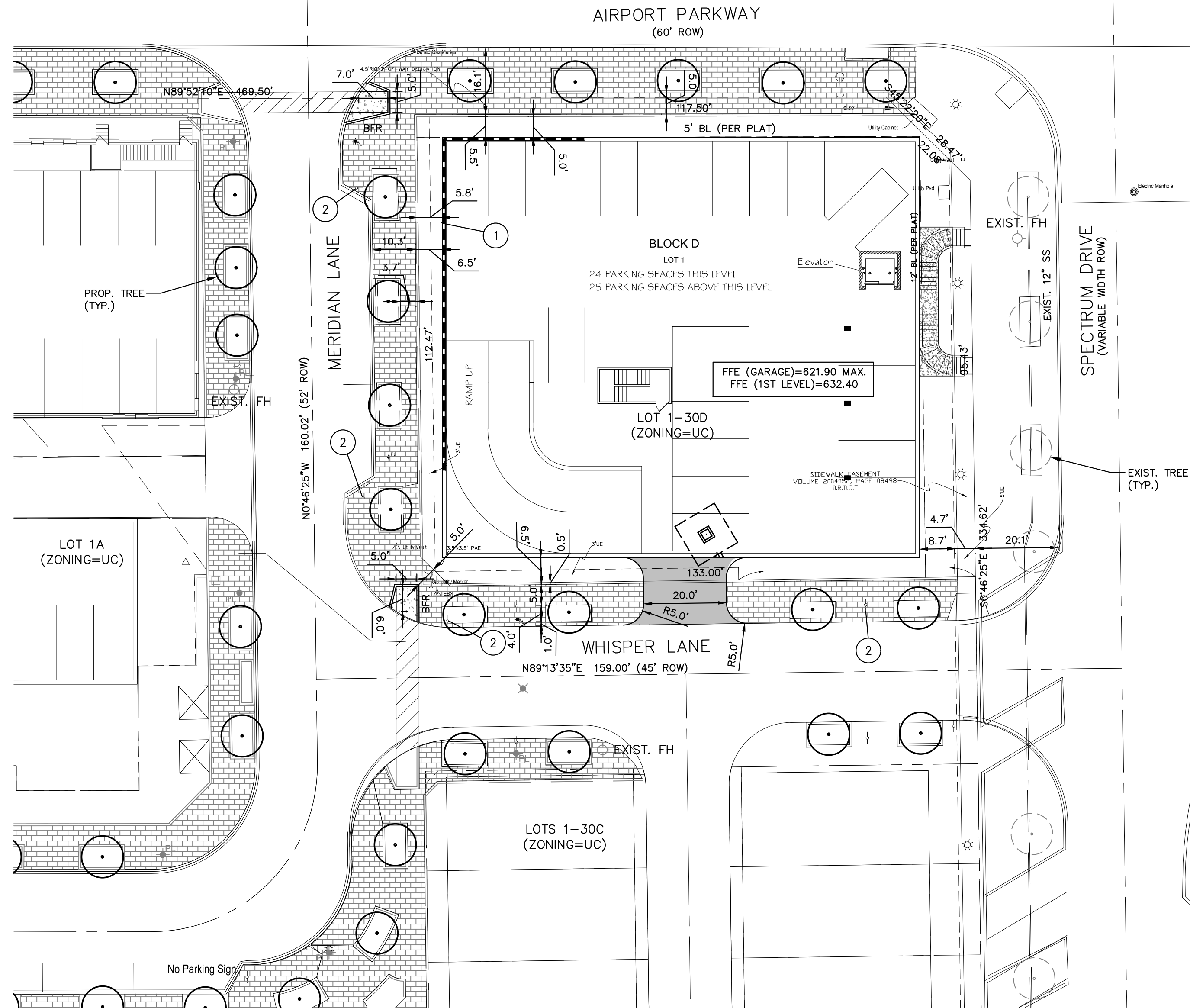


HARRIS ADDITION
VOLUME 78017, PAGE 1067
M.R.D.C.T.
(ZONING=PD86-001)

HARRIS ADDITION
VOLUME 78017, PAGE 1067
M.R.D.C.T.
(ZONING=PD86-001)

EXIST. FH



15851 DALLAS NORTH PARKWAY ADDITION
VOLUME 85021, PAGE 1686
M.R.D.C.T.
(ZONING=PD84-010)

Town of Addison site plan notes:

- Any revision to this plan will require Town approval and will require revisions to any corresponding plans to avoid conflicts between plans.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Buildings with an aggregate sum of 5,000 square feet or greater on a lot shall have automatic fire sprinklers installed throughout all structures. Alternative fire protection measures may be approved by the Fire Department.
- All signage is subject to Town approval.
- All fences and retaining walls shall be shown on the site plan and are subject to Building Inspection Division approval.

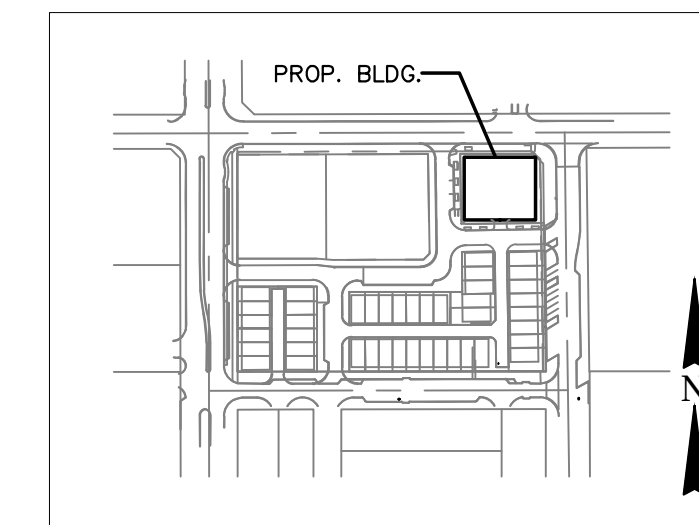
This plan conforms with design standards included in the Town of Addison Transportation Plan, Water System Requirements, Waste Water System Requirements, and Drainage Criteria Manual.

SITE DATA SUMMARY TABLE:	
General Site Data:	
Zoning	UC
Proposed Use	Multifamily
Lot Area	0.34 acres or 14,739 S.F.
Building Footprint (square feet)	11,613
Total Building Area-6 Units-12 bedrooms (square feet)	14,661
Building Height (stories)	4 story
Building Height (feet - distance to tallest building element)	50'
Lot Coverage	79%
Parking:	
Parking Ratio Required	1 Stall / bedroom
Required/Provided Parking (1 space/bedroom)	44/49 stalls
HC Accessible Parking Required	N/A
Landscape Area:	
Usable Open Space Required	1,046 S.F.
Usable Open Space Provided	3,126 S.F.
Impervious Surface (SF)	3,126 S.F.

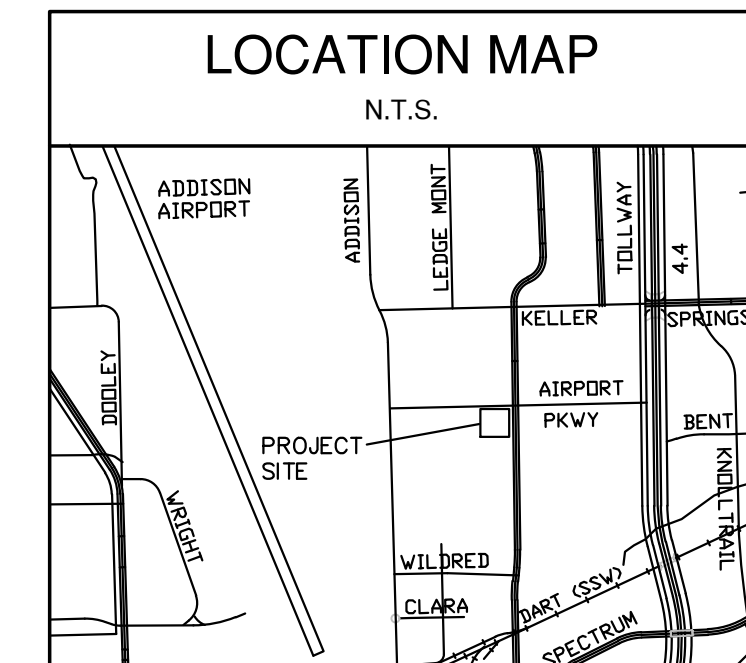
DRAWING LEGEND	
---	PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	PROP. EDGE OF PAVEMENT
---	CURB LINE
---	PROP. STRIPING
---	EASEMENT/SETBACK LINES
[Pattern]	PROP. CONCRETE SURFACE (SIDEWALK OR PAD)
[Pattern]	PROP. PAVERS PER LANDSCAPE PLANS.
[Pattern]	PROP. DRIVEWAY PAVING PER CITY DETAIL THIS SET.
[Symbol]	EXIST. PROP. BFR
[Symbol]	PROP. BARRIER FREE RAMP
[Symbol]	EXIST. RW
[Symbol]	RETAINING WALL
[Symbol]	TYP.
[Symbol]	HC
[Symbol]	T.A.S.
[Symbol]	MFR
[Symbol]	EXISTING PROPOSED
[Symbol]	TEXAS ACCESSIBILITY STANDARDS
[Symbol]	TYPICAL HANDICAP
[Symbol]	MANUFACTURER

NOTES:

- ALL PROP. STRIPING (INCLUDING THE FIRE LINE STRIPING) SHALL CONFORM TO CITY STANDARDS AND REQUIREMENTS.
- RE: DETAILS THIS SET FOR PROPOSED PAVING SECTIONS.
- CONTRACTOR SHALL INSTALL ALL UNDERGROUND PVC CONDUITS PRIOR TO INSTALLING PROPOSED PAVING. RE: UTILITY PLANS (MEP & CIVIL) AND IRRIGATION PLAN FOR PROPOSED CONDUIT LOCATION.
- ALL REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ALL CURVE RADII ARE 2.5'R UNLESS NOTED OTHERWISE ON THE PLAN.
- RE: ARCH PLANS FOR EXACT BUILDING DIMENSIONS.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF RETAINING WALL OR EDGE OF PAVING.
- IF THE DIMENSIONS SHOWN ON THE PLANS ARE INCONSISTENT WITH MEASUREMENTS FOUND IN THE FIELD, PLEASE CONTACT THE ENGINEER IMMEDIATELY.
- SIGN LOCATION AND DIMENSIONS SHALL BE VERIFIED WITH THE SIGN MFR AND ARCH.
- RE: ARCH PLANS FOR PROPOSED DUMPSTER LOCATION AND DETAILS. GARBAGE COLLECTION WILL BE PRIVATE.
- ALL PROP. STEPS LABELED ON THIS PLAN SHALL BE PER ARCH (RE: GRADING PLAN THIS SET FOR GRADES).
- SITE IS NOT LOCATED IN A FLOOD PLAIN AREA.
- RE: GENERAL NOTES AND PAVING DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.



KEY MAP

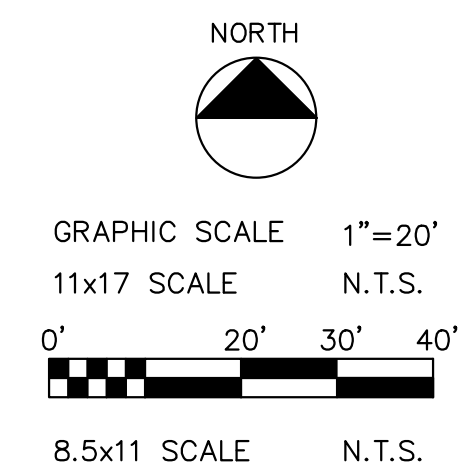


LOCATION MAP

ACTION	
APPROVED	DENIED
STAFF _____	_____
Date _____	Initials _____
COUNCIL _____	_____
Date _____	Initials _____

See the Staff Approval Letter or Council Result Memo for any conditions associated with the approval of the project.

