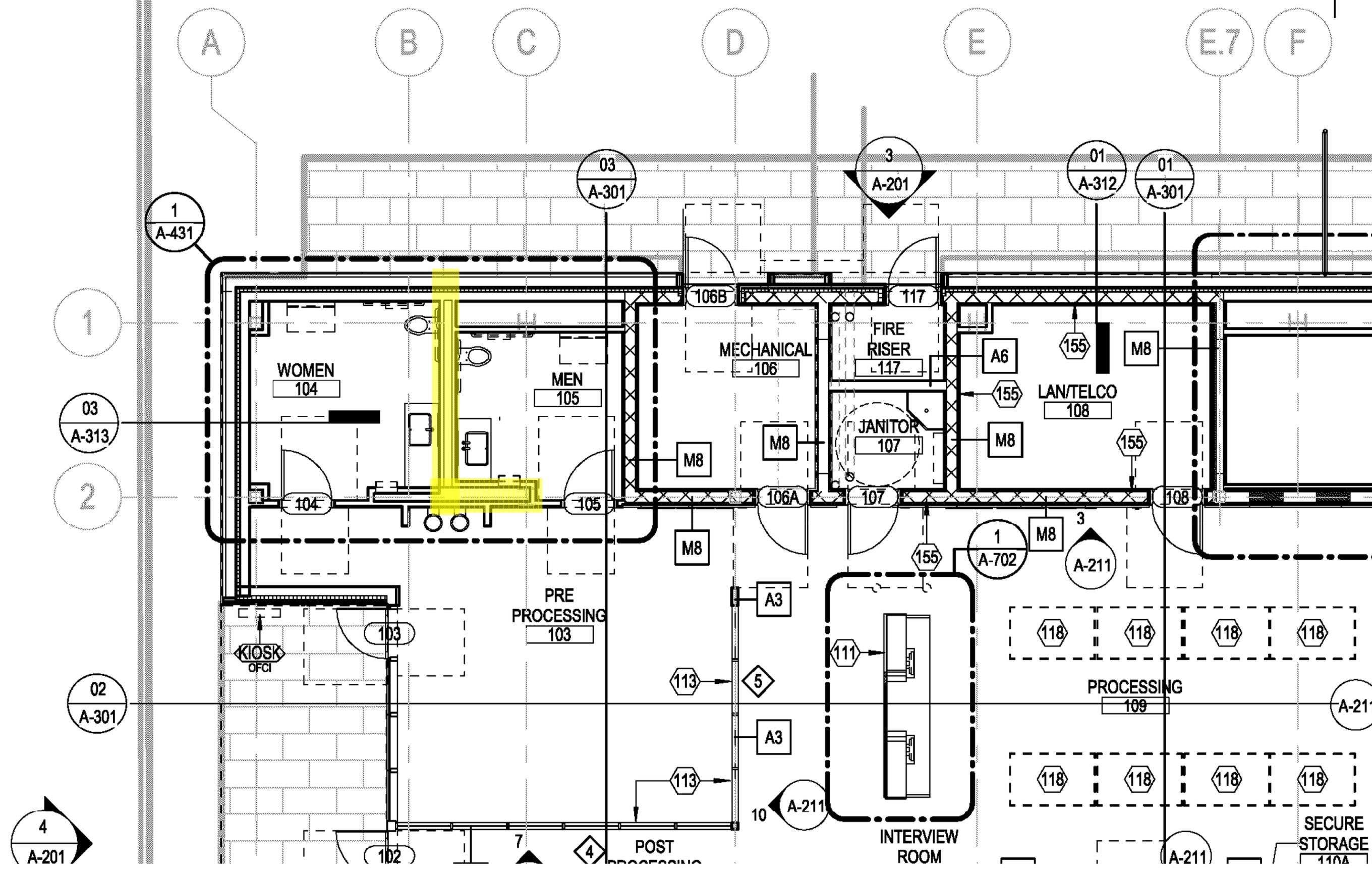
Printed Name & Title



- 131 INTERCOM STATION CONNECTED TO... FOR ACCESS CONTROL, COORDINATION WITHIN OFFICE 101
- 132 THIS DOOR TO HAVE ACCESS CONTROL... COORDINATE WITH CBP FOR FINAL
- 134 PROVIDE SLEEVES IN SLAB FOR RO...
- 135 SLAB OPENING FOR HVAC DUCTWORK
- 137 FIRE EXTINGUISHER CABINET AT THE
- 155 REINFORCED 8" CONCRETE FILLED
- 159 GUARDRAIL TO MATCH STAIR RAILING

FLOOR PLAN

SYMBOL	DESCRIPTION
	KEYED NOTE KEYED NOTES ON
	PARTITION TAG REFER TO PARTIT
	BUILDING SECTION WALL SECTION TAG
	EXTERIOR ELEVAT
	INTERIOR ELEVAT
	PLAN REFERENCE
	ROOM NAME ROOM NUMBER



RFI Response

RFI ID	133		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	7/30/2020	Transmittal ID	00860
Subject	Proposal #24a - Wall Adjustments (Drywall)		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: Please see the attached change proposal for review. This is a revised version of "Proposal #24 - Wall Adjustments" based on the comments in RFI #116. The subcontractor has lowered their price and we have agreed to the suggested amount of additional days.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

See attached for Page response - Values/days submitted here are reasonable and will be include with the next change order.

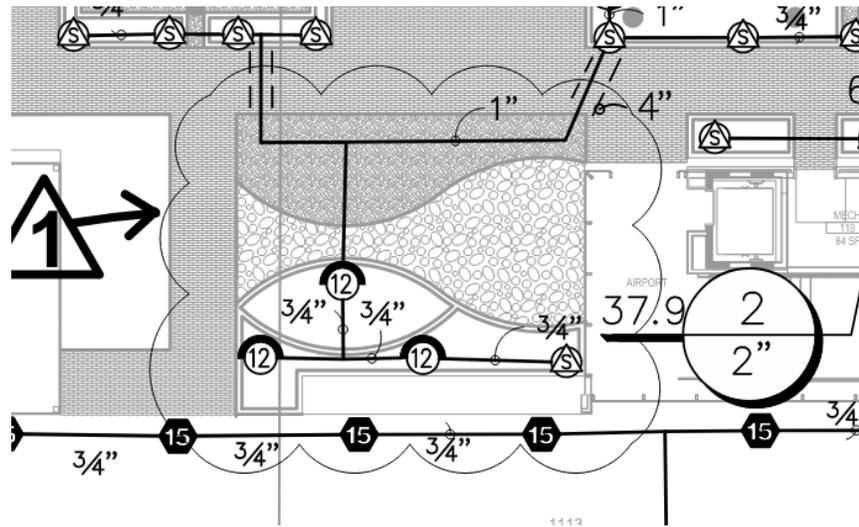
Contents

Copies	Date	Number	Description
1	7/10/2020		RFI #133 - Proposal #24a - Wall Adjustments (Drywall).pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Will Butler



The GC initially submitted a Proposal #25 at a much higher value and upon review the Landscape Architect noted several instances of double or incorrect quantities. These issues were noted to the GC and subcontractor and an updated proposal was provided (25a) to rectify the issues.

The costs associated with this revised proposal were negotiated with the GC based on industry standards and best practices and the value included for this proposal is reasonable and customary based on the work that was required. We do not agree with the number of days requested for the contract extension related to this change. We are including zero extra days in the change order unless the GC can demonstrate that these changes are somehow on the critical path and are holding up all other construction enough to justify additional days.

Proposal #25-25a Cost Increase: **\$2,723.21**

Proposal #25-25a Contract Days Extension: **0 Days**

Sincerely,

Will Butler
Senior Associate

Submittal Response

Submittal ID	320000.02		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Will Butler Page Southerland Page, Inc. 1800 Main Street Suite 123 Dallas TX 75201 United States (469) 621 4837
Project	417151 - City of Addison Airport	Project No.	417151
Date	3/16/2020	Transmittal ID	00605
Subject	Exterior Improvements - Cover Sheet - Table of Contents - Product Data		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

This review is only for general conformance with the design concept and the information given in the Contract Documents. Corrections or comments made on the submittal during this review do not relieve the contractor from compliance with the requirements of the plans and specifications. Approval of a specific item shall not indicate approval of an assembly of which the item is a component. The Contractor is responsible for: dimensions to be confirmed and correlated at the job site; information that pertains solely to the fabrication processes or to the means, methods, techniques, sequences and procedures of construction; coordination of the Work with that of all other trades and performing the work in a safe and satisfactory manner.

Action: Revise and Resubmit
Remarks: **Response (Revise and Resubmit) from: Travis Triola (Kudela & Weinheimer)**
Remarks:

Please see attached response.

Contents

Copies	Date	Number	Description
1	2/11/2020		32 0000 - Exterior Improvements.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de Monterrosa
Michael Haskins
Michelle LeBlanc
Scott Arthur
Will Butler

TRANSMITTAL

To: Page/
1100 Louisiana
Suite One
Houston, TX 77002

Attention: Mr. Jeff Mechlem
Phone: (713) 658-2253

Date: 03/13/2020

Project: Addison Airport Customs Facility Site
PSP-752

Sent by: Bradley Pointon

Issued for:

Submittal Construction Approval RFI
 Estimate Record Review Pay Application

Regarding: Submittal 320000.02 Exterior Improvements

We Are Sending You:

Quantity	Identification	Description

Remarks: See comments below.

CC: KW File

Delivered by:

Mail
 Courier
 By Hand
 Email



Submittal Transmittal

Page Southerland Page, Inc. | 1800 Main Street Suite 123 Dallas TX 75201 United States

PROJECT: 417151 - City of Addison Airport DATE SENT: 2/12/2020
 417151 RETURN BY: 2/18/2020

SUBJECT: Exterior Improvements - Cover SUBMITTAL ID: 320000.02
 Sheet - Table of Contents -
 Product Data

TYPE: Submittal TRANSMITTAL ID: 00526

PURPOSE: For Review VIA: Info Exchange

SPEC SECTION: 32 00 00

FROM

NAME	COMPANY	EMAIL	PHONE
Will Butler	Page Southerland Page, Inc.	wbutler@pagethink.com	(469) 621 4837

TO

NAME	COMPANY	EMAIL	PHONE
Travis Triola	Kudela & Weinheimer	ttriola@kwtexas.com	713 929 3543
Trey Patronella	Kudela & Weinheimer	tpatronella@kwtexas.com	

REMARKS: For your review.

DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NUMBER	NOTES
1	2/11/2020	32 0000 - Exterior Improvements.pdf		

COPIES:

Michael Lobo (Kudela & Weinheimer)



Submittal Transmittal
32 0000 - Exterior Improvements

Addison Airport Customs and Border Protection Facility **JC COM Project # 15319** **Date Created: 2/11/2020**
4545 Jimmy Doolittle Drive
Addison, Texas 75001

Transmitted to:	Attn:	Author Company	Authorized By:
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, TX 77002	Jeff Mechlem	JC Commercial 1801 Lakepointe Drive, Suite 129 Lewisville, TX 75057	Tommie Matthews Jr.

Spec. #	Description	Submittal #	Via
32 0000	Exterior Improvements		
	Cover Sheet		Newforma
	Table of Contents		
	Plants		
	Landscape Planting Schedule		
	Landscape Maintenance Instructions		
	Aggregate		
	Landscapers Mix Data Sheet		
	Premium Mulch Data Sheet		
	Native Hardwood Mulch Data Sheet		
	Topsoil Data Sheet		
	Fertilizer Data Sheet		

Date Required: 2/18/2020

JC Commercial, Inc.
 1801 Lake Pointe Drive, Suite 129
 Lewisville, TX 75057

Revise & Resubmit
 Reviewed as Noted
 Reviewed

Reviewed By: TM 2/11/2020

This approval is for general conformance with plans and specs. It does not relieve the supplier from providing the specified materials.

REVIEWED EXCEPTIONS NOTED
 REJECTED REVISE & RESUBMIT

Corrections or notations made on Shop Drawings during this review do not relieve the Contractor from complying with requirements of the Contract Documents. This review is only for check of general conformance with the design concept of the project and general compliance with the information given in the Contract Documents. Contractor is responsible for confirming & correlating all quantities & dimensions, selecting fabrication processes, and technique of construction & performing this work in a safe manner.

Date: 03/13/2020
 By: BRADLEY POINTON
 KUDELA & WEINHEIMER, L.P.
 Houston Texas

SEE ATTACHED UNOFFICIAL REVISION TO PLANTING PLAN (WILL BE ISSUED ONCE ASSIGNED A PR NUMBER BY PSP). CONTRACTOR TO REVISE SUBMITTAL TO INCLUDE NEW PLANT SELECTIONS AND RIVER ROCK FOR PLANTING AREA UNDER CANOPY. INCLUDE ALL REQUIRED SOIL TESTING DATA IN REVISION.

LANDSCAPE SUBMITTAL/MAINTENANCE INSTRUCTIONS/PLANTING SCHEDULE

Project:

Customs and Boarder Protection Facility
Addison, TX

Owner:

Town of Addison Airport
Addison, TX

General Contractor:

J.C. Commercial, Inc
Lewisville, TX

Architect:

Kudela and Weinheimer
Houston, TX

Prepared By:

Elite Landscape Inc.
Frisco, TX

Table of Contents

Item Number	Description
1.	PLANTS
2.	LANDSCAPE PLANTING SCHEDULE
3.	LANDSCAPE MAINTENANCE INSTRUCTIONS
4.	AGGREGATE
5.	LANDSCAPERS MIX DATA SHEET
6.	PREMIUM MULCH DATA SHEET
7.	NATIVE HARDWOOD MULCH DATA SHEET
8.	TOPSOIL DATA SHEET
9.	FERTILIZER DATA SHEET

Note: Item numbers do not represent page numbers

ZOYSIA JAPONICA



LIRIOPE MUSCARI



PURPLE WINTERCREEPER



GULF MUHLY GRASS



UPRIGHT ROSEMARY



TEXAS SAGE



THESE ARE NO LONGER
BEING USED ON THE
PROJECT, REFERENCE
UPDATED PLANS.

ALPINE ZERUMBET



THESE ARE NO LONGER
BEING USED ON THE
PROJECT, REFERENCE
UPDATED PLANS.

RED OAK



LITTLE GEM MAGNOLIA



LANDSCAPE PLANTING SCHEDULE

Anticipated Planting Schedule:

August 2020

- Tree Planting (Little Gem Magnolia/Red Oak)
- Staking, Watering, Mulching, Fertilizing at Time of Planting

September 2020

- Shrub Planting (Liriope Muscari, Purple Wintercreeper, Gulf Muhly Grass, Upright Rosemary, Texas Sage, Alpinia Zerumbet)
- Bed Preparation, Watering, Mulching, Fertilizing at Time of Planting

****Schedule is Subject to Change Based on General Contractor****

BLACK STAR AGGREGATE

CONTRACTOR TO SUBMIT PHYSICAL
SAMPLE FOR FINAL ACCEPTANCE.





TBK Materials, LLC
 5208 Tennyson Parkway
 Suite 130
 Plano, TX 75024



US Composting Council®
 Proud Member
I'm a Soilbuilder!

CONTRACTOR TO SUBMIT PHYSICAL SAMPLE AND MOST RECENT TESTING DATA FOR FINAL ACCEPTANCE AS A SUBSTITUTE.

Product Data Sheet: Landscapers Mix

TBK Materials Landscapers Mix (50/50) is a popular soil blend that is composed of our compost, sandy loam, & native top soil. Our compost contains leaves, wood shavings, manure, grass/tree clippings, hay, and other organic feedstock which enrich the soil. Sandy loam is a native sand that contains clay, silt, and rocks. The sandy loam is screened prior to blending to ensure large rocks have been removed.

Product Specifications:

Landscapers Mix is made from compost which is then blended at a 50/50 mix with sandy loam and native top soil. Testing results of this product can be provided upon request.

Standard Installation / Application:

Commonly used to prep & raise planter beds. Recommended install depth of 12" with a 6" topping of our Pro-Bedding Mix for best results. For light bed prep, utilizing only the Landscapers Mix is also acceptable.

This product is also used as a nutrient enriched fill dirt to fill in low areas along driveways, walkways, low turf spots, and new sod prep. Low turf spots should receive a minimum of a ½" which should be raked in. New sod installation should receive a minimum of 1" depth beneath the sod to promote root growth.



TBK Materials – Recycling Facility Contact:

5006 FM 1385
 Aubrey, TX 76227
 940.440.9469 office

Brian Gatlin
 469.247.2161 cell
bgatlin@tbkmaterials.com

<http://www.tbkmaterials.com/product/mulch-soil>



TBK Materials, LLC
 5208 Tennyson Parkway
 Suite 130
 Plano, TX 75024



US Composting Council®
 Proud Member
I'm a Soilbuilder!

CONTRACTOR TO SUBMIT PHYSICAL SAMPLE AND MOST RECENT TESTING DATA FOR FINAL ACCEPTANCE AS A SUBSTITUTE.

Product Data Sheet: Premium Mulch

TBK Materials Premium Mulch is a fine shredded Hardwood Mulch which is composed of native hardwood products that are brought to us for recycling. These products are put through a double grinding & screening process. The material is then aged giving the finished product a brown to dark brown color tone. Organic matter is present which will add nutrients to the existing soil while improving water holding capacity.

Product Specifications:

Native Hardwoods that are double ground through a commercial grinder. The material passes through two sets of screens with the final pass being through a 1 ½" screen. The material is then aged which allows the material to enhance the color tone ranging from brown to dark brown. Testing results of this product can be provided upon request.

Standard Uses & Applications/Installation:

Commonly used around trees, shrubs, and planter beds. It is recommended that you spread the mulch evenly over the area with a minimum depth of 3". Mulching your project immediately after planting your new plants is important to the life of the plant. It is important to keep the mulch away from the stem of the plant to allow for proper plant growth.



TBK Materials – Recycling Facility Contact:

5006 FM 1385
 Aubrey, TX 76227
 940.440.9469 office

Brian Gatlin
 469.247.2161 cell
bgatlin@tbkmaterials.com

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TBK Materials, LLC
5208 Tennyson Parkway
Suite 130
Plano, TX 75024



US Composting Council®
Proud Member
I'm a Soilbuilder!

ALL MULCH SHOULD BE SAME PRODUCT, USE MULCH ON PRIOR SHEET.

Product Data Sheet: Native Hardwood Mulch

TBK Materials Native Hardwood Mulch is composed of native hardwood products that are brought to us for recycling. These products are put through a double grinding & screening process. The material is then aged giving the finished product a brown to dark brown color tone. Organic matter is present which will add nutrients to the existing soil while improving water holding capacity.

Product Specifications:

Native Hardwoods that are double ground through a commercial grinder. The material passes through two sets of screens with the final pass being through a 2" screen. The material is then aged which allows the material to enhance the color tone ranging from brown to dark brown. Testing results of this product can be provided upon request.

Standard Uses & Applications/Installation:

Commonly used around trees, shrubs, and planter beds. It is recommended that you spread the mulch evenly over the area with a minimum depth of 3". Mulching your project immediately after planting your new plants is important to the life of the plant. It is important to keep the mulch away from the stem of the plant to allow for proper plant growth.



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Aubrey, TX 76227
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5208 Tennyson Parkway
Suite 130
Plano, TX 75024



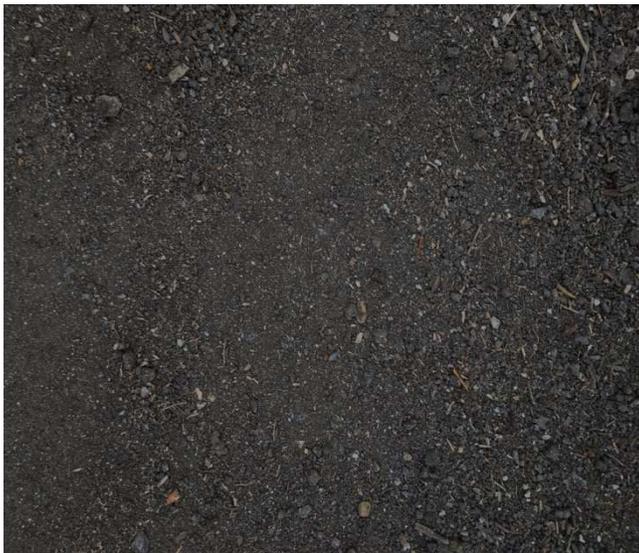
US Composting
Council®
Proud Member
I'm a Soilbuilder!

REVIEWED FOR USE AS FINE
GRADING IN SOD AREAS ONLY.
CONTRACTOR TO SUBMIT PHYSICAL
SAMPLE AND MOST RECENT TESTING
DATA FOR FINAL ACCEPTANCE.

Product Data Sheet: Topsoil

TBK Materials Topsoil is a native soil that contains clay, silt, sand, and rocks. The soil is screened prior to sale to ensure large rocks & debris have been removed.

Topsoil Blends are available where nutrient rich compost can be added in at the client's desired percentage rate.



TBK Materials – Mulch & Soils Facility Contact:

5006 FM 1385
Aubrey, TX 76227
940.440.9469 office

Brian Gatlin
469.247.2161 cell
bgatlin@tbkmaterials.com

18-24-12/Uflexx

GUARANTEED ANALYSIS:

Total Nitrogen (N)* 18.00%
Available Phosphate (P₂O₅) 24.00%
Soluble Potash (K₂O) 12.00%

Derived from: Urea, Diammonium Phosphate, Urea, N-(n-Butyl)-thiophosphoric triam, Dicyandiamide, Muriate of Potash, Chemical Filler

*4.5 Nitrogen derived from: N (n-Butyl)-thiophosphoric triam, Dicyandiamide

Information concerning the raw materials contained in this product can be obtained by writing to: **Bonus Crop Fertilizer, Inc., P. O. Box 1062, Greenville, Texas 75403**, referring to the product number found on the top of the bag. Information regarding the contents and levels of metals in this product can be found on the internet at: <http://www.aapfco.org/metals.htm>

For information about the components of this lot of fertilizer and for fertilizer application rates suitable for your geographic area or the maximum allowable non-nutrient application rates per acre, consult a trained soil specialist or write to Bonus Crop Fertilizer, Inc. at the address below.

Manufactured and Guaranteed by:
BONUS CROP FERTILIZER, INC.

**POST-OFFICE BOX 1062
GREENVILLE, TEXAS 75403
(903) 455-9439**



NET WEIGHT: 50 LBS (22.7 KG)

BONUS CROP FERTILIZER, INC.



DIRECTIONS FOR USE

This product is a turf fertilizer suitable for use in any given application depending upon existing soil chemistry, turf type, and intended use of the turf area. The best results with the product are obtained when it is applied to actively growing grass and watered into the turf soon after application. Avoid mowing immediately following application. Application with rotary or drop spreaders is recommended for uniform distribution. Consult your spreader manual or spreader manufacturer to determine spreader setting to achieve application rates desired. You may need to adjust the setting depending on the walking speed, spreader condition, and product.

COVERAGE: 50 LBS OF 18-24-12/Uflexx fertilizer covers approximately 9,000 sq. ft. based upon one (1) lb of N per 1,000 sq. ft.

KEEP OUT OF REACH OF CHILDREN



WARNING

Precautionary Statements

Causes moderate eye irritation. Harmful if inhaled. Avoid breathing dust. Avoid contact with skin, eyes, or clothing. Harmful if swallowed. Wash thoroughly with soap and water after handling and before eating, drinking, chewing gum, using tobacco or using the toilet. Remove and wash contaminated clothing before reuse. May be corrosive to metals.

FIRST AID

IF IN EYES: Hold eyes open and rinse slowly and gently with water for 15-20 minutes. Remove contact lenses, if present, after the first 5 minutes, then continue rinsing eyes. Call a poison control center or doctor for treatment advice.

IF ON SKIN OR CLOTHING: Take off contaminated clothing. Rinse skin immediately with plenty of water for 15-20 minutes. Call a poison control center or doctor for treatment advice.

IF SWALLOWED: Call a poison control center or doctor immediately for treatment advice. Have person sip a glass of water if able to swallow. Do not induce vomiting unless told to do so by a poison control center or doctor. Do not give anything by mouth to an unconscious person.

Have the product container or label with you when calling a poison control center or doctor or going for treatment. You may also call toll free 1-800-222-1222 for emergency medical treatment information.

WARRANTY DISCLAIMER

Bonus Crop Fertilizer, Inc., warrants only that the chemical composition of this product conforms to the ingredient statement given on the label and that the product is reasonably suited for the labeled use when applied according to the Directions for Use. SELLER MAKES NO OTHER EXPRESS OR IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, NOR IS ANY REPRESENTATIVE OF SELLER AUTHORIZED TO MAKE ANY SUCH WARRANTY OR MODIFY THESE TERMS. This warranty does not extend to the storage, handling or use of this product contrary to label instructions, or under abnormal conditions, or under conditions not reasonably foreseeable to Seller. Buyer assumes the risk of any such storage, handling or use. Seller shall not be responsible for incidental or consequential damages, if any, resulting from a breach of warranty.

14-14-14

GUARANTEED ANALYSIS:

Total Nitrogen (N)*	14.00%
Available Phosphate (P ₂ O ₅)	14.00%
Soluble Potash (K ₂ O)	14.00%
Copper (Cu)	0.050%
Iron (Fe)5%
Manganese (Mn)	0.060%
Zinc (Zn)	0.050%

Derived from: Diammonium Phosphate, Urea-Formaldehyde, Muriate of Potash, Activated Sewage Sludge, Copper Sulfate, Cuprous Oxide, Iron (II) Oxide, Iron Sulfate, manganese Oxide, Manganous Sulfate tetrahydrate, Zinc Oxide, Zinc Sulfate monohydrate, Iron (II) Oxide, Iron Sulfate, Chemical Filler

*8.2% Nitrogen derived from: Urea-Formaldehyde

Information concerning the raw materials contained in this product can be obtained by writing to: **Bonus Crop Fertilizer, Inc., P. O. Box 1062, Greenville, Texas 75403**, referring to the product number found on the top of the bag. Information regarding the contents and levels of metals in this product can be found on the internet at: <http://www.aapfco.org/metals.htm>

For information about the components of this lot of fertilizer and for fertilizer application rates suitable for your geographic area or the maximum allowable non-nutrient application rates per acre, consult a trained soil specialist or write to Bonus Crop Fertilizer, Inc. at the address below.

Manufactured and Guaranteed by:

BONUS CROP FERTILIZER, INC.
POST OFFICE BOX 1062
GREENVILLE, TEXAS 75403
(903) 455-9439



NET WEIGHT: 50 LBS (22.7 KG)

BONUS CROP FERTILIZER, INC.

DIRECTIONS FOR USE

This product is a turf fertilizer suitable for use in any given application depending upon existing soil chemistry, turf type, and intended use of the turf area. The best results with the product are obtained when it is applied to actively growing grass and watered into the turf soon after application. Avoid mowing immediately following application. Application with rotary or drop spreaders is recommended for uniform distribution. Consult your spreader manual or spreader manufacturer to determine spreader setting to achieve application rates desired. You may need to adjust the setting depending on the walking speed, spreader condition, and product.

COVERAGE: 50 LBS OF 14-14-14 fertilizer covers approximately 7,000 sq. ft. based upon one (1) lb of N per acre.

KEEP OUT OF REACH OF CHILDREN



WARNING

Precautionary Statements

Causes moderate eye irritation. Harmful if inhaled. Avoid contact with skin, eyes, or clothing. Harmful if swallowed. Wash thoroughly with soap and water after handling and before eating, drinking, chewing gum, using tobacco or using the toilet. Remove and wash contaminated clothing before reuse. May be corrosive to metals.

FIRST AID

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IF SWALLOWED: Call a poison control center or doctor immediately for treatment advice. Have person sip a glass of water if able to swallow. Do not induce vomiting unless told to do so by a poison control center or doctor. Do not give anything by mouth to an unconscious person.

Have the product container or label with you when calling a poison control center or doctor or going for treatment. You may also call toll free 1-800-222-1222 for emergency medical treatment information.

WARRANTY DISCLAIMER

Bonus Crop Fertilizer, Inc., warrants only that the chemical composition of this product conforms to the ingredient statement given on the label and that the product is reasonably suited for the labeled use when applied according to the Directions for Use. SELLER MAKES NO OTHER EXPRESS OR IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, NOR IS ANY REPRESENTATIVE OF SELLER AUTHORIZED TO MAKE ANY SUCH WARRANTY OR MODIFY THESE TERMS. This warranty does not extend to the storage, handling or use of this product contrary to label instructions, or under abnormal conditions, or under conditions not reasonably foreseeable to Seller. Buyer assumes the risk of any such storage, handling or use. Seller shall not be responsible for incidental or consequential damages, if any, resulting from a breach of warranty.

Page Southernland Page, Inc.
1100 Louisiana, Suite One
Houston, TX 77002
page@hik.com

Tel: 713.871.8484
Fax: 713.871.8440

ARCHITECTURE / INTERIORS / EXTERIORS / PLANNING / CONSULTING
Austin / Dallas / Denver / Houston / San Francisco / Washington DC / International Affiliate Offices

CIVIL
GARVER
3010 Gaylord Parkway
Suite 190
Frisco, TX 75034
972-377-7480

STRUCTURAL
AGEE STRUCTURAL
15280 Addison Road
Suite 310
Addison, TX 75001
214-520-7202

MEP
GARVER
3010 Gaylord Parkway
Suite 190
Frisco, TX 75034
972-377-7480

LANDSCAPE
KUDELA&WEINHEIMER
7155 Old Katy Road
Suite 270
Houston, Texas 77024
713-869-6987

WAYFINDING
PAGE
400 W. Cesar Chavez Street 400 W. Cesar Chavez Street
Suite 500
Austin, TX 78701
512.472.6721

TECHNOLOGY
PAGE
400 W. Cesar Chavez Street 400 W. Cesar Chavez Street
Suite 500
Austin, TX 78701
512.472.6721

Town of Addison Airport Customs and Border Protection Facility

4545 Jimmy Doolittle Drive
Addison, TX 75001

GENERAL NOTES

- PLANTING SOIL MIXTURE SHALL BE ONE OF THE FOLLOWING:
LANDSCAPE MIX
PREMIUM BED MIX BY THE GROUND OR ULTRA SOIL BY LIVING EARTH TECHNOLOGY GROUP
CONTACT AT 832-247-2574 OR CONTACT AT 73-468-7380 OR 281-342-8113
OR
READY TO PLANT BY SOL BUILDING SYSTEMS
CONTACT AT 872-431-8181
- BIDDING CONTRACTORS BE ADVISED THAT ALL NEW TREE MATERIAL IS TO BE CONTAINER GROWN, CORRESPONDING TO STATED ROOT BALL SIZES AS RECOGNIZED BY INDUSTRY STANDARDS. THIS SHALL INCLUDE ALL BBS, MACHINE MOVED, OR TRANSPLANTED TREES FROM THE BIDDING PROCESS UNLESS OTHERWISE INDICATED ON THE PLAN. THE INSTALLATION CONTRACTOR SHALL BE PREPARED TO PROVIDE PHOTOGRAPHS OF INTENDED PLANT MATERIAL ALONG WITH SIGNED CLARIFICATION THAT PLANT MATERIAL MEETS THESE REQUIREMENTS AND THAT NO VARIATIONS OR SUBSTITUTIONS HAVE BEEN MADE.
- THE LANDSCAPE CONTRACTOR DURING THE INSTALLATION OF THIS WORK SHALL SUBMIT TO KUDELA & WEINHEIMER INFORMATION REGARDING SOURCING OF PLANT MATERIAL. ALL PLANT MATERIAL MUST BE CONTAINER GROWN AND APPROVED AT THE SOURCE OF GROWTH BY KUDELA & WEINHEIMER. TREE MATERIAL MEETING THE SPECIFICATIONS WILL BE TAGGED WITH A SERIALIZED LOCKING TAG AT THE NURSERY BY KUDELA & WEINHEIMER. PLANTS ARRIVING AT THE JOB SITE WITHOUT THESE TAGS WILL BE CATEGORICALLY REJECTED AT THE CONTRACTOR'S EXPENSE.
- IF THE PLANTING PLAN DOES NOT AGREE WITH THE PLANT LIST, THE QUANTITIES INDICATED GRAPHICALLY ON THE PLANTING PLAN SHALL GOVERN.
- CONTRACTOR IS RESPONSIBLE FOR THE GRADING OF PARKING LOT ISLANDS AND SETBACKS. GRADE CHANGES SHALL RANGE FROM 6" (N) TO 18" (N) ABOVE THE CURB, DEPENDING ON THE SIZE OF THE ISLAND. SELECT TOPSOIL SHALL BE USED FOR THESE BERMS. SEE PARKING ISLAND TREE DETAIL.
- ALL DISTURBED AREAS ARE TO RECEIVE 6" (N) OF TOPSOIL, TOPPED WITH MULCH, SOIL, OR HYDROMULCH (DEPENDING ON THE AREA), AND IS TO BE WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL TREES PLANTED ADJACENT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL NOT HAVE LIMBS BELOW 60" (N) A.F.F.

PLANT LIST

SYM	BOTANICAL NAME / COMMON NAME	CAL.	HEIGHT	SPREAD	MIN. ROOT	REMARKS
TREES						
HG	MAGNOLIA GRANDIFLORA LITTLE GEM	3' x 3/2"	11'-12'	8'-7'	88 GAL.	MATCHED, WELL ROOTED
SHRUBS						
SB	ALPINA ZERUMBERT		4'-7'	5'-6'	5 GAL.	FULL, WELL ROOTED
TS	LEUCOPYLLUM FRUTESCENS		6'-8'	4'-5'	5 GAL.	FULL, WELL ROOTED
TS	TEXAS SAGE		6'-8'	4'-5'	5 GAL.	FULL, WELL ROOTED
TS	ROSEANUS ORIGINALS UPRIGHT		5'-4'	5'	5 GAL.	FULL, WELL ROOTED
TS	LEUCOPYLLUM FRUTESCENS		6'-8'	4'-5'	5 GAL.	FULL, WELL ROOTED
ORNAIMENTAL GRASS						
GM	PHULLENBERGIA CAPILLARIS		20"	24"	3 GAL.	FULL, WELL ROOTED
GROUND COVER						
HF	CYRTOCLUM FALCUTUM		8'-10"	8"	1 GAL.	FULL, WELL ROOTED
HD	HOLLY FERN		8'-10"	8"	1 GAL.	FULL, WELL ROOTED
HD	HOLLY FERN		8'-10"	8"	1 GAL.	FULL, WELL ROOTED
HD	HOLLY FERN		8'-10"	8"	1 GAL.	FULL, WELL ROOTED
HD	HOLLY FERN		8'-10"	8"	1 GAL.	FULL, WELL ROOTED
WC	ELONNUS FORTUNE COLORATUS		8'-10"	8"	1 GAL.	FULL, WELL ROOTED
WC	PURPLE WINTER Creeper		8'-10"	8"	1 GAL.	FULL, WELL ROOTED
TURF						
ZO	ZOYSIA JAPONICA					SOLID SOIL
ZO	ZOYSIA JAPONICA					SOLID SOIL

CITY OF ADDISON - LANDSCAPING REQUIREMENTS & CALCULATIONS

REQUIREMENT:
PARKING LOT TREE RATIO: 1 TREE PER 10 SPOTS
SPOTS: 33 / 10 = 3 TREES
PARKING LOT SCREENING: EVERY 35 FT REQUIRES 1 TREE AND 1 SHRUB PLANTED 3 FT ON CENTER.

