

This plan conforms with design standards included in the Town of Addison Transportation, Water, and Sewer System Requirements, and Drainage Criteria Manual.

NOTE: Handicap parking is provided in accordance with ADA standards.

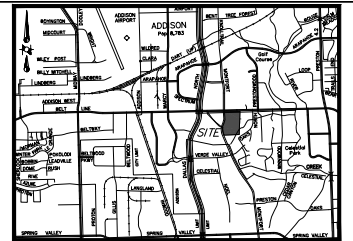
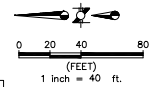
NO FLOODPLAIN EXISTS ON THIS SITE

SITE DATA SUMMARY TABLE			
LOT AREA (SQ FT)	15,571		
LOT AREA (ACRES)	10.89		
EXISTING ZONING	EX (SBS)		
PROPOSED ZONING	NO		
PROPOSED USE	RETAIL, RESTAURANT AND OFFICE		
BEULING AREA (SQ FT)	135,200		
LOT COVERAGE	21.6%		
PARKING RATIO	2.00		
PROVIDED PARKING	775		
STALL SIZE	18.5'x11'		

WATER METER TABLE			
ID	TYPE	SIZE	REMARK
1	DOM	1.5"	EXIST
2	IRB	1.0"	EXIST
3	DOM	2.0"	EXIST
4	DOM	2.0"	EXIST
5	DOM	2.0"	EXIST
6	DOM	2.0"	EXIST
7	DOM	2.0"	EXIST
8	DOM	2.0"	EXIST
9	DOM	2.0"	EXIST
10	DOM	2.0"	EXIST

TOWN OF ADDISON SITE PLAN NOTES:

- Any revision to this plan will require Town approval and will require revisions to any corresponding plans to avoid conflicts between plans.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Buildings with an aggregate sum of 5,000 square feet or greater on a lot shall have automatic fire sprinklers installed throughout all structures. Alternative fire protection measures may be approved by the Fire Department.
- All signage is subject to Town approval.
- All fences and retaining walls shall be shown on the site plan and are subject to Building Inspection Division approval.



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- CONCRETE
- FENCE LINE
- LIGHT STANDARD
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- INDICATOR POST VALVE
- CLEAN OUT
- IRRIGATION BOX
- TELEPHONE PEDESTAL
- POWER POLE
- GUY WIRE
- FLAG POLE
- ELECTRIC CONDUIT
- BREAKER BOX
- ELECTRIC OUTLET
- TRASH RECEPTACLE
- GREASE TRAP
- ELECTRIC METER
- HOSE BIB
- FIRE DEPARTMENT CONNECTION
- PULL BOX
- PULL BOX ELECTRIC
- AREA DRAIN AND SIZE IN INCHES
- SIGN
- WATER MANHOLE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- GAS MANHOLE
- TELEPHONE MANHOLE
- CREPE MYRTLE
- TREE
- OVERHEAD POWER
- SEWER LINE
- STORM SEWER LINE
- WATER LINE
- EXISTING CONTOUR LINE
- EXISTING SPOT ELEVATION
- DEED RECORDS, DALLAS COUNTY, TX
- EXISTING TREE TO BE REMOVED
- PROPOSED TREE
- FIRE LANE
- PROPOSED LIGHT POLE

ACTION

APPROVED	DENIED
STAFF	Date _____ Initials _____
COUNCIL	Date _____ Initials _____

See the Staff Approval Letter or Council Result Memo for any conditions associated with the approval of the project.

RLG CONSULTING ENGINEERS
12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
TSPE FIRM REG. F-493

CONCEPT PLAN

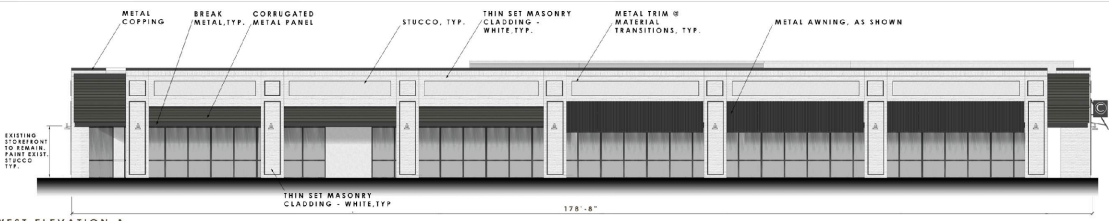
PRESTONWOOD PLACE
LOTS A, B, C, D - BLOCK 2
NORTHWOOD RETAIL, LLC
TOWN OF ADDISON, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	5/13/19	1913	009	C1