SITE PLAN EXHIBIT FOR:
MERIDIAN SQUARE—BUILDING 5
0.34 ACRES
LOTS 1D
MERIDIAN SQUARE
THE TOWN OF ADDISON
DALLAS COUNTY, TEXAS
TOWN PROJECT #:



SITE PLAN

NOTE TO CONTRACTOR

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

REFERENCE NUMBER NOTES

- PROP. RETAINING WALL PER GRADING PLAN THIS SET.
- PROP. NO PARKING SIGN BY OTHERS.

OWNER/APPLICANT:
SAVANNAH DEVELOPERS
KEVIN MURPHREE
P.O. BOX 2109
ADDISON, TX 75001
(214) 325-7960

PREPARED BY:

LPSE Lobinger & Potts Structural Engineering, Inc
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092
817.897.3611 Fax 817.488.9937 Firm Reg. # 7290

BENCHMARKS (VERIFY W/ PROJECT SURVEYOR):

- SQUARE CUT IN BOC ON INLET ON EAST SIDE OF QUORUM PKWY. ±65' SOUTH OF CENTERLINE INTERSECTION OF QUORUM PKWY. & AIRPORT PKWY. (ELEV.=630.71')
- SQUARE CUT ON THE NORTHWEST CORNER OF INLET LOCATED ON THE NORTH SIDE OF AIRPORT PKWY. AT THE CENTERLINE INTERSECTION OF AIRPORT PKWY. & SPECTRUM DR. (ELEV.=619.31')

NOIFNG, LLC
Architect
rdland@noifng.com
817.500.2554



FOR PERMIT ONLY
Site Location:
SOUTHWEST CORNER OF
SPECTRUM DR. & AIRPORT PKWY.
ADDISON, TX 75001

A Proposed Residential Project for
SAVANNAH DEVELOPERS
MERIDIAN SQUARE-BUILDING #6
TOWN PROJECT #: 17-16

REVISIONS

NO.	DATE	DESCRIPTION

ISSUES

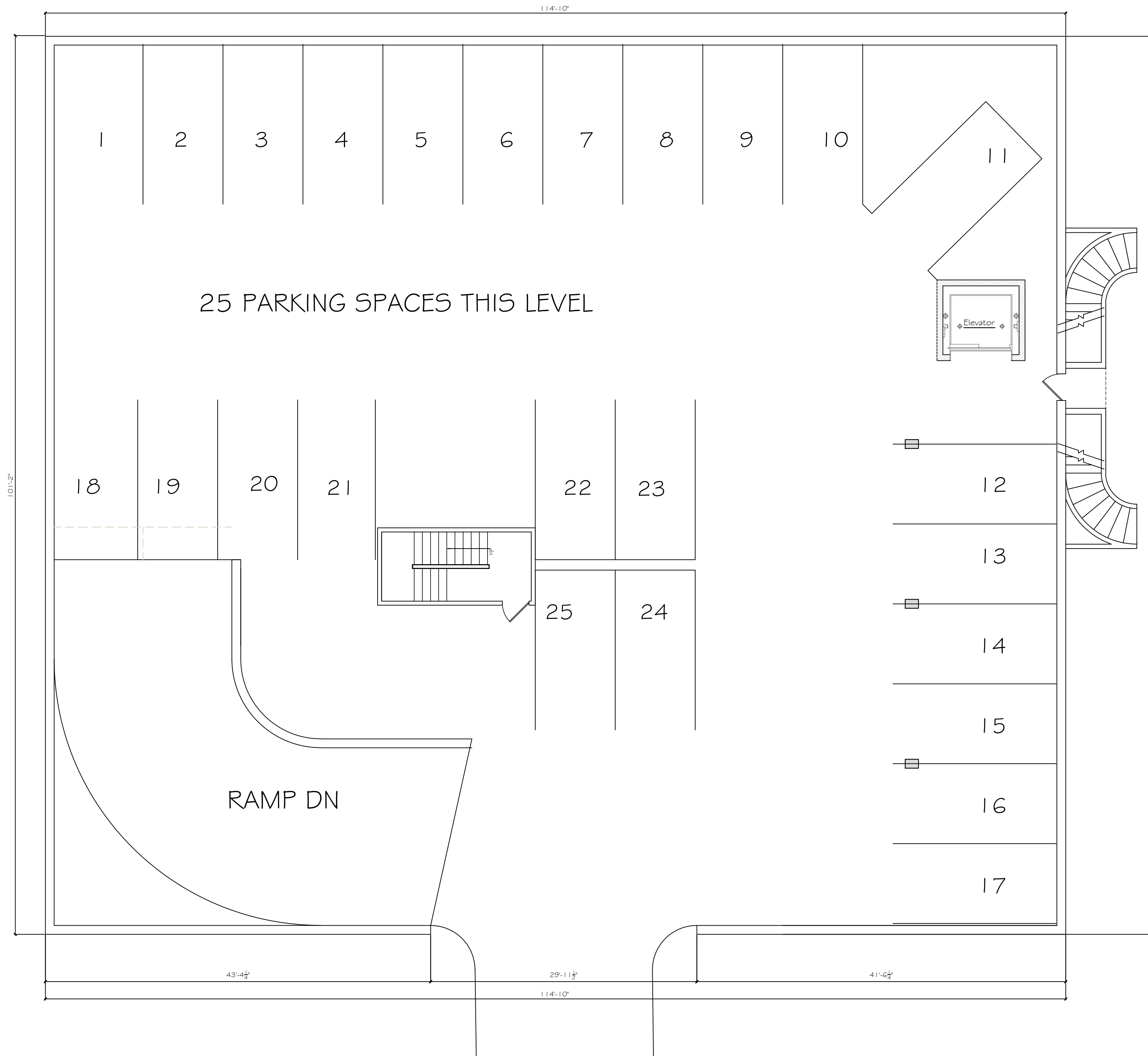
PERMIT

DATE: 12.27.17

SHEET NO.

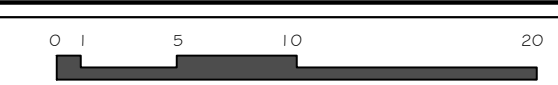
SP-1

OF SHEETS



PARKING INFO:	
# OF TOTAL BEDROOMS:	44
PARKING REQD:	44
PARKING PROVIDED:	
SUB-LEVEL 1	25
SUB-LEVEL 2	24
TOTAL PARKING PROVIDED:	49

01 LEVEL 1 GARAGE PLAN: GRADE LEVEL
 SCALE: 1/8" = 1'-0"



REVISIONS	
09.08.17	
11.13.17	
12.08.17	
12.23.17	

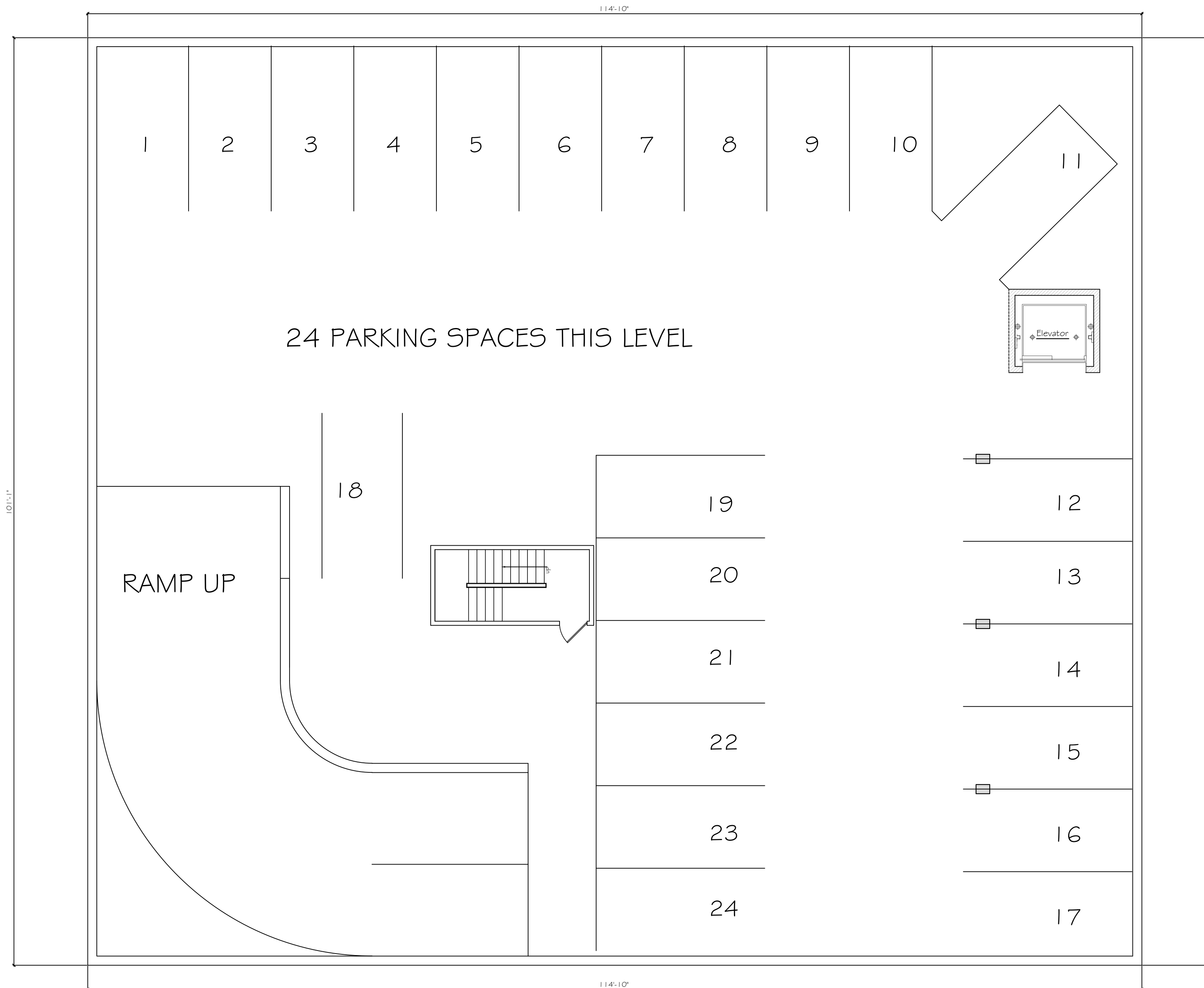
ISSUES
PERMIT

DATE: 07.26.17

SHEET NO.