TOTAL SITE AREA:
6,182 Sq. Ft.

TOTAL BUILDING AREA:
1,581 Sq. Ft.

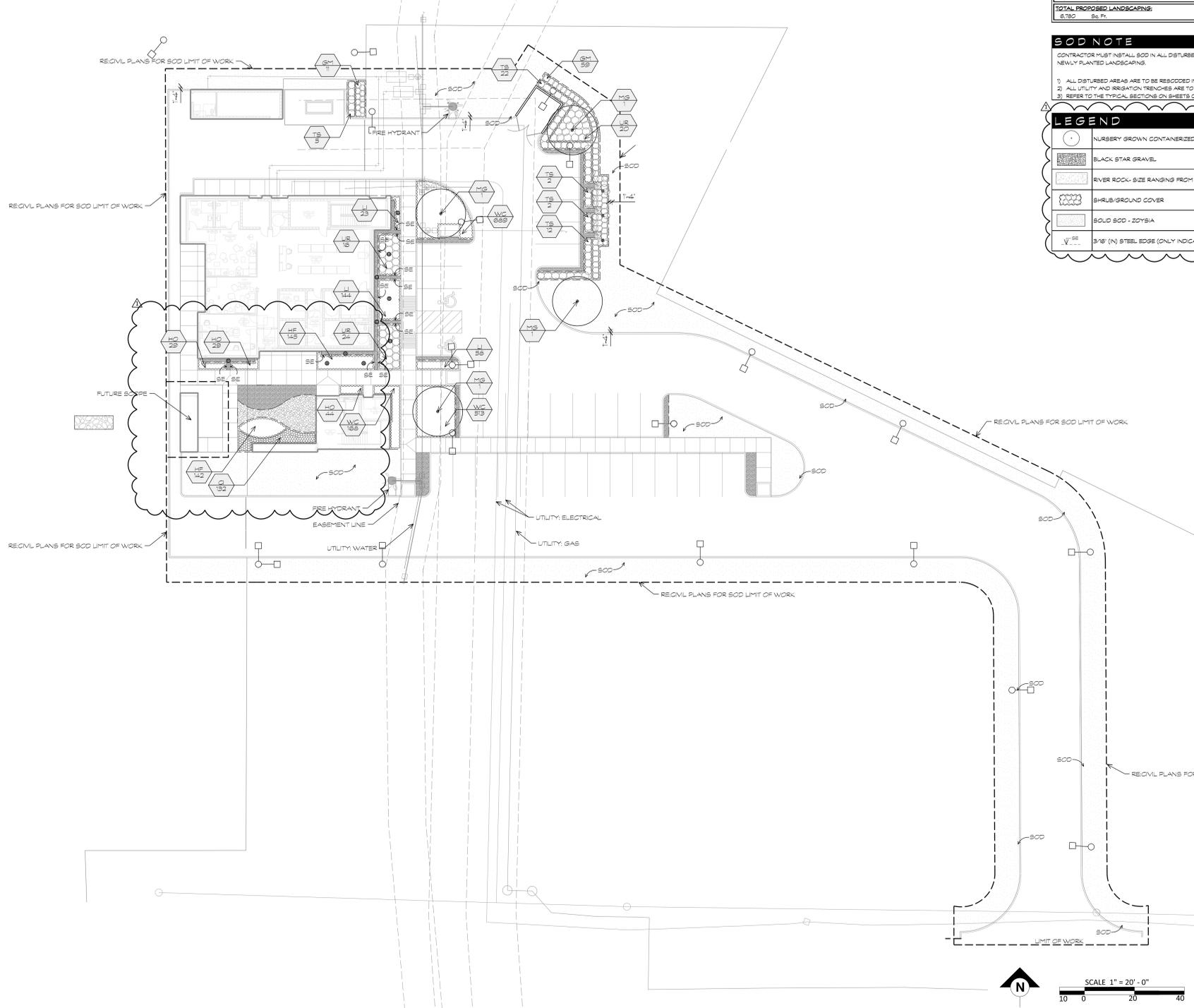
TOTAL PROPOSED LANDSCAPING:
6,780 Sq. Ft.

SOD NOTE
CONTRACTOR MUST INSTALL SOD IN ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, UTILITIES, RRIGATION & NEWLY PLANTED LANDSCAPING.

- ALL DISTURBED AREAS ARE TO BE RESEEDING IN THEIR ENTIRETY.
- ALL UTILITY AND IRRIGATION TRENCHES ARE TO BE RESEEDING WITH A MINIMUM 32" (N) WIDE SOD STRIPS.
- REFER TO THE TYPICAL SECTIONS ON SHEETS 0200 AND 0202 FOR THE SEEDING AND SEEDING LIMITS.

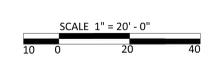
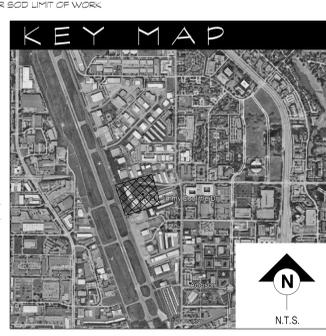
LEGEND

- NURSERY GROWN CONTAINERIZED TREES
- BLACK STAR GRAVEL
- RIVER ROCK - SIZE RANGING FROM 2" - 4" (N)
- SHRUB/GROUND COVER
- SOLID SOD - ZOYSIA
- 3/8" (N) STEEL EDGE (ONLY INDICATED WITH SE), COLOR TO BE BLACK



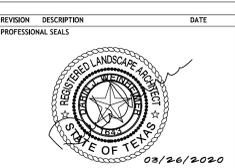
SITE INFO

PROJECT NAME: TOWN OF ADDISON AIRPORT CUSTOMS AND BORDER PROTECTION FACILITY
ADDRESS: 4545 JIMMY DOOLITTLE DR., ADDISON, TX 75001
COUNTY: DALLAS
ACREAGE: 4.671
LEGAL DESCRIPTION: PROPERTY #0230 4.671 ACRE TRACT SITUATED IN THE ADDISON AIRPORT EDWARD COOK SURVEY, ABSTRACT NO. 328
EXISTING ZONE: I-3 (INDUSTRIAL - 3 DISTRICT)
EXISTING USE: AIRCRAFT HANGAR + OFFICES
PROPOSED ZONING: N/A - PROPOSED USE IS AIRPORT - CUSTOMS PROCESSING AND AIRPORT ADMIN. OFFICE
PROPOSED USE: CUSTOMS AND BORDER PROTECTION (CBP) FACILITY AND AIRPORT ADMINISTRATION BUILDING
PLAT TYPE: CERTIFIED
PROPERTY #: 0230
SURVEY NAME: EDWARD COOK
ABSTRACT NO.: 328
PREPARATION DATE: 05-20-2018



REVISION HISTORY

ISSUE FOR CONSTRUCTION	09 JAN 2020
PR. 02	26 MAR 2020



PLANTING PLAN

DRAWN BY: AS	CHECKED BY: ML
PROJECT NUMBER: 417151	PROJECT ABBREVIATION: Addison FIS
ORIGINAL ISSUE DATE: 09 JANUARY 2020	DATE: 09 JANUARY 2020

L3.01

SHEET NUMBER

FILE: P:\151417151\A-R15-luisinab.RVT
 USER NAME: luisinab
 DATE/TIME: 2/20/2018 10:24:45 AM

**Town of Addison Airport
Customs and Border Protection Facility**
4545 Jimmy Doolittle Drive
Addison, TX 75001

SCHEDULE NUMBER	MODEL	SIZE	TYPE	GPM
1	Hunter ICV-G	2"	Shrub Spray	27.22
2	Hunter ICV-G	2"	Shrub Spray	37.86
3	Hunter ICV-G	2"	Turf Spray	21.53
4	Hunter ICV-G	1-1/2"	Turf Spray	19.50
5	Hunter ICV-G	2"	Turf Spray	34.02
6	Hunter ICV-G	2"	Turf Spray	36.25
7	Hunter ICV-G	2"	Turf Spray	27.52
8	Hunter ICV-G	1-1/2"	Turf Spray	22.50
9	Hunter ICV-G	2"	Turf Spray	28.55
10	Hunter ICV-G	1"	Bubbler	4.00
11	Hunter ICV-G	2"	Shrub Spray	30.34
12	Hunter ICV-G	2"	Turf Spray	36.14

CRITICAL ANALYSIS

P.O.C. NUMBER: 01
Water Source Information: Top

FLOW AVAILABLE
Flow Available: 2"
Flow Available: 120.00 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 50.00 psi
Elevation Change: 2.00 ft
Service Line Size: 3"
Length of Service Line: 5.00 ft
Pressure Available: 49.00 psi

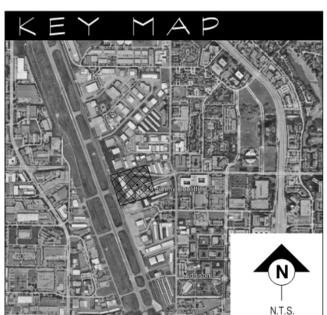
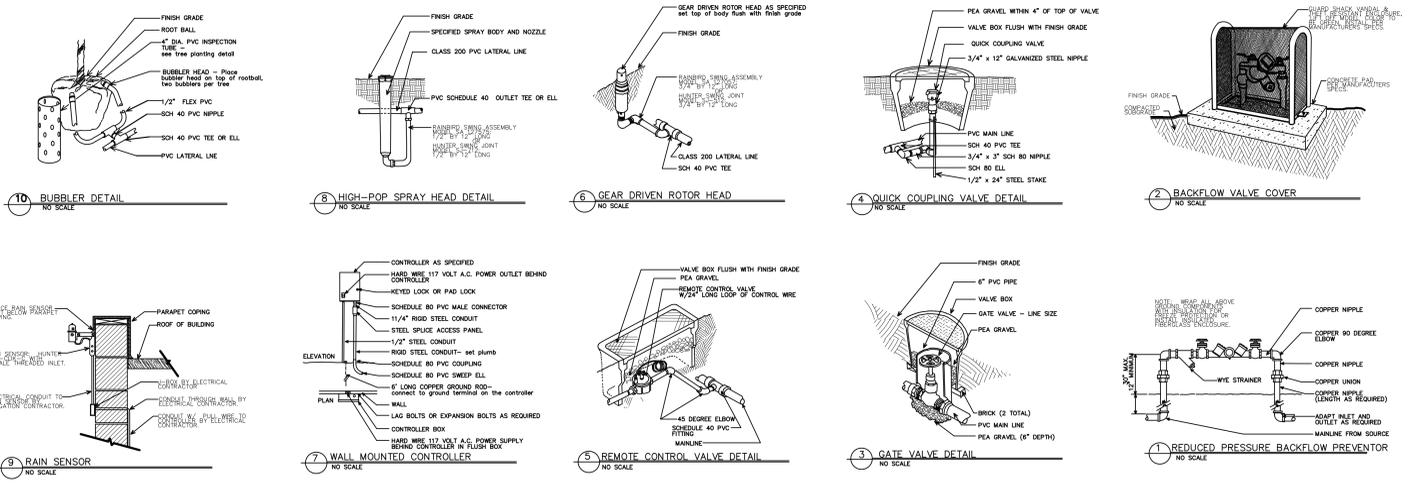
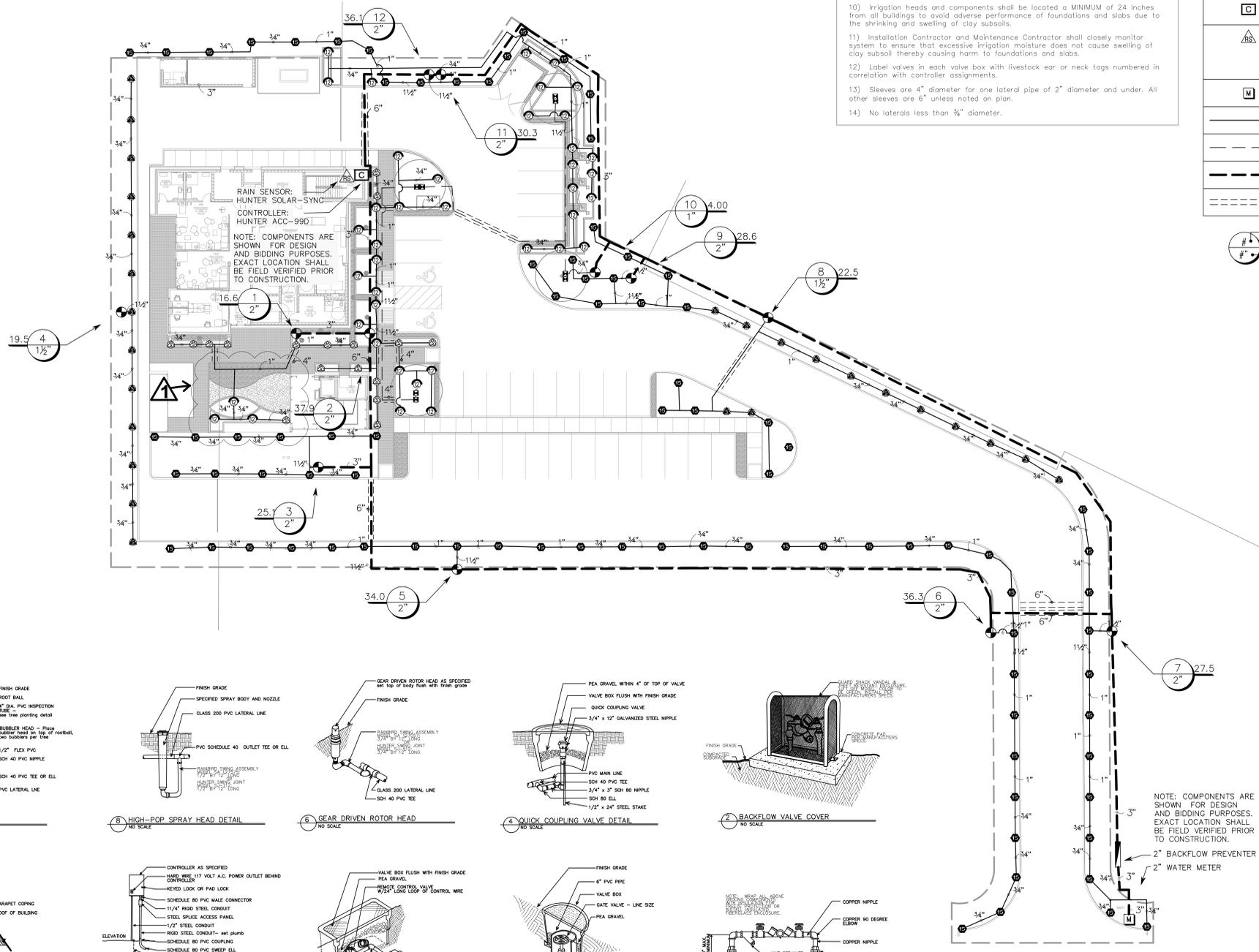
DESIGN ANALYSIS
Maximum Station Flow: 40.81 gpm
Flow Available at POC: 120.00 gpm
Residual Flow Available: 79.19 gpm

Pressure Req. at Critical Station: 45.56 psi
Loss for Fittings: 0.00 psi
Loss for Main Line: 0.16 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 3.27 psi
Loss for Water Meter: 0.50 psi
Critical Station Pressure at POC: 47.49 psi
Pressure Available: 49.00 psi
Residual Pressure Available: 0.51 psi

- GENERAL NOTES**
- 1) Install all irrigation components as per manufacturer's requirements.
 - 2) Components are shown for design purposes. Exact location shall be field verified prior to construction.
 - 3) Mainline and laterals may be shown diagrammatically. Contractor shall locate all mainline along sidewalks, within curbs, and inside property lines. Sleeves shall be provided by contractor wherever mainline or lateral lines cross under sidewalks or roadways even if not indicated on plan. Mainline and laterals may be shown diagrammatically near sleeves and should be located inside sleeve. Sleeve sizes are to be 6" for mainline and 4" for lateral lines unless otherwise indicated. Additional sleeves may be indicated on plans to carry Control wires.
 - 4) Valve Callout - Valve Number
Valve Flow
Valve Size
 - 5) Install ball valve before each valve. Group valves as much as possible. Place boxes parallel to curbs, buildings and each other. Provide 6" base of Pea Gravel for all valve boxes installed. Install a ball valve before each valve or group of 8" valves. Controller wires shall be located underneath mainline piping inside trenches to avoid possible cutting of wires if lines are dug up in the future. Contractor shall also run spare control wires in each direction from controller to farthest valves to serve as backup wires.
 - 7) All un-surfaced areas are to receive four inches of topsoil, seed, mulch, or sod and watered until a healthy stand of grass is obtained.
 - 8) Contractor shall field verify best possible location to mount Rain Sensor within 25 feet of the Controller. Avoid interference from trees, buildings, and other structures for optimum accuracy.
 - 9) All trenching within the dripline of existing trees is to be done by hand. No mechanical trencher shall be used in these areas and no roots larger than 1 1/2" in diameter shall be cut. Contact the Landscape Architect if a problem arises.
 - 10) Irrigation heads and components shall be located a MINIMUM of 24 inches from all buildings to avoid adverse performance of foundations and slabs due to the shrinking and swelling of clay subsols.
 - 11) Installation Contractor and Maintenance Contractor shall closely monitor system to ensure that excessive irrigation moisture does not cause swelling of clay subsol thereby causing harm to foundations and slabs.
 - 12) Label valves in each valve box with livestock ear or neck tags numbered in correlation with controller assignments.
 - 13) Sleeves are 4" diameter for one lateral pipe of 2" diameter and under. All other sleeves are 6" unless noted on plan.
 - 14) No laterals less than 3/8" diameter.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
ES LCS RCS CS SS	Hunter PROS-04-CV 5' strip spray Turf Spray, 4.0" Pop-Up, With Drain Check Valve, Co-molded wiper seal with UV Resistant Material.	26	40
ES LCS RCS CS SS	Hunter PROS-04-CV ADJ Turf Spray, 4.0" Pop-Up, With Drain Check Valve, Co-molded wiper seal with UV Resistant Material.	87	40
ES LCS RCS CS SS	Hunter PROS-12 5' strip spray Shrub Spray, 12.0" Pop-Up, Co-molded wiper seal with UV Resistant Material.	16	40
ES LCS RCS CS SS	Hunter PROS-12 12" radius Shrub Spray, 12.0" Pop-Up, Co-molded wiper seal with UV Resistant Material.	45	40
BS	Tree Bubbler Hunter PCN Flood Bubbler (TWO PER TREE) See TREE BUBBLER DETAIL for proper installation. Provide separate zone for all tree bubblers, do not connect to shrub, tree, or sod zones.	8	15
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
ICV	Hunter ICV-G 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	12	
FB	Febco 765 Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.	1	
ACC	Hunter ACC-99D Two-Wire 2-Wire Decoder Controller with 99 station capacity, metal cabinet.	1	
WSS	Hunter WSS Wireless Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and i-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket.	1	
M	Water Meter 2" Top	1	
---	Irrigation Lateral Line: PVC Class 200 SDR 21	2,464 l.f.	
---	Irrigation Lateral Line: CPVC Schedule 40	268.2 l.f.	
---	Irrigation Mainline: PVC Schedule 40	1,132 l.f.	
---	Pipe Sleeve: PVC Schedule 40	174.9 l.f.	



SITE INFO

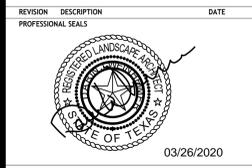
PROJECT NAME: TOWN OF ADDISON AIRPORT CUSTOMS AND BORDER PROTECTION FACILITY
ADDRESS: 4545 JIMMY DOOLITTLE DR., ADDISON, TX 75001
COUNTY: DALLAS
ACREAGE: 4.671
LEGAL DESCRIPTION: PROPERTY #0230 4.671 ACRE TRACT SITUATED IN THE ADDISON AIRPORT EDWARD COOK SURVEY, ABSTRACT NO. 326

EXISTING ZONE: I-3 (INDUSTRIAL - 3 DISTRICT)
PROPOSED ZONING: AIRCRAFT PROCESSING AND AIRPORT ADMINISTRATION BUILDING AND AIRPORT ADMINISTRATION BUILDING

PLAT TYPE: CERTIFIED
PROPERTY #: 0230
SURVEY NAME: EDWARD COOK
ABSTRACT NO.: 326
PREPARATION DATE: 05-20-2018

REVISION HISTORY

ISSUE FOR CONSTRUCTION	DATE
PR 02	26 MARCH 2020



DRAWN BY PW
CHECKED BY ML
PROJECT NUMBER 417151
PROJECT ABBREVIATION Addison FIS
DATE 09 JANUARY 2020
ISSUE FOR CONSTRUCTION



Request for Information 117

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor: Elite Landscaping

Date Created: 6/22/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #25 - CPR 02 (revised)
Category: Change Proposal

Question:
Date Required: 6/29/2020

This proposal is a revised version of Proposal #20. The subcontractor revised their pricing based off of comments made on the Proposal #20 response. Please review and advise.

Answer:
Date Answered:



1335 Blue Lake Dr. • Frisco, Texas 75033
972-670-8553 • Fax 214-705-1985

Contact: Chris Thompson 972 670-8553
June 8, 2020

ESTIMATING

Job Description: Customs and Border Town of Addison - CPR 02

QUANTITY	DESCRIPTION	UNIT	PRICE
4	Magnolia 65g	\$595.00	\$2,380.00
0	Red Oak 65g	\$695.00	\$0.00
0	Shell Ginger	\$25.00	\$0.00
33	Texas Sage 5g	\$25.00	\$825.00
39	Upright Rosemary	\$25.00	\$975.00
70	Gulf Muhly 3g		\$2,800.00
1,346	Wintercreeper 1g	\$4.00	\$5,384.00
225	Liriope 1g	\$4.00	\$900.00
	Tree Staking		\$630.00
80	Mulch by CY	\$30.00	\$2,400.00
80	Compost by CY	\$30.00	\$2,400.00
	Fine Grade		\$3,000.00
15,005	Hydromulch Solid Sod - Zoysia by SF		\$8,000.00
600	Edging (Black) by LF	\$3.00	\$1,800.00
15	+/- Black Star Gravel by CY	\$155.00	\$2,325.00
	Irrigation		\$25,200.00
	Irrigation Sleeves		\$2,400.00
	Maintenance		\$1,800.00
	Temporary Irrigation		\$1,618.00
5	River Rock by CY	\$250.00	\$1,250.00
132	Cast Iron Plant 1gal	\$12.50	\$1,650.00
287	Holly Fern 1gal	\$12.50	\$3,587.50
102	Hosta 1gal	\$12.50	\$1,275.00
	Base Bid 1		
	.09 Acre Seeding = \$3,136.32		\$4,569.00
	Bermuda Sod 1,269 SY X \$3.60 = \$4,569.40		
	<i>Addendum 1 & 2 Reviewed</i>		
	TOTAL		\$77,168.50

***Exclusions: Meter, Electrical, Bores, Erosion, Topsoil on Lawn, Haul off Spoils, Herbicide, Maintenance Beyond 30-Days, Top Dress Sod Joints, Rock, Excavation of Beds, Bores, Including Sidewalk Bores, Core Drill into Controller Location, Site Amenities, Tree Protection

TRANSMITTAL

To: Page/
1100 Louisiana
Suite One
Houston, TX 77002

Attention: Mr. Jeff Mechlem
Phone: (713) 658-2253

Date: 07/07/2020

Project: Addison Airport Customs Facility Site
PSP-752

Sent by: Bradley Pointon

Issued for:

Submittal Construction Approval RFI
 Estimate Record Review Pay Application

Regarding: RFI 117 Proposal #20 - CPR 02 Revised

We Are Sending You:

Quantity	Identification	Description

Remarks: Please see comments below.

CC: KW File

Delivered by:

Mail
 Courier
 By Hand
 Email



Request for Information 117

Project Title:
Addison Airport Customs and Border Protection Facility

Submitted by Subcontractor:
Elite Landscaping

Date Created: 6/22/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject:	Category:
Proposal #25 - CPR 02 (revised)	Change Proposal

Question: **Date Required:** 6/29/2020

This proposal is a revised version of Proposal #20. The subcontractor revised their pricing based off of comments made on the Proposal #20 response. Please review and advise.

Answer: **Date Answered:**

SEE COMMENTS BELOW.
BRADLEY POINTON - KUDELA & WEINHEIMER - 07/07/2020

Page/Kudela Weinheimer Response:

The values and quantities have been updated per the comments provided previously and are acceptable with one question. One line item that was not commented on previously seems to have been adjusted in this updated quote - see notes in blue from the Landscape Architect on the following pages for more information. GC to review and confirm the quantity included is sufficient to cover all the material needed since a reduction is shown now and an increase was shown previously. If the quantity shown here is sufficient, no additional modifications are required.

GC to review the requested duration extension of 10 days. Per the most recent construction schedule, landscape work was not scheduled to begin until the end of October. We accept that some added duration may be required due to these revisions but since all of this work is pretty far out we need some justification as to why the extension is being requested and how you arrived at 10 days.



1335 Blue Lake Dr. • Frisco, Texas 75033
 972-670-8553 • Fax 214-705-1985

Contact: Chris Thompson 972 670-8553
 June 8, 2020

ESTIMATING

Job Description: Customs and Border Town of Addison - **CPR 02**

QUANTITY	DESCRIPTION	UNIT	PRICE
4	Mariposa 65g	\$595.00	\$2,380.00
0	Rose of Sharon 65g	\$695.00	\$0.00
0	Red Yucca 65g	\$25.00	\$0.00
33	Red Yucca 5g	\$25.00	\$825.00
39	Bright Yellow 5g	\$25.00	\$975.00
70	Gulf Stream 3g		\$2,800.00
1,346	Winter Wreath 1g	\$4.00	\$5,384.00
225	White 1g	\$4.00	\$900.00
	Staking		\$630.00
80	Mulch by CY	\$30.00	\$2,400.00
80	Compost by CY		\$2,400.00
	Grass Seed		\$3,000.00
15,005	Topsoil Solid Sod Zoysia by SF		\$8,000.00
600	Grading (Black) by LF	\$3.00	\$1,800.00
15	+ Black Star Gravel by CY	\$155.00	\$2,325.00
	Irrigation		\$25,200.00
	Sleeves		\$2,400.00
	Maintenance		\$1,800.00
	Temporary		\$1,618.00
5	River	\$250.00	\$1,250.00
132	Iron Plant 1gal	\$12.50	\$1,650.00
287	Holly Fern 1gal	\$12.50	\$3,587.50
102	Hosta 1gal	\$12.50	\$1,275.00
Base Bid 1			
	.09 Acre Seeding = \$3,136.32		\$4,569.00
	Bermuda Sod 1,269 SY X \$3.60 = \$4,569.40		
<i>Addendum 1 & 2 Reviewed</i>			
TOTAL			\$77,168.50

LANDSCAPE CONTRACTOR TO VERIFY THIS QUANTITY IS ADEQUATE FOR ALL SECTION OF BLACKSTAR GRAVEL, THERE WAS NO OBJECTION TO THE ADDITIONAL BLACKSTAR GRAVEL ON THE PREVIOUS PROPOSAL WHICH INCREASED TO A TOTAL OF 30 CY. NOW IT HAS REDUCED BELOW INITIAL QUANTITY OF 20 CY.

Erosion, Topsoil on Lawn, Haul off Spoils, Herbicide, Maintenance Beyond 30-Days, Topsoil, Bores, Including Sidewalk Bores, Core Drill into Controller Location, Site Amenities, Tree Protection

RFI Response

RFI ID	117		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	7/7/2020	Transmittal ID	00800
Subject	Proposal #25 - CPR 02 (Revised)		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: This proposal is a revised version of Proposal #20. The subcontractor revised their pricing based off of comments made on the Proposal #20 response. Please review and advise.

Suggestion:

Answer: **Response (Additional Information Needed) from: Bradley Pointon (Kudela & Weinheimer)**
Remarks:

See attached for notes and comments. Everything seems appropriate given the changes. GC to confirm as to why the subcontractor decreased the amount of black star gravel in this revised proposal. The plan revisions and the last proposal called for additional gravel with no comments on our end and that value has now been decreased.

Response (Additional Information Needed) from: Will Butler (Page Southerland Page, Inc.)
Remarks:

See attached combined mark-up for notes and comments. GC to review contract days extension comments - Landscape work was not scheduled to begin until the end of October and the GC is asking for 10 additional days now. The 10 additional days is not accepted unless additional back-up justification is provided.

GC to review and adjust proposal as needed and submit back for final review and approval.

Contents

Copies	Date	Number	Description
1	6/22/2020		RFI 117 - Proposal #25 - CPR 02 (Revised).pdf

These are transmitted For review and comment For your use As requested

Page/

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de **Monterrosa**
Michelle LeBlanc
Scott Arthur
Will Butler



Request for Information 140

Project Title: Addison Airport Customs and Border Protection Facility

Submitted by Subcontractor: Elite Landscape

Date Created: 7/20/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject:	Category:
Additional Information - Proposal #25 - CPR 02 (Revised)	Additional Information

Question: Date Required: 7/27/2020

This RFI is to provide the additional information that was requested in the RFI 117 response. Furthermore, it is intended to clarify the content of Proposal #25 - CPR 02 (Revised). First, we can confirm the quantity of Blackstar Gravel is correct. This has been confirmed by the subcontractor and their supplier. Second, we believe that 10 days is an adequate amount of additional days based on the delay associated with this change and other delays that have pushed out the schedule, including this activity. We have resubmitted proposal #25 with this RFI for consideration.

Answer: Date Answered:

Page Response:

The values submitted here are reasonable and acceptable but the contract days extension is not approved per the following response from the Landscape Architect below:

Kudela & Weinheimer Response:

Thanks for confirming the amounts. We have no other objections to the cost proposal.

As for the additional days, there would need to be some more information from the contractor as to how the plant materials changing is causing a 10 day delay. There was no change to the scope of the project only changes in the plant materials and some gravel in lieu of mulch. With the changes as is, we do not feel any additional time is warranted based on these changes alone.



1335 Blue Lake Dr. • Frisco, Texas 75033
972-670-8553 • Fax 214-705-1985

Contact: Chris Thompson 972 670-8553
June 8, 2020

ESTIMATING

Job Description: Customs and Border Town of Addison - CPR 02

QUANTITY	DESCRIPTION	UNIT	PRICE
4	Magnolia 65g	\$595.00	\$2,380.00
0	Red Oak 65g	\$695.00	\$0.00
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39	Upright Rosemary	\$25.00	\$975.00
70	Gulf Muhly 3g		\$2,800.00
1,346	Wintercreeper 1g	\$4.00	\$5,384.00
225	Liriope 1g	\$4.00	\$900.00
	Tree Staking		\$630.00
80	Mulch by CY	\$30.00	\$2,400.00
80	Compost by CY	\$30.00	\$2,400.00
	Fine Grade		\$3,000.00
15,005	Hydromulch Solid Sod - Zoysia by SF		\$8,000.00
600	Edging (Black) by LF	\$3.00	\$1,800.00
15	+/- Black Star Gravel by CY	\$155.00	\$2,325.00
	Irrigation		\$25,200.00
	Irrigation Sleeves		\$2,400.00
	Maintenance		\$1,800.00
	Temporary Irrigation		\$1,618.00
5	River Rock by CY	\$250.00	\$1,250.00
132	Cast Iron Plant 1gal	\$12.50	\$1,650.00
287	Holly Fern 1gal	\$12.50	\$3,587.50
102	Hosta 1gal	\$12.50	\$1,275.00
	Base Bid 1		
	.09 Acre Seeding = \$3,136.32		\$4,569.00
	Bermuda Sod 1,269 SY X \$3.60 = \$4,569.40		
	<i>Addendum 1 & 2 Reviewed</i>		
	TOTAL		\$77,168.50

***Exclusions: Meter, Electrical, Bores, Erosion, Topsoil on Lawn, Haul off Spoils, Herbicide, Maintenance Beyond 30-Days, Top Dress Sod Joints, Rock, Excavation of Beds, Bores, Including Sidewalk Bores, Core Drill into Controller Location, Site Amenities, Tree Protection

RFI Response

RFI ID	140		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	7/30/2020	Transmittal ID	00861
Subject	Additional Information - Proposal #25 - CPR 02 (Revised)		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: This RFI is to provide the additional information that was requested in the RFI 117 response. Furthermore, it is intended to clarify the content of Proposal #25 - CPR 02 (Revised). First, we can confirm the quantity of Blackstar Gravel is correct. This has been confirmed by the subcontractor and their supplier. Second, we believe that 10 days is an adequate amount of additional days based on the delay associated with this change and other delays that have pushed out the schedule, including this activity. We have resubmitted proposal #25 with this RFI for consideration.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

The values submitted here are reasonable and acceptable but the contract days extension is not approved per the following response from the Landscape Architect below:

Kudela & Weinheimer Response:

Thanks for confirming the amounts. We have no other objections to the cost proposal. As for the additional days, there would need to be some more information from the contractor as to how the plant materials changing is causing a 10 day delay. There was no change to the scope of the project only changes in the plant materials and some gravel in lieu of mulch. With the changes as is, we do not feel any additional time is warranted based on these changes alone.

Contents

Copies	Date	Number	Description
--------	------	--------	-------------

1	7/20/2020	RFI 140 - Additional Information - Proposal #25 - CPR 02 (Revised).pdf
---	-----------	--

These are transmitted

For review and comment

For your use

As requested

Please let me know if you need any additional information or clarification. Thank you.

CC:

Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de **Monterrosa**
Michelle LeBlanc
Scott Arthur
Will Butler

September 22,2020

Town of Addison Council
Addison Service Center
16801 Westgrove Drive
Addison, TX 75001

Re: Narrative for Proposal #26-26a – Equipment Delays
Project No: 417151

To Whom it May Concern,

Proposal #26a was the result of equipment rental extensions that were needed to keep required equipment on-site beyond the initial rental duration. The revisions (ASI 02) were issued formally on November 14th, 2019 and were related to adjustments to the perimeter slab edges in the structural drawings.