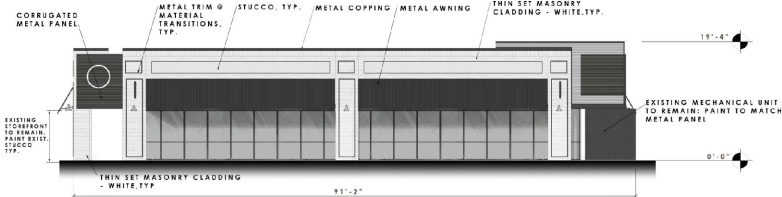
OWNER:
NORTHWOOD RETAIL, LLC
8080 PARK LANE, #600
DALLAS, TEXAS 75231
PH: (469)-828-3313
RYAN MUSCOTT

ENGINEER:
RLG CONSULTING ENGINEERS
12001 N.C. EXPRESSWAY, #300
DALLAS, TEXAS 75243
PH: (214)-739-8100
PHILLIP BRUGGER, PE
FIRM REG # F-493

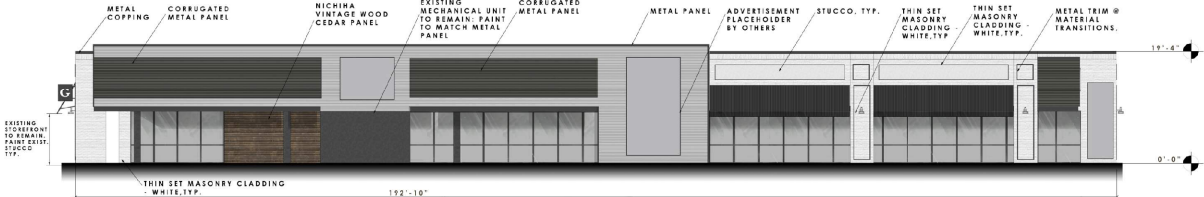
TOWN PROJECT NUMBER	1794-Z
OAKS NORTH-EAST NO. 2	
ALLEN BLEDSOE SURVEY- ABSTRACT NO. 157	
SITE ACREAGE: ±10.9	



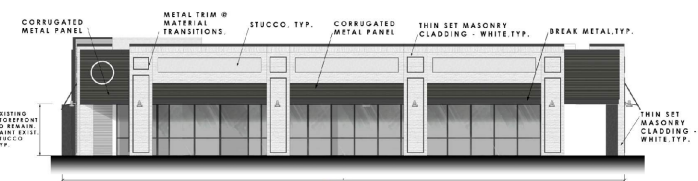
MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal panel/trim/copping	Composite Panel	Existing Brick paint01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint 03	Total	GLAZING	Total (w/glazing)
AREA SF	395	264	882	0	300	400	0	0	0	72	2313	1347.7	3660.7
PERCENTAGE	17%	11%	38%	0%	13%	17%	0%	0%	0%	3%	100%	37%	100%



MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal panel/trim/copping	Composite Panel	Existing Brick paint01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint 03	Total	GLAZING	Total (w/glazing)
AREA SF	200	120	650	0	70	0	0	0	0	0	1040	669.6	1709.6
PERCENTAGE	19%	12%	63%	0%	7%	0%	0%	0%	0%	0%	100%	39%	100%



MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal panel/trim/copping	Composite Panel	Existing Brick paint01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint 03	Total	GLAZING	Total (w/glazing)
AREA SF	1130	110	475	158	200	0	0	0	0	148	2221	1027.5	3248.5
PERCENTAGE	51%	5%	21%	7%	9%	0%	0%	0%	0%	7%	100%	32%	100%




MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal panel/trim/copping	Composite Panel	Existing Brick paint01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint 03	Total	GLAZING	Total (w/glazing)
AREA SF	395	264	882	0	300	400	0	0	0	72	2313	1347.7	3660.7
PERCENTAGE	17%	11%	38%	0%	13%	17%	0%	0%	0%	3%	100%	37%	100%

MATERIAL LEGEND :

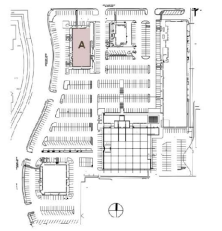
MATERIAL	Corrugated Metal Panel	Stucco	Thin set masonry cladding	Wood Panel (composite)	Metal panel / trim / copping	Composite Panel	Existing Brick painted 01	Existing Brick painted 02	Existing Brick painted 04	Exist. Stucco to be painted 03	GLAZING
MANUFACTURER	MBI	n/a	Acme Brick	Nichia	n/a	Nichia	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	n/a
COLOR	SW6994 greenblack	SW7015-repose gray	white	Cedar	SW6994 greenblack	Industrial block (concrete look)	SW7074 Network	SW6994 greenblack	white	SW7015-repose gray	n/a