A 1.1

OF SHEETS



PARKING INFO:	
# OF TOTAL BEDROOMS:	44
PARKING REQ'D:	44
PARKING PROVIDED:	
SUB-LEVEL 1	25
SUB-LEVEL 2	24
TOTAL PARKING PROVIDED:	49

01 SUB-LEVEL 1 GARAGE PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS	
09.08.17	
11.13.17	
12.08.17	
12.23.17	

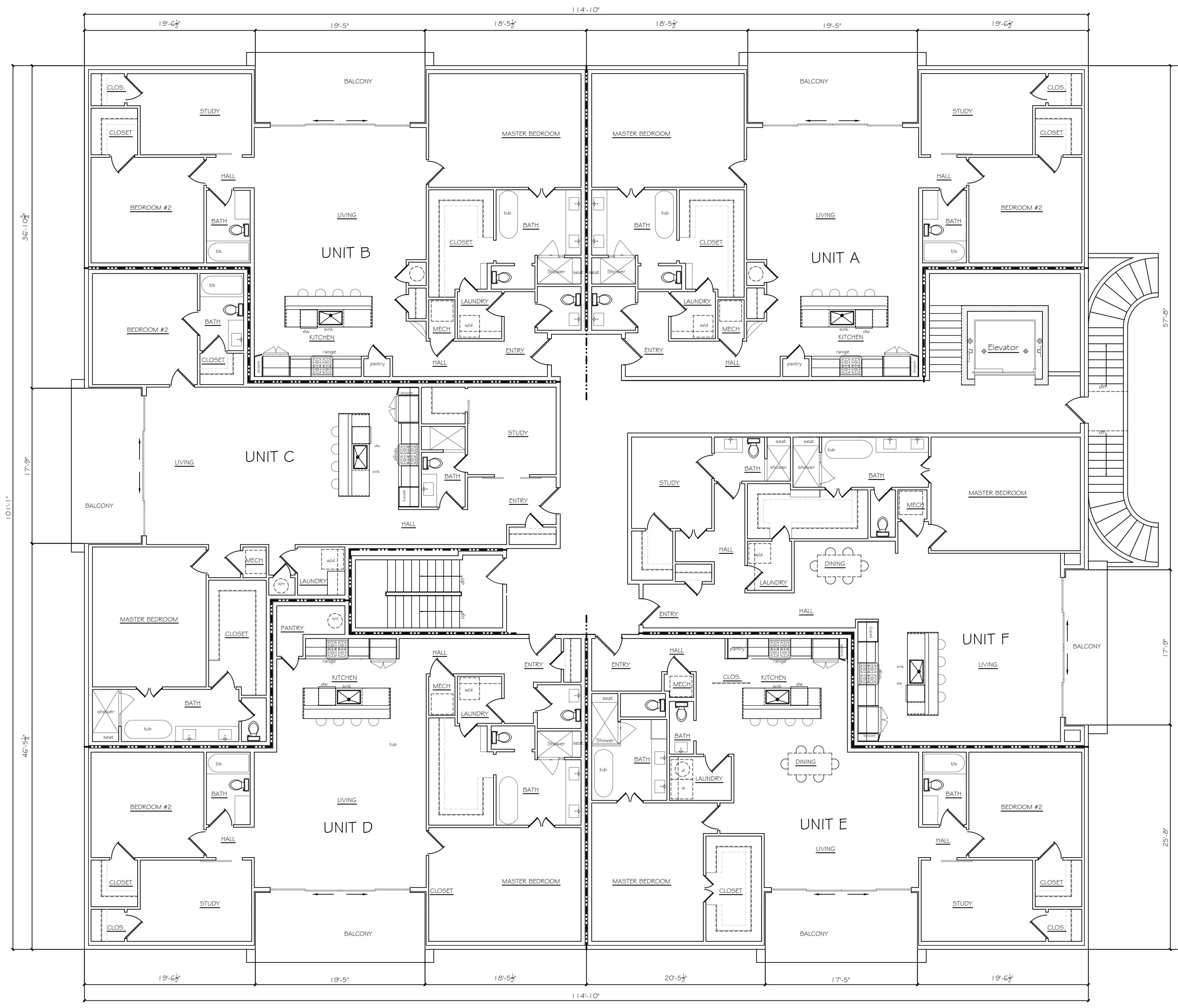
ISSUES
PERMIT

DATE: 07.26.17

SHEET NO.

A 1.2

OF SHEETS



PROJECT INFO:

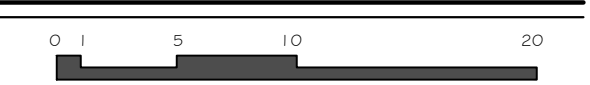
4 STORIES OF UNITS
 24 TOTAL UNITS
 6 UNITS / FLOOR
 11 BEDROOMS/FLOOR

TOTAL SF / FLOOR: 11,396SF
 TOTAL LIVING: 42,968SF(94.3%)
 TOTAL COMMON: 2,614SF(5.7%)
 TOTAL PROJECT: 45,582SF

UNIT INFO:

TYPE	QTY	SF	BR'S
UNIT A	4	1837	2
UNIT B	4	1842	2
UNIT C	4	1853	2
UNIT D	4	1863	2
UNIT E	4	1754	2
UNIT F	4	1593	1
TOTALS:	24		44

01 LEVEL 2 BUILDING PLAN: RESIDENTIAL
 SCALE: 1/8" = 1'-0"



REVISIONS

09.08.17
11.13.17
12.08.17
12.23.17

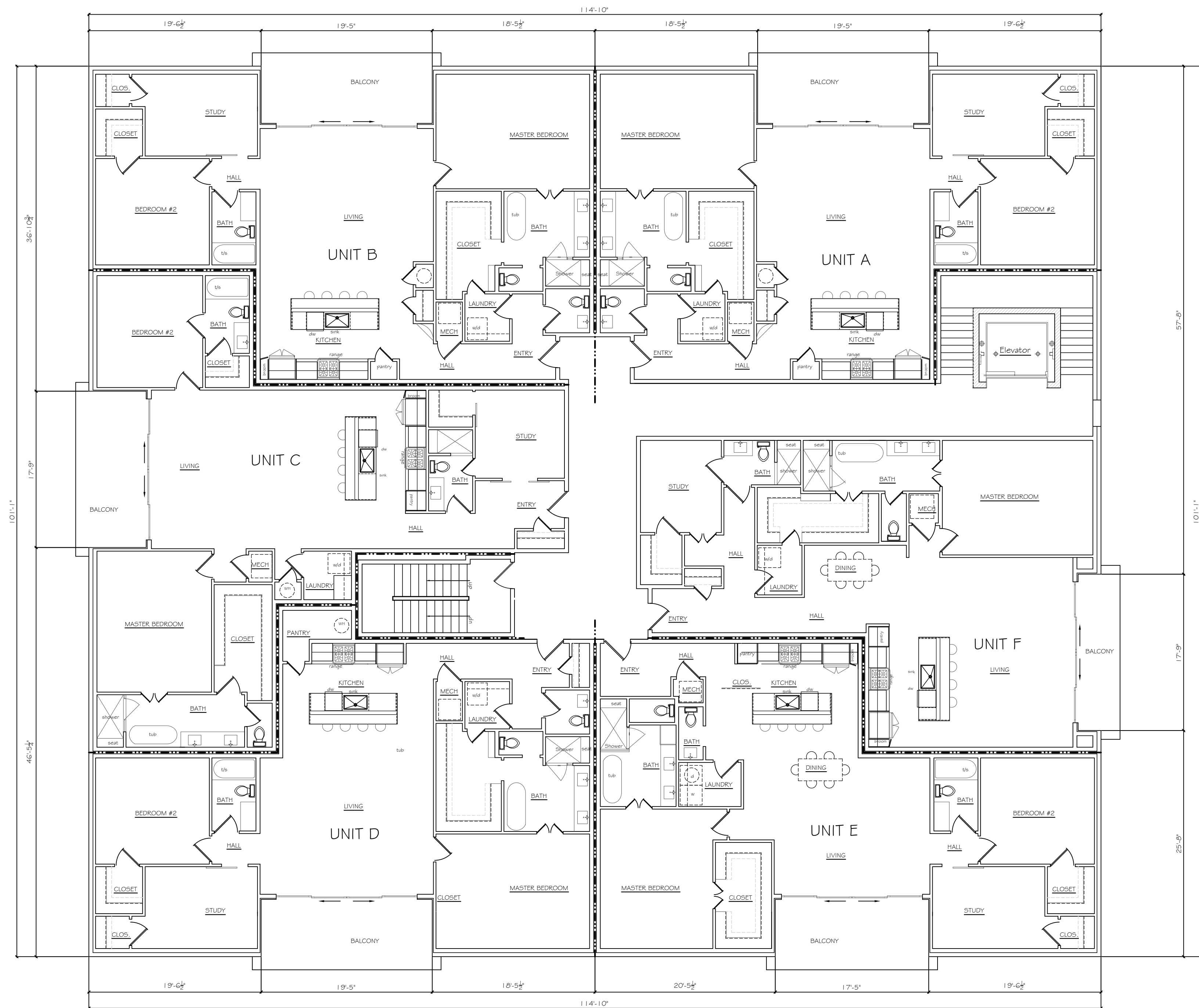
ISSUES
PERMIT

DATE: 07.26.17

SHEET NO.

A 1.3

OF SHEETS



REVISIONS	
09.08.17	
11.13.17	
12.08.17	
12.23.17	

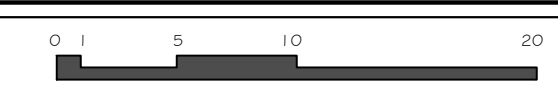
ISSUES
PERMIT

DATE: 07.26.17

SHEET NO.

A 1.4

OF SHEETS





04 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

KEY	TYPE	SF	%
■	BRICK	2089	30.8
■	STUCCO	1403	20.7
■	STONE	1646	24.3
■	DOORS/WIN.	1648	24.2

- FACADE PLAN NOTES**
- This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
 - All mechanical units shall be screened from public view as required by the Zoning Ordinance.
 - When permitted, exposed utility boxes and conduits shall be painted to match the building.
 - All signage areas and locations are subject to approval by Development Services.
 - Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official.

KEY	TYPE	SF	%
■	BRICK	3484	56.5
■	STUCCO	478	7.7
■	STONE	886	14.3
■	DOORS/WIN.	1325	21.5

02 WEST ELEVATION
SCALE: 1/8" = 1'-0"



03 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

KEY	TYPE	SF	%
■	BRICK	2142	30.7
■	STUCCO	1403	20.1
■	STONE	1753	25.1
■	DOORS/WIN.	1678	24.1

KEY	TYPE	SF	%
■	BRICK	2765	47.4
■	STUCCO	638	10.9
■	STONE	1410	24.1
■	DOORS/WIN.	1032	17.6

01 EAST ELEVATION: FRONT
SCALE: 1/8" = 1'-0"



REVISIONS	
09.08.17	
11.13.17	
12.08.17	
12.23.17	
01.02.18	

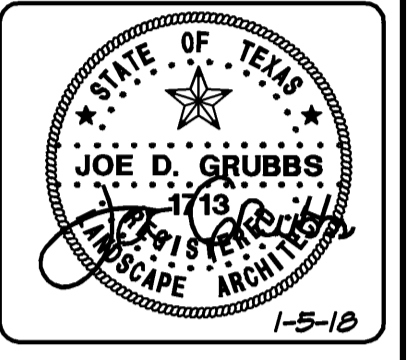
ISSUES
PERMIT

DATE: 07.26.17

SHEET NO.