Initially the project was designed with a dual layer exterior skin with lighting between the layers and perforations in the exterior layer. As a result of the Value Engineering process that was requested and completed in March of 2019 to meet the project budget, this double skin was removed and replaced with a new single skin exterior cladding when the documents were issued for bid the final time on April 24, 2019. During the Structural and Architectural review of the 03 3000-1.0 Rebar Shop Drawings submittal (returned on 11/14/2019) it was discovered that some minor discrepancies existed between the Structural and Architectural slab edge locations due to the skin revisions made during VE. These discrepancies were rectified the same day the submittal was returned when we issued ASI 02. The discrepancies were minor but did require some rework to the exterior slab edge locations where work to construct them was already underway. That re-work and the duration to complete it ultimately required the extension of rentals for two pieces of equipment. The equipment in question was a Mini Excavator and a Track Loader and each rental was extended for an additional month longer than originally anticipated. Because of the rework required and the fact that other construction required it to be in-place to proceed we agree with the requested 10-day extension included in the proposal.

Refer to the clouded areas in the attached ASI 02 revised documents for reference to the changes made that required the equipment rental extensions.

The costs and time extensions associated with this proposal were reviewed and negotiated with the GC based on industry standards and best practices and the value/days included for this proposal is reasonable and customary based on the work that was required.

Proposal #26-26a Cost Increase: **\$7,183.18**
Proposal #26-26a Contract Days Extension: **10 Days**

Page/

Sincerely,

Will Butler
Senior Associate



Submittal Transmittal
03 3000 - 1 Rebar Shop Drawings

Addison Airport Customs and Border Protection Facility **JC COM Project # 15319** **Date Created: 10/18/2019**
4545 Jimmy Doolittle Drive
Addison, Texas 75001

Transmitted to: Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, TX 77002	Attn: Jeff Mechlem	Author Company JC Commercial 1801 Lakepointe Drive, Suite 129 Lewisville, TX 75057	Authored By: Tommie Matthews Jr.
---	------------------------------	--	--

Spec. #	Description	Submittal #	Via
03 3000	Rebar Shop Drawings		
	Shop Drawings		Newforma

Date Required: 10/25/2019

JC Commercial, Inc.
1801 Lake Pointe Drive, Suite 129
Lewisville, TX 75057

Revise & Resubmit
 Reviewed as Noted
 Reviewed

Reviewed By: TM 10/18/2019

This approval is for general conformance with plans and specs. It does not relieve the supplier from providing the specified materials.

AG&E ASSOCIATES, P.L.L.C.
Structural Engineers
CONSULTING STRUCTURAL ENGINEERS

SUBMITTAL REVIEW

NO EXCEPTIONS TAKEN REVISE & RESUBMIT
 COMMENTS INCLUDED

The review of the submittal by the Engineer is only for general compliance with the structural drawings and specifications. This review does not guarantee in any way that the submittal is correct, complete, nor does it infer that it supersedes structural drawings. Corrections or comments made (or not made) on the submittal during this review do not relieve the contractor from compliance with the requirements of the structural drawings and specifications. The Engineer does not assume any responsibility for verification of dimensions, quantities, details, materials, fabrication, or construction means and methods. The contractor shall coordinate work with all other trades and perform work in a satisfactory manner.

Date: 10/25/2019 By: jcho

AG&E ASSOCIATES, P.L.L.C.
Structural Engineers
CONSULTING STRUCTURAL ENGINEERS

SUBMITTAL REVIEW

NO EXCEPTIONS TAKEN REVISE & RESUBMIT
 COMMENTS INCLUDED

The review of the submittal by the Engineer is only for general compliance with the structural drawings and specifications. This review does not guarantee in any way that the submittal is correct, complete, nor does it infer that it supersedes structural drawings. Corrections or comments made (or not made) on the submittal during this review do not relieve the contractor from compliance with the requirements of the structural drawings and specifications. The Engineer does not assume any responsibility for verification of dimensions, quantities, details, materials, fabrication, or construction means and methods. The contractor shall coordinate work with all other trades and perform work in a satisfactory manner.

Date: 11/14/2019 By: CHAD JIANSINLAPADAMRONG

Engineer's notes:

Due to changes of slab edge shown in attached SKA-5.4 which reflected in attached S1.10 (ASI 02), grade beams were moved so that edge of the beams is at the edge of the slab. Other than noted comments, please modify:

1. the length of grade beam reinforcement and quantity of grade beam ties.
2. the length and quantity of slab reinforcement.

Submittal Cover Sheet



Transmitted To:
Scott Arthur

Re:Addison Airport
From: Steconco LLC
7610 Sovereign Row
Dallas, TX 75207
Phone: 214-356-8455

Steconco has this provided this submittal for JC Commercial Construction only as to general design of the Contract Documents of this project.

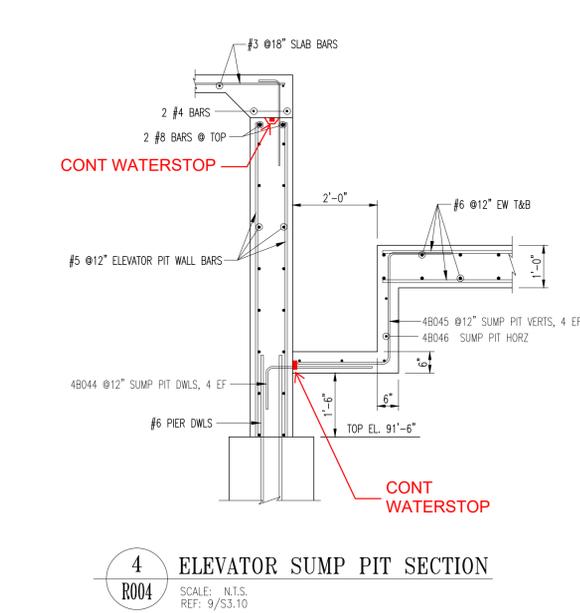
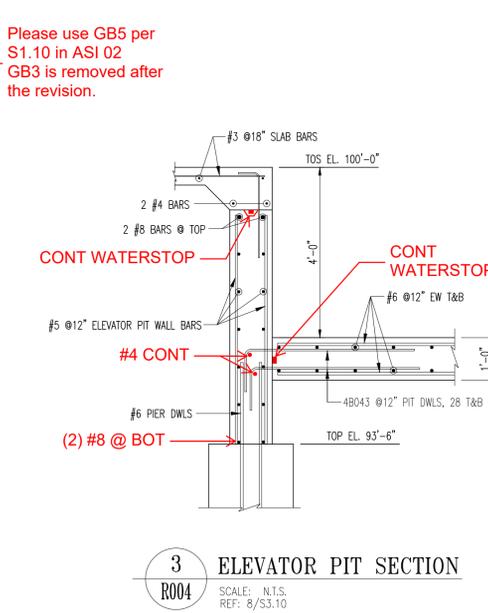
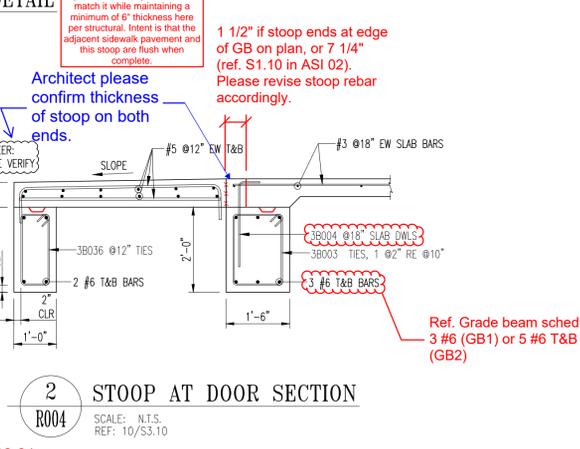
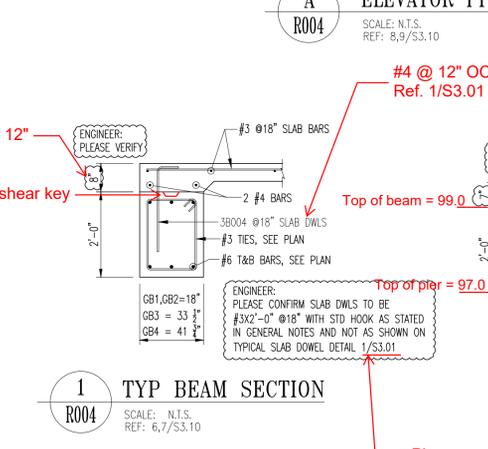
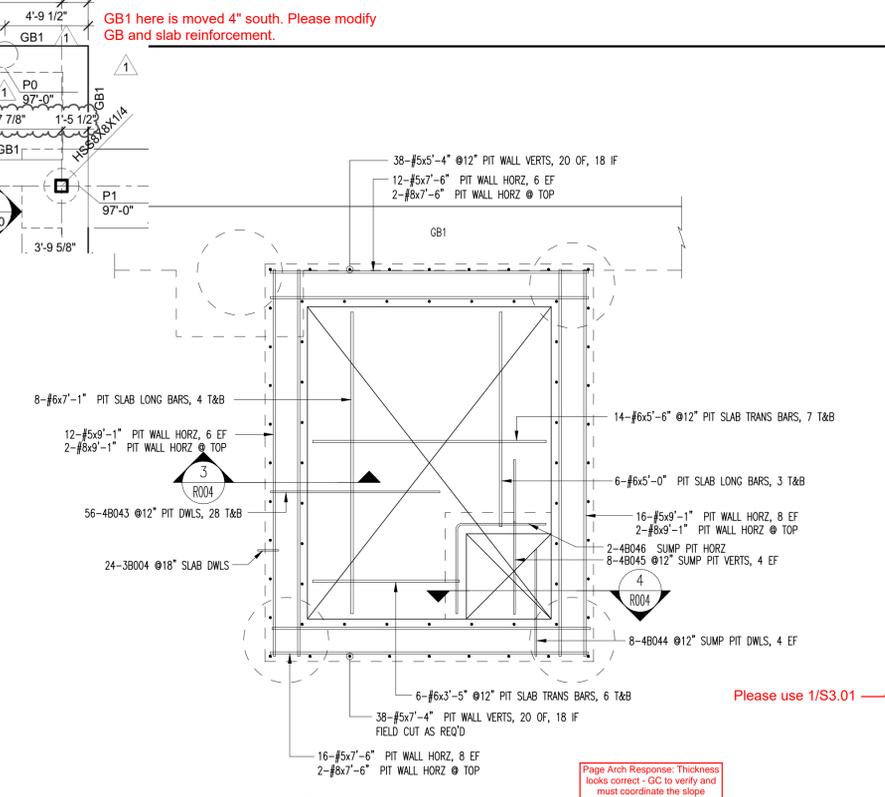
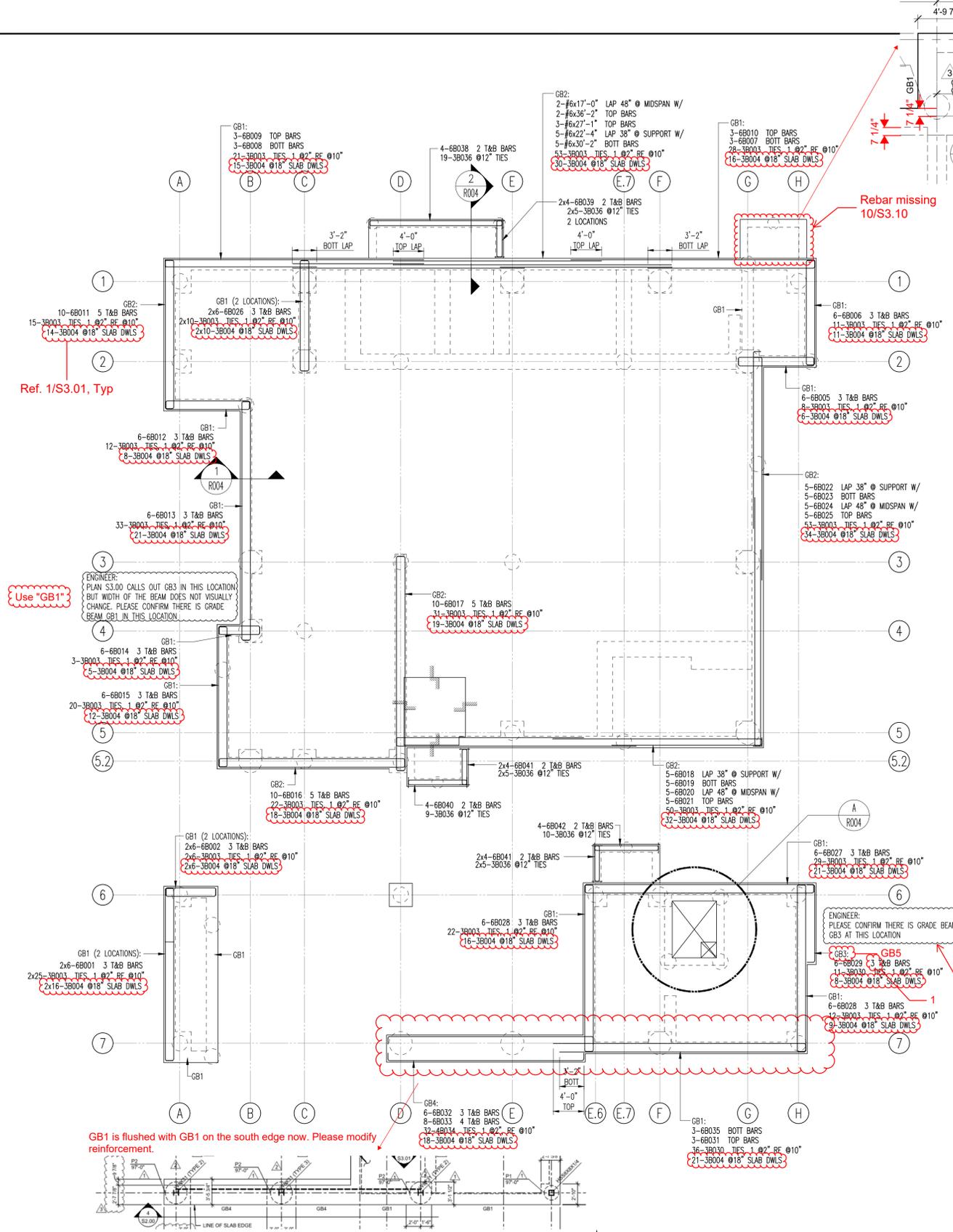
Transmitting :
1 Copy

Submittal #: 033000

Submittal Description:
GB Rebar Shop Drawings

Please return 1 Copy with comments to Steconco LLC.

Drawing Sheet: R004		BENDING DETAILS											
Bar Mark	Size	Total Length	Type	X	Y	Z	Y	Y	Y	Y	Y	Y	Y
68001	#6	24'-4"	2	1'-0"	22'-4"								1'-0"
68002	#6	8'-5"	2	1'-0"	6'-5"								1'-0"
68003	#6	11'-10"	2	1'-0"	8'-10"								1'-0"
68006	#6	15'-7"	2	1'-0"	13'-7"								1'-0"
68007	#6	22'-8"	2	1'-0"	21'-8"								1'-0"
68008	#6	20'-8"	2	1'-0"	19'-8"								1'-0"
68009	#6	34'-7"	2	1'-0"	33'-7"								1'-0"
68010	#6	32'-8"	2	1'-0"	31'-8"								1'-0"
68011	#6	21'-5"	2	1'-0"	19'-5"								1'-0"
68012	#6	12'-11"	2	1'-0"	10'-11"								1'-0"
68013	#6	32'-11"	2	1'-0"	30'-11"								1'-0"
68014	#6	7'-4"	2	1'-0"	5'-4"								1'-0"
68015	#6	20'-2"	2	1'-0"	18'-2"								1'-0"
68016	#6	28'-2"	2	1'-0"	24'-2"								1'-0"
68017	#6	29'-9"	2	1'-0"	27'-9"								1'-0"
68018	#6	31'-2"	2	1'-0"	29'-2"								1'-0"
68019	#6	20'-4"	2	1'-0"	18'-4"								1'-0"
68020	#6	25'-4"	2	1'-0"	23'-4"								1'-0"
68021	#6	28'-2"	2	1'-0"	27'-2"								1'-0"
68022	#6	29'-10"	2	1'-0"	28'-10"								1'-0"
68023	#6	28'-5"	2	1'-0"	26'-5"								1'-0"
68024	#6	23'-11"	2	1'-0"	22'-11"								1'-0"
68025	#6	32'-2"	2	1'-0"	30'-2"								1'-0"
68026	#6	18'-4"	2	1'-0"	14'-4"								1'-0"
68027	#6	31'-9"	2	1'-0"	29'-9"								1'-0"
68028	#6	23'-7"	2	1'-0"	21'-7"								1'-0"
68029	#6	12'-1"	2	1'-0"	10'-1"								1'-0"
68031	#6	33'-10"	2	1'-0"	32'-10"								1'-0"
68032	#6	27'-8"	2	1'-0"	25'-8"								1'-0"
68033	#6	28'-9"	2	1'-0"	26'-9"								1'-0"
68035	#6	33'-0"	2	1'-0"	32'-0"								1'-0"
68038	#6	19'-5"	2	1'-0"	17'-5"								1'-0"
68039	#6	6'-9"	2	1'-0"	4'-9"								1'-0"
68040	#6	9'-8"	2	1'-0"	7'-8"								1'-0"
68041	#6	6'-8"	2	1'-0"	4'-8"								1'-0"
68042	#6	19'-4"	2	1'-0"	17'-4"								1'-0"
68034	#4	10'-4"	11	0'-4"	5'-1"	1'-8"	3'-1"	1'-8"					0'-4"
48043	#4	5'-0"	17	4'-0"	1'-0"								0'-4"
48044	#4	3'-8"	17	2'-8"	1'-0"								0'-4"
48045	#4	6'-3"	20	1'-8"	2'-7"	2'-2"							0'-4"
48046	#4	4'-3"	17	2'-1"	2'-1"								0'-4"
38002	#3	6'-5"	11	6'-5"	1'-8"	1'-2"	1'-8"						0'-4"
38003	#3	2'-11"	11	2'-5"	1'-8"	2'-5"	1'-8"						0'-4"
38006	#3	5'-4"	11	0'-4"	0'-8"	1'-8"	0'-8"	1'-8"					0'-4"



NOTICE
CLAIMED MATERIAL SHORTAGES MUST BE REPORTED TO HARRIS REBAR WITHIN 3 DAYS OF DELIVERY. HARRIS REBAR RESERVES THE RIGHT TO FIELD INSPECT PRIOR TO THE REPLACEMENT OF CLAIMED NON-CONFORMING MATERIAL AND WILL NOT HONOR ANY CHARGES FOR FIELD WORK DONE WITHOUT AUTHORIZATION FROM HARRIS REBAR.

REV	DESCRIPTION	DATE	LAD
0	FOR APPROVAL	10/15/2019	LAD

Revisions and Issue Record

The full intent and purpose of this drawing is the placing of reinforcing steel bars ONLY. It is NOT to be used as a means of communication between the Architect, Engineer, Contractor or any other Sub-Trades.

THIS DRAWING IS NOT TO BE SCALED.

Harris Rebar
LONGVIEW, TX.
NATIONAL STRONG LOCAL SERVICE. PHONE: 972-923-2636 FAX: 972-923-2771

Project: CUSTOMS & BORDER PROTECTION FACILITY

Drawing: GRADE BEAMS PLAN & DETAILS

Date	Drawn	Chkd.	JOB No.	Dwg. No.
10/15/2019	LAD	LAD	05519039	R004

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Page Southerland Page, Inc.
 1100 Louisiana, Suite One
 Houston, TX 77002
 page@pspi.com
 Tel: 713.871.8484
 Fax: 713.871.8440
 ARCHITECTURE / ENGINEERING / INTERIORS / PLANNING / CONSULTING
 Austin / Dallas / Denver / Houston / San Francisco / Washington DC /
 International Affiliate Offices

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 Suite 190
 Frisco, TX 75054
 972-377-7480

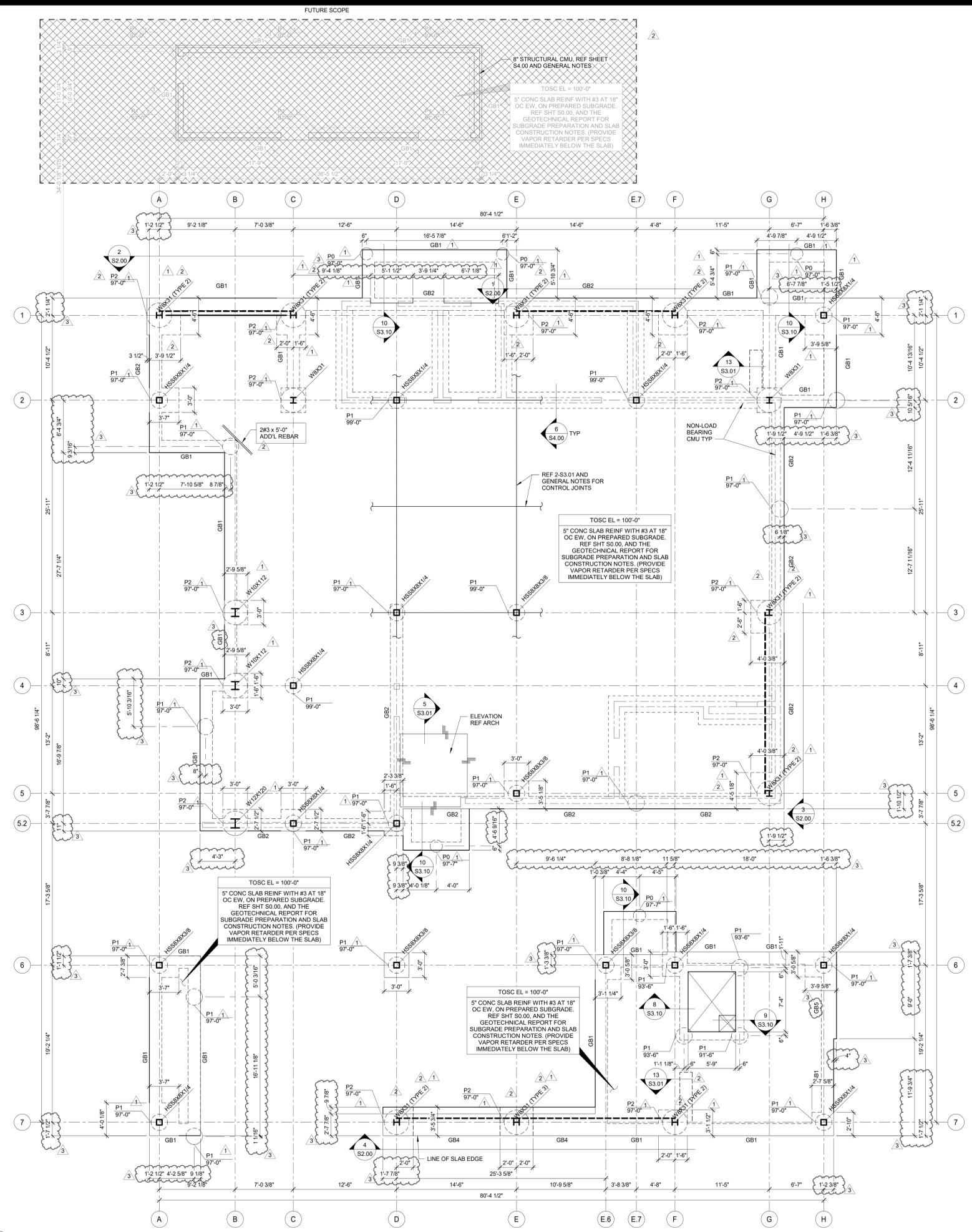
STRUCTURAL
 AG&E STRUCTURAL
 15280 Addison Road
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 Addison, TX 75001
 214-520-7202

MEP
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 972-377-7480

LANDSCAPE
 KUDELA&WEINHEIMER
 7155 Old Katy Road
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 713-869-6987

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 512.472.6721

TECHNOLOGY
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1 FOUNDATION PLAN
 3/16" = 1'-0"

COLUMN AND PIER KEY

SHEET NOTES

1. VERIFY ALL WALL OPENING DIMENSIONS AND LOCATIONS WITH ARCH DRAWINGS.
2. DEVIATIONS FROM CONST JOINT/CONTROL JOINT PATTERN SHOWN MUST BE APPROVED BY THE ENGINEER OF RECORD.
3. REFER TO SHEET S3.00 FOR PIER SCHEDULE.
4. REFER TO SHEET S5.00 FOR COLUMN AND BASE PLATE SCHEDULE.
7. PIERS WITHOUT CENTERLINES SHOWN ON PLANS, SECTIONS AND/OR DETAILS SHALL BE LOCATED AS FOLLOWS:
 A. COLUMNS AND PLASTERS: CENTERLINE OF THE COLUMN.
 B. GRADE BEAMS AND WALLS: CENTERLINE OF THE GRADE BEAM OR WALL.
 C. ALONG THE LENGTH OF GRADE BEAMS AND WALLS: INTERMEDIATE PIERS SHALL BE SPACED EQUALLY BETWEEN PIERS THAT ARE DIMENSIONALLY SET ON PLAN OR AS NOTED ABOVE.
 D. PIERS SUPPORTING SLABS ON CARTON FORMS: UNLESS NOTED OTHERWISE, PIERS NOT DIMENSIONED SHALL BE SPACED EQUALLY BETWEEN PIERS THAT ARE DIMENSIONALLY SET ON PLAN.

REVISION HISTORY

NO.	DESCRIPTION	DATE
3	ASI 02	13 NOV 2019
2	ASI 01	15 OCT 2019
1	ADDENDUM 004	11 APRIL

FOUNDATION PLAN

DRAWN BY	CHECKED BY
JC	JH
PROJECT NUMBER	PROJECT ABBREVIATION
417151	Addison FIS
ORIGINAL ISSUE	DATE
ISSUE FOR BID	14 FEBRUARY 2019

S1.10
 SHEET NUMBER

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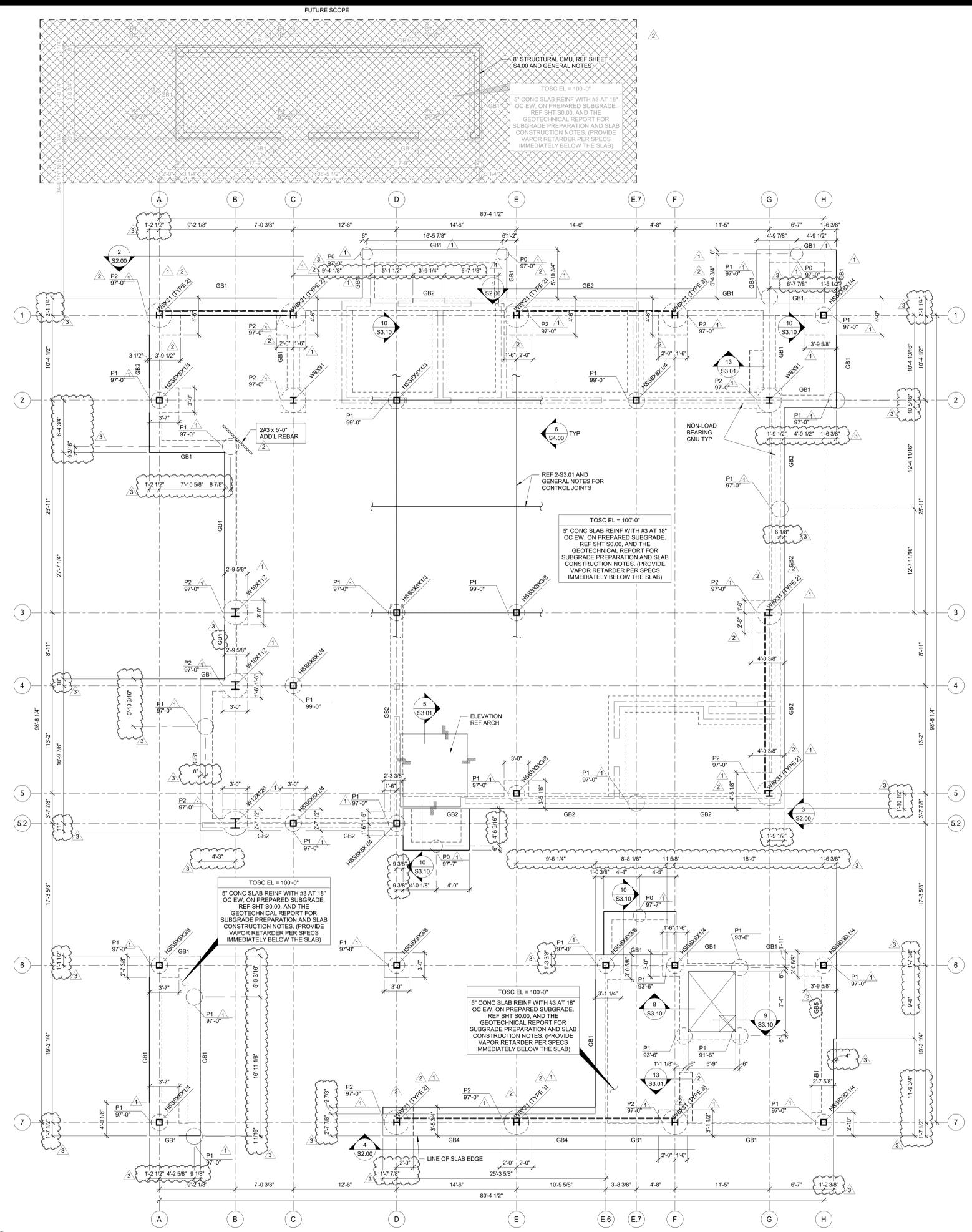
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COLUMN AND PIER KEY

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3	ASI 02	13 NOV 2019
2	ASI 01	15 OCT 2019
1	ADDENDUM 004	11 APRIL

FOUNDATION PLAN

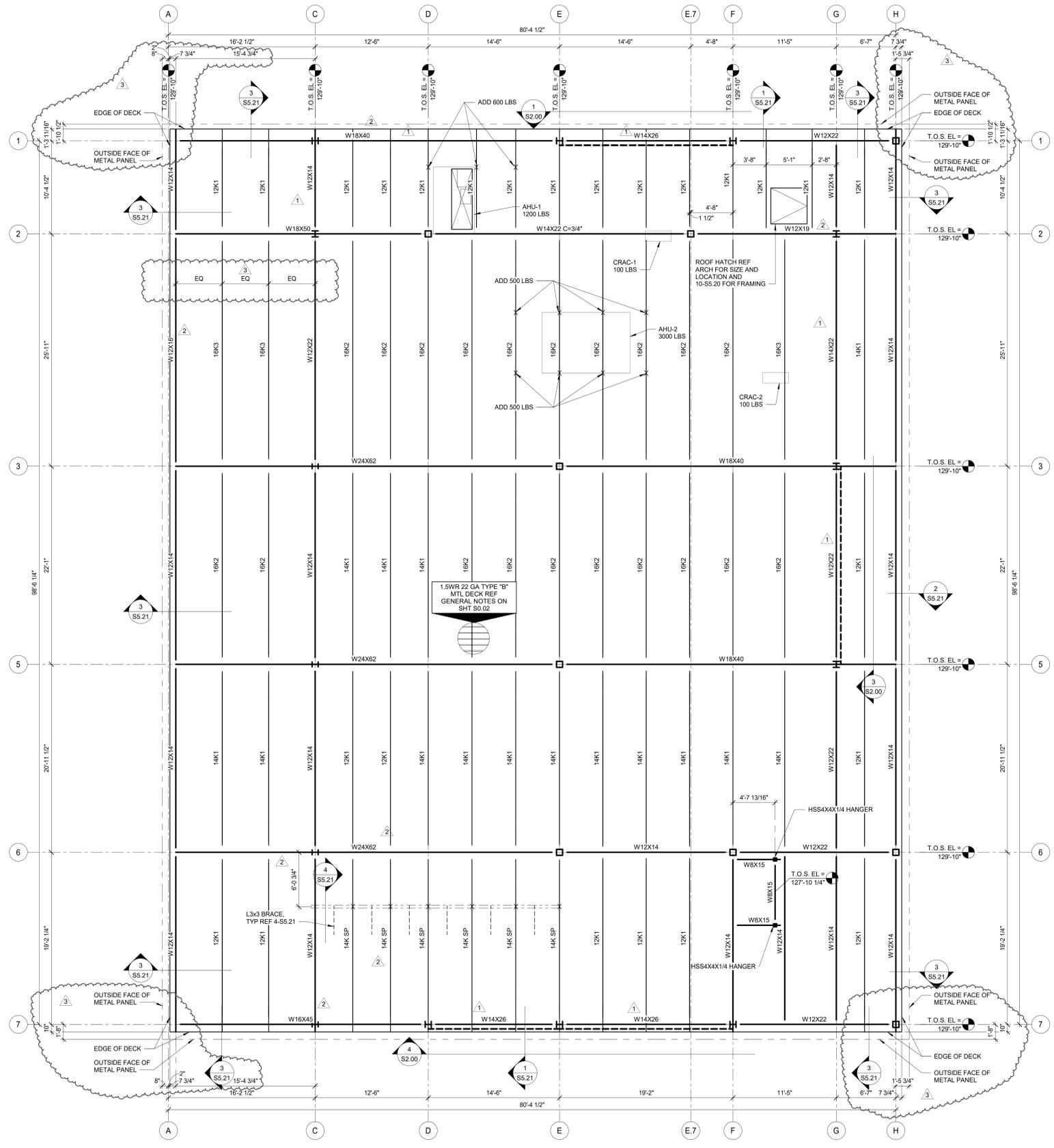
DRAWN BY	CHECKED BY
JC	JH
PROJECT NUMBER	PROJECT ABBREVIATION
417151	Addison FIS
ORIGINAL ISSUE	DATE
ISSUE FOR BID	14 FEBRUARY 2019

S1.10
 SHEET NUMBER

1 FOUNDATION PLAN
 3/16" = 1'-0"



**Town of Addison Airport
 Customs and Border Protection Facility**
 4545 Jimmy Doolittle Drive
 Addison, TX 75001



1 ROOF FRAMING PLAN
 3/16" = 1'-0"

SHEET NOTES

- REFER TO SHEETS S3 SERIES AND S5 SERIES FOR GENERAL NOTES, SCHEDULES, AND DESIGN CRITERIA.
- ALL ELEVATIONS ARE BASED ON TOSC EL = 100'-0"
- JOIST MFR NOTE:** BRIDGING NOT SHOWN ON PLAN. MANUFACTURER SHALL PROVIDE STANDARD BRIDGING COMPLYING WITH SJI SPECIFICATIONS OF LATEST ADOPTION. TYPICAL FOR GRAVITY AND UPLIFT LOADS SUPERIMPOSED ON ALL JOISTS. DIAGONAL BRIDGING SHALL BE PROVIDED BETWEEN ADJACENT JOISTS WHENEVER BOTTOM CHORD HORIZONTAL BRIDGING IS DISCONTINUOUS.
- REFER TO ROOF DIAPHRAGM CONNECTION SCHEDULE FOR DECK ATTACHMENT TO ROOF FRAMING MEMBERS AND DECK FASTENER TYPE, SIZE AND SPACING.
- REF ARCH FOR TOP OF WALL ELEVATIONS.
- DETAILING OF ALL MEMBER CONNECTIONS TO THE SUPPORTS SHALL BE PERFORMED TO SATISFY LATEST OSHA ERECTION REQUIREMENTS.
- ▲ DENOTES MOMENT CONNECTION. REFER TO MOMENT CONNECTION DETAILS.
- TOS EL = BOTTOM OF DECK.
- STEEL BEAMS/JOIST SHALL BE EQUALLY SPACED BETWEEN COLUMN CENTERLINES, UNLESS NOTED OTHERWISE.
- SEE DETAIL 13/55.20 FOR SPECIAL JOIST 14K SP

REVISION HISTORY

NO.	DESCRIPTION	DATE
3	ASI 02	13 NOV 2019
2	ASI 01	15 OCT 2019
1	ADDENDUM 004	11 APRIL



ROOF FRAMING PLAN

DRAWN BY: JC
 PROJECT NUMBER: 417151
 ORIGINAL ISSUE: ISSUE FOR BID

CHECKED BY: JH
 PROJECT ABBREVIATION: Addison FIS
 DATE: 14 FEBRUARY 2019

S1.30
 SHEET NUMBER

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Town of Addison Airport
Customs and Border Protection Facility
4545 Jimmy Doolittle Drive
Addison, TX 75001

REVISION HISTORY

NO.	DESCRIPTION	DATE
3	AS1 02	13 NOV 2019

PIER SCHEDULE

MARK	PIER DIAMETER	PENTR	VERT REINF	HOOP TIES
P0	18"	3'-0"	(5) #6	#3 AT 12" OC
P1	24"	3'-0"	(6) #6	#3 AT 12" OC
P2	36"	5'-0"	(12) #6	#3 AT 12" OC

PIER, GRADE BEAM SCHEDULE AND TYPICAL FOUNDATION DETAILS

1. DEPTH OF BEARING STRATUM IS INDICATED FOR INFORMATION ONLY. ACTUAL DEPTH MAY VARY. REFER TO THE GEOTECHNICAL REPORT AND THE GRADING PLAN FOR DEPTH OF BEARING STRATUM BELOW FINISH FLOOR, AND ADJUST DEPTHS AS REQD. CONTRACTOR TO PROVIDE AN ALLOWANCE ON PER LINEAR FOOT BASIS FOR ADD AND DUCT.

2. CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR PIER CASINGS ON A PER LINEAR FOOT BASIS AS PER DIVISION 1 OF THE PROJECT SPECIFICATIONS. ALSO REFER TO THE GEOTECHNICAL REPORT FOR PIER CASING REQUIREMENTS.

3. SPLICE VERTICAL REINFORCING IN PIERS WITH CLASS B TENSION LAP SPLICE.

4. FOR PIERS LOCATED WITHIN TWO SHAFT DIAMETERS CLEAR SPACING, THE SECOND PIER SHALL BE DRILLED A MIN OF 48 HOURS AFTER THE FIRST.

5. IF CASING IS REQUIRED, CASING SHALL BE SIZED TO MAINTAIN THE PIER DIAMETER INDICATED IN SCHEDULE.

6. MINIMUM PIER LENGTH IS 7 FEET OR 3 TIMES SHAFT DIAMETER, WHICHEVER IS GREATER. INCREASE PER PENETRATION DEPTH TO MEET THE CRITERIA IF SCHEDULED PIER LENGTH IS SHORTER.

PROJECT NUMBER
417151

DATE
14 FEBRUARY 2019

ISSUE FOR BID

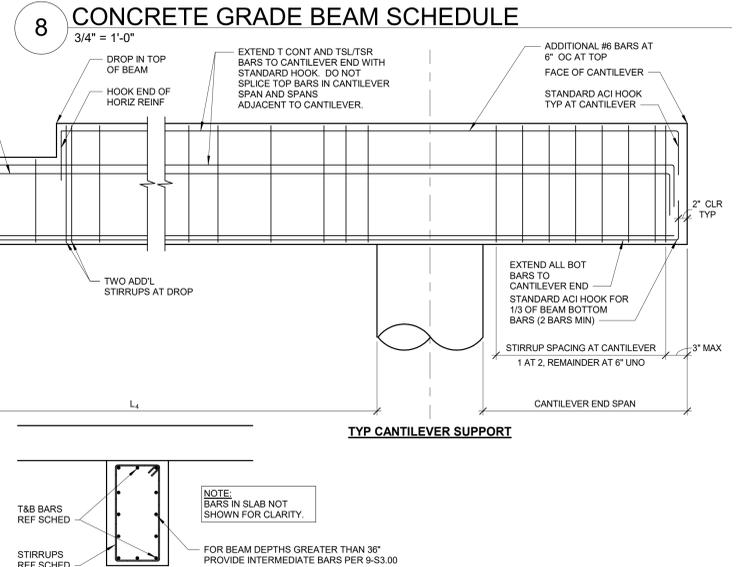
S3.00
SHEET NUMBER

PROJECT # 17049.0001
15280 Addison Road, Suite 310
Addison, Texas 75001
PH: 214.520.7202
www.agee-ink.com
TX REG. NO. F-4835
Structural Engenuity

CONCRETE GRADE BEAM SCHEDULE

MARK	WIDTH	DEPTH	REINFORCEMENT					STIRRUPS		STIRRUP SPACING FROM EACH END	
			TSL	T CONT	TSR	B CONT	B1	INTERM EA FACE	SIZE		TYPE
GB1	18"	24"	-	(3) #6	-	(3) #6	-	-	#3	S3	1@2", R@10", 1@2", R@6" @ CANTI
GB2	18"	24"	-	(5) #6	-	(5) #6	-	-	#3	S3	1@2", R@10", 1@2", R@6" @ CANTI
GB3	33 1/2"	24"	-	(6) #6	-	(6) #6	-	-	#3	S3	1@2", R@10", 1@2", R@6" @ CANTI
GB4	41 3/4"	24"	-	(7) #6	-	(7) #6	-	-	#3	S3	1@2", R@10", 1@2", R@6" @ CANTI
GB5	22"	24"	(4) #6	-	-	(4) #6	-	-	#3	S3	1@2", R@10", 1@2", R@6" @ CANTI

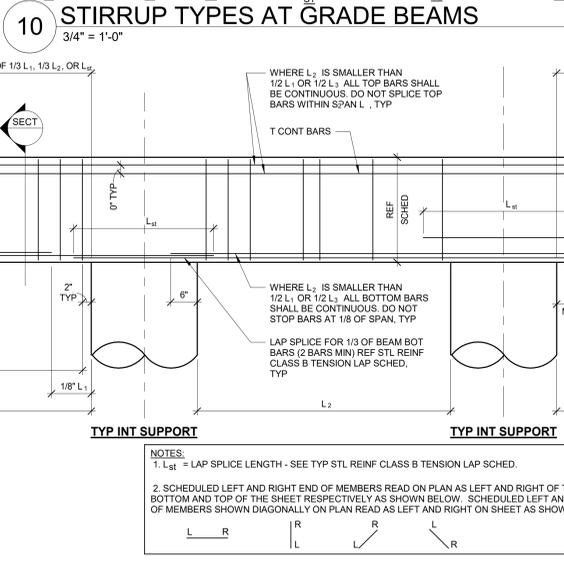
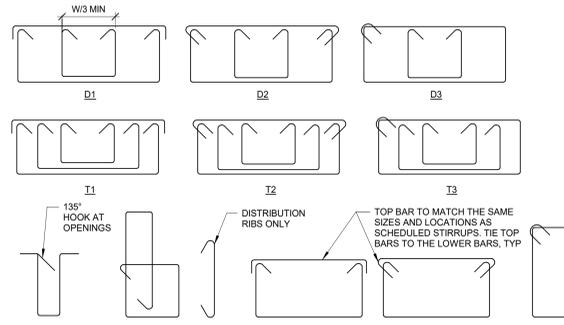
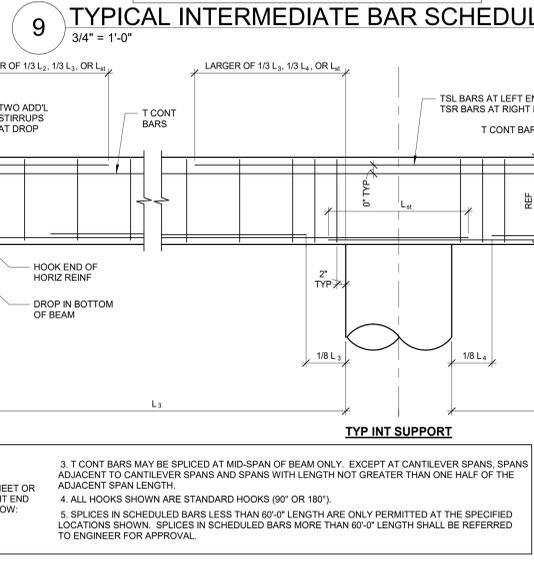
NOTES:
1. REF 7-S3.00 FOR ADDITIONAL INFORMATION.
2. FOR STIRRUP TYPE REF 10-S3.00.
3. REF TYPICAL STL REINF CLASS B TENSION LAP SPLICE SCHEDULE FOR ALL LAP REQUIREMENTS.



INTERMEDIATE BAR SCHEDULE

BEAM DEPTH	NUMBER OF BARS EA FACE	SIZE OF BAR
37" - 48"	5	#3
49" - 54"	5	#4
55" - 60"	5	#5
61" - 66"	6	#5
67" - 78"	7	#5
79" AND ABOVE	AT 8" OC	#5

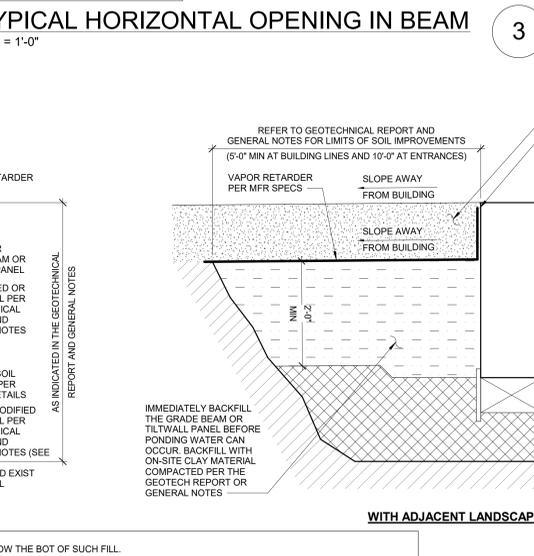
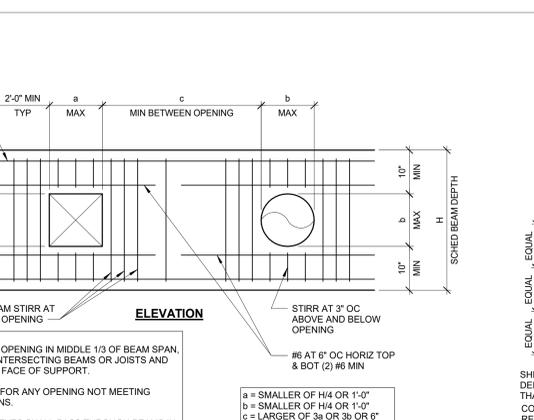
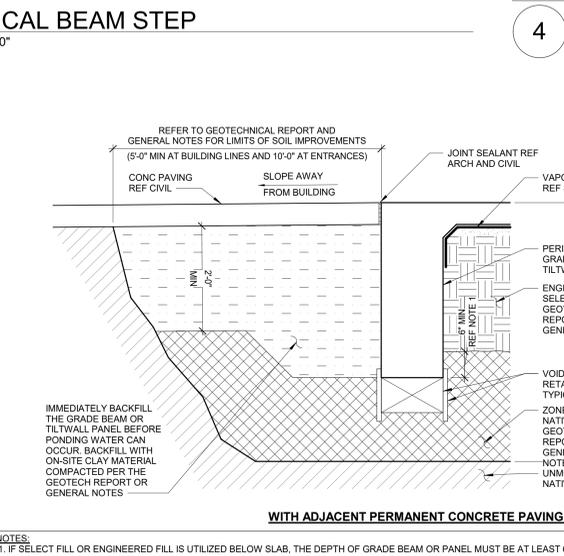
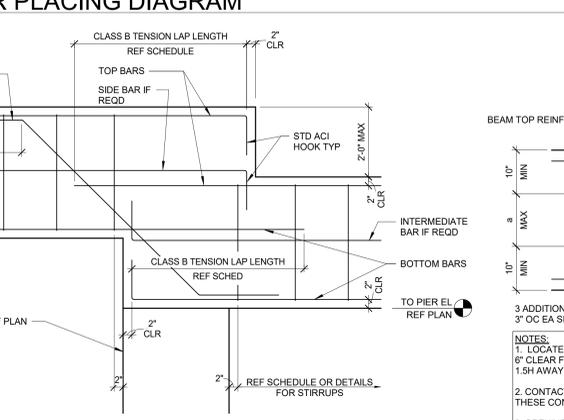
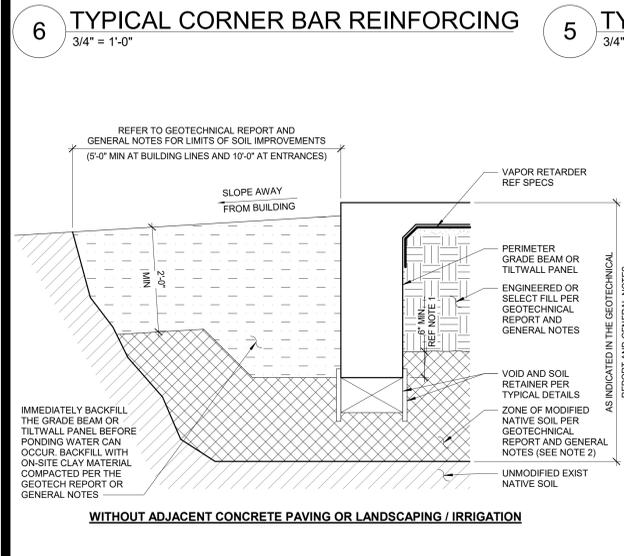
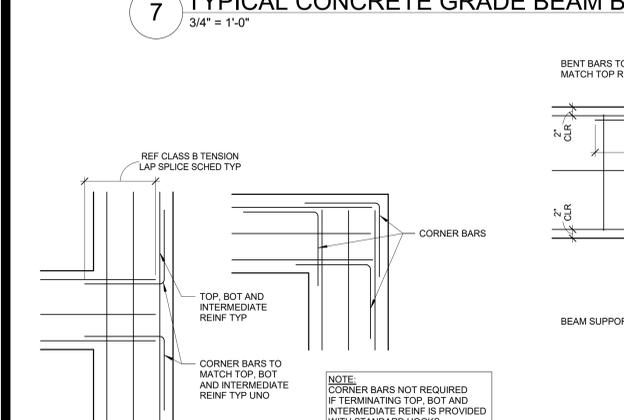
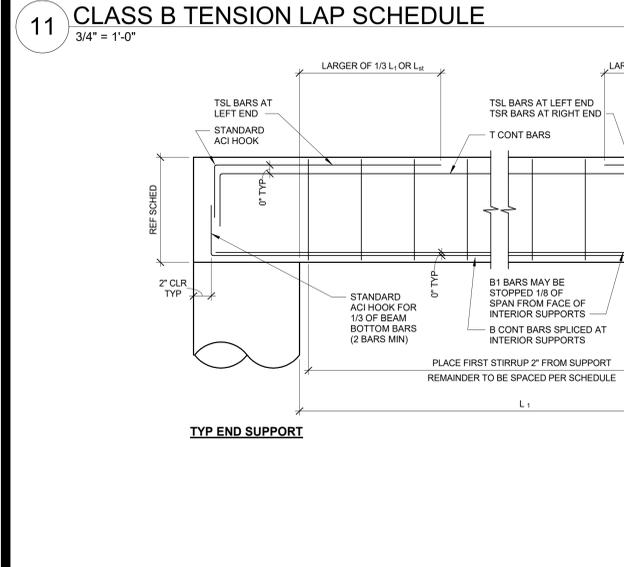
NOTES:
1. ALTERNATE LAP SPLICE INTERMEDIATE BARS BETWEEN SUPPORT AND MIDSPAN. PROVIDE STANDARD ACI HOOK AT DISCONTINUOUS ENDS.
2. FOR BEAMS WITH DEPTH OF 36" OR LESS DO NOT NEED INTERMEDIATE BARS UNLESS REQUIRED BY BEAM SCHEDULE.
3. WHERE 'EXTRA INTERMEDIATE BARS' ARE SCHEDULED, PROVIDE SCHEDULED BARS IN LIEU OF THOSE REQUIRED BY THIS DETAIL.



STEEL REINF CLASS B TENSION LAP SPLICE SCHEDULE L_{st}

CONC	3000 PSI CONC		4000 PSI CONC		5000 PSI CONC		6000 PSI CONC		7000 PSI CONC		8000 PSI CONC	
	TYP	OTHER										
#6 AND SMALLER BARS	74db	57db	64db	50db	58db	44db	53db	41db	49db	38db	46db	35db
#7 TO #11 BARS	93db	71db	81db	62db	72db	55db	66db	51db	61db	47db	57db	44db

NOTES:
1. THE CLASS B TENSION LAP SPLICE SCHEDULE SHOWN IS FOR NORMAL WEIGHT CONCRETE AND GRADE 60 NON EPOXY COATED REINFORCING.
2. TYPICAL IS FOR BEAM TOP AND INTERMEDIATE BARS, WALL TOP AND HORIZONTAL BARS AND SLAB/FOOTING TOP BARS FOR SLAB/FOOTING THICKNESS GREATER THAN 12".
3. FOR EPOXY COATED TYPICAL BARS, INCREASE SPLICE LENGTHS BY 31%. FOR EPOXY COATED OTHER BARS, INCREASE SPLICE LENGTHS BY 50%.
4. FOR LIGHTWEIGHT CONCRETE, INCREASE SPLICE LENGTHS BY 33%.
5. FOR GRADE 75 REBARS, INCREASE SPLICE LENGTHS BY 25%.
6. FOR #7 TO #11 SLAB OR WALL REINFORCING WITH CLEAR COVER LESS THAN 1 BAR DIAMETER, INCREASE SPLICE LENGTHS BY 50%.
7. SPLICE LENGTH FOR BARS OF DIFFERENT SIZE SHALL BE THE GREATER OF SPLICE LENGTH 1/3 OF THE LARGER BAR AND SPLICE LENGTH OF THE SMALLER BAR.
8. FOR CONCRETE STRENGTH IN BETWEEN THOSE SHOWN IN THE SCHEDULE, USE SPLICE LENGTHS OF LOWER CONCRETE STRENGTH.
9. THE SCHEDULED LAP SPLICE LENGTH WITH THE APPLICABLE MODIFICATION FACTORS SHALL NOT BE LESS THAN 12".



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 DATE/TIME: 11/13/2019 1:29:49 PM



Request for Information 118

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor: SteConCo

Date Created: 6/22/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #26 - Equipment Delays
Category: Change Proposal

Question:
Date Required: 6/29/2020

This proposal is the cost for additional days that equipment was on site as a result of delays from ASI #2. This is from the concrete subcontractor.

Answer:
Date Answered:

Change in Work - Cost Analysis Form

Project Name: Addison Airport
 Contractor: Steconco
 Description of Change: Delays to ASI's Equipment on Site

Project No.: 19-019
 Change No.: 2

Means Code	Page No.	DESCRIPTION	Quantity	Unit	Base Pay	Labor Burden	Benefits	Total Hourly Rate	Labor Total	Material Total	Equipment or Other	Subcontract
		Labor										
		Moving Wall CO										
		Labor 1	0	HRS	\$ 22.50	8.12	4.64	35.26		-	-	-
		Supervision	0	HRS	\$ 51.00	9.24	12.01	72.25	\$0.00	-	-	-
		Material										
		Concrete	0	Yrds	\$ 135.00					\$0.00	-	-
		Rebar	0	Ton	\$ 1,304.40					\$0.00	-	-
		2x4	0	Per	\$ 9.00					\$0.00	-	-
		2x6	0	Per	\$ 12.00					\$0.00	-	-
		Plywood	0	Per	\$ 28.00					\$0.00	-	-
		Ardex	0	Per	\$ 65.00					\$0.00	-	-
		Epoxy	0	Per	\$ 65.00					\$0.00	-	-
		Void Boxes	0	LF	\$ 3.10					\$0.00	-	-
		Retainers	0	LF	\$ 2.60					\$0.00	-	-
		Delivery	0	Per	\$ 130.00					\$0.00	-	-
		Equipment										
		Jumping Jack Compactor	0	Day	\$ 125.00						\$0.00	
		Quickie Saw	0	Day	\$ 85.00						\$0.00	
		E 50 Mini Excavator	1	Month	\$ 2,600.00						\$2,600.00	
		Track Loader	1	Month	\$ 2,600.00						\$2,600.00	
		Concrete Breaker	0	Day	\$ 180.00						\$0.00	
		Auger	0	Day	\$ 180.00						\$0.00	
		Delivery	0	Per	\$ 130.00						\$0.00	
		Subcontractor										
		Rod Buster	0	EA	\$ 400.00							\$0.00
		Formwork Rental	0	SF	\$ 1.25	Per Month	2.00					\$0.00
SUBTOTALS									\$0.00	\$0.00	\$5,200.00	\$0.00

	Labor, Equipment, & Material Total	<u>\$5,200.00</u>
	Subcontractor	<u>\$0.00</u>
	Overhead and Profit	<u>\$520.00</u>
	Taxes	<u>\$0.00</u>
TOTAL FOR THIS CHANGE	10% 0.00%	<u>\$5,720</u>

Material All material is rounded up
 All material has a \$130.00 Delivery Fee in DFW

Equipment Equipment is rented by the day. Anything over 3 days goes to 1 week. Anything over 2 weeks goes to 4 weeks.
 All equipment has a pick up and delivery charge of \$130.00. This includes small equipment.



Request for Information 118

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor: SteConCo

Date Created: 6/22/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #26 - Equipment Delays
Category: Change Proposal

Question:
Date Required: 6/29/2020

This proposal is the cost for additional days that equipment was on site as a result of delays from ASI #2. This is from the concrete subcontractor.

Answer:
Date Answered:

See attached notes and comments on the following pages for revisions. Per discussions with the GC on 7/7/2020 we agreed the mark-ups here are acceptable. Please revise and resubmit the proposal form with the corrections noted for record purposes and for inclusion with the next change order.

Change in Work - Cost Analysis Form

Project Name: Addison Airport
 Contractor: Steconco
 Description of Change: Delays to ASI's Equipment on Site

Project No.: 19-019
 Change No.: 2

Means Code	Page No.	DESCRIPTION	Quantity	Unit	Base Pay	Labor Burden	Benefits	Total Hourly Rate	Labor Total	Material Total	Equipment or Other	Subcontract
		Labor										
		Moving Wall CO										
		Labor 1	0	HRS	\$ 22.50	8.12	4.64	35.26		-	-	-
		Supervision	0	HRS	\$ 51.00	9.24	12.01	72.25	\$0.00	-	-	-
		Material										
		Concrete	0	Yrds	\$ 135.00					\$0.00	-	-
		Rebar	0	Ton	\$ 1,304.40					\$0.00	-	-
		2x4	0	Per	\$ 9.00					\$0.00	-	-
		2x6	0	Per	\$ 12.00					\$0.00	-	-
		Plywood	0	Per	\$ 28.00					\$0.00	-	-
		Ardex	0	Per	\$ 65.00					\$0.00	-	-
		Epoxy	0	Per	\$ 65.00					\$0.00	-	-
		Void Boxes	0	LF	\$ 3.10					\$0.00	-	-
		Retainers	0	LF	\$ 2.60					\$0.00	-	-
		Delivery	0	Per	\$ 130.00					\$0.00	-	-
		Equipment										
		Jumping Jack Compactor	0	Day	\$ 125.00						\$0.00	
		Quickie Saw	0	Day	\$ 85.00						\$0.00	
		E 50 Mini Excavator	1	Month	\$ 2,600.00						\$2,600.00	
		Track Loader	1	Month	\$ 2,600.00						\$2,600.00	
		Concrete Breaker	0	Day	\$ 180.00						\$0.00	
		Auger	0	Day	\$ 180.00						\$0.00	
		Delivery	0	Per	\$ 130.00						\$0.00	
		Subcontractor										
		Rod Buster	0	EA	\$ 400.00							\$0.00
		Formwork Rental	0	SF	\$ 1.25	Per Month	2.00					\$0.00
SUBTOTALS									\$0.00	\$0.00	\$5,200.00	\$0.00

	Labor, Equipment, & Material Total	<u>\$5,200.00</u>
	Subcontractor	<u>\$0.00</u>
	Overhead and Profit	<u>\$520.00</u>
	Taxes	<u>\$0.00</u>
TOTAL FOR THIS CHANGE	10% 0.00%	<u>\$5,720</u>

Material All material is rounded up
 All material has a \$130.00 Delivery Fee in DFW

Equipment Equipment is rented by the day. Anything over 3 days goes to 1 week. Anything over 2 weeks goes to 4 weeks.
 All equipment has a pick up and delivery charge of \$130.00. This includes small equipment.

RFI Response

RFI ID	118		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	7/7/2020	Transmittal ID	00796
Subject	Proposal #26 - Equipment Delays		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: This proposal is the cost for additional days that equipment was on site as a result of delays from ASI #2. This is from the concrete subcontractor.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

See attached for notes, comments, and corrections. All mark-ups were reviewed with the GC prior to returning this mark-up. GC to revise and submit a corrected copy of the proposal back to us for use and inclusion with the next change order.

Contents

Copies	Date	Number	Description
1	6/22/2020		RFI 118 - Proposal #26 - Equipment Delays.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Will Butler



Request for Information 139

Project Title:
Addison Airport Customs and Border Protection Facility

Submitted by Subcontractor:
SteConCo

Date Created: 7/14/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #26a - Equipment Delays	Category: Proposal
---	------------------------------

Question: **Date Required:** 7/21/2020

Per the architect's comments in RFI #118 regarding proposal #26, we have revised proposal #26 to include 10 additional days instead of the 30 additional days that was originally proposed. The attached proposal, "Proposal #26a - Equipment Delays", reflects this revision.

Answer: **Date Answered:**

Page Response:

Upon review with other rental vendors the values submitted here are reasonable for the equipment rental duration extensions that were required due to the timing and content of revisions issues out in ASI# 002. This ASI modified elements of the building foundation and ultimately required the rental extensions claimed here to complete the work. Since the changes were provided to the GC during construction they could not have anticipated this rental extension until they were presented with the revised ASI documents and started to make the changes. The contract extension days requested will be evaluated and combined with others from additional proposals to get a fair total on the upcoming Change Order 03.

Change in Work - Cost Analysis Form

Project Name: Addison Airport
 Contractor: Steconco
 Description of Change: Delays to ASI's Equipment on Site

Project No.: 19-019
 Change No.: 2

Means Code	Page No.	DESCRIPTION	Quantity	Unit	Base Pay	Labor Burden	Benefits	Total Hourly Rate	Labor Total	Material Total	Equipment or Other	Subcontract
		Labor										
		Moving Wall CO										
		Labor 1	0	HRS	\$ 22.50	8.12	4.64	35.26		-	-	-
		Supervision	0	HRS	\$ 51.00	9.24	12.01	72.25	\$0.00	-	-	-
		Material										
		Concrete	0	Yrds	\$ 135.00					\$0.00	-	-
		Rebar	0	Ton	\$ 1,304.40					\$0.00	-	-
		2x4	0	Per	\$ 9.00					\$0.00	-	-
		2x6	0	Per	\$ 12.00					\$0.00	-	-
		Plywood	0	Per	\$ 28.00					\$0.00	-	-
		Ardex	0	Per	\$ 65.00					\$0.00	-	-
		Epoxy	0	Per	\$ 65.00					\$0.00	-	-
		Void Boxes	0	LF	\$ 3.10					\$0.00	-	-
		Retainers	0	LF	\$ 2.60					\$0.00	-	-
		Delivery	0	Per	\$ 130.00					\$0.00	-	-
		Equipment										
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		Quickie Saw	0	Day	\$ 85.00						\$0.00	
		E 50 Mini Excavator	1	Month	\$ 2,600.00						\$2,600.00	
		Track Loader	1	Month	\$ 2,600.00						\$2,600.00	
		Concrete Breaker	0	Day	\$ 180.00						\$0.00	
		Auger	0	Day	\$ 180.00						\$0.00	
		Delivery	0	Per	\$ 130.00						\$0.00	
		Subcontractor										
		Rod Buster	0	EA	\$ 400.00							\$0.00
		Formwork Rental	0	SF	\$ 1.25	Per Month	2.00					\$0.00
SUBTOTALS									\$0.00	\$0.00	\$5,200.00	\$0.00

	Labor, Equipment, & Material Total	<u>\$5,200.00</u>
	Subcontractor	<u>\$0.00</u>
	Overhead and Profit	<u>\$520.00</u>
	Taxes	<u>\$0.00</u>
TOTAL FOR THIS CHANGE	10% 0.00%	<u>\$5,720</u>

Material All material is rounded up
 All material has a \$130.00 Delivery Fee in DFW

Equipment Equipment is rented by the day. Anything over 3 days goes to 1 week. Anything over 2 weeks goes to 4 weeks.
 All equipment has a pick up and delivery charge of \$130.00. This includes small equipment.

RFI Response

RFI ID	139		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	9/4/2020	Transmittal ID	00935
Subject	Proposal #26a - Equipment delays		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: Per the architect's comments in RFI #118 regarding proposal #26, we have revised proposal #26 to include 10 additional days instead of the 30 additional days that was originally proposed. The attached proposal, "Proposal #26a - Equipment Delays", reflects this revision.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

See attached for the response - The value will be included in the next change order.

Contents

Copies	Date	Number	Description
1	7/14/2020		RFI 139 - Proposal #26a - Equipment Delays.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Shannon Hicks
Will Butler

September 21,2020

Town of Addison Council
Addison Service Center
16801 Westgrove Drive
Addison, TX 75001

Re: Narrative for Proposal #28 – Scuppers and Downspouts & CCD-001
Project No: 417151

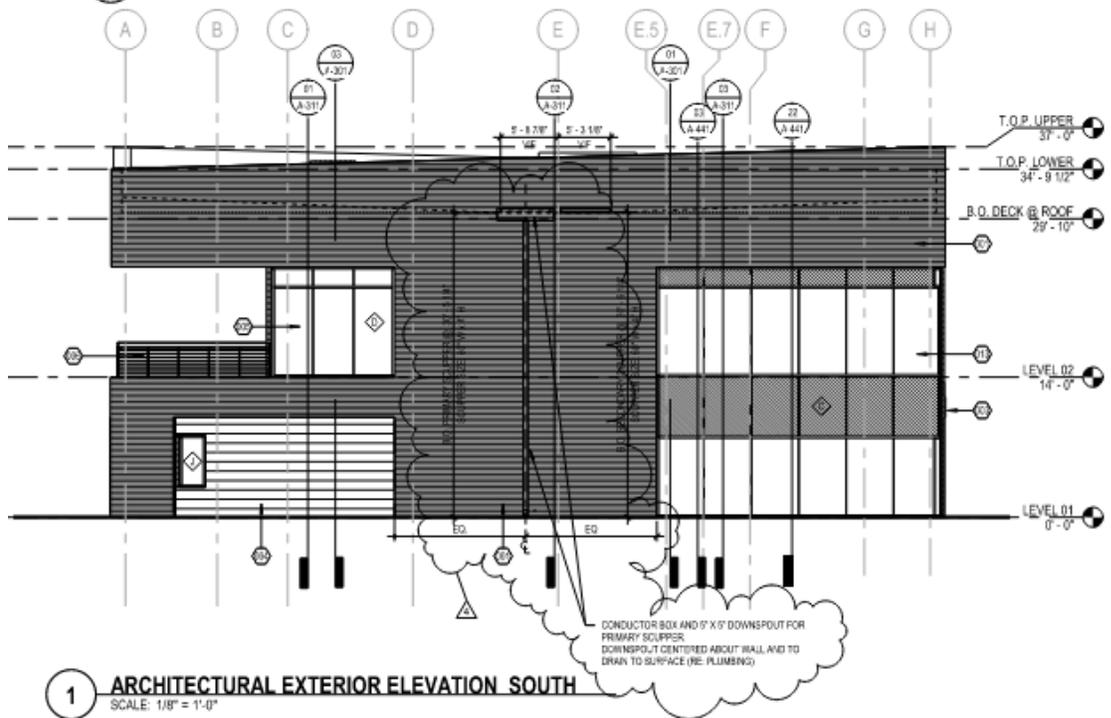
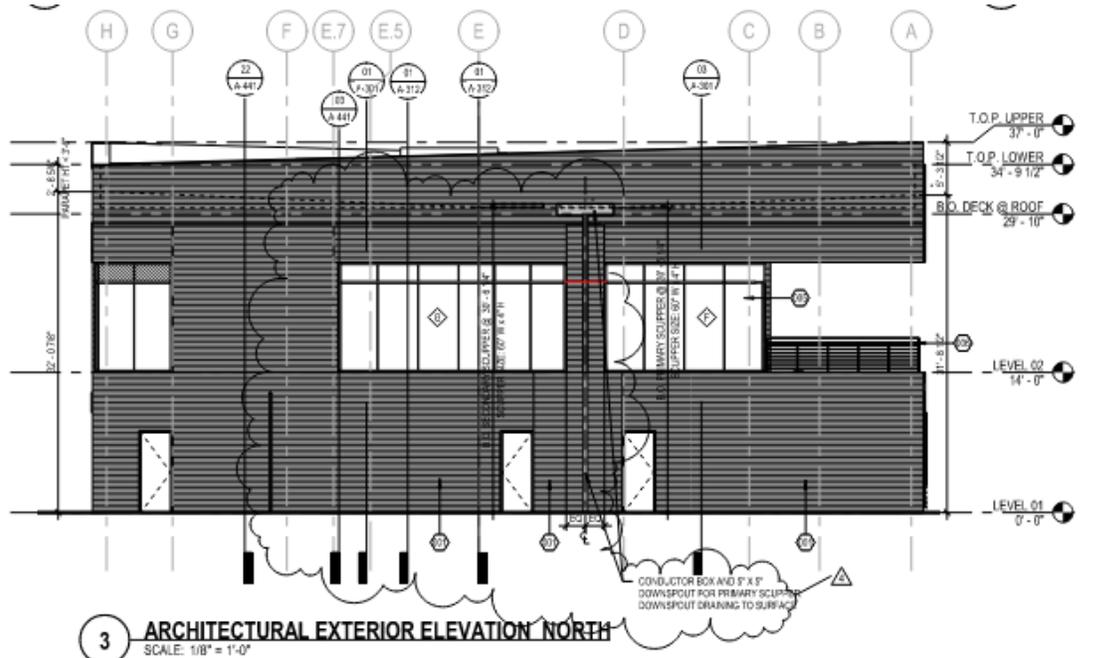
To Whom it May Concern,

Proposal #28 was the result of comments from the Town of Addison Building Department during the final permit plan review process that began on October 24th, 2019. This package was resubmitted for a final review after the ASI 01 changes (issued on October 10th, 2019) had been updated throughout the documents. During the final round of review by the Town Building Department the reviewer asked a few specific questions about the calculations that were used to size the scuppers and downspouts that we had running down the north and south sides of the building to drain the roof. We worked with our engineers (Graver) to provide the calculations and other information that was requested. Based on feedback from the Town related to these calculations and what we had in the documents at the time, we changed the way we had these elements designed and added an overflow outlet adjacent to the original as a back-up. Unfortunately, the contractor had been proceeding with construction based on previously issued documents and partially constructed these scupper and downspout elements along with the openings in the parapet wall at the roof. When the review was completed and the comments were incorporated into the documents and issued out in the IFC package on April 6th, 2020 to the GC, there was re-work required to make what was built match the new requirements.