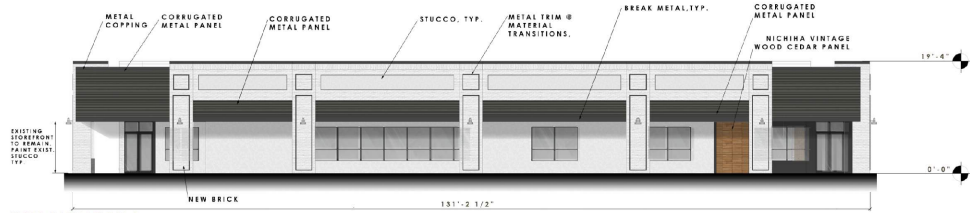
OWNER:
NORTHWOOD RETAIL, LLC
8080 PARK LANE, #600 DALLAS, TEXAS 75231
PH: (469)-828-3313
RYAN MUSCOTT

ARCHITECT:
MERRIMAN ANDERSON, ARCHITECTS
300 N. FIELD ST. DALLAS, TX 75202
PH: 214.987.1299
RYAN SCHUTT

TOWN PROJECT NUMBER 1794-2												
GRAPHIC SCALE 0' 10' 20'												
OAKS NORTH-EAST NO. 2	PRESTONWOOD PLACE LOTS A, B, C, D - BLOCK 2 NORTHWOOD RETAIL, LLC											
ALLEN BLEDSOE SURVEY- ABSTRACT NO. 157												
SITE ACREAGE: ± 10.4 A.C.	TOWN OF ADDISON, TEXAS											
	<table><tr><td>REVIEW</td><td>DRAWN</td><td>DATE</td><td>FILE</td><td>NUMBER</td><td>SHEET</td></tr><tr><td>RS</td><td>JDM</td><td>05-13-2019</td><td></td><td></td><td>A-1</td></tr></table>	REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET	RS	JDM	05-13-2019		
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET							
RS	JDM	05-13-2019			A-1							

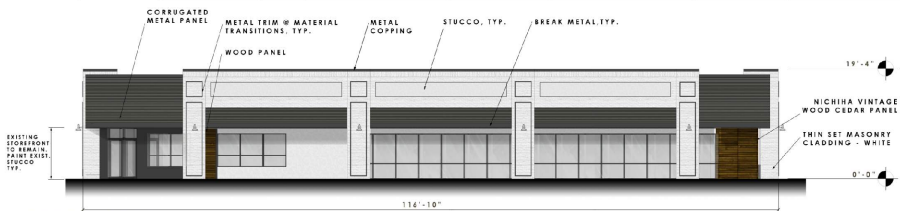
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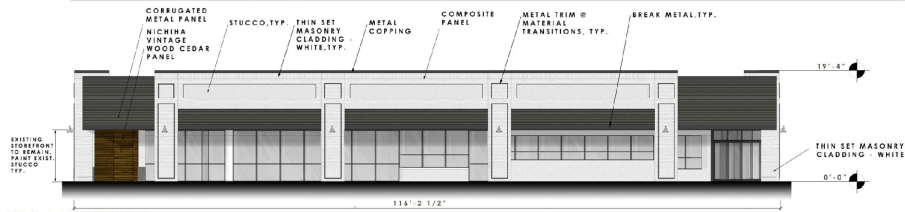
WEST ELEVATION B

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal panel/trim/copping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total	GLAZING	Total (w/glazing)
AREA SF	1362	188	556	50	200	0	0	0	0	0	534	2890	3114.9
PERCENTAGE	47%	7%	19%	2%	7%	0%	0%	0%	0%	0%	18%	100%	100%



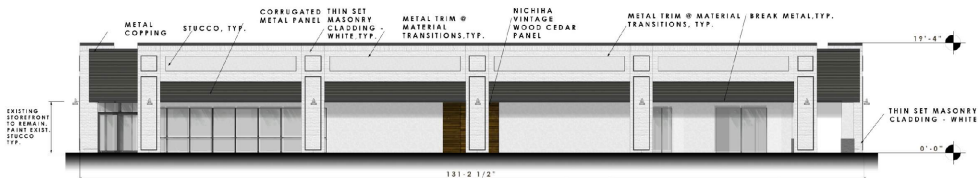
SOUTH ELEVATION B

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal panel/trim/copping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total	GLAZING	Total (w/glazing)
AREA SF	1244	171	570	90	170	0	0	0	0	0	202	2447	2883.8
PERCENTAGE	51%	7%	23%	4%	7%	0%	0%	0%	0%	0%	8%	100%	100%



NORTH ELEVATION B

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal panel/trim/copping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total	GLAZING	Total (w/glazing)
AREA SF	1244	171	500	0	67	0	0	0	0	0	567.6	2550	3373.1
PERCENTAGE	49%	7%	20%	0%	3%	0%	0%	0%	0%	0%	22%	100%	100%