A 3.1

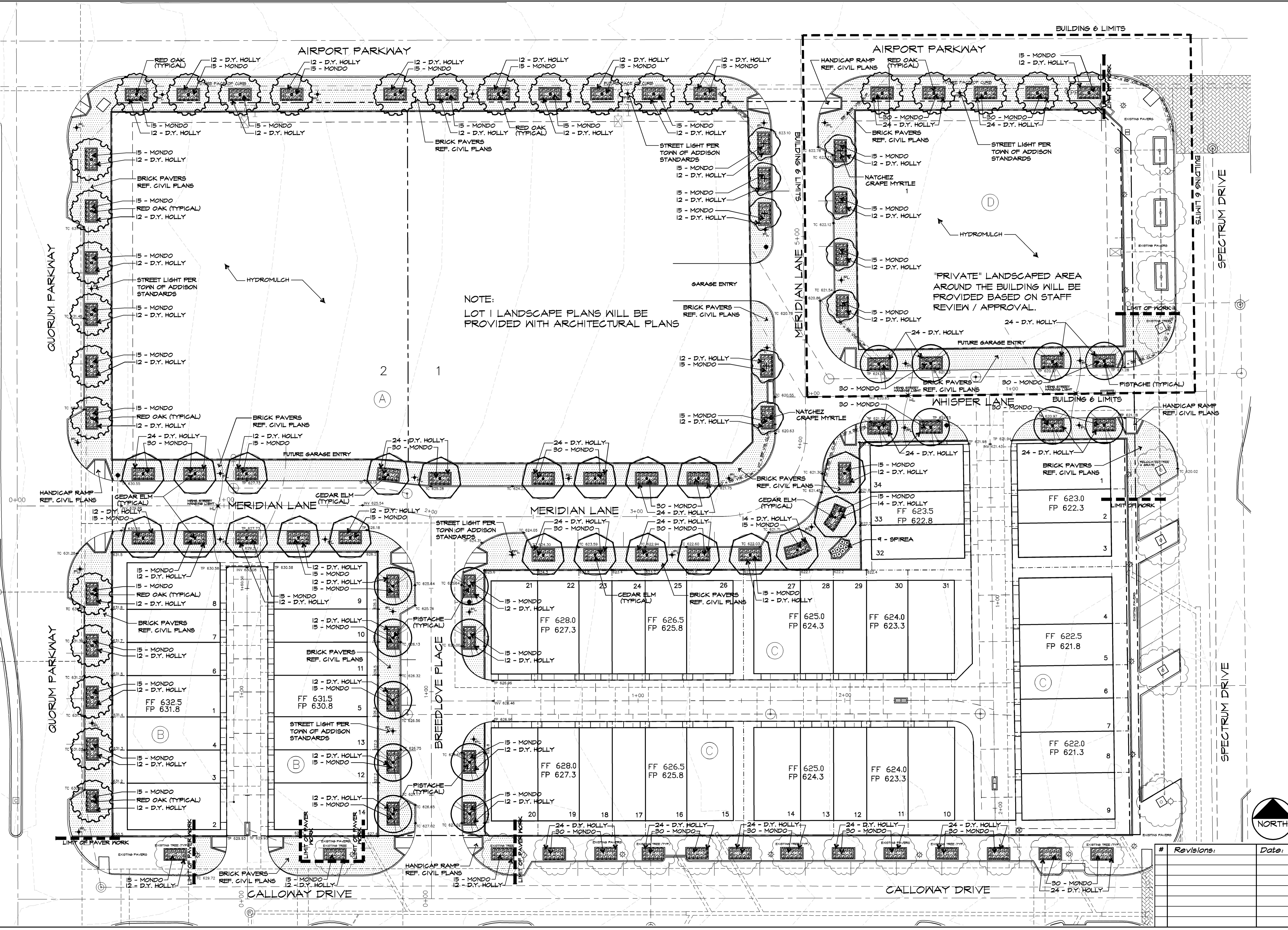
OF SHEETS



Meridian Square
R.O.W. Improvements
Addison, Texas

Issued For:
CONSTRUCTION
Job No.
08132.00
Scale
1" = 20'-0"
Drawn By:
JDG
Date
1-5-2018

Sheet Title:
Landscape Plan
Sheet Number:
L1
of L4 Sheets



#	Revisions:	Date:

LANDSCAPING

PART 1 - GENERAL

- 1.1 SCOPE: Provide all labor, materials and equipment for complete installation of landscaping, as indicated on the drawings and specified herein.
- 1.2 RELATED WORK SPECIFIED ELSEWHERE:
 - A. Irrigation System
 - B. Lawn
- 1.3 QUALITY ASSURANCE:
 - A. Provide plant materials in compliance with applicable State and Federal laws relating to inspection for diseases and insect infestation at growing site.
 - B. Observation at growing site does not preclude right of rejection at job site. Plants damaged in transit or at job site may be rejected.
- 1.4 REFERENCED STANDARDS:
 - A. American Standard for Nursery Stock, approved 1986 by American National Standards Institute, Inc. - Plant materials.
 - B. Hortus Third, 1976 - Cornell University - Plant nomenclature.
 - C. ASTM - American Standard Testing Material - Sharp sand.
- 1.5 PRODUCT DELIVERY, STORAGE AND HANDLING:
 - A. Delivery:
 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
 2. Do not deliver more plant materials than can be planted in one day unless adequate storage and watering facilities are available on job site. Storage of materials and equipment at the job site will be at the risk of the landscape contractor. The owner will not be held responsible for theft or damage.
 3. If balled plants cannot be planted within 24 hours after delivery to site, protect root balls by heeling in with saw dust or other approved material.
 4. Protect during delivery to prevent damage to root ball or desiccation of leaves.
 - B. Job Conditions:
 1. Planting Restrictions: Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practices. In no way shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 2% minimum positive slope away from buildings.
 2. Utilities: Determine locations of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, if required, to minimize possibility of damage to underground utilities.
 3. Coordinate work with irrigation contractor to prevent damage to underground sprinkler system.
 - C. Warranty:
 1. Warranty for plants and trees shall be for one year after final acceptance. Replace dead plants and trees in a replacement condition as soon as weather permits and on notification by Owners Rep. Replace plants, including trees, which in opinion of Landscape Architect have partially died thereby damaging shape, size, or symmetry.
 2. Replace plants and trees with same kind and size as originally planted, at no cost to the Owner. Provide one-year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduits or other work during replacement. Repair any damage immediately.
 3. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects or diseases.
 4. At the end of the warranty period, staking and guying materials if required shall be removed from the site.
 - D. Maintenance:
 1. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
 2. Moving, weeding, spraying, cleaning and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required.
 3. Following final acceptance, maintenance of plant material will become the Owner's responsibility. The Contractor shall provide Owner with a recommended maintenance program.

PART 2 - PRODUCTS

- 2.1 PLANTS:
 - A. Quantities: The drawings and specifications are complementary. Anything called for on one set of the other is as binding as if shown and called for on both. The plant schedule is to be bid on as shown. Confirm all quantities on plan.
 - B. Plants shall be equal to well formed No. 1 grade of better, symmetrical, heavily branched with an even branch distribution, densely foliated and/or budded, and a strong straight, distinct leader where this is characteristic of species. Plants shall possess a normal balance between height and spread. The Landscape Architect will be the final arbiter of acceptability of plant form, either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
 - C. Plants shall be healthy and vigorous, free of disease, insect pests and their eggs, and larvae.
 - D. Plants shall have a well-developed fibrous root system.
 - E. Plants shall be free of physical damage such as scrapes, broken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other defects.
 - F. Plants shall meet the sizes indicated on the Plant List. Where a size or caliper range is stated, at least 50% of the material shall be closer in size to the top of the range stated.
 - G. Plants indicated "B4B" shall be balled and burlapped. Plants shall be nursery grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well burlapped. Non-biodegradable ball wrapping material will not be accepted. Any trees loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball.
 - H. Container grown plants shall be well rooted and established in the container in which they are growing. They shall have grown in the container for a sufficient length of time for the root system to hold the planting medium when taken from the container, but not long enough to become root bound.
- 2.2 SOIL PREPARATION MATERIALS:
 - A. Peat Moss: Commercial sphagnum moss or hylum peat, or decomposed gin trash with pH between 5 and 7. The gin trash shall be sterilized to eliminate all active residuals, i.e. insecticides, pesticides, herbicides, fungi, virus and defoliant chemicals.
 - B. Pre mixed soils will be considered as "approved equals" when samples are submitted with manufacturer's data and laboratory test reports. Approved suppliers include Vital Earth Complete Mix by Vital Earth Resources, Glendale, Texas and Acid Gro Complete Mix by Soil Building Systems, Inc., Dallas, Texas.
 - C. Sandy Loam:
 1. Fricable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign grasses. Soil containing Dalbergias or Nitrogen shall be rejected.
 2. Physical properties as follows:
 - Clay - between 7-21 percent
 - Silt - between 25-50 percent
 - Sand - less than 52 percent
- 2.3 COMMERCIAL FERTILIZER:
 - A. Fertilizer shall be delivered in manufacturer's standard container printed with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N-P-K analysis other than that specified may be used provided that the application rate per square foot of nitrogen, phosphorus, and potassium is equal to that specified.
 - B. Commercial Fertilizer for Planting Beds: Complete fertilizer 5-10-5 element ratio with minimum 8% sulfur and 4% iron plus micro-nutrients.
 - C. Controlled-Release fertilizer planting tablets for tree planting pits, shall be equal to Agriform 20-10-15 planting tablets as manufactured by Sierra Chemical Co., Milpitas, California 45295 or approved equal.

2.4 MULCH:

Bark mulch shall be hardwood mulch chips, ranging in size from 1/4-inch to 1-inch in size, medium fine texture, shredded.

PART 3 - EXECUTION

- 3.1 CONDITION OF SURFACES:
 - A. New bed areas will be left within one tenth of a foot of finish grade by other trades. Contractor will be responsible for raking and smoothing of grade.
- 3.2 SHRUB PLANTING:
 - A. All shrubs to be potted planted. Excavate planting hole 3" larger than the width and height of the root ball. Backfill with 1/3 compost, 1/3 native soil and 1/3 sandy loam.
 - B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
 - C. Water each plant thoroughly with hoses to eliminate air pockets.
 - D. Carefully prune plants to remove dead or broken branches, various tags, and hand-rake bed areas to smooth even surfaces, and mulch bed areas 1 inch deep.
- 3.3 GRASS/COVER PLANTING:
 - A. Till 2 inches minimum of thoroughly mixed prepared soil or equal in all planting bed areas as follows:
 1. 1 part sandy loam
 - 1 part peat moss
 - 1 part sharp sand
 - Add 4 pounds commercial fertilizer per 100 SF of bed area and mix thoroughly.
 - B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
 - C. Water each plant thoroughly with hoses to eliminate air pockets.
 - D. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces, and mulch bed areas 1 inch deep.
- 3.4 TREE PLANTING:
 - A. Plant ornamental trees in pits 12-inches larger than the root ball. Plant shade trees in pits two feet greater in diameter than root ball and equal to depth of root ball.
 - B. After excavation of tree pits, review water percolation. If tree pit does not drain adequately prepare hole for use with a tree sump. Paint PVC stand pipe and cover dark green. After tree is installed, pump water out on a daily basis.
 - C. In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed the obstructions shall be removed to a depth of not less than six (6") inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
 - D. Prepare backfill soil by thoroughly mixing a two part soil mixture as follows: 50% of the soil mix to be organic compost material. The final 50% of the soil mix to be a 50/50 mix of sand and clean, native black clay soil approved by the town.
 - E. Backfill tree pits with a clean, native black clay soil. Lightly tamp every 6-inches. Fill all voids and pockets. When pit is 2/3 full, water thoroughly and leave water to soak in. Place fertilizer planting tablets per manufacturer's recommendations. Complete backfilling and form a saucer around the tree.
 - F. Completely fill each tree saucer with mulch to a depth of two inches.
 - G. Contractor shall keep trees plumb until established. Guying and/or staking to maintain that plumb condition shall be at the Contractor's discretion. However, if trees are not plumb, the Contractor will be required to guy and/or stake those trees in a method acceptable, at no additional cost to the owner.
- 3.5 SEASONAL COLOR PLANTING:
 - A. Beds shall be excavated to a depth of 2 inches. Soil shall be replaced with 100% Living Earth Technology Complete Mix or equal.
 - B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
 - C. Water each plant thoroughly with hoses to eliminate air pockets.
 - D. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces and mulch bed areas 1 inch deep.
- 3.6 CLEANUP:
 1. During work, keep premises neat and orderly including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from site daily as work progresses. Keep paved areas clean by sweeping or hosing.