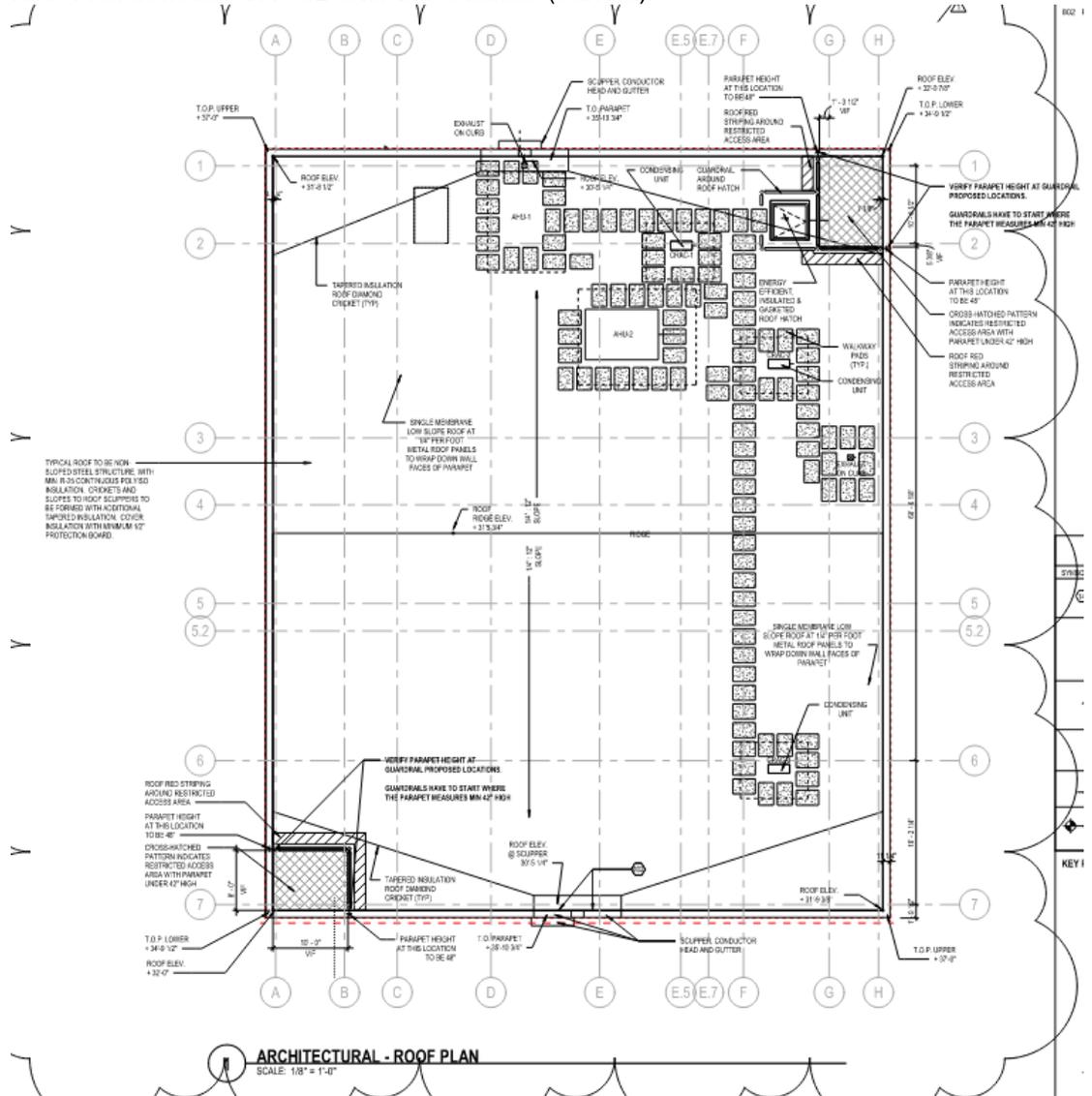
The changes were specifically related to making the scupper openings in the parapet wall larger than we had initially provided and to add a secondary emergency overflow opening. We also shifted the recessed and hidden downspout for the primary drain to be exposed on the exterior of the building so any leaks or issues with them can be easily identified and repaired should they arise in the future.

Refer to the following pages for clipped images of the contract drawings showing the difference between what was constructed and the required revisions.

Exterior Elevations from sheet A-201 after the revisions (Current):



Roof Plan from sheet A-102 after the revisions (Current):



The changes the GC is asking for are reasonable based on where they were when the revisions were provided to them. If this work is not completed quickly, it will cost more to complete later since certain pieces of equipment are required to do this work and that equipment is only on-site until other ongoing work is completed. If the proposal is not approved prior to that equipment leaving the site, additional costs will be incurred to bring it back to the site to complete this work.

The costs and time extensions associated with this proposal were negotiated with the GC based on industry standards and best practices and the value/days included for this proposal is reasonable and customary based on the work that was required.

Page/

Proposal #24-24a Cost Increase: **\$3,478.06**
Proposal #24-24a Contract Days Extension: **12 Days**

Sincerely,

Will Butler
Senior Associate

DRAFT

AIA® Document G714™ - 2017

Construction Change Directive

PROJECT: (name and address)
417151 - Town of Addison Airport
Customs and Border Patrol Facility
4545 Jimmy Doolittle Drive
Addison, TX 75001

CONTRACT INFORMATION:
Contract For: General Construction
Date: September 30, 2019

CCD INFORMATION:
Directive Number: 001
Date: September 22, 2020

OWNER: (name and address)
Town of Addison
16051 Addison Road
Addison, TX 75001

ARCHITECT: (name and address)
Page Southerland Page, Inc.
1100 Louisiana Street, Suite One
Houston, TX 77002

CONTRACTOR: (name and address)
JC Commercial, Inc.
1801 Lakepointe Drive, Suite 129
Lewisville, TX 75057

The Contractor is hereby directed to make the following change(s) in this Contract:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits.)

The Owner (Town of Addison) is directing the General Contractor (JC Commercial) to proceed with the construction and any modifications required to existing elements related to the following items contained in the attached proposal based on various RFI responses and ASI/PR issuances - See attached narrative for more background related to these changes.

Proposal #28 - Scuppers and Downspout (\$3,478.06)

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum increase of \$3,478.06
 - Unit Price of \$ per
 - Cost, as defined below, plus the following fee:
(Insert a definition of, or method for determining, cost)
 - As follows: Value increase submitted and approved and any time extensions will be included in the next Change Order (CO #03) and submitted for approval to the Town of Addison Council at the next available Council Meeting.
- The Contract Time is proposed to extend. The proposed adjustment, if any, is 12 days.

NOTE: The Owner, Architect and Contractor should execute a Change Order to supersede this Construction Change Directive to the extent they agree upon adjustments to the Contract Sum, Contract Time, or Guaranteed Maximum price for the change(s) described herein.

When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

Contractor signature indicates agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this CCD.

Page Southerland Page, Inc.
ARCHITECT (Firm name)

Town of Addison Airport
OWNER (Firm name)

JC Commercial, Inc.
CONTRACTOR (Firm name)

SIGNATURE

Will Butler | Senior Associate
PRINTED NAME AND TITLE

DATE

SIGNATURE

Shannon Hicks | Director of Public
Works and Engineering Services
PRINTED NAME AND TITLE

DATE

SIGNATURE

Scott Arthur | Vice President
PRINTED NAME AND TITLE

DATE



Request for Information 122

Project Title:
Addison Airport Customs and Border Protection Facility

Submitted by Subcontractor:
Narke Roofing/Jefferson Con.

Date Created: 7/6/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject:	Category:
Proposal #28 - Scuppers and Downspouts	Change Proposal

Question: **Date Required:** 7/13/2020

Please see attached change proposal for review. This proposal is for additional work associated with the new set of plans that was issued on 4/13/20.

Answer: **Date Answered:**

Page Response:

The values and contract extension requested in this proposal are reasonable and acceptable given the extent of the changes and the current state of the construction. Changes here were driven by revisions issued in response to the last series of review comments from the Town building department where the scuppers and downspout orientation/size were modified. Modifications were issued at the same time that the framing and some roof work was underway and almost completed in these areas and now this work must be changed up to comply with the required revisions. Due to the rework and coordination required, both the value and duration extension seem reasonable.



Narke Roofing and Sheet Metal
 2201-D Raper Blvd.
 Pantego, TX 76013
 (P) 214-642-7739 (F) 817-394-1614



www.narkeroofing.com

Customer: JC Commercial Construction
 Attn: Scott
 Addison CBPF



Date: 8-Jun-2020
Invoice #
Addenda's':
Project: Change Order #2

Item	Proposed Scope of Work	Amount
Larger scuppers Change Order		
1	Tear out existing Scuppers (2)	
2	Furnish, fabricate and install 2 new thru wall scuppers (8" x 60":)	
3	Furnish, Fabricate and Install 2 new overflow scuppers	
4	Detail scuppers to meet warranty requirements	
5	Furnish, fabricate and Install 2 new (5" x 5" downspouts)	
Breakdown		
1	Metal Material	\$ 618.00
2	TPO Material	\$ 400.00
6	Break and Install Metal (Additional: Credit for previous included metal included)	\$ 450.00
7	Labor Roofers for details	\$ 500.00
4	Subtotal	\$ 1,968.00
5	Overhead/Profit	\$ 196.80
6	Total	\$ 2,164.80
Note:	All Framing is excluded from this proposal	
Accepted By:		Subtotal \$ 2,164.80
Date:		Tax Exempt
Accepted By: John J. Narke		Total \$ 2,164.80
Date: 6/22/2020		



CHANGE ORDER PROPOSAL WORKSHEET

PROJECT: Addison Airport- C&B

CHANGE ORDER DESCRIPTION: #03- Scupper adjustments.

Reframe scuppers and adjust dimensions.

Material					
Item No.	Quantity	Description	Unit Cost	Units	Total
1			\$210.00		\$0.00
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00
8					\$0.00
9					\$0.00
10					\$0.00
Material Subtotal:					\$0.00

Labor					
Item No.	Quantity	Description	Unit Cost	Units	Total
1	16	Mechanic: 1 man 2 days	\$35.00	Hrs	\$560.00
2				Hrs	\$0.00
3				Hrs	\$0.00
4				Hrs	\$0.00
5				Hrs	\$0.00
Labor Subtotal:					\$560.00

Lower TieredSubcontractors (include quote in backup)					
Item No.	Quantity	Description	Unit Cost	Units	Total
1				LS	\$0.00
2				LS	\$0.00
3				LS	\$0.00
4				LS	\$0.00
5				LS	\$0.00
Lower Tiered Subcontractor Subtotal:					\$0.00

SUBTOTAL:	\$560.00
OH%P (08%):	\$44.80
	\$0.00

TOTAL: \$604.80

JC Commercial Inc.

Jefferson Construction Services

Signature Date

Signature Date

Printed Name & Title

Printed Name & Title

RFI Response

RFI ID	122		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	7/7/2020	Transmittal ID	00797
Subject	Proposal #28 - Scuppers and Downspouts		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: Please see attached change proposal for review. This proposal is for additional work associated with the new set of plans that was issued on 4/13/20.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

See attached for notes and comments - Proposal value and contract extension are reasonable given the work required.

Contents

Copies	Date	Number	Description
1	7/6/2020		RFI #122 - Proposal #28 - Scuppers and Downspouts.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Will Butler

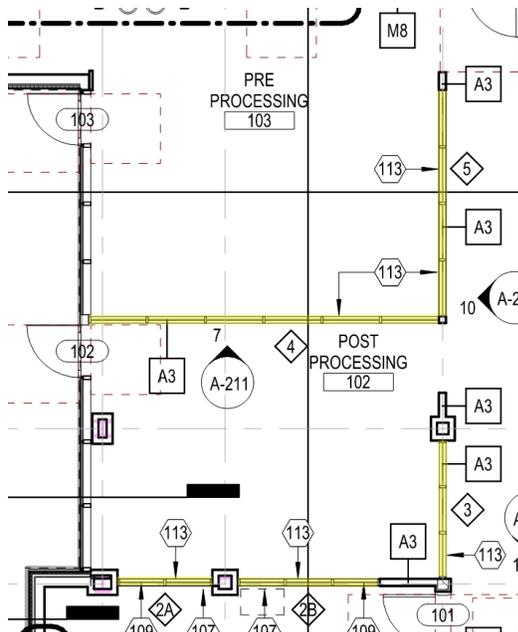
September 22,2020

Town of Addison Council
Addison Service Center
16801 Westgrove Drive
Addison, TX 75001

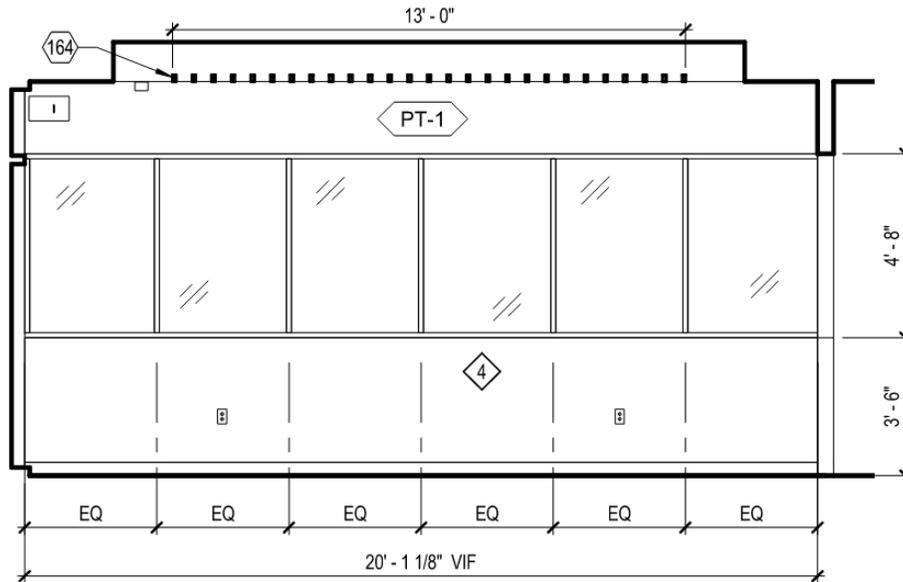
Re: Narrative for Proposal #31 – Raco Wall Supports & CCD-002
Project No: 417151

To Whom it May Concern,

Proposal #31 was the result of on-site coordination and discussion between the drywall subcontractor, JC Commercial’s Superintendent and the Architect. During a site visit the drywall subcontractor directed the Architects attention to the framing he had completed for the walls shown below in an extract from the floor plans shown on sheet A-101:



These walls have glass and aluminum framing that takes up the top half of the wall which does not allow the stud framing to run continuously from floor to deck above which compromises is integrity. See interior elevation shown below from sheet A-211 for quick reference:



The wall support elements were installed below the windows inside the 3'-6" tall section of drywall framing to brace the wall from overturning/folding if a lateral force is applied to it in the middle of the wall.

The costs associated with this revised proposal were negotiated with the GC based on industry standards and best practices and the value included for this proposal is reasonable and customary based on the work that was required. We do not agree with the number of days requested for the contract extension related to this change. We are including zero extra days in the change order unless the GC can demonstrate that this work is somehow on the critical path and is holding up all other construction enough to justify additional days.

Proposal #31 Cost Increase: **\$1,078.23**
Proposal #31 Contract Days Extension: **0 Days**

Sincerely,

Will Butler
Senior Associate

DRAFT

AIA® Document G714™ - 2017

Construction Change Directive

PROJECT: *(name and address)*
417151 - Town of Addison Airport
Customs and Border Patrol Facility
4545 Jimmy Doolittle Drive
Addison, TX 75001

CONTRACT INFORMATION:
Contract For: General Construction
Date: September 30, 2019

CCD INFORMATION:
Directive Number: 002
Date: September 22, 2020

OWNER: *(name and address)*
Town of Addison
16051 Addison Road
Addison, TX 75001

ARCHITECT: *(name and address)*
Page Southerland Page, Inc.
1100 Louisiana Street, Suite One
Houston, TX 77002

CONTRACTOR: *(name and address)*
JC Commercial, Inc.
1801 Lakepointe Drive, Suite 129
Lewisville, TX 75057

The Contractor is hereby directed to make the following change(s) in this Contract:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits.)

The Owner (Town of Addison) is directing the General Contractor (JC Commercial) to proceed with the construction and any modifications required to existing elements related to the following items contained in the attached proposal based on various RFI responses and ASI/PR issuances - See attached narrative for more background related to these changes.

Proposal #31 - Raco Wall Support (\$1,078.23)

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum increase of \$1,078.23
 - Unit Price of \$ per
 - Cost, as defined below, plus the following fee:
(Insert a definition of, or method for determining, cost)
 - As follows: Value increase submitted and approved and any time extensions will be included in the next Change Order (CO #03) and submitted for approval to the Town of Addison Council at the next available Council Meeting.
- The Contract Time is proposed to remain as-is. The proposed adjustment, if any, is N/A.

NOTE: The Owner, Architect and Contractor should execute a Change Order to supersede this Construction Change Directive to the extent they agree upon adjustments to the Contract Sum, Contract Time, or Guaranteed Maximum price for the change(s) described herein.

When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

Contractor signature indicates agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this CCD.

Page Southerland Page, Inc.
ARCHITECT *(Firm name)*

Town of Addison Airport
OWNER *(Firm name)*

JC Commercial, Inc.
CONTRACTOR *(Firm name)*

SIGNATURE

Will Butler | Senior Associate
PRINTED NAME AND TITLE

DATE

SIGNATURE

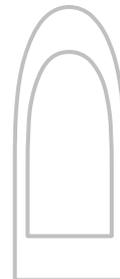
Shannon Hicks | Director of Public
Works and Engineering Services
PRINTED NAME AND TITLE

DATE

SIGNATURE

Scott Arthur | Vice President
PRINTED NAME AND TITLE

DATE





Request for Information 137

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor: Jefferson Construction

Date Created: 7/13/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #31 - Raco Wall Support
Category: Architectural

Question: **Date Required:** 7/20/2020

This change proposal is to provide the additional work associated with the additional wall support requested in RFI 114.

Answer: **Date Answered:**

Page Response:

The values contained in this change order are reasonable based on the required number of in-wall bracing/support posts and the amount of work required to install them. We agree that these in-wall supports are required due to the height of the drywall and stud framed portion of the wall and the size of the glass and aluminum framed windows in these partitions.

We do not agree with the requested 5 day extension unless information can be provided indicating that the addition and installation of these supports impacted the GC's critical path schedule.



CHANGE ORDER PROPOSAL WORKSHEET

PROJECT: Addison Airport- C&B

CHANGE ORDER DESCRIPTION: #04- Raco Wall Support

Added wall support for Raco Frames.

Material					
Item No.	Quantity	Description	Unit Cost	Units	Total
1	1	Posts (8),Drill Bits, Fastners	\$235.00		\$235.00
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00
8					\$0.00
9					\$0.00
10					\$0.00
Material Subtotal:					\$235.00

Labor					
Item No.	Quantity	Description	Unit Cost	Units	Total
1	16	Mechanic: 2 men 1 day	\$35.00	Hrs	\$560.00
2				Hrs	\$0.00
3				Hrs	\$0.00
4				Hrs	\$0.00
5				Hrs	\$0.00
Labor Subtotal:					\$560.00

Lower TieredSubcontractors (include quote in backup)					
Item No.	Quantity	Description	Unit Cost	Units	Total
1				LS	\$0.00
2				LS	\$0.00
3				LS	\$0.00
4				LS	\$0.00
5				LS	\$0.00
Lower Tiered Subcontractor Subtotal:					\$0.00

SUBTOTAL:	\$795.00
OH%P (08%):	\$63.60
	\$0.00
TOTAL:	\$858.60

JC Commercial Inc.

Jefferson Construction Services

Signature Date

Signature Date

Printed Name & Title

Printed Name & Title

RFI Response

RFI ID	137		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	7/29/2020	Transmittal ID	00858
Subject	Proposal #31 - Raco Wall Support		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: This change proposal is to provide the additional work associated with the additional wall support requested in RFI 114.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

See attached for response - Value submitted is acceptable and will be recommended for payment in the next change order. The requested 5 day contract extension is not accepted unless critical path impact explanation can be provided.

Contents

Copies	Date	Number	Description
1	7/13/2020		RFI 137 - Proposal #31 - Raco Wall Support.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Will Butler

September 22,2020

Town of Addison Council
Addison Service Center
16801 Westgrove Drive
Addison, TX 75001

Re: Narrative for Proposal #34 – Black Hinges & CCD-003
Project No: 417151

To Whom it May Concern,

Proposal #34 resulted when the Architect was reviewing the Door Hardware submittal in conjunction with the Curtainwall and Interior Glazing packages for coordination purposes and noticed a discrepancy.

During earlier reviews of the Curtainwall and Interior Glazing submittals the final aluminum frame finish colors for these systems were formally reviewed and confirmed to be Black.

When the door hardware submittal was reviewed (5/11/2020) and compared to the Curtainwall and Interior Glazing systems aluminum frame finishes, we realized that the originally specified and submitted door hardware sets for these doors called for a satin stainless-steel brushed finish that clashes when applied to the black finish of the aluminum framing systems and doors.

Because we noted this discrepancy during the submittal review process, we asked for a proposal from the GC to provide all door hardware located in the Curtainwall and Interior Glazing systems in black to match the finish on these frames/doors. This proposal was significantly higher than we were expecting and was rejected due to cost and the fact that some hardware elements on the doors in question was not available in black. Since we could not get every hardware element in black and due to the cost, we asked for a revised proposal that just included the hinges in black since they will stand out the most.

The hinges for most exterior doors are a continuous geared style hinge and run the full height of each opening on the hinge side of the door. When these hinges are installed on black frames, a silver stripe would have been visible on the exterior hinge side at each of these doors. We had similar concerns inside the building relative to the black finish of the interior glazing aluminum frames and made the same shift. All other hardware elements were left the originally specified finish for continuity and because they are less likely to stand out so much from the black frames due to location or size. All door handles were left the original finish to make them easily visible when in operation and so that they all matched throughout. This change was made to minimize the added cost and quantity of revised hardware and still change the individual element that our designers were most concerned about from an aesthetic standpoint.

Credits were provided for the originally specified hinges along with a list of the doors affected so that we could review and confirm we had the correct quantities and locations.

The costs associated with this revised proposal were negotiated with the GC based on industry standards and best practices and the value included for this proposal is reasonable and customary based on the revisions that were required. We do not agree with the number of days requested for the contract extension related to this change. We are including zero extra days in the change order unless the GC can demonstrate that these door hardware set changes are on the critical path and are holding up all other construction enough to justify additional days.

Proposal #25-25a Cost Increase: **\$2,677.03**
Proposal #25-25a Contract Days Extension: **0 Days**

Sincerely,

Will Butler
Senior Associate

DRAFT

AIA® Document G714™ - 2017

Construction Change Directive

PROJECT: *(name and address)*
417151 - Town of Addison Airport
Customs and Border Patrol Facility
4545 Jimmy Doolittle Drive
Addison, TX 75001

CONTRACT INFORMATION:
Contract For: General Construction
Date: September 30, 2019

CCD INFORMATION:
Directive Number: 003
Date: September 22, 2020

OWNER: *(name and address)*
Town of Addison
16051 Addison Road
Addison, TX 75001

ARCHITECT: *(name and address)*
Page Southerland Page, Inc.
1100 Louisiana Street, Suite One
Houston, TX 77002

CONTRACTOR: *(name and address)*
JC Commercial, Inc.
1801 Lakepointe Drive, Suite 129
Lewisville, TX 75057

The Contractor is hereby directed to make the following change(s) in this Contract:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits.)

The Owner (Town of Addison) is directing the General Contractor (JC Commercial) to proceed with the construction and any modifications required to existing elements related to the following items contained in the attached proposal based on various RFI responses and ASI/PR issuances - See attached narrative for more background related to these changes.

Proposal #34 - Black Hinges (\$2,677.03)

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum increase of \$2,677.03
 - Unit Price of \$ per
 - Cost, as defined below, plus the following fee:
(Insert a definition of, or method for determining, cost)
 - As follows: Value increase submitted and approved and any time extensions will be included in the next Change Order (CO #03) and submitted for approval to the Town of Addison Council at the next available Council Meeting.
- The Contract Time is proposed to remain as-is. The proposed adjustment, if any, is N/A.

NOTE: The Owner, Architect and Contractor should execute a Change Order to supersede this Construction Change Directive to the extent they agree upon adjustments to the Contract Sum, Contract Time, or Guaranteed Maximum price for the change(s) described herein.

When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

Contractor signature indicates agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this CCD.

Page Southerland Page, Inc.
ARCHITECT *(Firm name)*

Town of Addison Airport
OWNER *(Firm name)*

JC Commercial, Inc.
CONTRACTOR *(Firm name)*

SIGNATURE

Will Butler | Senior Associate
PRINTED NAME AND TITLE

DATE

SIGNATURE

Shannon Hicks | Director of Public
Works and Engineering Services
PRINTED NAME AND TITLE

DATE

SIGNATURE

Scott Arthur | Vice President
PRINTED NAME AND TITLE

DATE





Request for Information 147

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor:

Date Created: 8/12/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #34 - Black Hinges
Category: Proposal

Question:
Date Required: 8/19/2020

This proposal is to change the hinge finish color to black on doors 100A, 100B, 102, 103, 118, 200A, 200B, 203A, 203B, 203C, 203D, 208A, 208B, 212, 213, 214, 215, and 216 per the architect's request in RFI 141.

Answer:
Date Answered:

Page Response:
Upon review with the Owner this value is acceptable and will be included with the next change order to provide the hinges on the noted doors in a black finish to match the surrounding black aluminum frame finishes rather than the originally specified silver finished hinges. Extended days requested will be worked out in the actual change order along with days for other proposals.

TEX-OMA BUILDERS SUPPLY COMPANY

3365 Juanita Drive Building 1
Denison, Tx. 75020
Ph (903) 462-0208 Fax (903) 337-1611

To: JC Commercial

Date: 7/30/20

From: H. Ray Henson

Project: 20077 Customs & Border Protection- Addison

CHANGE ORDER PROPOSAL # 7 (Revised)

We respectfully submit our proposal to provide the following materials which were omitted/alterd from the specifications:

Proposal to: Provide black hinges per request

\$1,575.00

See below for break out of material.

Total: \$1,575.00

***** Change orders will not be processed without written authorization from the general contractor. *****

All materials FOB point of shipment with full freight allowed to jobsite.

This quotation is based upon our company acting as a material supplier, not a subcontractor, and thus is not subject to retainage. This quotation does not include any sales, use or excise tax unless specifically noted. If same is assessed against us, the amount shall be added to the contract agreement.

Terms: Net 30 days; No discount allowed. The full amount due hereunder on demand at the office of Tex-Oma Builders Supply Co., Wichita Falls, Texas.

Your purchase order or signed acceptance of this proposal is necessary before any material can be ordered or shipped.

Accepted:

Respectfully Submitted:

By: _____

Tex-Oma Builders Supply Co.

Date: _____

By: *H. Ray Henson*
H. Ray Henson

**Project: 20077 - Customs & Border Protection Facility
 Contemplated Change Order # 7
 ADD: Change RACO Door hardware to black finish.**

-1	Single Door #200A		Lobby/Waiting 200 to Open Work Area 208				90 LHR
1	Single Door #200A		Lobby/Waiting 200 to Open Work Area 208				90 LHR
-1	Continuous Hinge	112XY 119"	Custom Cut EPT	RH	US28	IV	
1	Continuous Hinge	112XY 119"	Custom Cut EPT	RH	711	IV	
-1	Single Door #200B		Hallway B from Hallway A				90 LHR
1	Single Door #200B		Hallway B from Hallway A				90 LHR
-1	Continuous Hinge	112XY 119"	Custom Cut EPT	RH	US28	IV	
1	Continuous Hinge	112XY 119"	Custom Cut EPT	RH	711	IV	
-1	Single Door #203A		Lobby/Waiting 200 from Multi-Use Conference Room 203				90 LHR
1	Single Door #203A		Lobby/Waiting 200 from Multi-Use Conference Room 203				90 LHR
-1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL LHR						
1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL LHR (CH; ER)						
-1	Continuous Hinge	112XY 119"	Custom Cut TEKWD	RH	US28	IV	
1	Continuous Hinge	112XY 119"	TEKWD		711	IV	
-1	Single Door #203B		Lobby/Waiting 200 from Multi-Use Conference Room 203				90 RHR
1	Single Door #203B		Lobby/Waiting 200 from Multi-Use Conference Room 203				90 RHR
-1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL RHR						
1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL RHR (CH)						
-1	Continuous Hinge	112XY 119"	Custom Cut TEKWD	LH	US28	IV	
1	Continuous Hinge	112XY 119"	TEKWD		711	IV	
-1	Single Door #212		Hallway A from Janitor 212				90 RHR
1	Single Door #212		Hallway A from Janitor 212				90 RHR
-1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL RHR						
1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL RHR (CH; ML)						
-1	Continuous Hinge	112XY 119"	Custom Cut TEKWD	LH	US28	IV	
1	Continuous Hinge	112XY 119"	Custom Cut TEKWD	LH	711	IV	

**Project: 20077 - Customs & Border Protection Facility
 Contemplated Change Order # 7
 ADD: Change RACO Door hardware to black finish.**

-1	Single Door #213	Hallway B from Server 213		90 RHR
1	Single Door #213	Hallway B from Server 213		90 RHR
-1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL RHR			
1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL RHR (HN)			
-4	Hinges	5BB1 4 1/2 x 4 1/2 NRP	652	IV
4	Hinges	5BB1 4 1/2 x 4 1/2 NRP	600	IV
-1	Single Door #214	Hallway A to Men 214		90 RH
1	Single Door #214	Hallway A to Men 214		90 RH
-1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL RH			
1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL RH (HN)			
-4	Hinges	5BB1HW 4 1/2 x 4 1/2	652	IV
4	Hinges	5BB1 4 1/2 x 4 1/2	600	IV
-1	Single Door #215	Hallway A to Women 215		90 LH
1	Single Door #215	Hallway A to Women 215		90 LH
-1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL LH			
1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL LH (HN)			
-4	Hinges	5BB1HW 4 1/2 x 4 1/2	652	IV
4	Hinges	5BB1 4 1/2 x 4 1/2	600	IV
-1	Single Door #216	Hallway A from Mechanical 216		90 LHR
1	Single Door #216	Hallway A from Mechanical 216		90 LHR
-1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL LHR			
1	36" x 106.5" 1 3/4 WD 303 LM HPLAM F PC LAM-WIL LHR (HN)			
-4	Hinges	5BB1 4 1/2 x 4 1/2 NRP	652	IV
4	Hinges	5BB1 4 1/2 x 4 1/2 NRP	600	IV

Section Totals

08 14 16 Flush Wood Doors	-
08 71 00 Door Hardware	1,575.00
Pre-Tax Total	1,575.00

Taxes

122 - TX EXEMPT	-
Tax Total	-
Grand Total	1,575.00

ADVANCED GLASS SYSTEMS, INC.

7474 Baker Boulevard
Richland Hills, TX 76118
(817) 595-3200
Fax (817) 595-1386

1902 Fort Worth Highway
Weatherford, TX 76086
(817) 596-7676
Fax (817) 599-5235

CHANGE ORDER

Date: Revised 8/4/2020 (7/10/2020)
Project: Addison Airport Customs and Border Facility
Change Order #: PCO-003a
Contract Date: 3rd Day of January 2020
Reference: Hardware finish change to black

The Contractor authorizes and the Subcontractor agrees to make the following work changes to the above dated contract:

Change continuous hinges to black in lieu of clear as specified. All other hardware finishes stay as per original specification.

At doors 100A, 100B, 102, 103, 118, 203C, 203D, 208A and 208B

The agreed Add for the above change is \$556.72

Valid only when signed by Contractor and Subcontractor.

Contractor: (Name & Address)

Subcontractor:

**Advanced Glass Systems, Inc.
2842 Handley Ederville Road
Richland Hills, TX 76118**

By: _____

By: _____
Trace Watkins

Title: _____

Title: Estimator/Project Manager

Date: _____

Date: _____

*NOTE: Change Order must be formally approved and executed before material and labor can be ordered or installed.

RFI Response

RFI ID	147		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	9/4/2020	Transmittal ID	00934
Subject	Proposal #34 - Black Hinges		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: This proposal is to change the hinge finish color to black on doors 100A, 100B, 102, 103, 118, 200A, 200B, 203A, 203B, 203C, 203D, 208A, 208B, 212, 213, 214, 215, and 216 per the architect's request in RFI 141.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

See attached for the response - The value will be included in the next change order.

