

TOWN OF ADDISON, TEXAS

ORDINANCE NO. _____

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, CREATING PLANNED DEVELOPMENT DISTRICT _____ BASED ON LOCAL RETAIL (LR) DISTRICT REGULATIONS WITH MODIFIED DEVELOPMENT STANDARDS, ON 10.88 ACRES OF PROPERTY LOCATED AT 5290 BELT LINE ROAD; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Addison, Texas (the “City”) is a home rule municipality having full power of local self-government pursuant to Article 11, Section 5 of the Texas Constitution and its Home Rule Charter; and

WHEREAS, at its regular meeting held on May 21, 2019 the Planning & Zoning Commission considered and made recommendations on a request for a Planned Development District (Case No.1794-Z); and

WHEREAS, this change of zoning is in accordance with the adopted Comprehensive Plan of the Town of Addison, as amended; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at the public hearing, and other relevant information and materials, the City Council of the Town of Addison, Texas finds that this ordinance promotes the general welfare and safety of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS THAT:

Section 1. The recitals and findings set forth above are hereby found to be true and correct and incorporated as if fully set forth herein.

Section 2. Planned Development District _____ is hereby established for the 10.88 acres of land located at 5290 Belt Line Road, the southeast corner of Belt Line Road and Montfort Drive, and incorporated herein (the “Property”), in accordance with all Local Retail (LR) zoning district development regulations contained in the Town of Addison, Code of Ordinances, as amended, with the following special conditions:

- A. The proposed east to west pedestrian connection across the parking lot should be improved to provide an 8-foot wide sidewalk
- B. The property may be developed with modifications to the Local Retail (LR) design standards for façade materials, building height, and parking requirements as shown on **Exhibit A** attached hereto and incorporated herein.

Section 3. The property shall be improved in accordance with the site plan, landscape plans, and building elevations set forth in **Exhibit A**.

Section 4. Any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

Section 5. The provisions of this Ordinance are severable, and should any section, subsection, paragraph, sentence, phrase or word of this Ordinance, or application thereof to any person, firm, corporation or other business entity or any circumstance, be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of the remaining or other parts or portions of this Ordinance, and the City Council hereby declares that it would have passed such remaining parts or portions of this Ordinance despite such unconstitutionality, illegality, or invalidity, which remaining portions shall remain in full force and effect.

Section 6. All ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 7. This Ordinance shall become effective from and after its passage and approval and after publication as may be required by law or by the City Charter or ordinance.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS,
on this the 11th day of June, 2019.

Joe Chow, Mayor

ATTEST:

APPROVED AS TO FORM:

Irma Parker, City Secretary

Brenda N. McDonald, City Attorney

CASE NO:

PUBLISHED ON:

1794-Z/Prestonwood Place

LEGEND

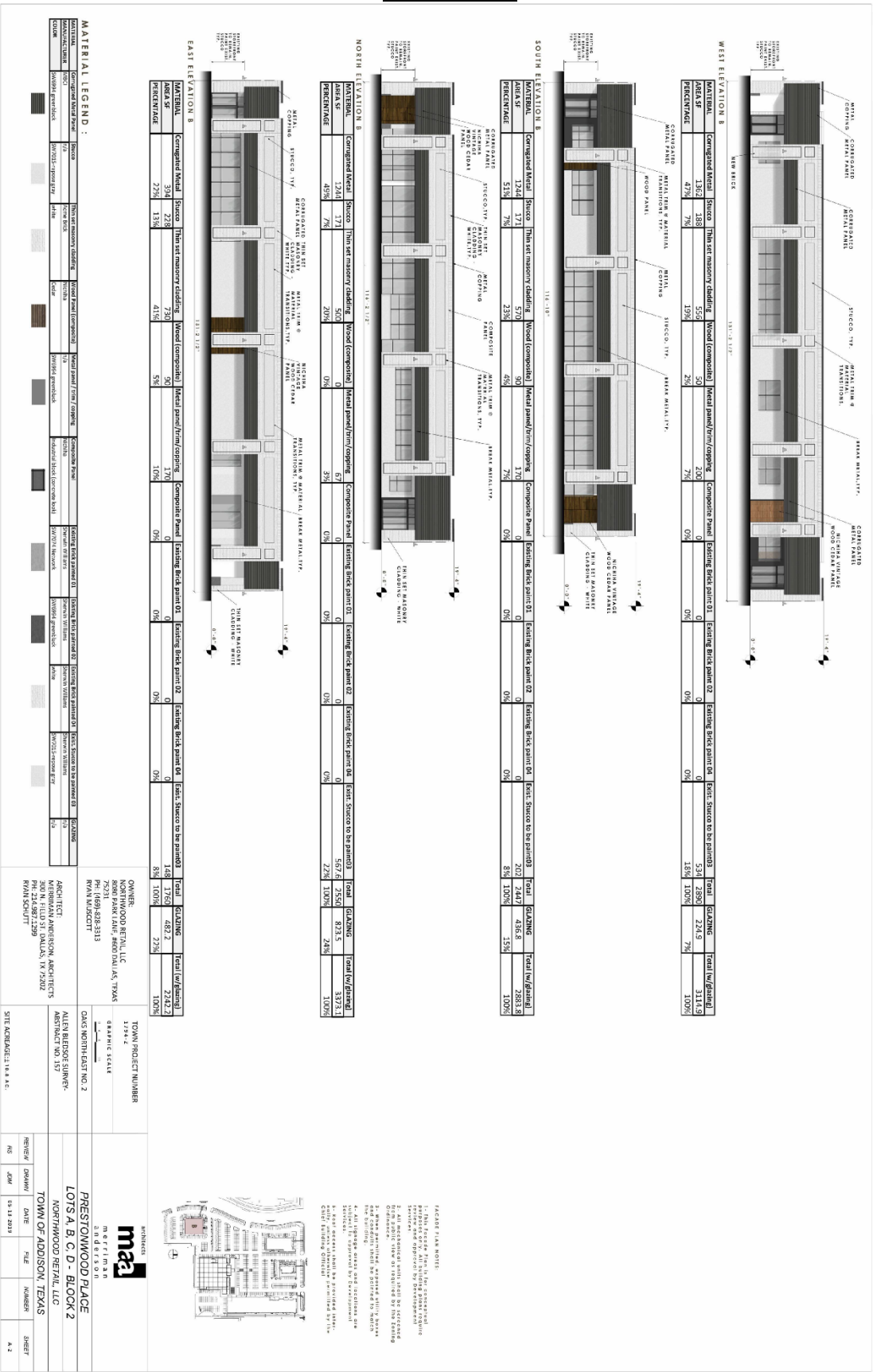
SYMBOL	DESCRIPTION
1	PROPOSED LOT
2	EXISTING LOT
3	EXISTING LOT
4	EXISTING LOT
5	EXISTING LOT
6	EXISTING LOT
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8	EXISTING LOT
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94	EXISTING LOT
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97	EXISTING LOT
98	EXISTING LOT
99	EXISTING LOT
100	EXISTING LOT

LIST OF DIMENSIONS

NO.	DESCRIPTION	LENGTH	WIDTH	AREA
1	LOT 1	100.00	100.00	10,000.00
2	LOT 2	100.00	100.00	10,000.00
3	LOT 3	100.00	100.00	10,000.00
4	LOT 4	100.00	100.00	10,000.00
5	LOT 5	100.00	100.00	10,000.00
6	LOT 6	100.00	100.00	10,000.00
7	LOT 7	100.00	100.00	10,000.00
8	LOT 8	100.00	100.00	10,000.00
9	LOT 9	100.00	100.00	10,000.00
10	LOT 10	100.00	100.00	10,000.00
11	LOT 11	100.00	100.00	10,000.00
12	LOT 12	100.00	100.00	10,000.00
13	LOT 13	100.00	100.00	10,000.00
14	LOT 14	100.00	100.00	10,000.00
15	LOT 15	100.00	100.00	10,000.00
16	LOT 16	100.00	100.00	10,000.00
17	LOT 17	100.00	100.00	10,000.00
18	LOT 18	100.00	100.00	10,000.00
19	LOT 19	100.00	100.00	10,000.00
20	LOT 20	100.00	100.00	10,000.00
21	LOT 21	100.00	100.00	10,000.00
22	LOT 22	100.00	100.00	10,000.00
23	LOT 23	100.00	100.00	10,000.00
24	LOT 24	100.00	100.0	

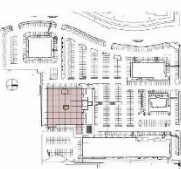
[illegible]

EXHIBIT A



[illegible]

Ordinance No. _____



[illegible]