END OF LANDSCAPING SECTION

LAWNS

PART 1 - GENERAL

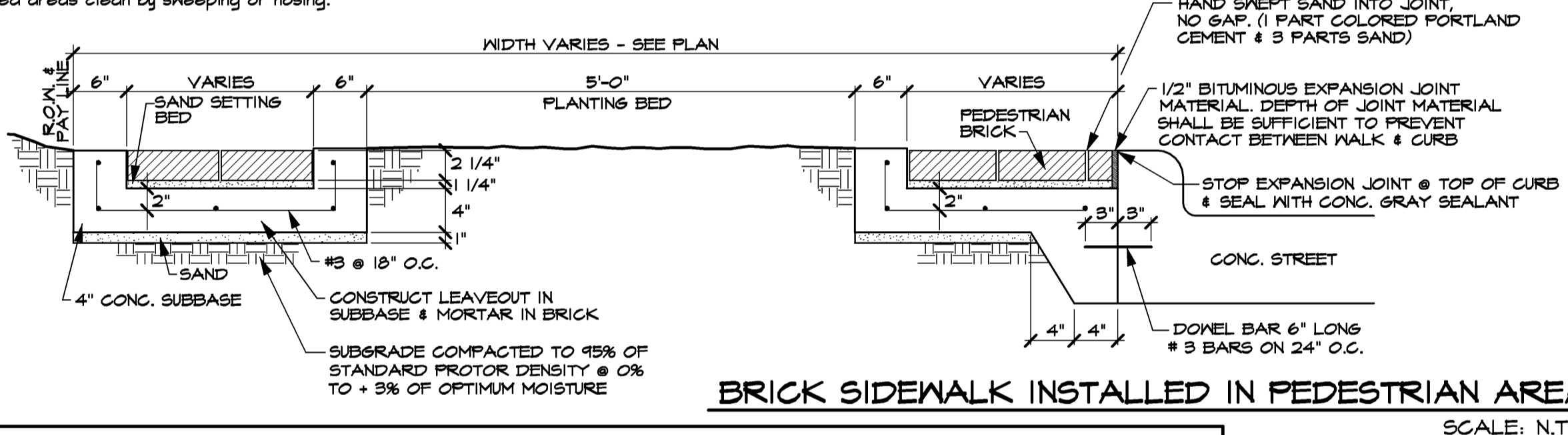
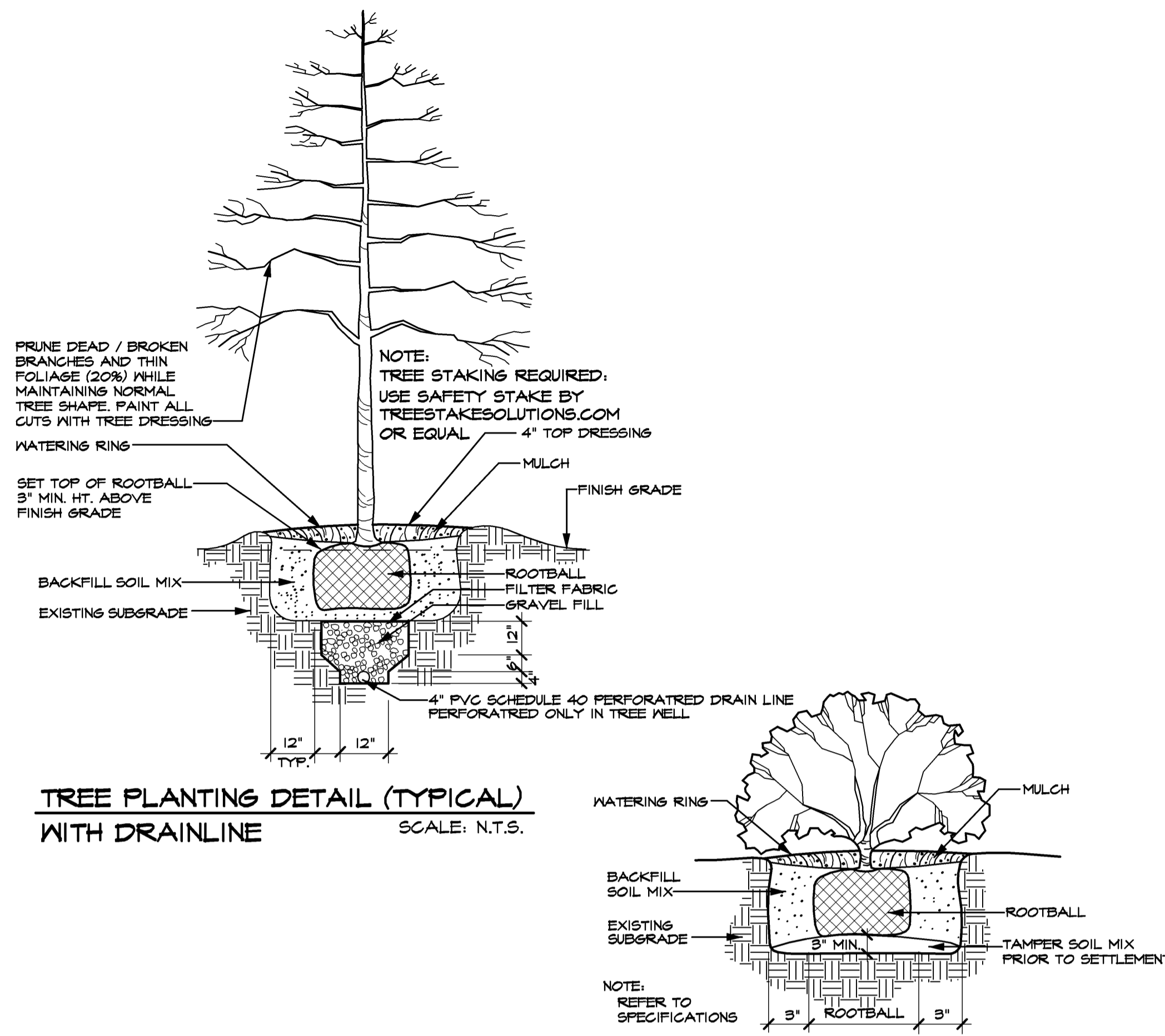
- 1.1 SCOPE:
 1. Furnish all labor, tools, transportation, materials, equipment, supervision, etc., required to adequately establish a dense lawn of permanent grasses, free from lumps and depressions as indicated by plans and specifications.
 2. Read any part of the area falling to show uniform cover until a dense lawn is established. The cost of mix, irrigation laterals, materials for topsoil, seeding, tillage, pest control, fertilizing, etc., are not separate pay items and shall be included in the Bid price for grassing.
- 1.2 RELATED WORK SPECIFIED ELSEWHERE:
 - A. Irrigation System
 - B. Landscaping
- 1.3 MAINTENANCE OF GRASS:
 1. The contractor shall maintain the grass until final acceptance. Such maintenance shall include spraying, weeding, cultivation, fertilizing, watering, disease and insect control, top dressing low spots, plus any procedures consistent with horticultural practice necessary to insure normal, vigorous, and healthy grass.
- 1.4 JOB CONDITIONS:
 - A. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
 - B. Lawn areas will be left within 1/10 of a foot of finish grade by other trades. Fine grading, raking and smoothing will be the responsibility of the contractor.
- 1.5 SCHEDULE:
 - A. Seeding/Hydrumulching - Bermuda grass: Complete only between May 1 to August 31 under favorable conditions (warm season)
 - B. Seeding/Hydrumulching - Perennial Ryegrass: Complete only between September 1 to April 30, except at front of project, as determined by owner, under favorable climatic conditions.
 - C. Sodding: Sod bermuda between March 15 and September 30. Between October 1 and March 14 overseed sod with Perennial ryegrass under favorable conditions. (Use nursery overseeded sod, in lieu of seeding after installation, if available.)
 - D. Qualifications: Due to unseasonable weather, the above dates may vary; however, do not proceed with grassing operations beyond these dates without assuming full responsibility for a stand of grass.
- 1.6 ACCEPTANCE:
 1. The work will be accepted when a completed, undamaged stand of grass is achieved, as approved by the Owner's Representative.

PART 2 - MATERIALS

- 2.1 GRASSES:
 - A. Bermuda Grass: Extra fancy hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination 90 percent.
 - B. Annual Ryegrass: Extra fancy hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination 90 percent.
- 2.2 FERTILIZERS:
 1. Fertilizer shall be organic base, uniform in composition, dry and free flowing. Deliver fertilizer to site in original, unopened containers, each bearing manufacturer's guaranteed statement of analysis.
 - A. First application: 12-12-12 element percentage with minimum 8% sulfur and 4% iron plus micro nutrients.
 - B. Second application: 5-1-2 element ratio. Nitrogen source to be a minimum 50% slow release organic nitrogen (SCU or UF) plus minimum 8% sulfur and 4% iron plus micro nutrients.

PART 3 - EXECUTION

- 3.1 PREPARATION:
 - A. Scarify lawn areas where excessive compaction is greater than 25% Standard Proctor to a depth of 4-inches by tining or rototilling. Repeat cultivation as required to thoroughly loosen soil.
 - B. Leave areas free of weeds and ready for final grading.
 - C. Provide barricades around scarified areas to prevent compaction by construction vehicles.
- 3.2 FINAL GRADING:
 - A. Remove from site and legally dispose of stones 3/4-inch and larger, sticks and other debris exposed during this operation.
 - B. Provide finish grading leaving surface uniform without depressions and undulations, graded approximately 1-inch below paving.
- 3.3 HERBICIDE:
 1. Apply herbicide to remove any remaining weeds. This work is to be performed by a licensed applicator following the manufacturer's recommendations.
- 3.4 FERTILIZER:
 - A. Place first application with hydrumulch at rate of 12 pounds per 1,000 square feet.
 - B. Uniformly distribute second application using a rotary type fertilizer spreader 3-4 weeks after first application at 12 pounds per 1,000 square feet.
- 3.5 HYDRUMULCH/SEEDING:
 - A. At the time of hydrumulch/seeding, soil shall be moist but not muddy, and wind velocity shall not exceed ten (10) miles per hour. Add water if required to moisten soil.
 - B. Hydrumulch seed uniformly at the rate of 2 pounds of Bermudagrass seed per 1,000 square feet.
 - C. Add tackifier to hydrumulch mix for slopes 5:1 or greater at the rate of 1 lb. per bag of mulch.
 - D. Use a 4' x 8' batter board against bed areas.
- 3.6 MECHANICAL SEEDING:
 1. Seed uniformly at a rate of 125 pounds of Bermudagrass seed per acre or 350 pounds of Ryegrass per acre. Use grass drill, trillion seeder, or viking roller.
- 3.7 SOLID SOD:
 - A. Solid Sod: Plant grass by hand, edge to edge with staggered joints. Topdress with sharp sand raked in carefully to fill joints. Roll to eliminate undulations and provide complete soil contact.
 - B. Fertilizing: Fertilize immediately after grass is planted at rate of 4 lbs. per 1,000 square foot. Repeat fertilizing at the same rate 3-4 weeks later.
- 3.8 ESTABLISHMENT AND MAINTENANCE OF LAWN AREAS:
 - A. Watering:
 1. Water lawn areas immediately after grassing operation.
 2. Continue watering as required to keep soil uniformly moist to a minimum depth of 4-inches.
 3. Be alert to over-watering newly planted grass, particularly in heavy clay soils.
 - B. Replanting/Erosion Control:
 1. Correct any erosion that may occur during the establishment of grass.
 2. Reseed (sod) any areas not showing sufficient growth within 3 weeks after initial grassing. Continue seeding (sodding) until a stand of grass is achieved.
 3. A stand of grass will be defined as a uniform cover of actively growing turf.
 - C. Mowing/Weed Control:
 1. Mow lawn areas weekly until a stand of grass is achieved. Begin mowing when the lawn reaches a height of 3-inches; set mower to cut at 2-inches. A minimum of two mowings is required.
 2. Weed lawn areas until acceptance, removing all foreign vegetation, either by hoeing or pulling. If approved, herbicide spot treatments may be used.
- 3.9 CLEANUP:
 1. During work, keep premises neat and orderly, including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from site daily as work progresses. Keep paved areas clean by sweeping or hosing.



TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
27		RED OAK	Red Oak	Quercus shumardii	100 Gallon, 4" caliper min., 14' ht. / 7' spread, straight trunk, matching specimen.
22		CEDAR ELM	Cedar Elm	Ulmus crassifolia	100 Gallon, 4" caliper min., 14' ht. / 7' spread, straight trunk, matching specimen.
17		FISTACHE	Pistache	Pistacia chinensis	100 Gallon, 4" caliper min., 14' ht. / 7' spread, straight trunk, matching specimen.
9		NATCHEZ GRAPE MYRTLE	Natchez Grape Myrtle	Lagerstroemia indica 'Natchez'	60 Gallon, Standard - Single-trunk, 12 ht. / 6' spread, Specimens.

SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
1,084		D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gallon, 18"-20" Ht./15" spread, full, bushy to ground
9		SPIREA	Double Knockout Radtko Rose	Rosa hybrida 'Radtko'	5 gallon, 24" Ht./24" spread, full, bushy to ground

GROUNDCOVER / PERENNIAL					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
1,350		MONDO	Mondo Grass	Ophiopogon japonicum	4" pots @ 9" o.c.
0		S. IRIS	Siberian Iris	Iris sibirica	Various Purple Colors 1 gallon

#	Revisions:	Date:

Grubbs Design Group
Landscape Architecture - Construction Management

STATE OF TEXAS
JOE D. GRUBBS
1713
PROFESSIONAL ARCHITECT
1-5-18

Meridian Square
R.O.W. Improvements
Addison, Texas

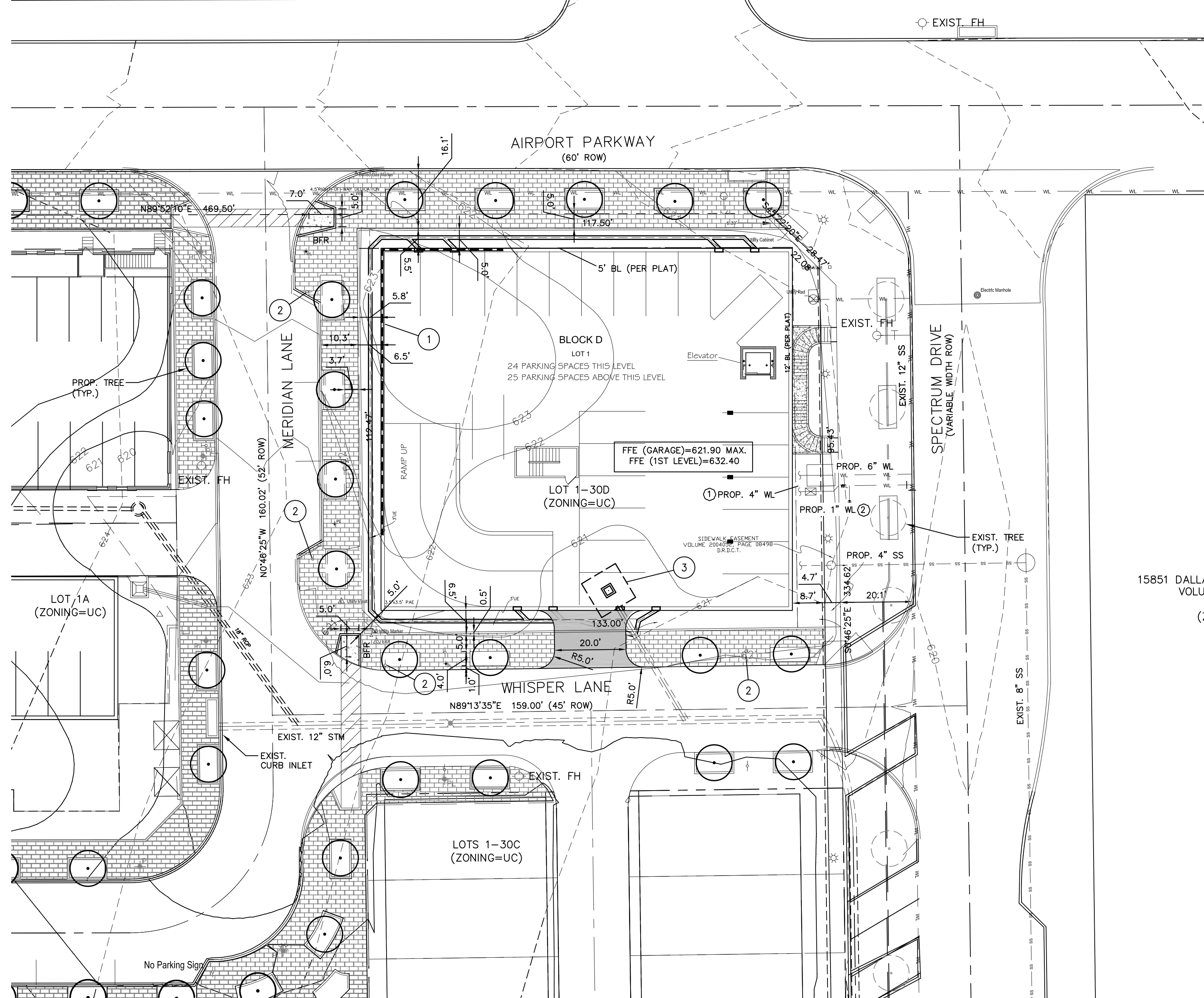
Issued For:
CONSTRUCTION
Job No.:
08132.00
Scale:
N.T.S.
Drawn By:
JDG
Date:
1-5-2018

Landscape Specifications

Sheet Title:
L2
of L4 Sheets

HARRIS ADDITION
VOLUME 78017, PAGE 1067
M.R.D.C.T.
(ZONING=PD86-001)

HARRIS ADDITION
VOLUME 78017, PAGE 1067
M.R.D.C.T.
(ZONING=PD86-001)



15851 DALLAS NORTH PARKWAY ADDITION
VOLUME 85021, PAGE 1686
M.R.D.C.T.
(ZONING=PD84-010)

Town of Addison site plan notes:

- Any revision to this plan will require Town approval and will require revisions to any corresponding plans to avoid conflicts between plans.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Buildings with an aggregate sum of 5,000 square feet or greater on a lot shall have automatic fire sprinklers installed throughout all structures. Alternative fire protection measures may be approved by the Fire Department.
- All signage is subject to Town approval.
- All fences and retaining walls shall be shown on the site plan and are subject to Building Inspection Division approval.

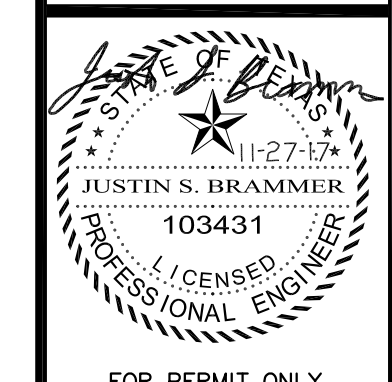
This plan conforms with design standards included in the Town of Addison Transportation Plan, Water System Requirements, Waste Water System Requirements, and Drainage Criteria Manual.

SITE DATA SUMMARY TABLE:	
General Site Data:	
Zoning	UC
Proposed Use	Multifamily
Lot Area	0.34 acres or 14,739 S.F.
Building Footprint (square feet)	11,613
Total Building Area-6 Units-12 bedrooms (square feet)	14,661
Building Height (stories)	4 story
Building Height (feet - distance to tallest building element)	50
Lot Coverage	79%
Parking:	
Parking Ratio Required	1 Stall / bedroom
Required/Provided Parking (1 space/bedroom)	44/49 stalls
HC Accessible Parking Required	N/A
Landscape Area:	
Usable Open Space Required	1,046 S.F.
Usable Open Space Provided	3,126 S.F.
Imperious Surface (SF)	3,126 S.F.

DRAWING LEGEND	
---	PROPERTY LINE
- - - -	ADJOINING PROPERTY LINE
=====	PROP. EDGE OF PAVEMENT
=====	CURB LINE
=====	PROP. STRIPING
-----	EASEMENT/SETBACK LINES
[Pattern]	PROP. CONCRETE SURFACE (SIDEWALK OR PAD)
[Pattern]	PROP. PAVERS PER LANDSCAPE PLANS.
[Pattern]	PROP. DRIVEWAY PAVING PER CITY DETAIL THIS SET.
EXIST. PROP. BFR	EXISTING PROPOSED PROP. BARRIER FREE RAMP
RW	RETAINING WALL
HC	TYPICAL HANDICAP
T.A.S.	TEXAS ACCESSIBILITY STANDARDS
MFR	MANUFACTURER

- NOTES:
- ALL PROP. STRIPING (INCLUDING THE FIRE LINE STRIPING) SHALL CONFORM TO CITY STANDARDS AND REQUIREMENTS.
 - RE: DETAILS THIS SET FOR PROPOSED PAVING SECTIONS.
 - CONTRACTOR SHALL INSTALL ALL UNDERGROUND PVC CONDUITS PRIOR TO INSTALLING PROPOSED PAVING. RE: UTILITY PLANS (MEP & CIVIL) AND IRRIGATION PLAN FOR PROPOSED CONDUIT LOCATION.
 - ALL REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
 - ALL CURVE RADII ARE 2.5'R UNLESS NOTED OTHERWISE ON THE PLAN.
 - RE: ARCH PLANS FOR EXACT BUILDING DIMENSIONS.
 - UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF RETAINING WALL OR EDGE OF PAVING.
 - IF THE DIMENSIONS SHOWN ON THE PLANS ARE INCONSISTENT WITH MEASUREMENTS FOUND IN THE FIELD, PLEASE CONTACT THE ENGINEER IMMEDIATELY.
 - SIGN LOCATION AND DIMENSIONS SHALL BE VERIFIED WITH THE SIGN MFR AND ARCH.
 - RE: ARCH PLANS FOR PROPOSED DUMPSTER LOCATION AND DETAILS. GARBAGE COLLECTION WILL BE PRIVATE.
 - ALL PROP. STEPS LABELED ON THIS PLAN SHALL BE PER ARCH (RE: GRADING PLAN THIS SET FOR GRADES).
 - SITE IS NOT LOCATED IN A FLOOD PLAIN AREA.
 - RE: GENERAL NOTES AND PAVING DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.