Contents

Copies	Date	Number	Description
1	8/12/2020		RFI 147 - Proposal #34 - Black Hinges.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Shannon Hicks
Will Butler

September 22,2020

Town of Addison Council
Addison Service Center
16801 Westgrove Drive
Addison, TX 75001

Re: Narrative for Proposal #38-38a – Northwest Security Camera Pole Removal
Project No: 417151

To Whom it May Concern,

Proposal #38a resulted when Garver requested the removal of the northwest most security camera light pole and base from the Landside contract after the OAC meeting held on 2/27/2020. This request was made due to coordination with the Airside portion of the project that was about to be released for bid at that time. During the finalization of the design for that package it became evident that due to sequencing of that work a temporary taxiway would need to be installed where this pole is located. To avoid the demolition and reconstruction of this new pole when the temporary taxiway was constructed for the Airside work, it was decided to remove that scope from Landside contract and place it into the Airside contract. The following items were eliminated from the Landside project scope in proposal #38a:

- Northwest light pole base.
- Northwest light pole.
- 2 sets of 17" x 30" x 24" pull boxes.
- 1" conduits inside the pole for cameras to pull box.
- 1" conduits inside the pole for electrical to pull box.
- Length of all conduits between pull boxes and where conduits got terminated by the electrical contractor on site for future.

Landside Contractor shall keep in their pricing the following items for installation when the pole foundation is ready:

- Light fixture for the Northwest light pole and installation.
- Obstruction lights for the Northwest light pole and installation.
- Cameras for the Northwest light pole, all accessories associated with cameras, and installation of cameras.
- Final wiring to the light fixture from the building.
- Final wiring to the cameras and accessories from the building.

Proposal #38 was rejected due to confusion related to the items requested in the credit. It was revised per the above list and was accepted when resubmitted as Proposal #38a.

The costs associated with this proposal were reviewed based on industry standards and best practices and the value included for this proposal is reasonable and customary based on the work that was required and the timing when the request was made.

Page/

Proposal #38-38a Credit Returned: **-\$1,612.00**
Proposal #38-38a Contract Days Extension: **0 Days**

Sincerely,

Will Butler
Senior Associate



Request for Information 153

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor: SteConCo

Date Created: 8/18/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #38 - Credit for RFI #083 (Northwest Light Pole Removal)
Category: Proposal

Question: **Date Required:** 8/25/2020

Per the response to RFI #083, we are proposing a credit of \$712.00 to remove the light pole base in question from our scope. Please be aware that if the light pole base in question is not installed by the time our electrician is ready to install his light poles, there will be an additional remobilization fee that will be charged to the owner for the electrician to make an additional mobilization to the site to install only one light pole.

Answer: **Date Answered:**

Change in Work - Cost Analysis Form

Project Name: Addison Airport
 Contractor: Steconco
 Description of Change: Deduct Light Pole Base Removal

Project No.: 19-019
 Change No.: 8

Means Code	Page No.	DESCRIPTION	Quantity	Unit	Base Pay	Labor Burden	Benefits and OT	Total Hourly Rate	Labor Total	Material Total	Equipment or Other	Subcontract
		Labor										
		Labor 1	4	HRS	\$ 22.50	8.12	15.89	46.51	\$186.04	-	-	-
		Supervision	0	HRS	\$ 51.00	9.24	37.51	97.75	\$0.00	-	-	-
		Material										
		Concrete	1	Yrds	\$ 135.00				-	\$135.00	-	-
		Rebar	0.25	Ton	\$ 1,304.40					\$326.10		
		2x4	0	Per	\$ 9.00					\$0.00		
		Patch Material	0	Per	\$ 65.00					\$0.00		
		Sono Tube	0	LF	\$ 6.00					\$0.00		
		Ardex	0	Per	\$ 65.00					\$0.00		
		Epoxy	0	Per	\$ 65.00					\$0.00		
		Void Boxes	0	LF	\$ 3.10					\$0.00		
		Retainers	0	LF	\$ 2.60					\$0.00		
		Delivery	0	Per	\$ 130.00					\$0.00		
		Equipment										
		Jumping Jack Compactor	0	Day	\$ 125.00						\$0.00	
		Quickie Saw	0	Day	\$ 85.00						\$0.00	
		E 26 Mini Excavator	0	Day	\$ 125.00						\$0.00	
		Track Loader	0	Day	\$ 125.00						\$0.00	
		Concrete Breaker	0	Day	\$ 180.00						\$0.00	
		Auger	0	Day	\$ 180.00						\$0.00	
		Delivery	0	Per	\$ 130.00						\$0.00	
		Subcontractor										
		Rodbusting	0	EA	\$ 200.00							\$0.00
		Formwork Rental	0	SF	\$ 1.25	Per Month	2.00					\$0.00
SUBTOTALS									\$186.04	\$461.10	\$0.00	\$0.00

	Labor, Equipment, & Material Total	\$647.14
	Subcontractor	\$0.00
	Overhead and Profit	\$64.71
	Taxes	\$0.00
TOTAL FOR THIS CHANGE		\$712

Material All material is rounded up
 All material has a \$130.00 Delivery Fee in DFW

Equipment Equipment is rented by the day. Anything over 3 days goes to 1 week. Anything over 2 weeks goes to 4 weeks.
 All equipment has a pick up and delivery charge of \$130.00. This includes small equipment.



Request for Information 153

Project Title: Addison Airport Customs and Border Protection Facility Submitted by Subcontractor: SteConCo

Date Created: 8/18/2020

Table with 3 columns: Answer Company, Author Company, Authored By. Row 1: Page Southerland Page, Inc., JC Commercial, Trevor Fitzgerald.

Subject: Proposal #38 - Credit for RFI #083 (Northwest Light Pole Removal) Category: Proposal

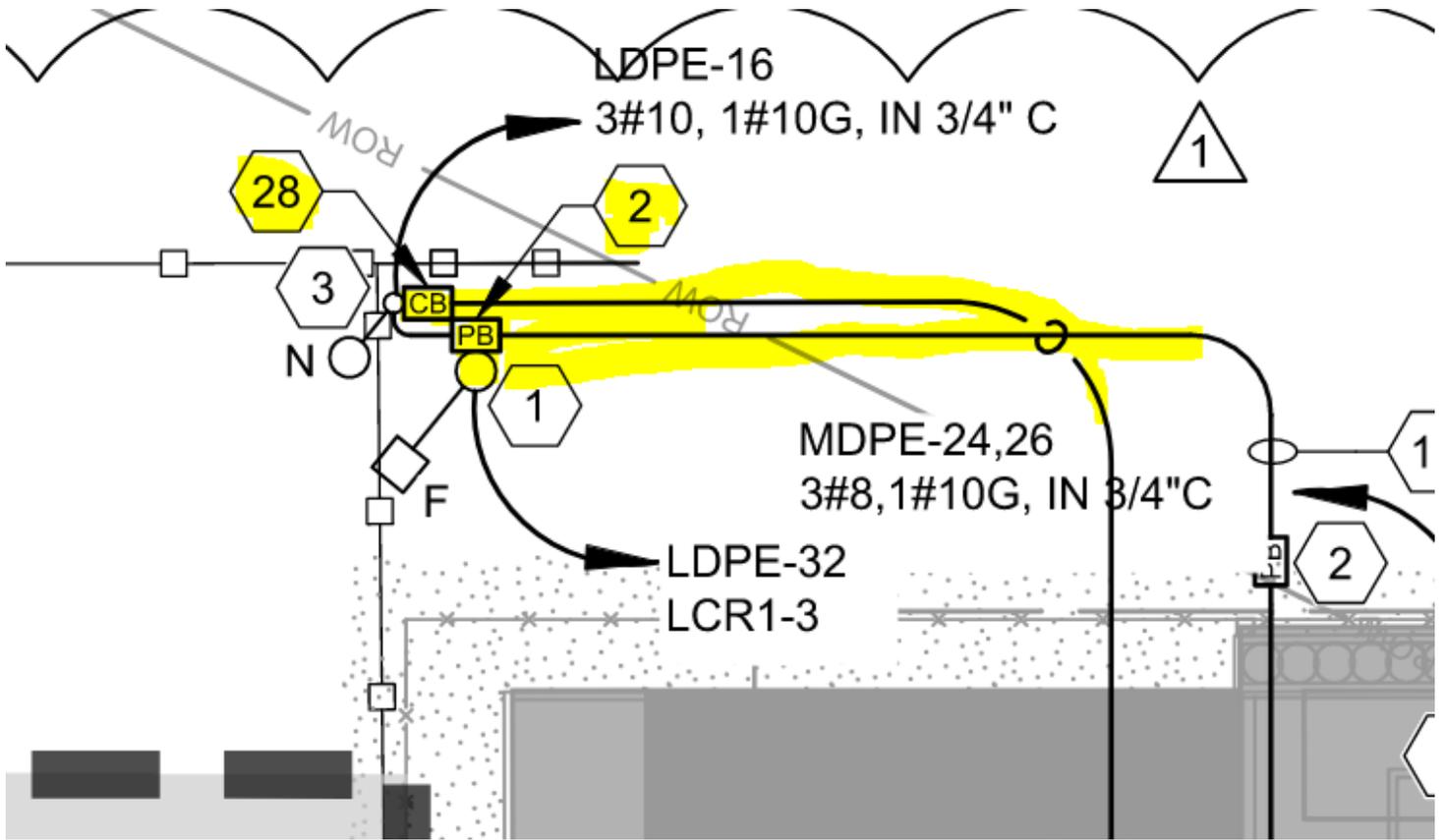
Question: Date Required: 8/25/2020

Per the response to RFI #083, we are proposing a credit of \$712.00 to remove the light pole base in question from our scope. Please be aware that if the light pole base in question is not installed by the time our electrician is ready to install his light poles, there will be an additional remobilization fee that will be charged to the owner for the electrician to make an additional mobilization to the site to install only one light pole.

Answer: Date Answered:

- Revise proposed pricing to include eliminating the following items from the project scope:
- Northwest light pole base.
- Northwest light pole.
- 2 sets of 17" x 30" x 24" pull boxes.
- 1" conduits inside the pole for cameras to pull box.
- 1" conduits inside the pole for electrical to pull box.
- Length of all conduits between pull boxes and where conduits got terminated by the electrical contractor on site for future.

- Contractor shall still keep in their pricing the following items:
- Light fixture for the Northwest light pole and installation.
- Obstruction lights for the Northwest light pole and installation.
- Cameras for the Northwest light pole, all accessories associated with cameras, and installation of cameras.
- Final wiring to the light fixture from the building.
- Final wiring to the cameras and accessories from the building.



From electrical drawing - ES -102. items to be removed from the scope of work as mentioned in the list above.

Change in Work - Cost Analysis Form

Project Name: Addison Airport
 Contractor: Steconco
 Description of Change: Deduct Light Pole Base Removal

Project No.: 19-019
 Change No.: 8

Means Code	Page No.	DESCRIPTION	Quantity	Unit	Base Pay	Labor Burden	Benefits and OT	Total Hourly Rate	Labor Total	Material Total	Equipment or Other	Subcontract
		Labor										
		Labor 1	4	HRS	\$ 22.50	8.12	15.89	46.51	\$186.04	-	-	-
		Supervision	0	HRS	\$ 51.00	9.24	37.51	97.75	\$0.00	-	-	-
		Material										
		Concrete	1	Yrds	\$ 135.00				-	\$135.00	-	-
		Rebar	0.25	Ton	\$ 1,304.40					\$326.10		
		2x4	0	Per	\$ 9.00					\$0.00		
		Patch Material	0	Per	\$ 65.00					\$0.00		
		Sono Tube	0	LF	\$ 6.00					\$0.00		
		Ardex	0	Per	\$ 65.00					\$0.00		
		Epoxy	0	Per	\$ 65.00					\$0.00		
		Void Boxes	0	LF	\$ 3.10					\$0.00		
		Retainers	0	LF	\$ 2.60					\$0.00		
		Delivery	0	Per	\$ 130.00					\$0.00		
		Equipment										
		Jumping Jack Compactor	0	Day	\$ 125.00						\$0.00	
		Quickie Saw	0	Day	\$ 85.00						\$0.00	
		E 26 Mini Excavator	0	Day	\$ 125.00						\$0.00	
		Track Loader	0	Day	\$ 125.00						\$0.00	
		Concrete Breaker	0	Day	\$ 180.00						\$0.00	
		Auger	0	Day	\$ 180.00						\$0.00	
		Delivery	0	Per	\$ 130.00						\$0.00	
		Subcontractor										
		Rodbusting	0	EA	\$ 200.00							\$0.00
		Formwork Rental	0	SF	\$ 1.25	Per Month	2.00					\$0.00
SUBTOTALS									\$186.04	\$461.10	\$0.00	\$0.00

	Labor, Equipment, & Material Total	\$647.14
	Subcontractor	\$0.00
	Overhead and Profit	\$64.71
	Taxes	\$0.00
TOTAL FOR THIS CHANGE		\$712

Material All material is rounded up
 All material has a \$130.00 Delivery Fee in DFW

Equipment Equipment is rented by the day. Anything over 3 days goes to 1 week. Anything over 2 weeks goes to 4 weeks.
 All equipment has a pick up and delivery charge of \$130.00. This includes small equipment.

RFI Response

RFI ID	153		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Will Butler Page Southerland Page, Inc. 1800 Main Street Suite 123 Dallas TX 75201 United States (469) 621 4837
Project	417151 - City of Addison Airport	Project No.	417151
Date	8/28/2020	Transmittal ID	00923
Subject	Proposal #38 - Credit for RFI #083 (Northwest Light Pole Removal)		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: Per the response to RFI #083, we are proposing a credit of \$712.00 to remove the light pole base in question from our scope. Please be aware that if the light pole base in question is not installed by the time our electrician is ready to install his light poles, there will be an additional remobilization fee that will be charged to the owner for the electrician to make an additional mobilization to the site to install only one light pole.

Suggestion:

Answer: **Response (Answered) from: Vladimir Stevanovic (Garver)**
Remarks:

See attached for response.

Contents

Copies	Date	Number	Description
1	8/18/2020		RFI 153 - Proposal #38 - Credit for RFI #83 (Northwest Light Pole Removal)_combined.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Lisa Pyles
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Will Butler



Request for Information 160

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor: SteConCo/308 Electrical

Date Created: 9/7/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #38a - Credit for RFI #83 (Northwest Light Pole Removal)
Category: Proposal

Question:
Date Required: 9/14/2020

Please see the attached proposal for review. This is a revised version of Proposal #38 that was submitted under RFI #153.

Answer:
Date Answered:

Change in Work - Cost Analysis Form

Project Name: Addison Airport
 Contractor: Steconco
 Description of Change: Deduct Light Pole Base Removal

Project No.: 19-019
 Change No.: 8

Means Code	Page No.	DESCRIPTION	Quantity	Unit	Base Pay	Labor Burden	Benefits and OT	Total Hourly Rate	Labor Total	Material Total	Equipment or Other	Subcontract
		Labor										
		Labor 1	4	HRS	\$ 22.50	8.12	15.89	46.51	\$186.04	-	-	-
		Supervision	0	HRS	\$ 51.00	9.24	37.51	97.75	\$0.00	-	-	-
		Material										
		Concrete	1	Yrds	\$ 135.00				-	\$135.00	-	-
		Rebar	0.25	Ton	\$ 1,304.40					\$326.10		
		2x4	0	Per	\$ 9.00					\$0.00		
		Patch Material	0	Per	\$ 65.00					\$0.00		
		Sono Tube	0	LF	\$ 6.00					\$0.00		
		Ardex	0	Per	\$ 65.00					\$0.00		
		Epoxy	0	Per	\$ 65.00					\$0.00		
		Void Boxes	0	LF	\$ 3.10					\$0.00		
		Retainers	0	LF	\$ 2.60					\$0.00		
		Delivery	0	Per	\$ 130.00					\$0.00		
		Equipment										
		Jumping Jack Compactor	0	Day	\$ 125.00						\$0.00	
		Quickie Saw	0	Day	\$ 85.00						\$0.00	
		E 26 Mini Excavator	0	Day	\$ 125.00						\$0.00	
		Track Loader	0	Day	\$ 125.00						\$0.00	
		Concrete Breaker	0	Day	\$ 180.00						\$0.00	
		Auger	0	Day	\$ 180.00						\$0.00	
		Delivery	0	Per	\$ 130.00						\$0.00	
		Subcontractor										
		Rodbusting	0	EA	\$ 200.00							\$0.00
		Formwork Rental	0	SF	\$ 1.25	Per Month	2.00					\$0.00
SUBTOTALS									\$186.04	\$461.10	\$0.00	\$0.00

	Labor, Equipment, & Material Total	\$647.14
	Subcontractor	\$0.00
	Overhead and Profit	\$64.71
	Taxes	\$0.00
TOTAL FOR THIS CHANGE		\$712

Material All material is rounded up
 All material has a \$130.00 Delivery Fee in DFW

Equipment Equipment is rented by the day. Anything over 3 days goes to 1 week. Anything over 2 weeks goes to 4 weeks.
 All equipment has a pick up and delivery charge of \$130.00. This includes small equipment.



Change Order

Owner Info

JC Commercial Estimating
 1801 Lakepointe Drive, Suite 129
 Lewisville, TX 75067
 Phone: 972 436 4622

Job Info

4545 Jimmy Doolittle Dr
 Addison, TX 75001

Change Order ID
19124-0010

19124 - Addison Airport Customs Building

CO ID	Created / Approved Date	Price
19124-0010	Created: Aug 17, 2020	-\$900.00

Description
Credit- RFI #083 To provide the pole and boxes for installation. (boxes are on site and special order. cannot be returned) We will provide pole and boxes. and eliminate the install of these.

Status	Signature	Date
Approved by: _____		___/___/___

Approval Comments

Please Note: A signature of Approval OR **Electronic Acceptance** is required before change order is effective. This change order becomes part of the existing contract.

TOTAL AMOUNT OF CHANGE ORDER: -\$900.00

RFI Response

RFI ID	160		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	9/21/2020	Transmittal ID	00974
Subject	Proposal #38a - Credit for RFI #83 (Northwest Light Pole Removal)		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: Please see the attached proposal for review. This is a revised version of Proposal #38 that was submitted under RFI #153.

Suggestion:

Answer: **Response (Answered) from: Sara Andrews (Garver)**
Remarks:

Values submitted for the credit are reasonable and will be include with the next change order.

Contents

Copies	Date	Number	Description
1	9/7/2020		RFI 160 - Proposal #38a - Credit for RFI #83 (Northwest Light Pole Removal)_combined.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Margarita de Monterrosa
Michelle LeBlanc
Scott Arthur
Shannon Hicks
Will Butler

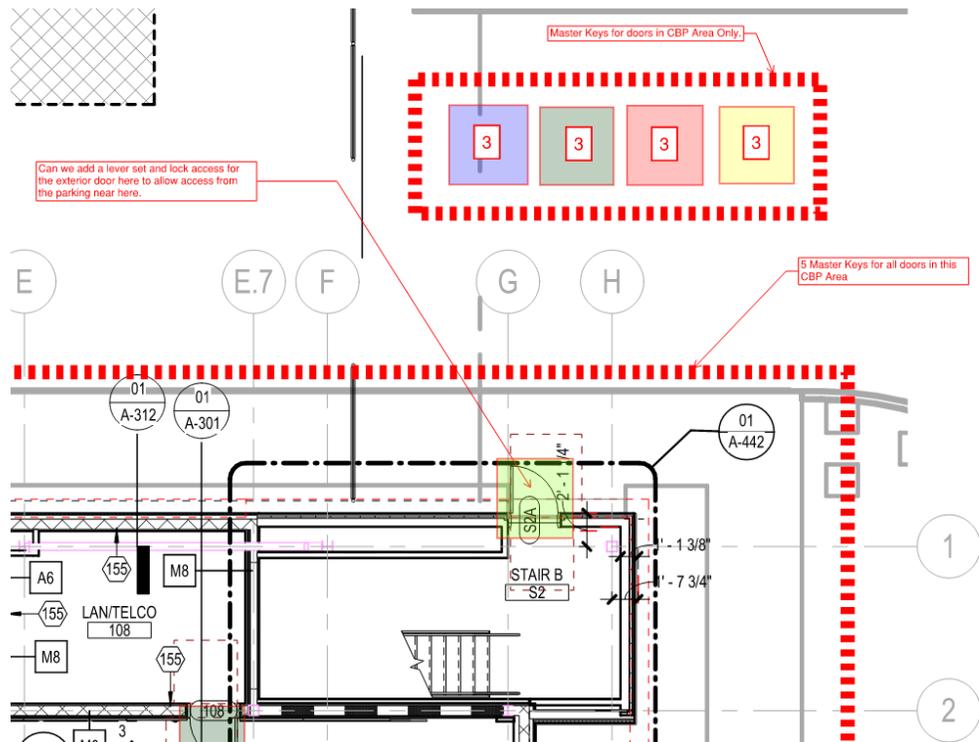
September 22,2020

Town of Addison Council
Addison Service Center
16801 Westgrove Drive
Addison, TX 75001

Re: Narrative for Proposal #41 – Additional Hardware for Door S2A
Project No: 417151

To Whom it May Concern,

Proposal #41 – Additional Hardware for Door S2A is the result of a Town Staff request when reviewing keying and access paths into and out of the building to generate the keying schedule. During a keying meeting held on August 18th the Architect reviewed all keying and access situations with Town Staff and they expressed a desire to have access to the building using an exterior stairwell door at the northeast corner of the building shown in the clipped drawing below:



The originally specified hardware set for this door contained a panic device on the interior side per code requirements but was noted to not have any exterior lever/handle, cylinder, or

other hardware to avoid vandalism issues. The request for exterior access here now requires the addition of a handle, trim, core, and housing along with some minor additional door prep.

The costs associated with this proposal were negotiated with the GC based on industry standards and best practices and the value included for this proposal is reasonable and customary based on the work that was required. We do not agree with the number of days requested for the contract extension related to this change. We are including zero extra days in the change order unless the GC can demonstrate that this door hardware set change is somehow on the critical path and is holding up all other construction enough to justify additional days.

Proposal #41 Cost Increase: **\$886.60**

Proposal #41 Contract Days Extension: **0 Days**

Sincerely,

Will Butler
Senior Associate

DRAFT

AIA® Document G714™ - 2017

Construction Change Directive

PROJECT: *(name and address)*
417151 - Town of Addison Airport
Customs and Border Patrol Facility
4545 Jimmy Doolittle Drive
Addison, TX 75001

CONTRACT INFORMATION:
Contract For: General Construction
Date: September 30, 2019

CCD INFORMATION:
Directive Number: 004
Date: September 22, 2020

OWNER: *(name and address)*
Town of Addison
16051 Addison Road
Addison, TX 75001

ARCHITECT: *(name and address)*
Page Southerland Page, Inc.
1100 Louisiana Street, Suite One
Houston, TX 77002

CONTRACTOR: *(name and address)*
JC Commercial, Inc.
1801 Lakepointe Drive, Suite 129
Lewisville, TX 75057

The Contractor is hereby directed to make the following change(s) in this Contract:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits.)

The Owner (Town of Addison) is directing the General Contractor (JC Commercial) to proceed with the construction and any modifications required to existing elements related to the following items contained in the attached proposal based on various RFI responses and ASI/PR issuances - See attached narrative for more background related to these changes.

Proposal #41 - Additional Hardware for Door S2A (\$886.60)

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum increase of \$886.60
 - Unit Price of \$ per
 - Cost, as defined below, plus the following fee:
(Insert a definition of, or method for determining, cost)
 - As follows: Value increase submitted and approved and any time extensions will be included in the next Change Order (CO #03) and submitted for approval to the Town of Addison Council at the next available Council Meeting.
- The Contract Time is proposed to TBD. The proposed adjustment, if any, is TBD.

NOTE: The Owner, Architect and Contractor should execute a Change Order to supersede this Construction Change Directive to the extent they agree upon adjustments to the Contract Sum, Contract Time, or Guaranteed Maximum price for the change(s) described herein.

When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

Contractor signature indicates agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this CCD.

Page Southerland Page, Inc.
ARCHITECT *(Firm name)*

Town of Addison Airport
OWNER *(Firm name)*

JC Commercial, Inc.
CONTRACTOR *(Firm name)*

SIGNATURE

Will Butler | Senior Associate
PRINTED NAME AND TITLE

DATE

SIGNATURE

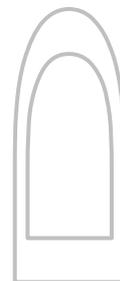
Shannon Hicks | Director of Public
Works and Engineering Services
PRINTED NAME AND TITLE

DATE

SIGNATURE

Scott Arthur | Vice President
PRINTED NAME AND TITLE

DATE





Request for Information 126

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor: Tex-Oma

Date Created: 7/7/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Keying
Category: Architectural

Question:
Date Required: 7/14/2020

Per email sent to Will Butler on 6/3/20, we need the keying schedule (see attached) and detailed keying system information. We also need to know if the interchangeable cores will be Small Format or Large Format.

Answer:
Date Answered:

**Customs & Border Protection Facility
20077**

Key Schedule

<u>Outside Key Code</u>	<u>Inside Key Code</u>	<u>Door #</u>	<u>Heading Number</u>	<u>Building Area</u>	<u>Location</u>	<u>Lock Number</u>	<u>Finish</u>	<u>Hand</u>
		100A-AS	C265A		Exterior from Vestibule 100	20-740-XP	626	
		101	C261		Processing 109 to Office 101	20-740-XP	626	
		101	C261		Processing 109 to Office 101	L9492T EU 17A 50-231 L583-363 RX	626	RH
		102-ASF	E265A		Exterior from Post Processing 102	20-740-XP	626	
		103-ASF	C265A.1		Exterior from Pre Processing 103	20-740-XP	626	
		104	341L		Pre Processing 103 to Women 104	20-740-XP	626	
		104	341L		Pre Processing 103 to Women 104	L9485T 17A 50-231 L283-722	626	LH
		105	341L		Pre Processing 103 to Men 105	20-740-XP	626	
		105	341L		Pre Processing 103 to Men 105	L9485T 17A 50-231 L283-722	626	RH
		106A	201C		Processing 109 from Mechanical 106	20-740-XP	626	
		106A	201C		Processing 109 from Mechanical 106	L9480T 17A 50-231 L583-363	626	RHR
		106B	C205		Exterior from Mechanical 106	20-740-XP	626	
		106B	C205		Exterior from Mechanical 106	L9492T EU 17A 50-231 L583-363 RX	626	RHR
		107	201C		Processing 109 from Janitor 107	20-740-XP	626	
		107	201C		Processing 109 from Janitor 107	L9480T 17A 50-231 L583-363	626	LHR
		108	C201CL		Processing 109 from Lan/Telco 108	20-740-XP	626	

Customs & Border Protection Facility 20077

108	C201CL	Processing 109 from Lan/Telco 108	L9492T EU 17A 50-231 L583-363 RX	626	RHR
110	201C.1	Processing 109 from General Storage 110	20-740-XP	626	
110	201C.1	Processing 109 from General Storage 110	L9480T 17A 50-231 L583-363	626	LHR
110A	C261.1	General Storage 110 from Secure Storage 110A	20-740-XP	626	
110A	C261.1	General Storage 110 from Secure Storage 110A	L9492T EU 17A 50-231 L583-363 RX	626	RHR
111	Z201	Processing 109 to Secure Corridor	20-740-XP	626	
111	Z201	Processing 109 to Secure Corridor	L9095T EL 17A 50-231 RX	626	LH
112-STC	103G	Secure Corridor from Interview Room112	20-740-XP	626	
112-STC	103G	Secure Corridor from Interview Room112	L9050T 17A 50-231 L583-363	626	LHR
113-STC	861L	Secure Corridor from Search Room 113	20-740-XP	626	
113-STC	861L	Secure Corridor from Search Room 113	L462T 50-231 TORX SCREWS	626	
114	861L.1	Secure Corridor from Hold Room 114	10518	630	RHR
117	205	Exterior from Fire Riser 117	20-740-XP	626	
117	205	Exterior from Fire Riser 117	L9480T 17A 50-231 L583-363	626	LHR
118	C714A	Exterior from Airport Office Entry 118	20-079 50-231	626	

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118	C714A	Exterior from Airport Office Entry 118	20-740-XP	626		
119	C205.1	Exterior from Mechanical 119	20-740-XP	626		
119	C205.1	Exterior from Mechanical 119	L9492T EU 17A 50-231 L583-363 RX	626		RHR
200A	C781A	Lobby/Waiting 200 to Open Work Area 208	20-079 50-231	626		
200A	C781A	Lobby/Waiting 200 to Open Work Area 208	20-740-XP	626		
200A	C781A	Lobby/Waiting 200 to Open Work Area 208	QEL RX 98L-NL x 996L-NL-R&V 17 425-SNB (QTY-6)	US26D		LHR
200B	C731A	Hallway B from Hallway A	20-079 50-231	626		
200B	C731A	Hallway B from Hallway A	20-740-XP	626		
203A	701A	Lobby/Waiting 200 from Multi-Use Conference Room 203	20-079 50-231	626		
203A	701A	Lobby/Waiting 200 from Multi-Use Conference Room 203	20-740-XP	626		
203A	701A	Lobby/Waiting 200 from Multi-Use Conference Room 203	98L x 996L-R&V 17 425-SNB (QTY-6)	US26D		LHR
203B	701A	Lobby/Waiting 200 from Multi-Use Conference Room 203	20-079 50-231	626		
203B	701A	Lobby/Waiting 200 from Multi-Use Conference Room 203	20-740-XP	626		

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203B	701A	Lobby/Waiting 200 from Multi-Use Conference Room 203	98L x 996L-R&V 17 425-SNB (QTY-6)	US26D	RHR
203C	225A	Multi-Use Conference Room 203, Side A/C to Airfield Operations Observations Platform 217	20-740-XP	626	
203D	225A	Multi-Use Conference Room 203, Side B/D to Airfield Operations Observations Platform 217	20-740-XP	626	
204	101AC	Open Work Area 208 from Unassigned 204	20-740-XP	626	
206	103A	Open Work Area 208 to Focus Room 206	20-740-XP	626	
208A	705AI.1	Open Work Area 208 from Airfield Operations Observations Platform 217	20-740-XP	626	
208B	705AI.2	Open Work Area 208 from Airfield Operations Observations Platform 217	20-740-XP	626	
209	103AF	Open Work Area 208 to Office 209	20-740-XP	626	
210	103A.1	Open Work Area 208 to Unassigned 210	20-740-XP	626	
212	203AS	Hallway A from Janitor 212	20-740-XP	626	
212	203AS	Hallway A from Janitor 212	L9080T 17A 50-231	626	RHR
213	C201C	Hallway B from Server 213	20-740-XP	626	

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213	C201C	Hallway B from Server 213	L9492T EU 17A 50-231 L583-363 RX	626	RHR
216	201C.2	Hallway A from Mechanical 216	20-740-XP	626	
216	201C.2	Hallway A from Mechanical 216	L9480T 17A 50-231 L583-363	626	LHR
GATE	F265		20-740-XP	626	
GATE	F265		L9080T 17A 50-231	626	

REVISION HISTORY

5	ISSUE FOR CONSTRUCTION	06 APR 2020
4	PERMIT REVISION	21 OCT 2019
3	AS1 01	15 OCT 2019
2	ADDENDUM 006	24 APRIL
1	ADDENDUM 004	11 APRIL
	REVISION DESCRIPTION	DATE

PROFESSIONAL SEALS

ARCHITECTURAL - FLOOR PLANS

DRAWN BY	LB, MCM	CHECKED BY	JM
PROJECT NUMBER	417151	PROJECT ABBREVIATION	Addison FIS
ORIGINAL ISSUE	ISSUE FOR CONSTRUCTION	DATE	06 APRIL 2020

FLOOR PLAN GENERAL NOTES

- ALL UNMARKED PARTITIONS ARE TYPE A6. ALL OTHER PARTITIONS ARE A3. ALL COLUMN FURNISHING TO BE PARTITION TYPE F3 UNLESS NOTED OTHERWISE.
- ALL WINDOW OPENINGS ARE DIMENSIONED ON GLAZING ELEVATION SHEET A-631.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO GL DRAWINGS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
- REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- ALL PLAN DIMENSIONS ARE TAKEN TO THE CENTERLINE OF COLUMNS AND TO THE OUTERMOST SURFACE OF THE WALL (INCLUDING TILE, STONE, PLASTER, ETC. EXCLUDING TRIM) UNLESS NOTED OTHERWISE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COUPLING. CONTRACTOR IS TO PROVIDE ROUGH OPENING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

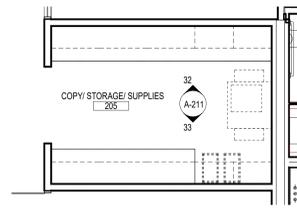
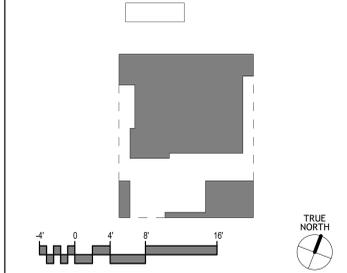
KEYED NOTES