EAST ELEVATION B

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal panel/trim/copping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total	GLAZING	Total (w/glazing)
AREA SF	394	228	730	90	170	0	0	0	0	0	148	1760	2242.2
PERCENTAGE	22%	13%	41%	5%	10%	0%	0%	0%	0%	0%	8%	100%	100%

MATERIAL LEGEND :

MATERIAL	Corrugated Metal Panel	Stucco	Thin set masonry cladding	Wood Panel (composite)	Metal panel / trim / copping	Composite Panel	Existing Brick painted 01	Existing Brick painted 02	Existing Brick painted 04	Exist. Stucco to be painted 03	GLAZING
MANUFACTURER	MBCI	n/a	Acme Brick	Nichira	n/a	Nichira	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	n/a
COLOR	SW6994 greenblack	SW7015-repose gray	white	Cedar	SW6994 greenblack	Industrial block (concrete look)	SW7074 Network	SW6994 greenblack	white	SW7015-repose gray	n/a

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PH: 214.987.1299
RYAN SCHUTT

TOWN PROJECT NUMBER
1794-2

GRAPHIC SCALE
0' 10' 20'

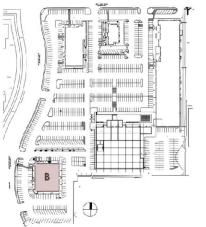
OAKS NORTH-EAST NO. 2

ALLEN BLEDSOE SURVEY-
ABSTRACT NO. 157

SITE ACREAGE: ± 10.4 AC.

FACADE PLAN NOTES:

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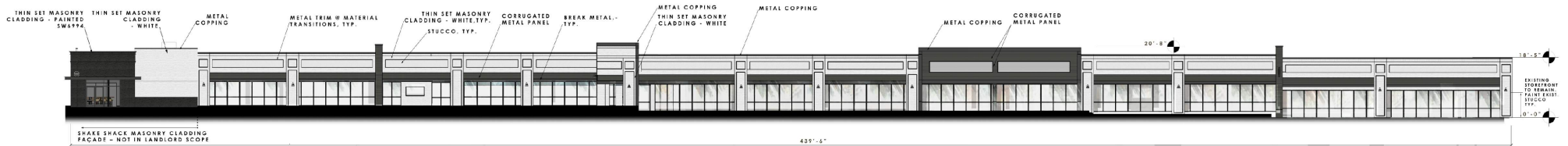


architects
maa
merriman
anderson

PRESTONWOOD PLACE
LOTS A, B, C, D - BLOCK 2
NORTHWOOD RETAIL, LLC

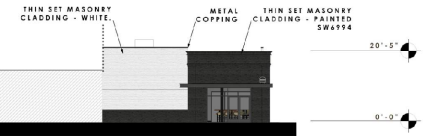
TOWN OF ADDISON, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RS	JDM	05-13-2019			A-2



WEST ELEVATION C

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal/ trim / coping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total Elevation	GLAZING	Total (w/glazing)
AREA SF	1102	720	2630		363.3						4815.3	3410.3	8225.6
PERCENTAGE	23%	15%	55%	0%	8%	0%	0%	0%	0%	0%	100%	41%	100%



EAST ELEVATION C

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal/ trim / coping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	GLAZING	Total Elevation
AREA SF			283							6882		7165
PERCENTAGE	0%	0%	4%	0%	0%	0%	0%	0%	0%	96%	0%	100%



SOUTH ELEVATION C

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal/ trim / coping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	GLAZING	Total Elevation
AREA SF		2974	62		23							3059
PERCENTAGE	0%	97%	2%	0%	1%	0%	0%	0%	0%	0%	0%	100%



NORTH ELEVATION C

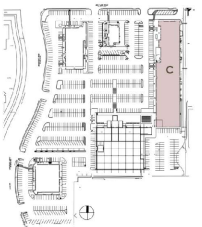
MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal/ trim / coping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total Elevation	GLAZING	Total (w/glazing)
AREA SF			1395		48						1443	365	1808
PERCENTAGE	0%	0%	97%	0%	3%	0%	0%	0%	0%	0%	100%	20%	100%

MATERIAL LEGEND :

MATERIAL	Corrugated Metal Panel	Stucco	Thin set masonry cladding	Wood Panel (composite)	Metal panel / trim / coping	Composite Panel	Existing Brick painted 01	Existing Brick painted 02	Existing Brick painted 04	Exist. Stucco to be painted 03	GLAZING
MANUFACTURER	MBJ	n/a	Acme Brick	Nichiha	n/a	Nichiha	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	n/a
COLOR	SW6994 greenblack	SW7015-repose gray	white	Cedar	SW6994 greenblack	Industrial block (concrete look)	SW7074 Network	SW6994 greenblack	white	SW7015-repose gray	n/a



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8080 PARK LANE, #600 DALLAS, TEXAS 75231
PH: (469)-828-3313
RYAN MUSCOTT