NOIFNG, LLC
Architect
817.300.2994
noifng@noifng.com



FOR PERMIT ONLY
Site Location:
SOUTHWEST CORNER OF
SPECTRUM DR. & AIRPORT PKWY.
ADDISON, TX 75001

A Proposed Residential Project for
SAVANNAH DEVELOPERS
MERIDIAN SQUARE-BUILDING #6
TOWN PROJECT #: 17-16

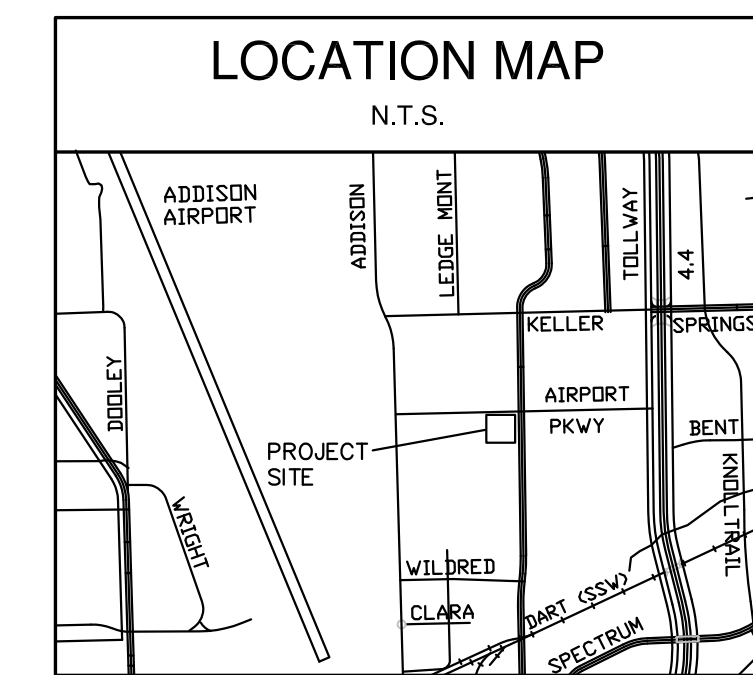
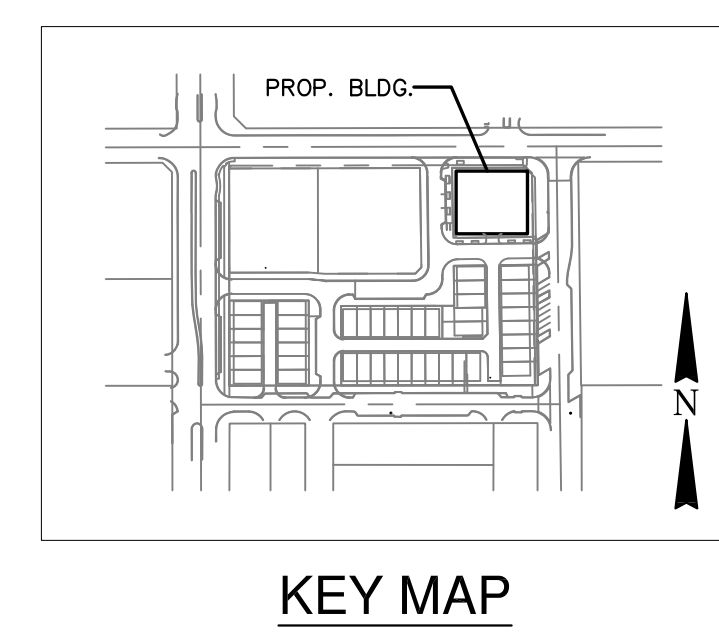
REVISIONS	ISSUES	PERMIT

DATE: 12.27.17
SHEET NO.
C-2.1
OF SHEETS

Water Meter & Sewer Schedule				
I.D.	Type	Size	No.	Sewer Remarks
①	Domestic	4"	1	6" Proposed 4" Water Service Only
②	Irrigation	1"	1	NA Proposed 1" Water Service Only

REFERENCE NUMBER NOTES	
①	PROP. RETAINING WALL PER GRADING PLAN THIS SET.
②	PROP. NO PARKING SIGN BY OTHERS.
③	REMOVE EXIST. DROP INLET AND CONNECT TO PROP. ROOF DRAIN SYSTEM PER STORM DRAIN PLAN.

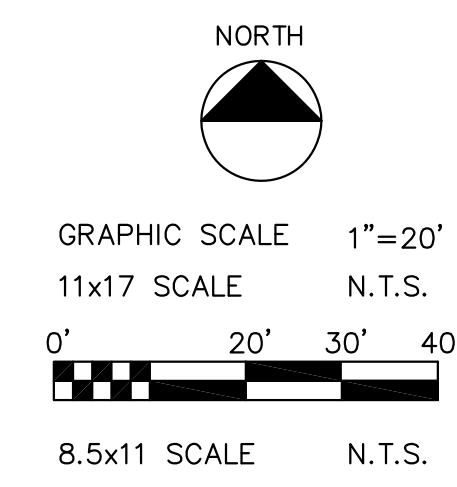
NOTE TO CONTRACTOR
CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.



ACTION		
APPROVED	DENIED	
STAFF	Date	Initials
COUNCIL	Date	Initials

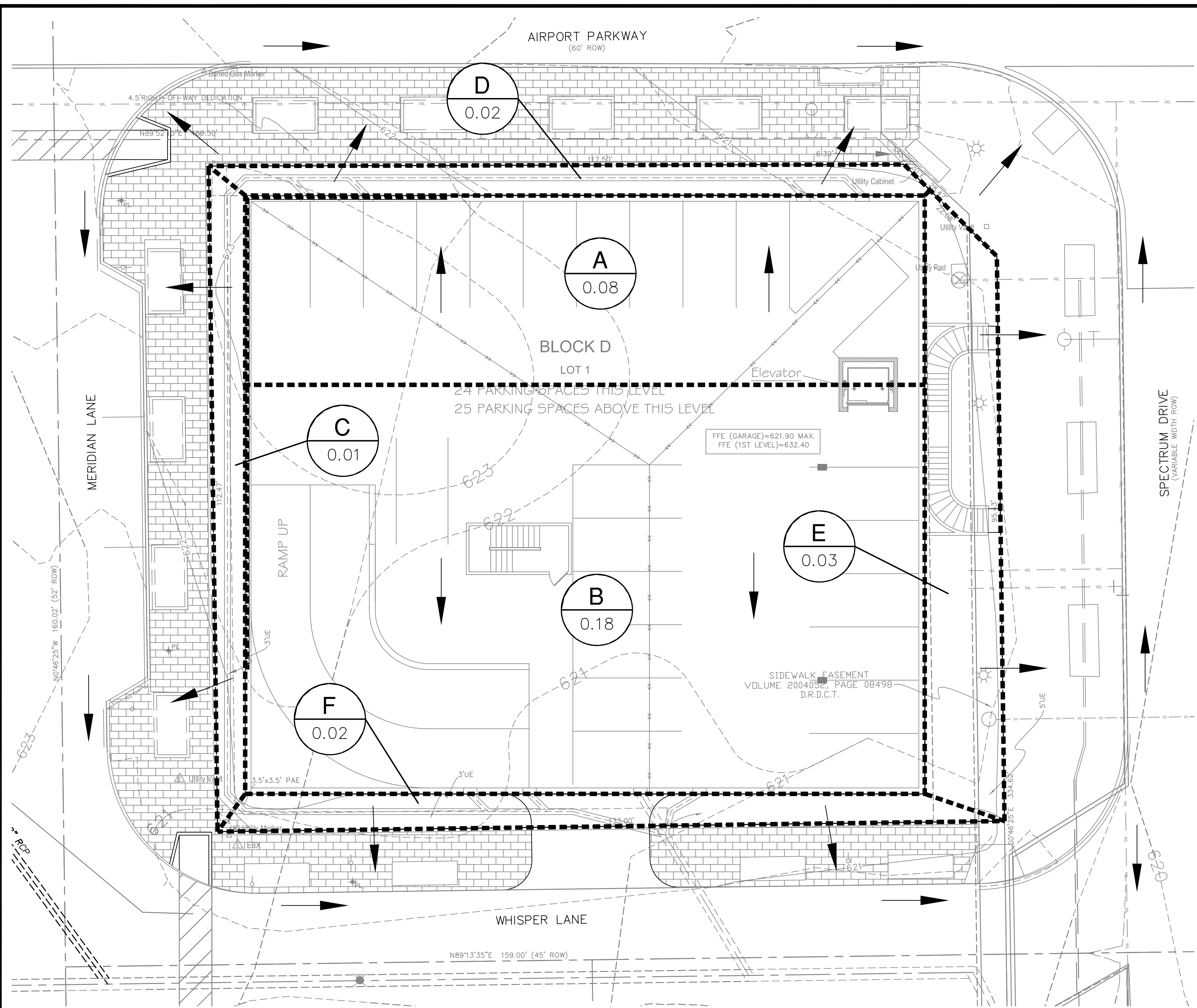
See the Staff Approval Letter or Council Result Memo for any conditions associated with the approval of the project.

SITE PLAN EXHIBIT FOR:
MERIDIAN SQUARE—BUILDING 5
0.34 ACRES
LOTS 1D
MERIDIAN SQUARE
THE TOWN OF ADDISON
DALLAS COUNTY, TEXAS
TOWN PROJECT #:
SITE PLAN



OWNER/APPLICANT:
SAVANNAH DEVELOPERS
KEVIN MURPHREE
P.O. BOX 2109
ADDISON, TX 75001
(214) 325-7960

PREPARED BY:
LPSE Lobinger & Potts Structural Engineering, Inc
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092
817.897.3611 Fax 817.488.9937 Firm Reg. # 7290

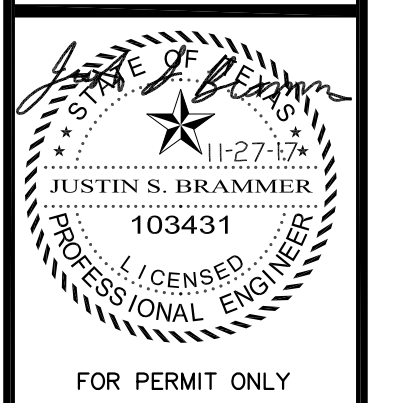


DRAWING LEGEND	
--- 535 ---	EXIST. CONTOUR LINE
— 535 —	PROP. CONTOUR LINE
-----	DRAINAGE AREA LIMITS
→	DIRECTIONAL FLOW ARROW
(X) X.XX	DRAINAGE AREA NUMBER DRAINAGE AREA (ACRES)

PROP. RUNOFF CALCULATIONS						
DRAINAGE AREA	AREA (ACRES)	C	Tc (MIN)	Q100 (CFS)	Description	
A	0.08	0.90	10	9.27	0.67	Roof to underground
B	0.18	0.90	10	9.27	1.50	Roof to underground
C	0.01	0.90	10	9.27	0.08	Surface to Meridian Lane
D	0.02	0.90	10	9.27	0.17	Surface to Airport Parkway
E	0.03	0.90	10	9.27	0.25	Surface to Spectrum
F	0.02	0.90	10	9.27	0.17	Surface to Whisper Lane
Total Onsite				0.34	2.84	

NOTES:
 1. DRAINAGE AREA "A" WILL BE TAKEN TO THE EXIST. UNDERGROUND STORM SYSTEM ON WHISPER LANE. THE AREA SHOWN IS DESIGNED TO MATCH THE AREA THAT THE SYSTEM WAS DESIGNED FOR PER THE EXIST. DRAINAGE AREA MAP SHEET THIS SET.
 2. DRAINAGE AREAS "B" AND "C" WILL SURFACE DRAIN FROM DOWNSPOUTS TO MERIDIAN LANE AND SPECTRUM DRIVE.