- | NUMBER | DESCRIPTION |
|--------|---|
| 010 | SECURE TRANSACTION WINDOW W/STAINLESS STEEL SPEAK-THRU; WINDOW TO MEET UL 752, LEVEL III BALLISTIC RESISTANT STANDARDS. INTEGRAL REINFORCING REQUIRED FOR GLAZING FRAME; FRAME DESIGN AND ANCHORING MUST BE BLAST RESISTANT |
| 014 | SHATTER RESISTANT GLAZING TO MEET UL 752, LEVEL III BALLISTIC RESISTANT STANDARDS. INTEGRAL REINFORCING REQUIRED FOR GLAZING FRAME; FRAME DESIGN AND ANCHORING MUST BE BLAST RESISTANT |
| 015 | SHATTER RESISTANT GLAZING TO MEET UL 752, LEVEL III BALLISTIC RESISTANT STANDARDS SET IN 1/2 GAUGE STEEL LAD HOLLOW CORE METAL. 1 3/4" THICK EXTERIOR DOOR AND HUNG ON HOLLOW METAL FRAMES. INTEGRAL REINFORCING REQUIRED FOR FRAME; FRAME DESIGN AND ANCHORING MUST BE BLAST RESISTANT |
| 101 | KNEE SPACE FOR WORK ZONE. |
| 102 | FOLDING PANELS PARTITION, BOD: HUF-COR 642 PAIRED PANELS. |
| 103 | 18" HEAVY-DUTY ADJUSTABLE METAL SHELVING BOLTED TO CONCRETE. RE: EQUIPMENT PLANS FOR ADD INFO. |
| 104 | 12" X 21"D FULL HEIGHT LOCKABLE STEEL LOCKERS - POWDER COATING, VENTILATED, METAL CONSTRUCTION. |
| 107 | PROVIDE MANUAL ROLLER BLINDS FOR INTERIOR FACING WINDOWS IN CBP OFFICE. |
| 109 | TINTED TEMPERED GLASS BETWEEN CBP OFFICE AND POST PROCESSING AREA. |
| 110 | COUNTERTOP MOUNTED EYEWASH, RE: PLUMBING FOR ADD INFO |
| 111 | CUSTOM MILLWORK DESK WITH INTEGRATED POWER, DATA, DURESS ALARM. |
| 113 | BLACK POWDER COATED GLAZED RACO WALL SYSTEM |
| 114 | INTERVIEW TABLE SECURED TO WALL AND FLOOR, RE: EQUIPMENT PLANS FOR ADD INFO |
| 115 | SLED BASE CHAIRS SECURED TO FLOOR, RE: EQUIPMENT PLANS FOR ADD INFO |
| 116 | 9 GAUGE DIAMOND MESH (1 1/2" X 2" MAX DIAMOND) EXPANDED METAL SECURELY FASTENED TO METAL STUDS ON THIS SIDE. OVERLAP ALL JOINTS. METAL MESH SUBJECT TO INSPECTION BY CBP PRIOR TO COVERING. |
| 117 | DURESS BUTTON DISCREETLY PLACED ON TABLE UNDERSIDE |
| 118 | BAGGAGE EXAMINATION EQUIPMENT SECURED TO FLOOR, RE: EQUIPMENT PLANS FOR ADD INFO |
| 119 | RECESSED DETENTION GRADE DURESS ALARM PUSH BUTTON MOUNTED AT 42" AFF |
| 120 | DETENTION BENCH WITH HANDCUFF RINGS SECURED TO WALL AND FLOOR, RE: EQUIPMENT PLANS FOR ADD INFO |
| 121 | DURESS PUSHBUTTON KEYS RESET AND MAUIBLE / VISUAL SWITCH, OCCUPANCY INDICATOR INSTALLED AT 84" AFF |
| 122 | 36" HIGH PENAL GRADE MODESTY PANEL MOUNTED 12" AFF. SECURED TO WALL, FLOOR, AND CEILING, RE: EQUIPMENT PLANS FOR ADD INFO |
| 123 | PENAL GRADE COMBINATION TOILET/LAVATORY/BUBBLER WITH TOILET PAPER RECESS AND ELECTRONIC FLUSH CONTROL |
| 124 | PENAL GRADE ACCESS DOOR WITH PENAL LOCK |
| 125 | FLUSH CONTROL SWITCH FOR HOLD ROOM TOILET FIXTURE |
| 126 | TAMPER PROOF FLOOR DRAIN IN THIS AREA |
| 127 | ALL ITEMS AND FASTENERS FOR THIS ROOM MUST BE TAMPER PROOF AND WILL BE REVIEWED BY CBP PRIOR TO ORDER |
| 129 | PENAL GRADE DOOR AND FRAME GROUTED INTO WALL WITH 96 SQ IN WINDOW WITH SECURITY GLASS, SLIDING WINDOW COVER ON INGRESS SIDE |
| 130 | GSA CLASS 5 SECURITY CONTAINER BOLTED TO FLOOR, RE: EQUIPMENT PLANS FOR ADD INFO |
| 131 | INTERCOM STATION CONNECTED TO OFFICE 101 AND CONTROL ROOM FOR ACCESS CONTROL. COORDINATE WITH CBP FOR FINAL LOCATION WITHIN OFFICE 101 |
| 132 | THIS DOOR TO HAVE ACCESS CONTROL FROM OFFICE 101. COORDINATE WITH CBP FOR FINAL LOCATION WITHIN OFFICE 101 |
| 134 | PROVIDE SLEEVES IN SLAB FOR ROOF DRAIN PIPING FROM ABOVE |
| 135 | SLAB OPENING FOR HVAC DUCTWORK FROM ABOVE |
| 137 | FIRE EXTINGUISHER CABINET AT THIS LOCATION |
| 155 | REINFORCED 8" CONCRETE FILLED CMU PARTITION TO SLAB ABOVE |
| 159 | GUARDRAIL TO MATCH STAIR RAILING |

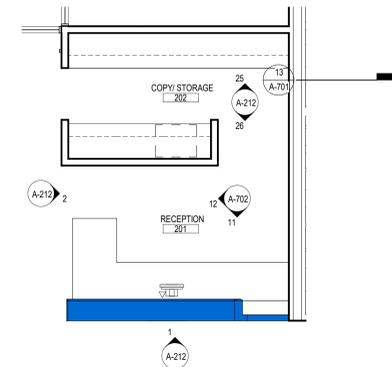
FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
(1)	KEYED NOTE
(2)	KEYED NOTES ONLY APPLY TO THIS SHEET
(A1X)	PARTITION TAG
(A-301)	REFER TO PARTITION SCHEDULE
(A-301)	BUILDING SECTION TAG
(A-301)	WALL SECTION TAG
(A-201)	EXTERIOR ELEVATION TAG
(A-211)	INTERIOR ELEVATION TAG
(A-431)	PLAN REFERENCE TAG
ROOM NAME	ROOM NAME
101	ROOM NUMBER
(1002)	8-HOUR SMOKE BARRIER
(1003)	1-HOUR FIRE PARTITION
(1004)	1-HOUR FIRE/SMOKE PARTITION
(1005)	2-HOUR FIRE PARTITION
(1006)	2-HOUR FIRE/SMOKE PARTITION
(NEW DOOR WITH DOOR TAG REF DOOR SCHED)	NEW DOOR WITH WINDOW MARK REF GLAZING ELEVATIONS
(NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS)	COLUMN GRID DESIGNATIONS

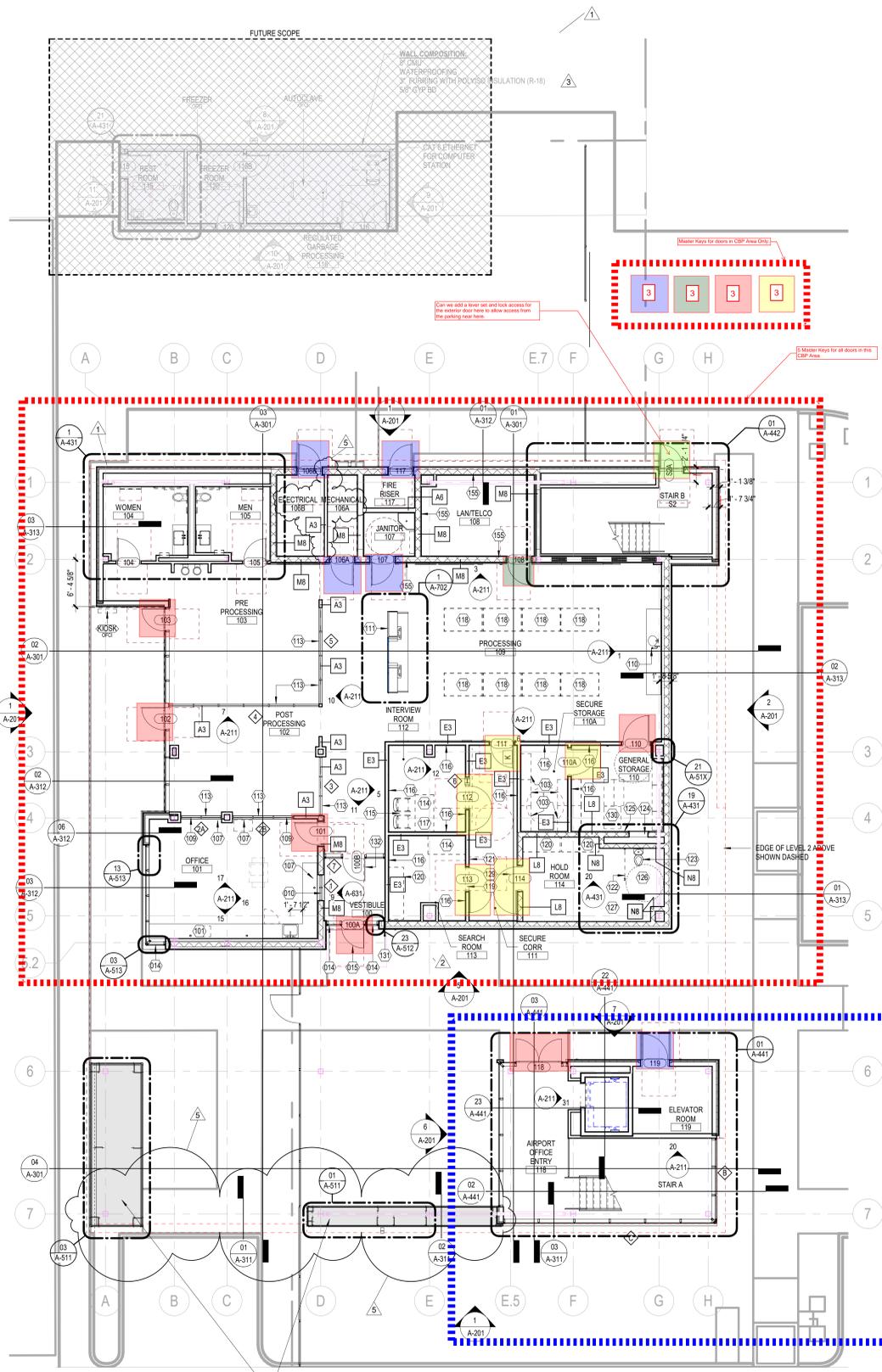
KEY PLAN (NOT TO SCALE)



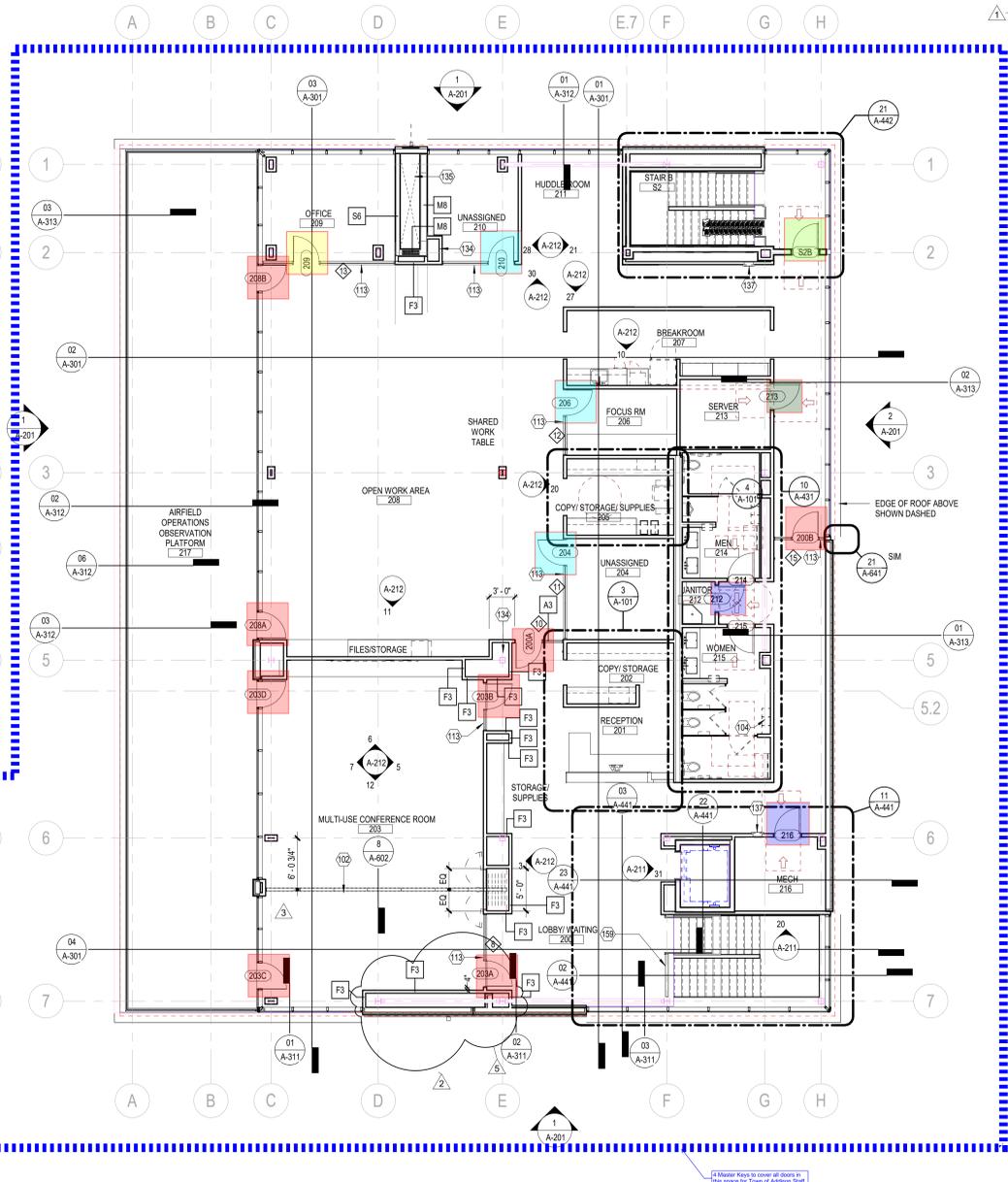
4 ARCHITECTURAL - ENLARGED FLOOR PLAN - COPY/STORAGE/SUPPLIES 205 SCALE: 1/4" = 1'-0"



3 ARCHITECTURAL - ENLARGED FLOOR PLAN - COPY / STORAGE 202 SCALE: 1/4" = 1'-0"



1 ARCHITECTURAL - FLOOR PLAN - LEVEL 01 SCALE: 1/8" = 1'-0"



2 ARCHITECTURAL - FLOOR PLAN - LEVEL 02 SCALE: 1/8" = 1'-0"

PLOT DATE: 04/18/2020 09:17:47 PM
 USER NAME: W:\417151\417151-A-R18-mminterrosa.RVT
 PLOT DATE: 04/18/2020 09:17:47 PM

SHADED AREAS: PEDESTRIAN TRAFFIC COATING. COLOR AS SELECTED BY ARCHITECT AT CONCRETE CURBS

Master Keys for doors in CBP Area Only
Master Keys for all doors in this CBP Area



Primus[®] XP / Primus / Everest[®] / Everest 29[™] Electronic Restricted Product Facesheet

This form is intended for use in ordering restricted products from Schlage at the request of U.S Customs and Border Protection and is in reference to the restricted product account number

Please submit this form in total with key, lock and cylinder order to the distributor.

Shipping directions for restricted products for this order are as follows:

Lock Shipping Address

Facility	CBP Facility
ATTN:	Mr. Mike Haskins
Address	16051 Addison Rd.
Address	
City	Addison
State	Texas
Zip	75001

Cut Key Shipping Address

Facility	CBP Faciltiy
ATTN:	Mr. Mike Haskins
Address	16051 Addison Rd
Address	
City	Addison
State	Texas
Zip	75001

Cut Master Key Shipping Address

Facility	CBP Facility
ATTN:	Mr. Mike Haskins
Address	16051 Addison Rd.
Address	
City	Addison
State	Texas
Zip	75001

Blank Key Shipping Address

Facility	CBP Facility
ATTN:	Mr. Mike Haskins
Address	16051 Addison Rd.
Address	
City	Addison
State	Texas
Zip	75001

Reference number for this request is
d6cc2300-8ddd-4e2e-ad73-f7710c59838a

By providing this facesheet, I hereby authorize the distributor presenting this document in original, facsimile or via electronic submission to order restricted products for the above designated restricted product account number. Further, I affirm that I am authorized to order restricted product on behalf of the above named facility and associated restricted product account. I understand that the reference number shown above is the control number for the document and can be used only once. Each subsequent order for restricted product will require a unique electronic facesheet.

1. Please advise if this project is using an existing keying system or will require a new keying system.
 - a. If new, please complete the attached keying schedule template to indicate keying requirements.
2. If not new, please complete please complete the attached keying schedule template to indicate keying requirements.
 - a. Complete the attached Letter of Authorization to allow us to order the cylinders/cores. - See last page here.
 - b. Please provide the existing keyway to be matched.
3. We also need to know if the specified interchangeable cores will be Small Format or Large Format.

Page Response:

Questions answered in the same order they were received above:

- 1.) Per the conference call with the GC and CBP held on 8/18/2020 it was confirmed that there is not an existing keying system to match and that the specified Schlage Primus XP cores are acceptable.
 - a.) See attached plan mark-up that was reviewed with the CBP and Town of Addison staff for keying needs. Master key breakdown and required quantities of keys for each door set are shown on this mark-up. I am unsure of how to properly transfer this information into the schedule provided. If required, I am happy to sit in a meeting with the hardware supplier to help translate the plan mark-up to the schedule provided.
- 2.) See attached plan mark-up showing keying needs.
 - a.) Authorization message face sheet from Allegion was provided to allow ordering of cylinders/cores via email on 8/19/2020 and is also included with this response.
 - b.) No existing keyway - See responses above.
- 3.) Cores will be Large Format as specified and confirmed in the 8/18/2020 meeting mentioned above.

**Customs & Border Protection Facility
20077**

Key Schedule

<u>Outside Key Code</u>	<u>Inside Key Code</u>	<u>Door #</u>	<u>Heading Number</u>	<u>Building Area</u>	<u>Location</u>	<u>Lock Number</u>	<u>Finish</u>	<u>Hand</u>
		100A-AS	C265A		Exterior from Vestibule 100	20-740-XP	626	
		101	C261		Processing 109 to Office 101	20-740-XP	626	
		101	C261		Processing 109 to Office 101	L9492T EU 17A 50-231 L583-363 RX	626	RH
		102-ASF	E265A		Exterior from Post Processing 102	20-740-XP	626	
		103-ASF	C265A.1		Exterior from Pre Processing 103	20-740-XP	626	
		104	341L		Pre Processing 103 to Women 104	20-740-XP	626	
		104	341L		Pre Processing 103 to Women 104	L9485T 17A 50-231 L283-722	626	LH
		105	341L		Pre Processing 103 to Men 105	20-740-XP	626	
		105	341L		Pre Processing 103 to Men 105	L9485T 17A 50-231 L283-722	626	RH
		106A	201C		Processing 109 from Mechanical 106	20-740-XP	626	
		106A	201C		Processing 109 from Mechanical 106	L9480T 17A 50-231 L583-363	626	RHR
		106B	C205		Exterior from Mechanical 106	20-740-XP	626	
		106B	C205		Exterior from Mechanical 106	L9492T EU 17A 50-231 L583-363 RX	626	RHR
		107	201C		Processing 109 from Janitor 107	20-740-XP	626	
		107	201C		Processing 109 from Janitor 107	L9480T 17A 50-231 L583-363	626	LHR
		108	C201CL		Processing 109 from Lan/Telco 108	20-740-XP	626	

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108	C201CL	Processing 109 from Lan/Telco 108	L9492T EU 17A 50-231 L583-363 RX	626	RHR
110	201C.1	Processing 109 from General Storage 110	20-740-XP	626	
110	201C.1	Processing 109 from General Storage 110	L9480T 17A 50-231 L583-363	626	LHR
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20077**

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119	C205.1	Exterior from Mechanical 119	L9492T EU 17A 50-231 L583-363 RX	626		RHR
200A	C781A	Lobby/Waiting 200 to Open Work Area 208	20-079 50-231	626		
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200B	C731A	Hallway B from Hallway A	20-079 50-231	626		
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203A	701A	Lobby/Waiting 200 from Multi-Use Conference Room 203	20-079 50-231	626		
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203B	701A	Lobby/Waiting 200 from Multi-Use Conference Room 203	98L x 996L-R&V 17 425-SNB (QTY-6)	US26D	RHR
203C	225A	Multi-Use Conference Room 203, Side A/C to Airfield Operations Observations Platform 217	20-740-XP	626	
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212	203AS	Hallway A from Janitor 212	20-740-XP	626	
212	203AS	Hallway A from Janitor 212	L9080T 17A 50-231	626	RHR
213	C201C	Hallway B from Server 213	20-740-XP	626	

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213	C201C	Hallway B from Server 213	L9492T EU 17A 50-231 L583-363 RX	626	RHR
216	201C.2	Hallway A from Mechanical 216	20-740-XP	626	
216	201C.2	Hallway A from Mechanical 216	L9480T 17A 50-231 L583-363	626	LHR
GATE	F265		20-740-XP	626	
GATE	F265		L9080T 17A 50-231	626	

END USER LETTERHEAD

Date: _____

To: Tex-Oma Builders Supply
2701 Commerce St.
Wichita Falls, Texas 76301

Re:

Please consider this authorization to ship product for above - referenced project and / or to release bitting list to Tex-Oma Builders Supply (bill.land@tex-oma.com).

_____ is to be keyed using a _____ Key System . For security reasons, we would liketo have all keys for this facility shipped to a location other than the jobsite . This letter authorizes Tex-Oma Builders Supply to ship our products to the following addresses:

Master Keyed Products, Construction Keys, Locks Less Cylinder, and Locks with Construction Cores

Tex-Oma Builders Supply
2701 Commerce St.
Wichita Falls, Texas 76301

Master Keys, Change Keys, Control Keys, and Key Blanks

Tex-Oma Builders Supply
2701 Commerce St.
Wichita Falls, Texas 76301

We understand this letter will be kept on file and referenced for our future orders and that a new letter is only required to add, remove, or change authorized shipping locations .

Sincerely,

**AUTHORIZING
END USER
CONTACT**

RFI Response

RFI ID	126		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	8/28/2020	Transmittal ID	00926
Subject	Keying		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: Per email sent to Will Butler on 6/3/20, we need the keying schedule (see attached) and detailed keying system information. We also need to know if the interchangeable cores will be Small Format or Large Format.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**
Remarks:

See attached for the response -

Contents

Copies	Date	Number	Description
1	7/7/2020		RFI 126 - Keying.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Margarita de **Monterrosa**
Michelle LeBlanc
Scott Arthur
Shannon Hicks
Will Butler

September 22,2020

Town of Addison Council
Addison Service Center
16801 Westgrove Drive
Addison, TX 75001

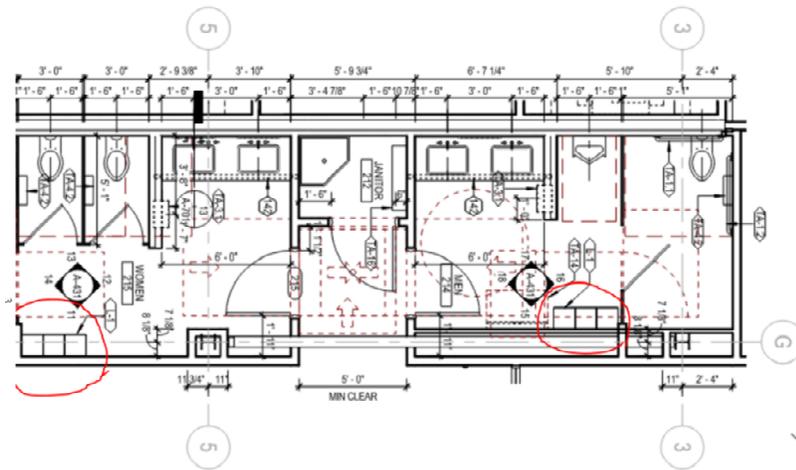
Re: Narrative for Proposal #42 – Lockers Credit
Project No: 417151

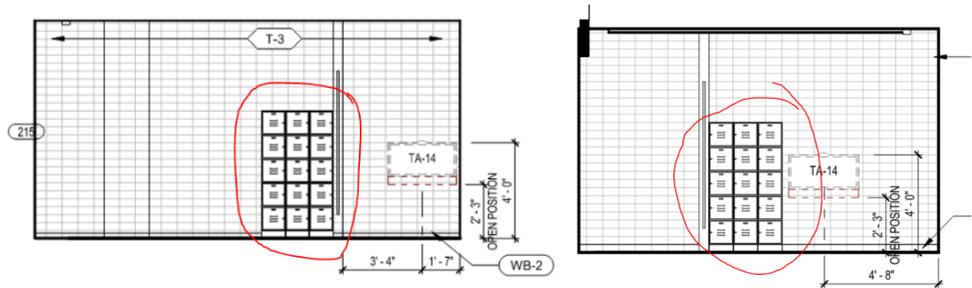
To Whom it May Concern,

Proposal #42 – Lockers Credit is the result of a request made by Town staff to remove the small metal lockers in the gang restrooms on the second floor from the project scope. The request was made based on changes to the make-up and use of the lockers that was discussed during the furniture meetings held in the middle of August. The town wanted larger lockers based on a request from the airport police officer and these are being accommodated in the furniture package. Therefore, the need for the small metal lockers already in the project became redundant and unnecessary.

The GC has submitted \$2,100 of the total \$2,600 line item for these lockers due to the timing of the request. The Town asked to remove these lockers after the submittal had been produced, reviewed, and approved on August 25th. Because the submittal was so far along when it was pulled back the \$500 value being withheld is reasonable to cover costs and time associated with its production. The town staff did not know that we could change these lockers to satisfy the request until the furniture meetings were held and they notified the Architect as soon as they saw the submittal response to rectify the issue and recall the approval.

See drawings below for the location and elevations of the lockers being removed for quick reference:





The costs associated with this proposal were reviewed based on industry standards and best practices and the value included for this proposal is reasonable and customary based on the work that was required and the timing when the request was made.

Proposal #42 Credit Returned: **-\$2,100.00**
Proposal #42 Contract Days Extension: **0 Days**

Sincerely,

Will Butler
Senior Associate



Request for Information 170

Project Title: Addison Airport Customs and Border Protection Facility
Submitted by Subcontractor:

Date Created: 9/15/2020

Answer Company	Author Company	Authored By
Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, Texas 77002	JC Commercial 1801 Lakepointe Dr. Suite 129 Lewisville, TX 75057	Trevor Fitzgerald

Subject: Proposal #42 - Lockers Credit
Category: Proposal

Question:
Date Required: 9/22/2020

Per the architect's request, this proposal is for the removal of the metal lockers from our scope of work.

Answer:
Date Answered:



Proposal #42

Project:	<u>Addison Airport Customs and Border Protection Facility</u>	Customer:	<u>Town of Addison 5350 Beltline Road Dallas, Texas 75254</u>
Date:	<u>9/15/2020</u>	Architect:	<u>Page Southerland Page 1100 Louisiana Street, Suite One Houston, Texas 77002</u>
Attn:	<u>Jeff Mechlem, Mitchell McAnally Will Butler, Vlad Stevanovic</u>		

This Proposal contains an itemized quotation for changes in the Contract Sum and/or Contract Time in response to proposed modifications to the Contract Documents based on request from owner/architect.

Item	Description	Total
1	Deduct amount to remove the metal lockers from our scope of work	\$ (2,600.00)
2	Price for submittals and administrative costs	\$ 500.00
	Total	\$ (2,100.00)

Does Proposed Change involve a change in Contract Sum?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	[Increase / Decrease]	(\$2,100.00)
Does Proposed Change involve a change in Contract Time?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	[Increase / Decrease]	Days <u>0</u>

JC Commercial	Page Southerland Page
CONTRACTOR	Architect
1801 Lakepointe Drive, Suite #129	1100 Louisiana Street, Suite One
Lewisville, TX 75057	Houston, Texas 77002

By: Scott Arthur
 Signature: Scott Arthur
 Date: 9/15/2020

By:
 Signature:
 Date:



Request for Information 170

Project Title: Addison Airport Customs and Border Protection Facility Submitted by Subcontractor:

Date Created: 9/15/2020

Table with 3 columns: Answer Company, Author Company, Authored By. Includes details for Page Southerland Page, Inc. and JC Commercial.

Subject: Proposal #42 - Lockers Credit Category: Proposal

Question: Date Required: 9/22/2020

Per the architect's request, this proposal is for the removal of the metal lockers from our scope of work.

Answer: Date Answered:

Page Response: The value submitted here is reasonable and acceptable given the timing of the request. We will be recommending this value for inclusion with the next Change Order #03.



Proposal #42

Project:	<u>Addison Airport Customs and Border Protection Facility</u>	Customer:	<u>Town of Addison 5350 Beltline Road Dallas, Texas 75254</u>
Date:	<u>9/15/2020</u>	Architect:	<u>Page Southerland Page 1100 Louisiana Street, Suite One Houston, Texas 77002</u>
Attn:	<u>Jeff Mechlem, Mitchell McAnally Will Butler, Vlad Stevanovic</u>		

This Proposal contains an itemized quotation for changes in the Contract Sum and/or Contract Time in response to proposed modifications to the Contract Documents based on request from owner/architect.

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2	Price for submittals and administrative costs	\$ 500.00
	Total	\$ (2,100.00)

Does Proposed Change involve a change in Contract Sum?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	[Increase / Decrease]	(\$2,100.00)
Does Proposed Change involve a change in Contract Time?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	[Increase / Decrease]	Days <u>0</u>

JC Commercial	Page Southerland Page
CONTRACTOR	Architect
1801 Lakepointe Drive, Suite #129	1100 Louisiana Street, Suite One
Lewisville, TX 75057	Houston, Texas 77002

By: Scott Arthur
 Signature: Scott Arthur
 Date: 9/15/2020

By:
 Signature:
 Date:

Will Butler

From: Joel Jenkinson <joel.jenkinson@addisonairport.net>
Sent: Tuesday, August 25, 2020 4:33 PM
To: Will Butler; Darci Neuzil
Cc: McAnally, Mitchell, R
Subject: RE: Submittal Responded to and Closed: Metal Lockers (Resubmittal) - 417151 - City of Addison Airport - Submittal:105113.02:3NO5d

Importance: High

Follow Up Flag: Follow up
Flag Status: Flagged

Will,

Let's ditch the lockers and ask for a credit. I don't think we really need them.