ARCHITECT:
MERRIMAN ANDERSON, ARCHITECTS
300 N. FIELD ST. DALLAS, TX 75202
PH: 214.987.1299
RYAN SCHUTT

TOWN PROJECT NUMBER
1794-2

GRAPHIC SCALE
0' 10' 20'

OAKS NORTH-EAST NO. 2

ALLEN BLEDSEOE SURVEY-
ABSTRACT NO. 157

SITE ACREAGE: ± 10.4 AC.

architects
maa
merriman
anderson

PRESTONWOOD PLACE
LOTS A, B, C, D - BLOCK 2
NORTHWOOD RETAIL, LLC

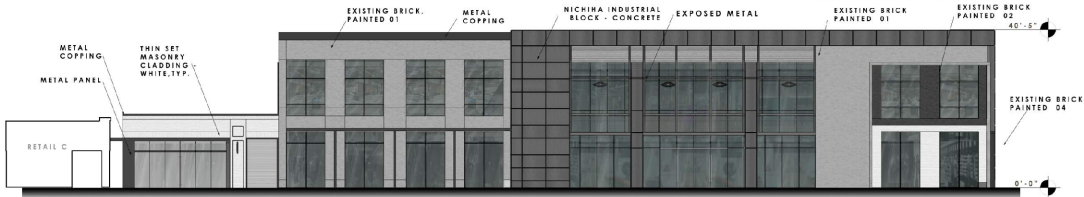
TOWN OF ADDISON, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RS	JDM	05-13-2019			A-3



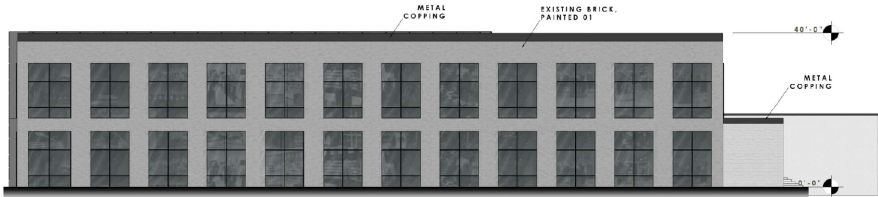
WEST ELEVATION D

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal/ trim / coping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total Elevation	GLAZING	Total (w/glazing)
AREA SF				361	1010.6	740	1955.6	475	314		4856.2	2686.8	7543
PERCENTAGE		0%	0%	7%	21%	15%	40%	10%	6%	0%	100%	36%	100%



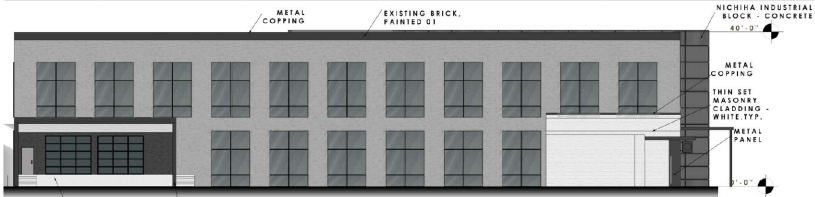
NORTH ELEVATION D

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal/ trim / coping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total Elevation	GLAZING	Total (w/glazing)
AREA SF	110	581	284		826.2	1042	1789	180	184		4996.2	3574.6	8970.8
PERCENTAGE	2%	12%	6%	0%	17%	21%	36%	4%	4%	0%	100%	44%	100%



SOUTH ELEVATION D

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal/ trim / coping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total Elevation	GLAZING	Total (w/glazing)
AREA SF					363.3		3415				3778.3	2935.4	6713.7
PERCENTAGE	0%	0%	0%	0%	10%	0%	90%	0%	0%	0%	100%	44%	100%



EAST ELEVATION D

MATERIAL	Corrugated Metal	Stucco	Thin set masonry cladding	Wood (composite)	Metal/ trim / coping	Composite Panel	Existing Brick paint 01	Existing Brick paint 02	Existing Brick paint 04	Exist. Stucco to be paint03	Total Elevation	GLAZING	Total (w/glazing)
AREA SF		521			484.5		2796			105.6	3907.1	2696	6603.1
PERCENTAGE	0%	13%	0%	0%	12%	0%	72%	0%	0%	3%	100%	41%	100%

MATERIAL LEGEND :

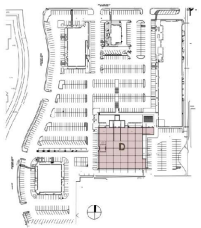
MATERIAL	Corrugated Metal Panel	Stucco	Thin set masonry cladding	Wood Panel (composite)	Metal panel / trim / coping	Composite Panel	Existing Brick painted 01	Existing Brick painted 02	Existing Brick painted 04	Exist. Stucco to be painted 03	GLAZING
MANUFACTURER	MBCI	n/a	Acme Brick	Nichiha	n/a	Nichiha	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	n/a
COLOR	SW6994 greenblack	SW7015-repose gray	white	Cedar	SW6994 greenblack	Industrial block (concrete look)	SW7074 Network	SW6994 greenblack	white	SW7015-repose gray	n/a