NOI FNG, LLC
 Architect
 richard@noifng.com
 817.500.2994



FOR PERMIT ONLY
 Site Location:
 SOUTHWEST CORNER OF
 SPECTRUM DR. & AIRPORT PKWY.
 ADDISON, TX 75001

A Proposed Residential Project for
SAVANNAH DEVELOPERS
 MERIDIAN SQUARE-BUILDING #6
 TOWN PROJECT #: 17-16

REVISIONS	
ISSUES	

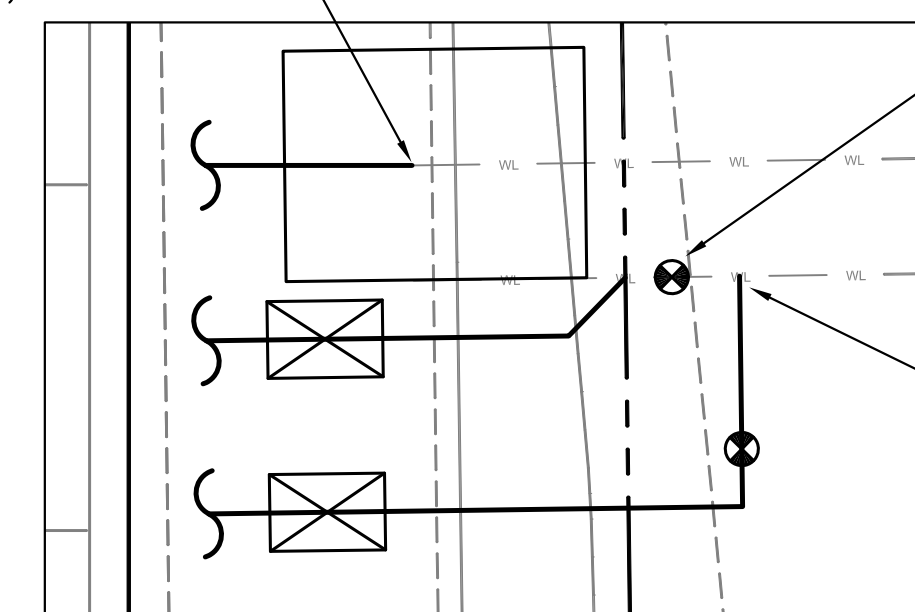
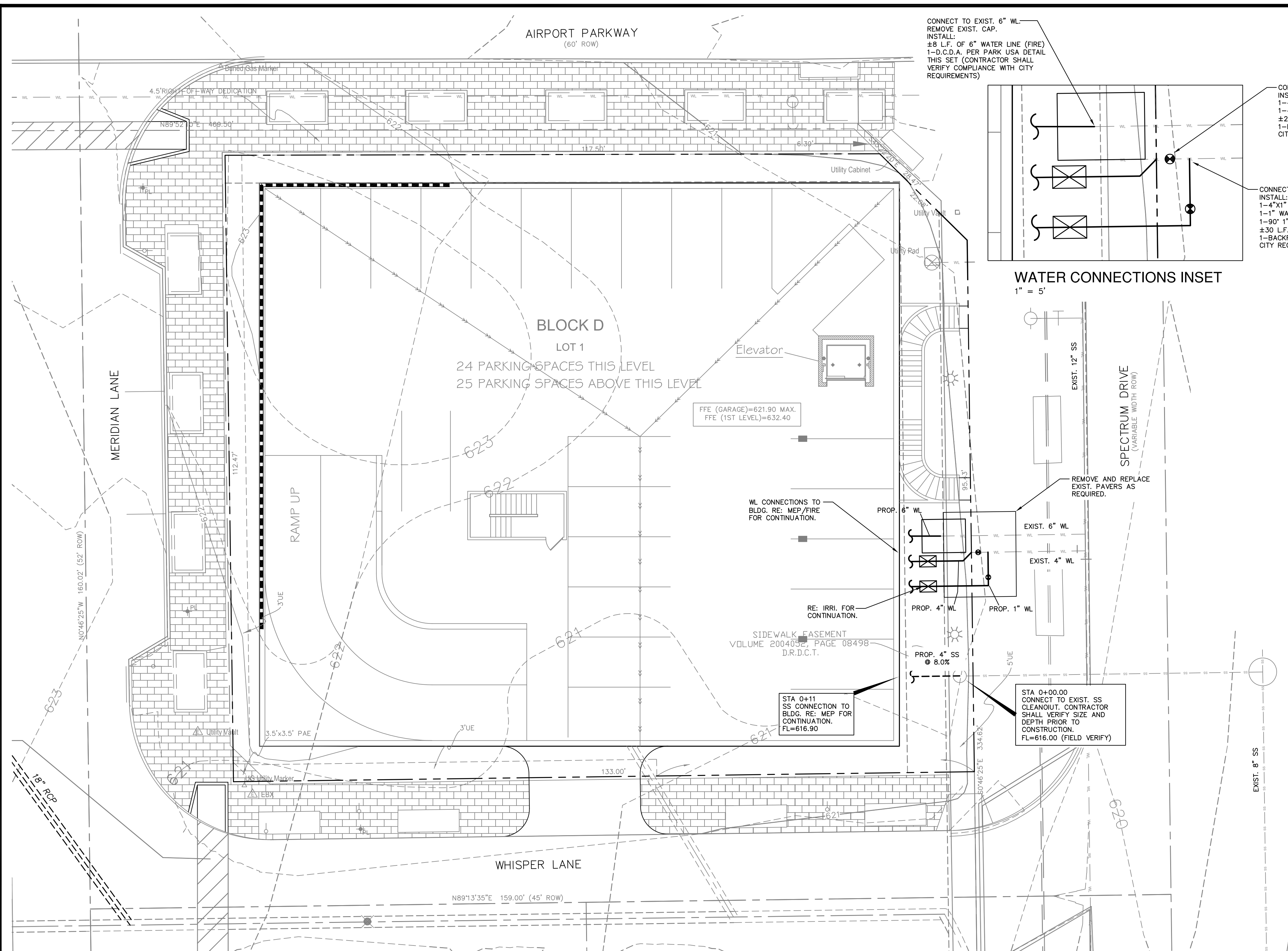
DATE: 12.27.17
 SHEET NO.
C-4.2
 OF SHEETS

NOTE TO CONTRACTOR
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PROP. DRAINAGE AREA MAP

LPSE Lobinger & Potts Structural Engineering, Inc
 1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092
 817.897.3611 Fax 817.488.9937 Firm Reg. # 7290

BENCHMARKS (VERIFY W/ PROJECT SURVEYOR):
 1. SQUARE CUT IN BOC ON INLET ON EAST SIDE OF QUORUM PKWY. ±65' SOUTH OF CENTERLINE INTERSECTION OF QUORUM PKWY. & AIRPORT PKWY. (ELEV.=630.71)
 2. SQUARE CUT ON THE NORTHWEST CORNER OF INLET LOCATED ON THE NORTH SIDE OF AIRPORT PKWY. AT THE CENTERLINE INTERSECTION OF AIRPORT PKWY. & SPECTRUM DR. (ELEV.=619.31)

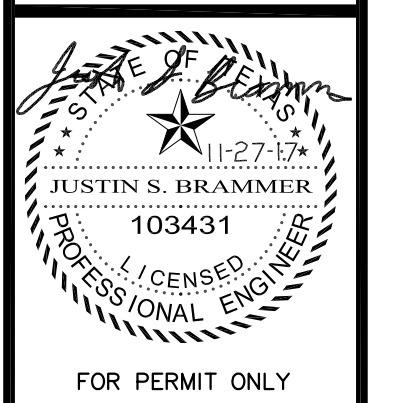


WATER CONNECTIONS INSET
1" = 5'

DRAWING LEGEND	
--- 100 ---	EXIST. CONTOUR LINE
— 100 —	PROP. CONTOUR LINE
—	PROP. WATER LINE
- - -	PROP. SS LINE
—	PROP. CLEANOUT
EXIST. SS	EXISTING SAN. SEWER
WL	WATER LINE
C.O.	CLEAN OUT
T.C.O.	TRAFFIC RATED C.O.
HC	HANDICAP
DOM.	DOMESTIC WATER
IRRI.	IRRIGATION

- NOTES:**
- IF THERE ARE ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND WHAT IS FOUND IN THE FIELD, CONTACT THE ENGINEER IMMEDIATELY.
 - CONSTRUCT ALL UTILITIES STARTING AT THE DOWNSTREAM END AND PROCEED UPSTREAM.
 - ALL PROPOSED UTILITY CONNECTIONS SHALL BE STUBBED 5' FROM THE PROPOSED BUILDING.
 - THE SIZES & LOCATIONS OF THE PROP. WATER AND SANITARY SEWER LINES/METERS ARE ASSUMED AND SHALL BE VERIFIED WITH MEP, IRRIGATION & FIRE PROTECTION PRIOR TO COMMENCING CONSTRUCTION. IF WHAT IS SHOWN ON THESE PLANS CONTRADICTS INFORMATION SHOWN ON THESE PLANS, CONTACT THE ENGINEER IMMEDIATELY.
 - UTILITIES SHALL BE CONSTRUCTED PER ALL JURISDICTIONAL REQUIREMENTS AND COMFORM.
 - WATER LINES SHALL BE PVC AND COMFORM TO AWWA STANDARD C-900, SDR-18 MIN.
 - SANITARY SEWER LINES SHALL BE SDR-35 (OR SDR-26 IF NOTED AS SO ON THE PLAN).
 - RE- GENERAL NOTES SHEET FOR ADDITIONAL NOTES.

NOIFNG, LLC
Architect
richard@noifng.com
817.500.2994



Site Location:
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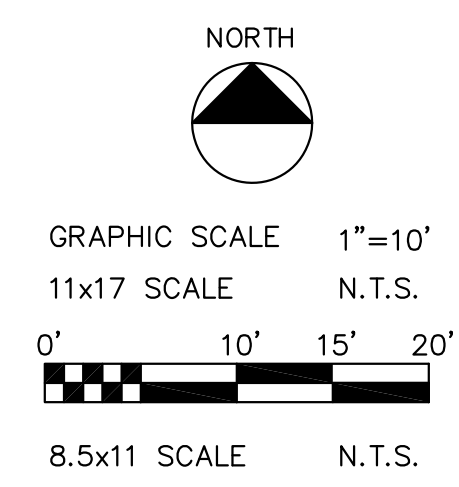
A Proposed Residential Project for
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REVISIONS	
ISSUES	

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SHEET NO.
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WATER & WASTEWATER PLAN



BENCHMARKS (VERIFY W/ PROJECT SURVEYOR):
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