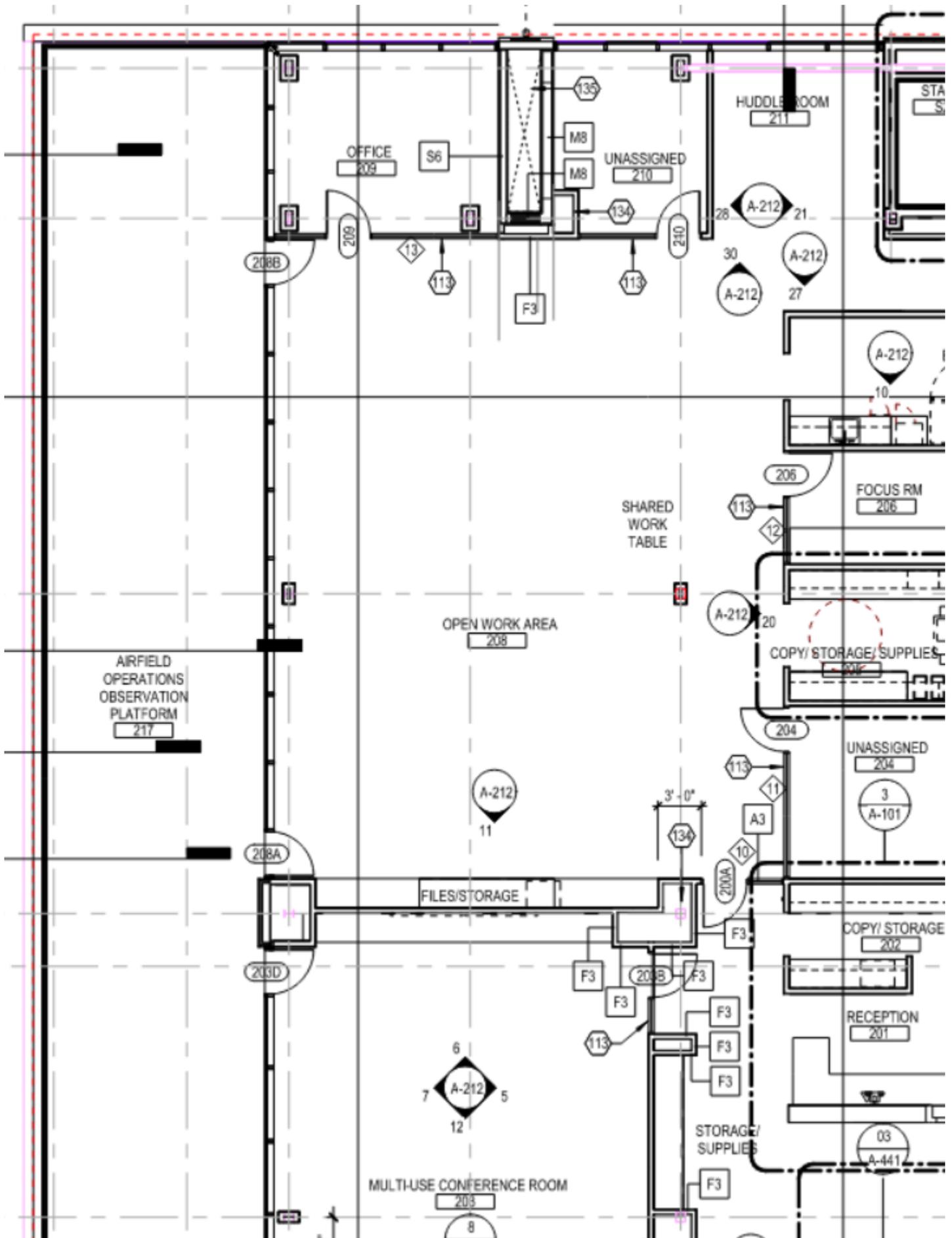
Thanks,

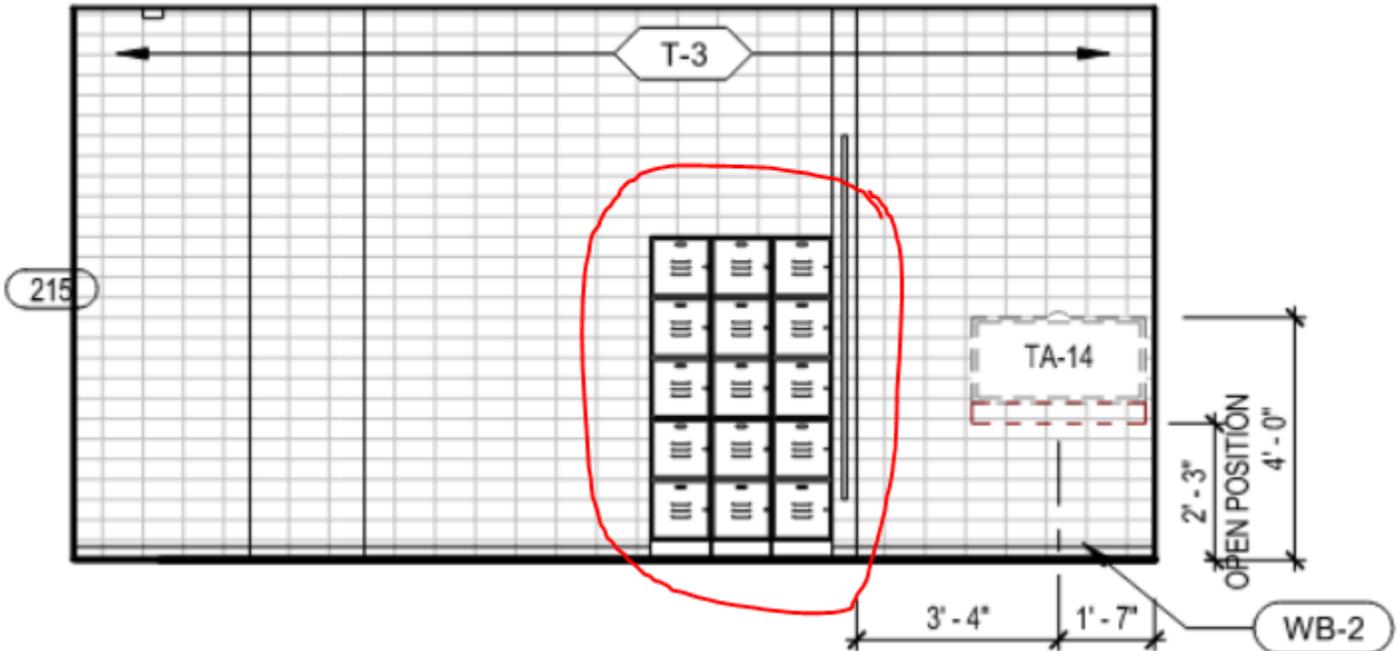
Joel

From: Will Butler <wbutler@pagethink.com>
Sent: Tuesday, August 25, 2020 11:16 AM
To: Joel Jenkinson <joel.jenkinson@addisonairport.net>; Darci Neuzil <darci.neuzil@addisonairport.net>
Cc: McAnally, Mitchell, R <mrmcanally@garverusa.com>
Subject: RE: Submittal Responded to and Closed: Metal Lockers (Resubmittal) - 417151 - City of Addison Airport - Submittal:105113.02:3NO5d

Joel,

These lockers are located in the public bathrooms on the second floor. I have clipped in an image of their locations in the plans and interior elevations below for quick reference (Lockers are circled in red on each drawing):

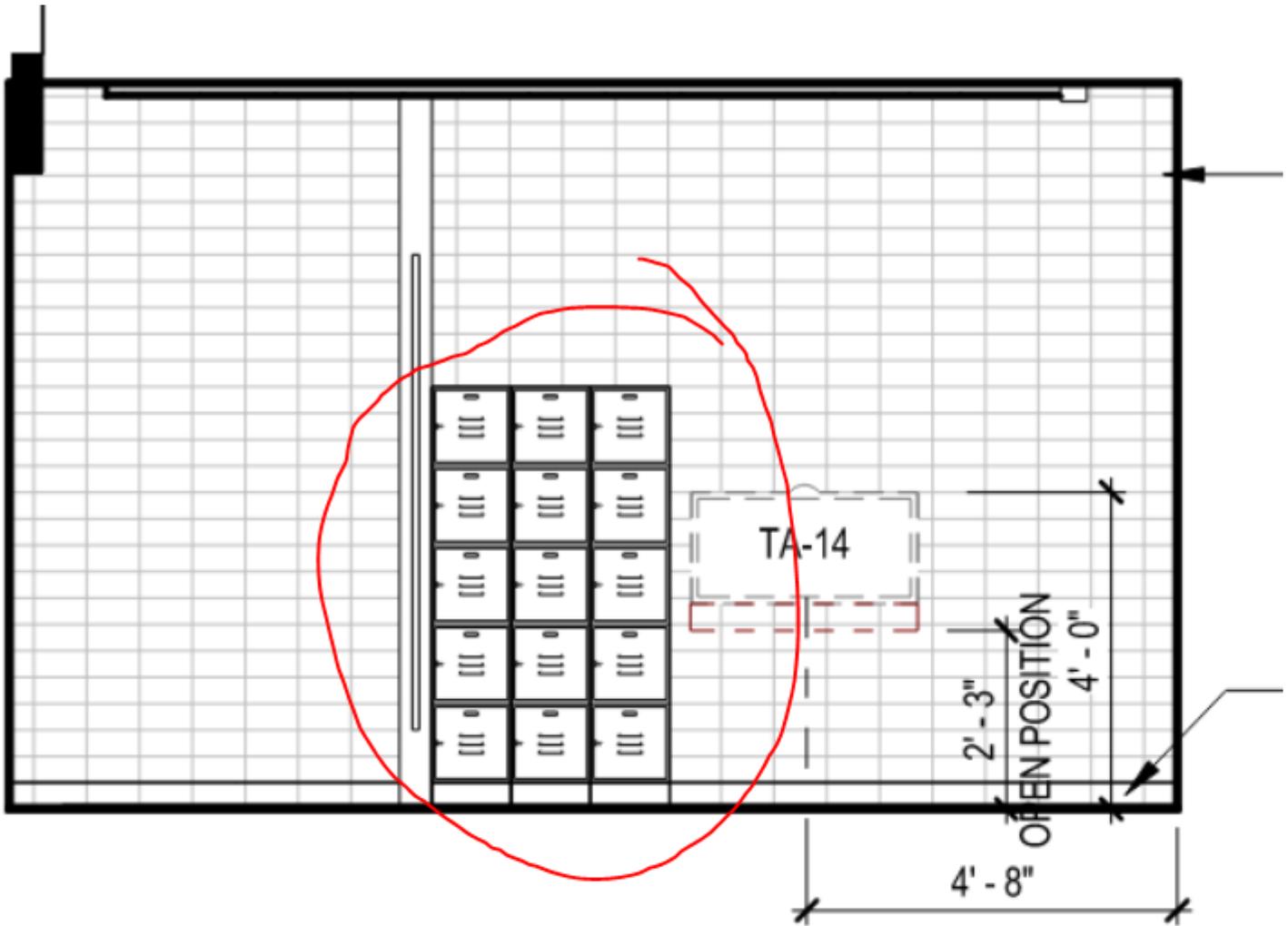




ELEVATION @ WOMEN'S RR 215
- EAST

11

SCALE: 1/4" = 1'-0"



VISIONS

214 -

ELEVATION @
EAST

15

SCALE: 1/4" = 1'-0"

If you do not want to utilize these, I need to know ASAP so I can reach out to the GC and stop them from procuring them. Since they are not in the CBP space, I do not think they are a CBP requirement but I will look into it and circle back to be sure.

Let me know if you would like me to stop the GC and request a credit for these lockers.

Thanks,

Will Butler
Page
Senior Associate / Designer

wbutler@pagethink.com
469 621 4837

Our highest priority is the health, safety and well-being of our employees, their families, our clients, our communities, and those with whom we work. Even working remotely, our full resources are available to support you.

From: Joel Jenkinson <joel.jenkinson@addisonairport.net>
Sent: Tuesday, August 25, 2020 10:34 AM
To: Darci Neuzil <darci.neuzil@addisonairport.net>
Cc: Will Butler <wbutler@pagethink.com>; McAnally, Mitchell, R <mrmcanally@garverusa.com>
Subject: RE: Submittal Responded to and Closed: Metal Lockers (Resubmittal) - 417151 - City of Addison Airport - Submittal:105113.02:3NO5d

Will,

Where are these lockers? Are they in Airport Admin space or CBP space? I'm not sure we need or want these, we were talking about getting a larger locker for the police officer. Are we too late to seek a change here?

Thanks,

Joel

From: Darci Neuzil <darci.neuzil@addisonairport.net>
Sent: Tuesday, August 25, 2020 10:27 AM
To: Joel Jenkinson <joel.jenkinson@addisonairport.net>
Subject: FW: Submittal Responded to and Closed: Metal Lockers (Resubmittal) - 417151 - City of Addison Airport - Submittal:105113.02:3NO5d

Joel,

Do you see any reason that we would need the 5 small 12 x 12 lockers in the men's restroom? I assume these lockers are for employee use. I don't know if they are really needed. You might remember that the airport officer requested a locker on site so that he would not have to go to the police department to change at the end of the day. Do you think we need the 5 small lockers, or would you prefer to substitute one large locker instead. If so, would this be the time to substitute one large locker, instead of the 5 smaller lockers?

Darci

From: Will Butler <wbutler@pagethink.com>
Sent: Tuesday, August 25, 2020 9:39 AM
To: Darci Neuzil <darci.neuzil@addisonairport.net>
Subject: Submittal Responded to and Closed: Metal Lockers (Resubmittal) - 417151 - City of Addison Airport - Submittal:105113.02:3NO5d

Project: 417151 **417151 - City of Addison Airport**

Notification about Submittal **Metal Lockers (Resubmittal)**

Note: You have been CC'd on this notification.

This email contains the response for a Submittal.

Remarks

Response (Approved as Noted) from: Will Butler (Page Southerland Page, Inc.)

Remarks:

See attached for notes and comments - GC to provide a follow-up submittal with the noted physical samples boxed in red on the attached mark-up for final color selection and approval.

Download all files

Submittal Info

To: Trevor Fitzgerald (JC Commercial, Inc.)

CC: Margarita de Monterrosa (Page Southerland Page, Inc.); Lisa Pyles (Town of Addison); Will Butler (Page Southerland Page, Inc.); Darci Neuzil (Town of Addison); Michelle LeBlanc (JC Commercial, Inc.); Scott Arthur (JC Commercial, Inc.); Joe McAnally (Town of Addison); Joel Jenkinson (Town of Addison); Jeff Mechlem (Page Southerland Page, Inc.)

Action: **Approved as Noted**

Sender ID: **105113.02**

Expiration Date: **None**

Transferred Files

105113.02 - Metal Lockers (combined)_Page Reviewed.pdf	8/25/2020	9:34 AM	2,560 KB
Transmittal_Submittal - 105113.02 (Responded and Closed).pdf	8/25/2020	9:38 AM	60 KB

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RFI Response

RFI ID	170		
To	Trevor Fitzgerald JC Commercial, Inc. 1801 Lakepointe Drive Suite 129 Lewisville TX 75057 United States (972) 436-4622	From	Page CA Department Page Southerland Page, Inc. 1100 Louisiana Suite One Houston TX 77002 United States (713) 871-8484
Project	417151 - City of Addison Airport	Project No.	417151
Date	9/22/2020	Transmittal ID	00979
Subject	Proposal #42 - Lockers Credit		
We are sending	<input type="checkbox"/> Attached <input type="checkbox"/> Under Separate Cover	Via	Info Exchange

Question: Per the architect's request, this proposal is for the removal of the metal lockers from our scope of work.

Suggestion:

Answer: **Response (Answered) from: Will Butler (Page Southerland Page, Inc.)**

Remarks:

See attached for the response.

Contents

Copies	Date	Number	Description
1	9/15/2020		RFI 170 - Proposal #42 - Lockers Credit.pdf

These are transmitted For review and comment For your use As requested

Please let me know if you need any additional information or clarification. Thank you.

CC: Darci Neuzil
Jeff Mechlem
Joe McAnally
Joel Jenkinson
Margarita de **Monterrosa**
Michelle LeBlanc
Scott Arthur
Shannon Hicks
Will Butler

Will Butler

From: Joel Jenkinson <joel.jenkinson@addisonairport.net>
Sent: Tuesday, August 25, 2020 4:33 PM
To: Will Butler; Darci Neuzil
Cc: McAnally, Mitchell, R
Subject: RE: Submittal Responded to and Closed: Metal Lockers (Resubmittal) - 417151 - City of Addison Airport - Submittal:105113.02:3NO5d

Importance: High

Follow Up Flag: Follow up
Flag Status: Flagged

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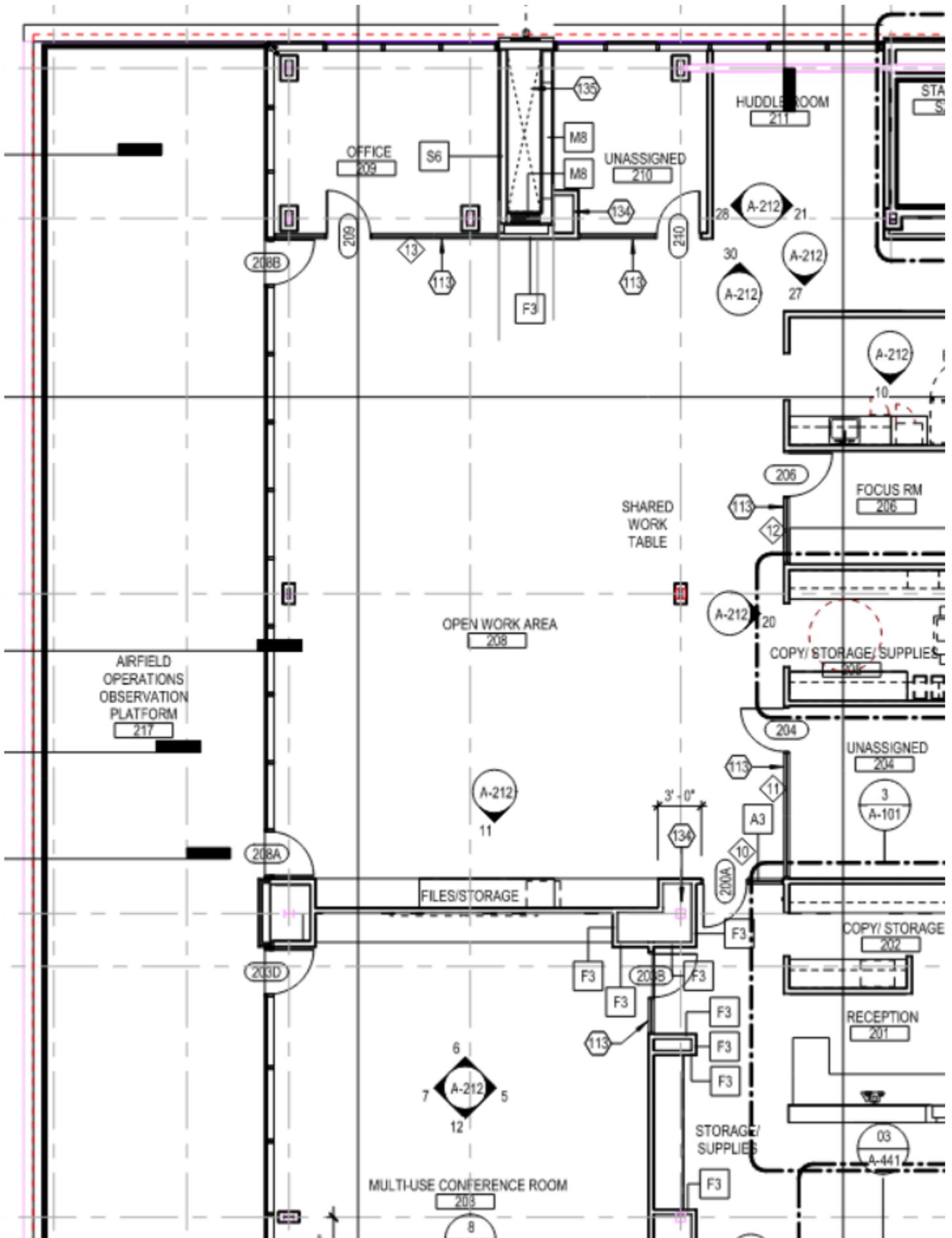
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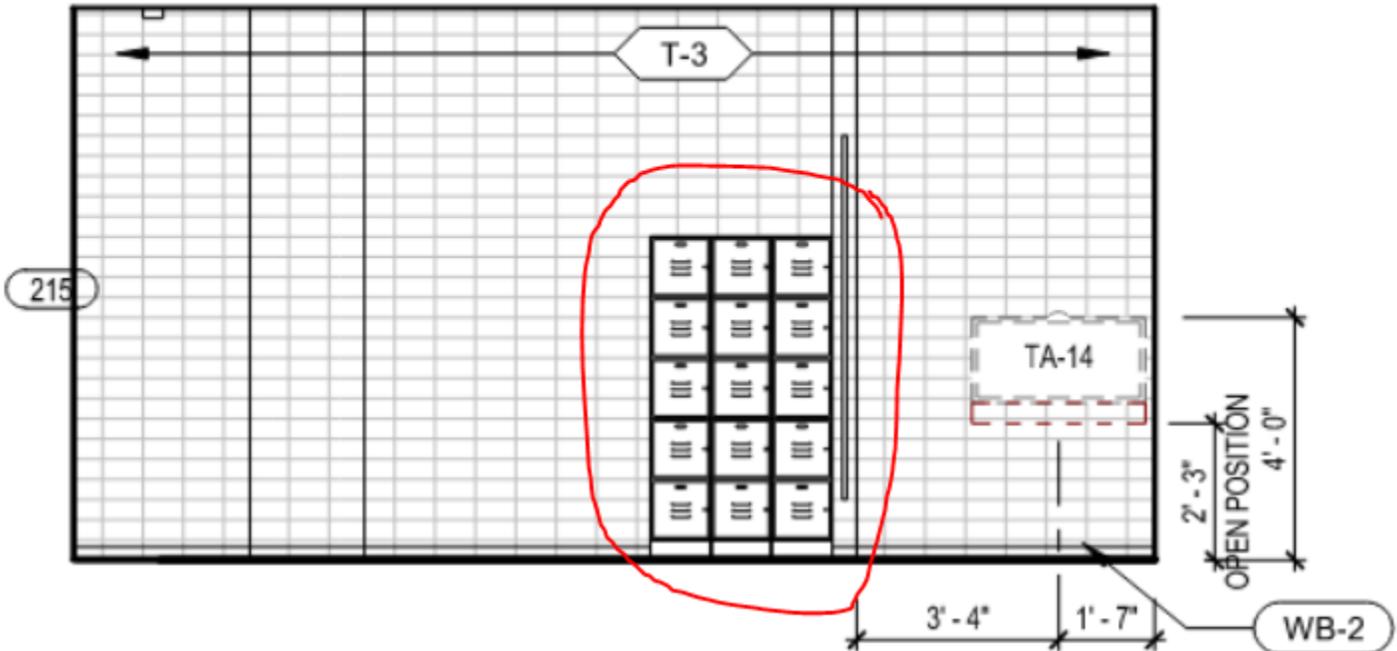
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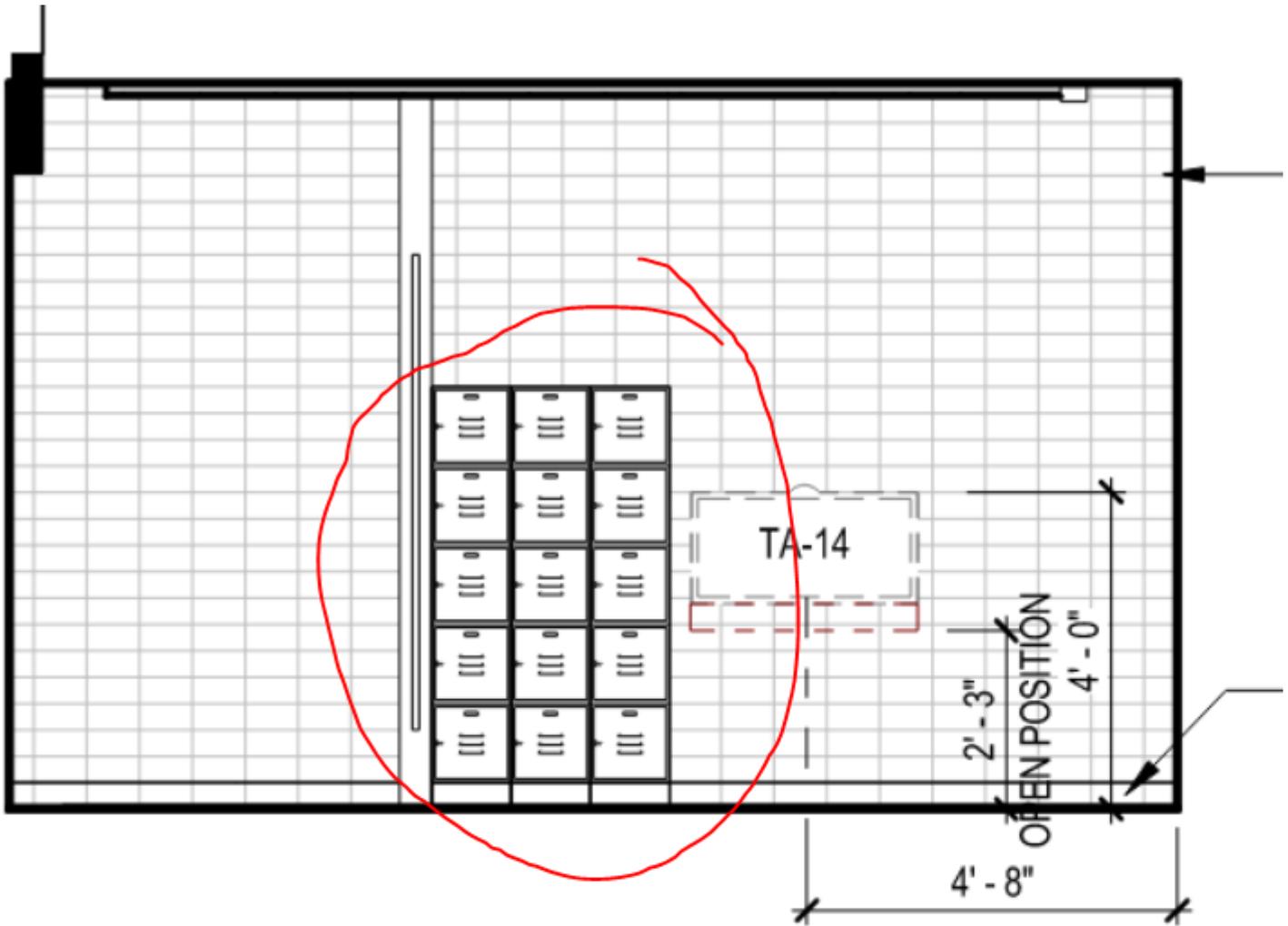




ELEVATION @ WOMEN'S RR 215
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SCALE: 1/4" = 1'-0"



VISIONS

214 -

ELEVATION @
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Page
Senior Associate / Designer

wbutler@pagethink.com
469 621 4837

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Subject: Submittal Responded to and Closed: Metal Lockers (Resubmittal) - 417151 - City of Addison Airport - Submittal:105113.02:3NO5d

Project: 417151 **417151 - City of Addison Airport**

Notification about Submittal **Metal Lockers (Resubmittal)**

Note: You have been CC'd on this notification.

This email contains the response for a Submittal.

Remarks

Response (Approved as Noted) from: Will Butler (Page Southerland Page, Inc.)

Remarks:

See attached for notes and comments - GC to provide a follow-up submittal with the noted physical samples boxed in red on the attached mark-up for final color selection and approval.

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To: Trevor Fitzgerald (JC Commercial, Inc.)

CC: Margarita de Monterrosa (Page Southerland Page, Inc.); Lisa Pyles (Town of Addison); Will Butler (Page Southerland Page, Inc.); Darci Neuzil (Town of Addison); Michelle LeBlanc (JC Commercial, Inc.); Scott Arthur (JC Commercial, Inc.); Joe McAnally (Town of Addison); Joel Jenkinson (Town of Addison); Jeff Mechlem (Page Southerland Page, Inc.)

Action: **Approved as Noted**

Sender ID: **105113.02**

Expiration Date: **None**

Transferred Files

105113.02 - Metal Lockers (combined)_Page Reviewed.pdf	8/25/2020	9:34 AM	2,560 KB
Transmittal_Submittal - 105113.02 (Responded and Closed).pdf	8/25/2020	9:38 AM	60 KB

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AIA® Document G714™ – 2017

Construction Change Directive

PROJECT: <i>(name and address)</i> 417151 - Town of Addison Airport Customs and Border Patrol Facility 4545 Jimmy Doolittle Drive Addison, TX 75001	CONTRACT INFORMATION: Contract For: General Construction Date: September 30, 2019	CCD INFORMATION: Directive Number: 001 Date: September 22, 2020
OWNER: <i>(name and address)</i> Town of Addison 16051 Addison Road TX 75001	ARCHITECT: <i>(name and address)</i> Page Southerland Page, Inc. 1100 Louisiana Street, Suite One Houston, TX 77002	CONTRACTOR: <i>(name and address)</i> JC Commercial, Inc. 1801 Lakepointe Drive, Suite 129 Lewisville, TX 75057

The Contractor is hereby directed to make the following change(s) in this Contract:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits.)

The Owner (Town of Addison) is directing the General Contractor (JC Commercial) to proceed with the construction and any modifications required to existing elements related to the following items contained in the attached proposal based on various RFI responses and ASI/PR issuances - See attached narrative for more background related to these changes.

Proposal #28 - Scuppers and Downspout (\$3,478.06)

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum increase of \$3,478.06
 - Unit Price of \$ per
 - Cost, as defined below, plus the following fee:
(Insert a definition of, or method for determining, cost)
 - As follows: Value increase submitted and approved and any time extensions will be included in the next Change Order (CO #03) and submitted for approval to the Town of Addison Council at the next available Council Meeting.
- The Contract Time is proposed to extend. The proposed adjustment, if any, is 12 days.

NOTE: The Owner, Architect and Contractor should execute a Change Order to supersede this Construction Change Directive to the extent they agree upon adjustments to the Contract Sum, Contract Time, or Guaranteed Maximum price for the change(s) described herein.

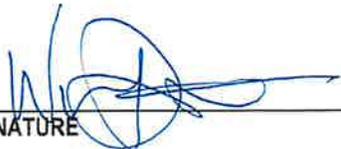
When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

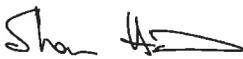
Contractor signature indicates agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this CCD.

Page Southerland Page, Inc.
ARCHITECT *(Firm name)*

Town of Addison Airport
OWNER *(Firm name)*

JC Commercial, Inc.
CONTRACTOR *(Firm name)*


SIGNATURE
Will Butler | Senior Associate
PRINTED NAME AND TITLE
9/29/2020
DATE


SIGNATURE
Shannon Hicks | Director of Public
Works and Engineering Services
PRINTED NAME AND TITLE
9/29/2020
DATE


SIGNATURE
Scott Arthur | Vice President
PRINTED NAME AND TITLE
10-1-20
DATE

AIA[®] Document G714[™] – 2017

Construction Change Directive

PROJECT: <i>(name and address)</i> 417151 - Town of Addison Airport Customs and Border Patrol Facility 4545 Jimmy Doolittle Drive Addison, TX 75001	CONTRACT INFORMATION: Contract For: General Construction Date: September 30, 2019	CCD INFORMATION: Directive Number: 002 Date: September 22, 2020
OWNER: <i>(name and address)</i> Town of Addison 16051 Addison Road TX 75001	ARCHITECT: <i>(name and address)</i> Page Southerland Page, Inc. 1100 Louisiana Street, Suite One Houston, TX 77002	CONTRACTOR: <i>(name and address)</i> JC Commercial, Inc. 1801 Lakepointe Drive, Suite 129 Lewisville, TX 75057

The Contractor is hereby directed to make the following change(s) in this Contract:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits.)

The Owner (Town of Addison) is directing the General Contractor (JC Commercial) to proceed with the construction and any modifications required to existing elements related to the following items contained in the attached proposal based on various RFI responses and ASI/PR issuances - See attached narrative for more background related to these changes.

Proposal #31 - Raco Wall Support (\$1,078.23)

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum increase of \$1,078.23
 - Unit Price of \$ per
 - Cost, as defined below, plus the following fee:
(Insert a definition of, or method for determining, cost)
 - As follows: Value increase submitted and approved and any time extensions will be included in the next Change Order (CO #03) and submitted for approval to the Town of Addison Council at the next available Council Meeting.
- The Contract Time is proposed to remain as-is. The proposed adjustment, if any, is N/A.

NOTE: The Owner, Architect and Contractor should execute a Change Order to supersede this Construction Change Directive to the extent they agree upon adjustments to the Contract Sum, Contract Time, or Guaranteed Maximum price for the change(s) described herein.

When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

Contractor signature indicates agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this CCD.

Page Southerland Page, Inc.
ARCHITECT *(Firm name)*

Town of Addison Airport
OWNER *(Firm name)*

JC Commercial, Inc.
CONTRACTOR *(Firm name)*


SIGNATURE

Will Butler | Senior Associate

PRINTED NAME AND TITLE

9/29/2020
DATE


SIGNATURE

Shannon Hicks | Director of Public
Works and Engineering Services

PRINTED NAME AND TITLE

9/29/2020
DATE


SIGNATURE

Scott Arthur | Vice President

PRINTED NAME AND TITLE

10-1-20
DATE



AIA Document G714™ – 2017

Construction Change Directive

PROJECT: <i>(name and address)</i> 417151 - Town of Addison Airport Customs and Border Patrol Facility 4545 Jimmy Doolittle Drive Addison, TX 75001	CONTRACT INFORMATION: Contract For: General Construction Date: September 30, 2019	CCD INFORMATION: Directive Number: 004 Date: September 22, 2020
OWNER: <i>(name and address)</i> Town of Addison 16051 Addison Road TX 75001	ARCHITECT: <i>(name and address)</i> Page Southerland Page, Inc. 1100 Louisiana Street, Suite One Houston, TX 77002	CONTRACTOR: <i>(name and address)</i> JC Commercial, Inc. 1801 Lakepointe Drive, Suite 129 Lewisville, TX 75057

The Contractor is hereby directed to make the following change(s) in this Contract:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits.)

The Owner (Town of Addison) is directing the General Contractor (JC Commercial) to proceed with the construction and any modifications required to existing elements related to the following items contained in the attached proposal based on various RFI responses and ASI/PR issuances - See attached narrative for more background related to these changes.

Proposal #41 - Additional Hardware for Door S2A (\$886.60)

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum increase of \$886.60
 - Unit Price of \$ per
 - Cost, as defined below, plus the following fee:
(Insert a definition of, or method for determining, cost)
 - As follows: Value increase submitted and approved and any time extensions will be included in the next Change Order (CO #03) and submitted for approval to the Town of Addison Council at the next available Council Meeting.
- The Contract Time is proposed to TBD. The proposed adjustment, if any, is TBD.

NOTE: The Owner, Architect and Contractor should execute a Change Order to supersede this Construction Change Directive to the extent they agree upon adjustments to the Contract Sum, Contract Time, or Guaranteed Maximum price for the change(s) described herein.

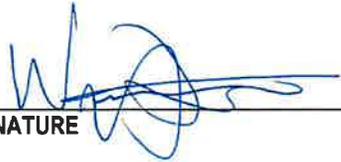
When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

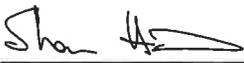
Contractor signature indicates agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this CCD.

Page Southerland Page, Inc.
ARCHITECT *(Firm name)*

Town of Addison Airport
OWNER *(Firm name)*

JC Commercial, Inc.
CONTRACTOR *(Firm name)*


SIGNATURE
Will Butler | Senior Associate
PRINTED NAME AND TITLE
9/29/2020
DATE


SIGNATURE
Shannon Hicks | Director of Public
Works and Engineering Services
PRINTED NAME AND TITLE
9/29/2020
DATE


SIGNATURE
Scott Arthur | Vice President
PRINTED NAME AND TITLE
10-1-20
DATE

AIA[®] Document G714[™] – 2017

Construction Change Directive

PROJECT: *(name and address)*
417151 - Town of Addison Airport
Customs and Border Patrol Facility
4545 Jimmy Doolittle Drive
Addison, TX 75001

CONTRACT INFORMATION:
Contract For: General Construction
Date: September 30, 2019

CCD INFORMATION:
Directive Number: 003
Date: September 22, 2020

OWNER: *(name and address)*
Town of Addison
16051 Addison Road
TX 75001

ARCHITECT: *(name and address)*
Page Southerland Page, Inc.
1100 Louisiana Street, Suite One
Houston, TX 77002

CONTRACTOR: *(name and address)*
JC Commercial, Inc.
1801 Lakepointe Drive, Suite 129
Lewisville, TX 75057

The Contractor is hereby directed to make the following change(s) in this Contract:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits.)

The Owner (Town of Addison) is directing the General Contractor (JC Commercial) to proceed with the construction and any modifications required to existing elements related to the following items contained in the attached proposal based on various RFI responses and ASI/PR issuances - See attached narrative for more background related to these changes.

Proposal #34 - Black Hinges (\$2,677.03)

PROPOSED ADJUSTMENTS

- The proposed basis of adjustment to the Contract Sum or Guaranteed Maximum Price is:
 - Lump Sum increase of \$2,677.03
 - Unit Price of \$ per
 - Cost, as defined below, plus the following fee:
(Insert a definition of, or method for determining, cost)
 - As follows: Value increase submitted and approved and any time extensions will be included in the next Change Order (CO #03) and submitted for approval to the Town of Addison Council at the next available Council Meeting.
- The Contract Time is proposed to remain as-is. The proposed adjustment, if any, is N/A.

NOTE: The Owner, Architect and Contractor should execute a Change Order to supersede this Construction Change Directive to the extent they agree upon adjustments to the Contract Sum, Contract Time, or Guaranteed Maximum price for the change(s) described herein.

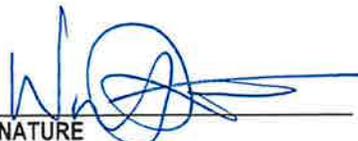
When signed by the Owner and Architect and received by the Contractor, this document becomes effective IMMEDIATELY as a Construction Change Directive (CCD), and the Contractor shall proceed with the change(s) described above.

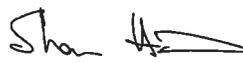
Contractor signature indicates agreement with the proposed adjustments in Contract Sum and Contract Time set forth in this CCD.

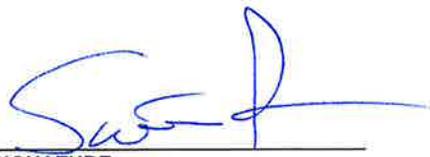
Page Southerland Page, Inc.
ARCHITECT *(Firm name)*

Town of Addison Airport
OWNER *(Firm name)*

JC Commercial, Inc.
CONTRACTOR *(Firm name)*


SIGNATURE
Will Butler | Senior Associate
PRINTED NAME AND TITLE
9/29/2020
DATE


SIGNATURE
Shannon Hicks | Director of Public
Works and Engineering Services
PRINTED NAME AND TITLE
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SIGNATURE
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