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TOWN PROJECT NUMBER 1794-2	<div>architects</div> <div>maa</div> <div>merriman anderson</div>					
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	NORTHWOOD RETAIL, LLC					
SITE ACREAGE: ± 10.8 AC.	TOWN OF ADDISON, TEXAS					
	REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
	RS	JDM	05-13-2019			A-4



MATERIAL LEGEND :

MATERIAL	Corrugated Metal Panel	Stucco	Thin set masonry cladding	Wood Panel (composite)	Metal panel / trim / coping	Composite Panel	Existing Brick painted 01	Existing Brick painted 02	Existing Brick painted 04	Exist. Stucco to be painted 03	GLAZING
MANUFACTURER	MBI	n/a	Acme Brick	Nichiha	n/a	Nichiha	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	n/a
COLOR	SW6994 greenblack	SW7015-repose gray	white	Cedar	SW6994 greenblack	Industrial block (concrete look)	SW7074 Network	SW6994 greenblack	white	SW7015-repose gray	n/a



FACADE PLAN NOTES:

- 1- This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
- 2- All mechanical units shall be screened from public view as required by the Zoning Ordinance.
- 3- When permitted, exposed utility boxes and conduits shall be painted to match the building.
- 4- All signage areas and locations are subject to approval by Development Services.
- 5- Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official.

OWNER:
NORTHWOOD RETAIL, LLC
8080 PARK LANE, #600 DALLAS, TEXAS 75231
PH: (469)-828-3313
RYAN MUSCOTT

ARCHITECT:
MERRIMAN ANDERSON, ARCHITECTS
300 N. FIELD ST. DALLAS, TX 75202
PH: 214.987.1299
RYAN SCHUTT

TOWN PROJECT NUMBER

1794-2

GRAPHIC SCALE

OAKS NORTH-EAST NO. 2

ALLEN BLEDSOE SURVEY-
ABSTRACT NO. 157

SITE ACREAGE: ± 10.8 AC.

architects
maa
merriman
anderson

PRESTONWOOD PLACE
LOTS A, B, C, D - BLOCK 2
NORTHWOOD RETAIL, LLC

TOWN OF ADDISON, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RS	JDM	05-13-2019			A-5

GENERAL NOTES:

- 1.) LOCATE AND VERIFY THE CONDITION OF EXISTING UTILITIES PRIOR TO EXCAVATION. TAKE RESPONSIBILITY OF CONTACTING LINE LOCATION SERVICES AND ANY COST INCURRED FOR BODILY INJURY AND / OR DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES.
- 2.) THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.
- 3.) THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF MAINTAINING A SAFE WORK SITE INCLUDING BUT NOT LIMITED TO PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION, AND COMPLIANCE WITH ALL FEDERAL AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
- 4.) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS BOTH ON SITE AND ADJACENT TO THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS TO THE SATISFACTION OF THE OWNER.
- 5.) THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- 6.) ANY ALTERNATES AND OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND / OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND / OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 7.) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF TRASH ON A DAILY BASIS.
- 8.) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT SHALL BE PAID FOR AND OBTAINED BY THE CONTRACTOR.
- 9.) COORDINATE WORK WITH SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS, COORDINATE CONSTRUCTION WITH OTHER CONTRACTORS WORKING ON THE SITE.
- 10.) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS, PARK VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.
- 11.) UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.
- 12.) THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.
- 13.) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH, REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURRED PRIOR TO COMPLETION. ALL AREAS OF THE PROJECT SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE OWNER PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.
- 14.) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVING TEMPORARY TOILET FACILITIES.

LANDSCAPE REQUIREMENTS:

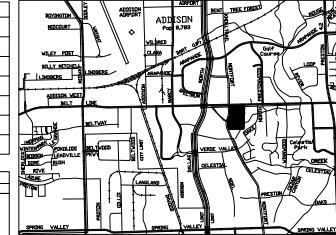
SITE TREE REQUIREMENT:	ONE SITE TREE MUST BE PROVIDED FOR EVERY 10 PARKING STALLS WITHIN THE LIMITS OF THE PROJECT AREA
PROPOSED PARKING:	764 STALLS
REQUIRED TREES:	REQUIRED 764 / 10 = 77 PROVIDED 177 TREES = 1 TREE PER 4.5 STALLS
SHADE TREES:	NO REQUIRED PARKING SPACE MAY BE LOCATED FURTHER THAN 50 FT FROM THE TRUNK OF A SHADE TREE OR FURTHER THAN 75 FT FROM TWO OR MORE SHADE TREES.
INTERIOR PARKING PLANTING AREA:	EXISTING (45) 10,800 sf REQUIRED (45) 237,600 sf x .05 = 11,875 sf PROVIDED (45) 23,600 sf (TOTAL PARKING AREA x .05)
PARKING LOT SCREENING:	ONE FOUR-INCH CALIPER SHADE TREE PER THIRTY LINEAR FEET OF STREET FRONTAGE
20% LANDSCAPE ROTTS:	EVERGREEN SHRUBS PLANTED 3-36 FEET O.C.
TOTAL SITE AREA:	REQUIRED 760 SF / 50 = 26 TREES PROVIDED 26 TREES
REQUIRED LANDSCAPE:	AT LEAST 20% OF GROSS SITE SHALL BE MAINTAINED AS LANDSCAPE AREA
STREET LANDSCAPE BUFFER:	EXISTING (84) 22,760 sf REQUIRED (20%) 478,760 sf x 0.2 = 94,750 sf PROVIDED (45) 47,800 sf
VISIBILITY TRIANGLES:	EXISTING 4'-10" (with sidewalk) REQUIRED 20' (centerline of sidewalk) PROVIDED 12'-20" (with sidewalk)
	ALL SHRUBS AND GROUNDCOVERS USED IN THE VISIBILITY TRIANGLE SHALL HAVE A MAXIMUM OF 18 IN. HT. TREES USED IN THE VISIBILITY TRIANGLE SHALL HAVE A MINIMUM BRANCHING CLEARANCE OF SIX FEET FROM GROUND TO THE FIRST BRANCH

TREE MITIGATION (REMOVED TREES ONLY)

SCIENTIFIC NAME	COMMON NAME	TREE #	CALIPER INCHES	MITIGATION REQUIRED
QUERCUS VIRGINIANA	LIVE OAK	1	3"	YES
QUERCUS VIRGINIANA	LIVE OAK	2	4"	YES
QUERCUS VIRGINIANA	LIVE OAK	3	4"	YES
QUERCUS VIRGINIANA	LIVE OAK	4	10"	YES
QUERCUS VIRGINIANA	LIVE OAK	5	10"	YES
QUERCUS VIRGINIANA	LIVE OAK	6	4"	YES
TOTAL			60"	

PLANT LIST

SHADE TREES				
SHAPING	REF	COMMON NAME	SCIENTIFIC NAME	SIZE
○	TR	TRIDENT PALM	AGAVE SUBULANUS	4" CAL
△	TR	RED OAK	QUERCUS RUBRA	4" CAL
○	TR	LIVE OAK	QUERCUS VIRGINIANA	4" CAL
+	TR	CEDEAR ELM	ULMUS CRASSIFOLIA	4" CAL
SHRUBS, ORNAMENTAL GRASSES, AND VINES				
SHAPING	REF	COMMON NAME	SCIENTIFIC NAME	SIZE
⊗	AG	FLORIST ADELIA	ABELIA F. CRASSIFOLIA	4" CAL
PERENNIALS, GROUNDCOVERS, AND ANNUALS				
SHAPING	REF	COMMON NAME	SCIENTIFIC NAME	SIZE
⊗	AG	RAVINE LIP	HELMINTHOSIS FORTUNE	4" POTS
⊗	AG	COPTIS BERTOLIA	CHONDA DACTYLON	4" CAL



VICINITY MAP
NOT TO SCALE

NOTE:

ALL REQUIRED LANDSCAPE AREAS MUST BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM BEFORE A CO SHALL BE ISSUED

GENERAL LEGEND

SM.	SIMILAR
TYP	TYPICAL
BOG	BACK OF CURB
POW	FACE OF WALL
O.G.E.H.	ON CENTER EACH WAY
Q	CENTERLINE CALLOUT
○	EXISTING TREE
---	SHEET MATCHLINE
---	PROPERTY LINE
---	CENTERLINE

SITEWORK LEGEND

CJ	CONTROL JOINT
EJ	EXPANSION JOINT
---	DIRECTION OF BRIDG
---	FINISH
---	CONTROL JOINT
---	EXPANSION JOINT
---	BYTOL

PLANTING LEGEND

○	TREE CALLOUT
○	SPECIES REF. PLANT SCHEDULE
○	TREE QUANTITY
○	SHRUB CALLOUT
○	SPECIES REF. PLANT SCHEDULE
○	GROUNDCOVER CALLOUT
○	SPECIES REF. PLANT SCHEDULE
○	SEASONAL / PERENNIAL
○	GRASSES / AQUATICS CALLOUT
○	SPECIES REF. PLANT SCHEDULE
○	GRAVEL CALLOUT
---	STEEL EDGE
---	ROOT BARRIER

owner:
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8080 park lane
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PH: (469) 828 3313
CONTACT: RYAN MUSCOTT

landscape architect:
TBG Partners
2001 bryan st.
suite 1450
dallas, texas 75201
PH: (214) 744 0757
CONTACT: WILLIAM JONES

1794-Z
montfort retail
lot 2, blocks a-d
10.88 acres situated in the
oaks north - east survey no. 4
volume 79121
town of addison
dallas county, tx
may 2019
TBG project #D19084

landscape architects, planners & designers

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tbgpartners.com



05/13/2019

project
montfort
retail

northwood retail
addition, txos

project number
D19084

issue date
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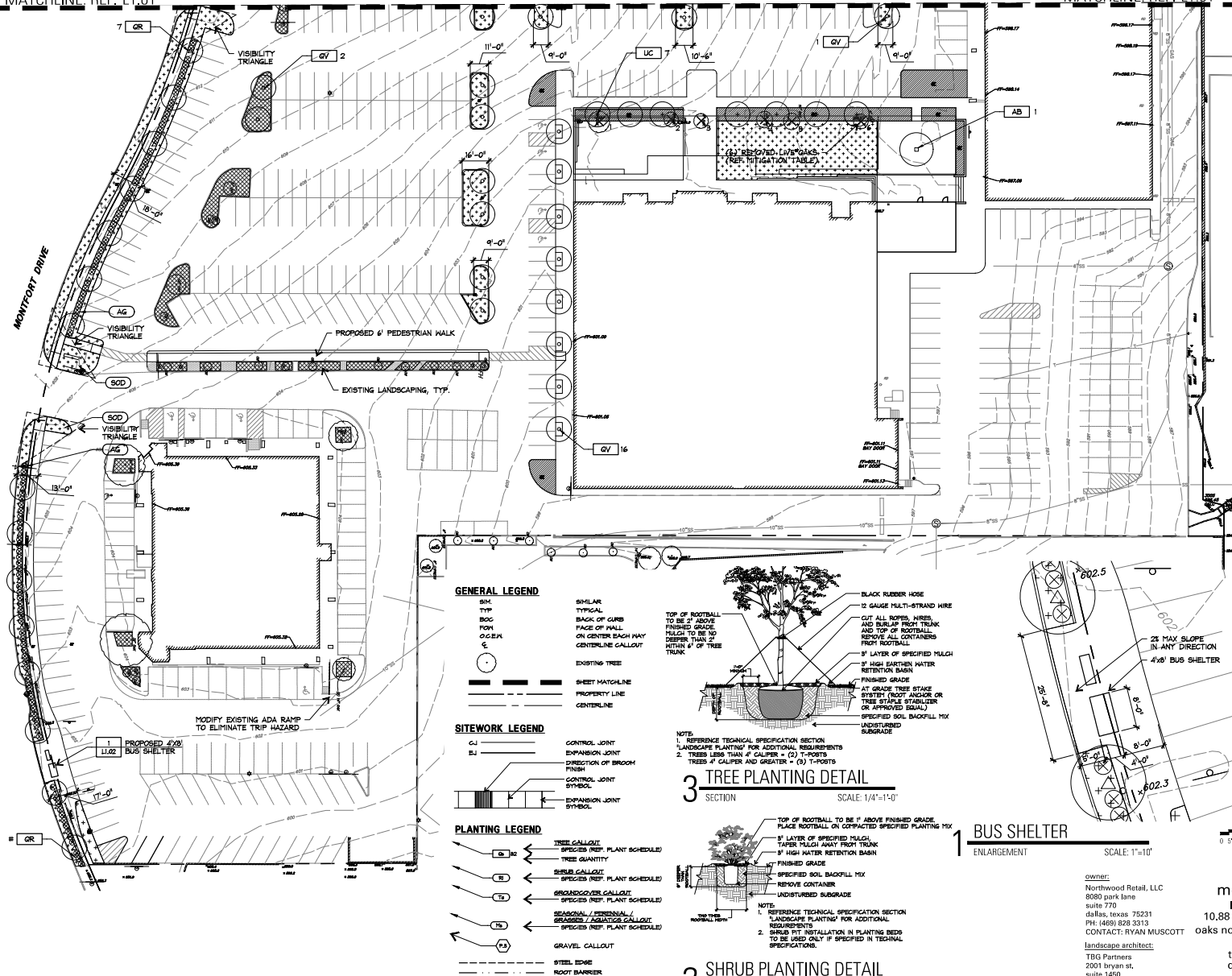
designed: wj, hd, tb
drawn: hd, tb
reviewed: wj

sheet title
landscape
plan

sheet
L1.01

MATCHLINE: REF. L1.01

MATCHLINE: REF. L1.01



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project
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designed: wj, hd, tb
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reviewed: wj

sheet title
**landscape
plan**

sheet
L1.02

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