

SITE PLAN



SCALE: 3/32" = 1'

SITE AREA: .689 ACRE
 PARKING: 61 STANDARD + 3 HC = 64 SPACES (EXISTING SURFACE RE-STRIPED AND HC MOVED TO ENTRY)
 SQUARE FOOTAGE: 4,466 SQ. FT. PARKING REQUIREMENT: 1 SPACE PER 70 SQ. FT. TOTAL REQUIRED: 64 SPACES

Note: Reference sheet 1 for existing site survey, zoning, parking, lighting, drainage, and utility information.



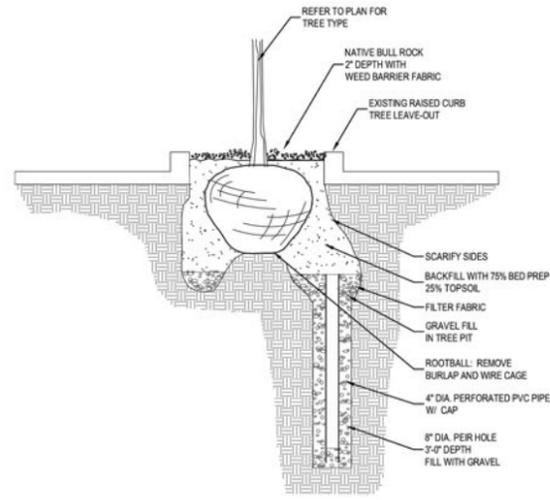
CONCEPT PLAN_NEW

13642 OMEGA RD DALLAS TEXAS 75244 PHONE: 972-387-1000

PROPERTY OWNER: CARROLL FAMILY INVESTMENTS, LTD.
 2340 WEST I-20, SUITE 100
 ARLINGTON TEXAS 76017
 PHONE: 817-467-0505

RESTAURANT REMODEL: **Zoli's NY Pizza**
 14910 Midway Rd. Addison Texas
 Recorded Plat: "Vickery Feed Store Addition"
 vol. 85238 pg 2844 DRDCT
 Lot size: 0.689 acres
 Date: 05/19/16 Town project: # 1739-SUP
 06/15/16-FINAL

sheet: 2 of 6



01 TREE PLANTING DETAIL, IN EXISTING PARKING LOT NOT TO SCALE

SOLID SOD NOTES

1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
5. Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
6. Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
7. Water sod thoroughly as sod operation progresses.
8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
9. Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
10. If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

EXISTING TREE PRUNING NOTES

1. Contractor shall provide a Class "B" pruning on all existing trees.
2. This shall include at a minimum: removal of dead, dying, diseased weak branches, along main trunk structure and within branching area.
3. Contractor shall include deep root feeding and invigoration of existing trees. This shall be organic based nutrients based for root growth and leaf growth stimulation.
4. Contractor shall be required to chip all removed branches, leaves, etc.

IRRIGATION REPAIR SPECIFICATIONS

1. Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
2. Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sleeving, etc.

PLANT LIST

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	4	CE	Cedar Elm	Ulmus crassifolia	4" cal.	B&B, 15" N., 5' spread min.
	3	CM	Crape Myrtle 'Dallas Red'	Lagerstroemia indica 'Dallas Red'	3" cal.	container grown, 10' ht. min. 3-5 cane, no cross caning
	3	PC	Pond Cypress	Taxodium ascendens	2" cal.	container grown, 12' ht. min.
	2	TY	Tree Yaupon Holly	Ilex vomitoria	8" ht.	2" cal. min., B&B, 3-5 cane, no cross caning

SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	38	DA	Dwarf Abelia 'Edward Goucher'	Abelia sp. 'Edward Goucher'	5 gal.	container, full plant specimen
	15	DTS	Dwarf Texas Sage 'Compact'	Leucophyllum sp. 'compactum'	5 gal.	container, full plant specimen
	22	IH	Indian Hawthorne 'Clara'	Raphiolepis indica 'Clara'	5 gal.	container, full plant specimen
	11	KNR	Double Knockout Rose 'Yellow'	Rosa sp. 'Double Knockout Yellow'	5 gal.	container, full plant specimen
	95	MFG	Mexican Feather Grass	Nassella tenuissima	5 gal.	container, full plant specimen
	36	MIS	Miscanthus	Miscanthus sinensis 'Gracilimus'	5 gal.	container, full plant specimen
	69	NRS	Nellie R. Stevens Holly	Ilex sp. 'Nellie R. Stevens'	10 gal.	container, full plant specimen
	14	NPH	Needlepoint Holly	Ilex cornuta 'Needlepoint'	36" ht.	container, full plant specimen, 36" o.c.
	51	GM	Gulf Muhly	Muhlenbergia filipes	5 gal.	container, full top of container

GROUNDCOVERS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	300	EI	English Ivy	Hedera helix	4" pots	container, (3) 12" runners min.
	370	LR	Liriope 'Big Blue'	Liriope muscari 'Big Blue'	4" pots	container, full plant, 12" o.c.
	24	LG	Giant Liriope	Liriope gigantea	3 gal.	container, full plant
	1269	WC	Common Bermuda Grass	Cynodon dactylon	4" pots	container, (3) 12" runners min. 12" o.c. solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



CURRENT LANDSCAPE AREA:	3,863 S.F.
PROPOSED LANDSCAPE AREA:	4,067 S.F.
CURRENT TREES ON-SITE:	7
ADDITIONAL PROPOSED TREES:	10
CURRENT SHRUBS ON-SITE:	0
PROPOSED SHRUBS:	230
CURRENT GROUNDCOVER ON-SITE:	0
PROPOSED GROUNDCOVER:	1963

LANDSCAPE TABULATIONS

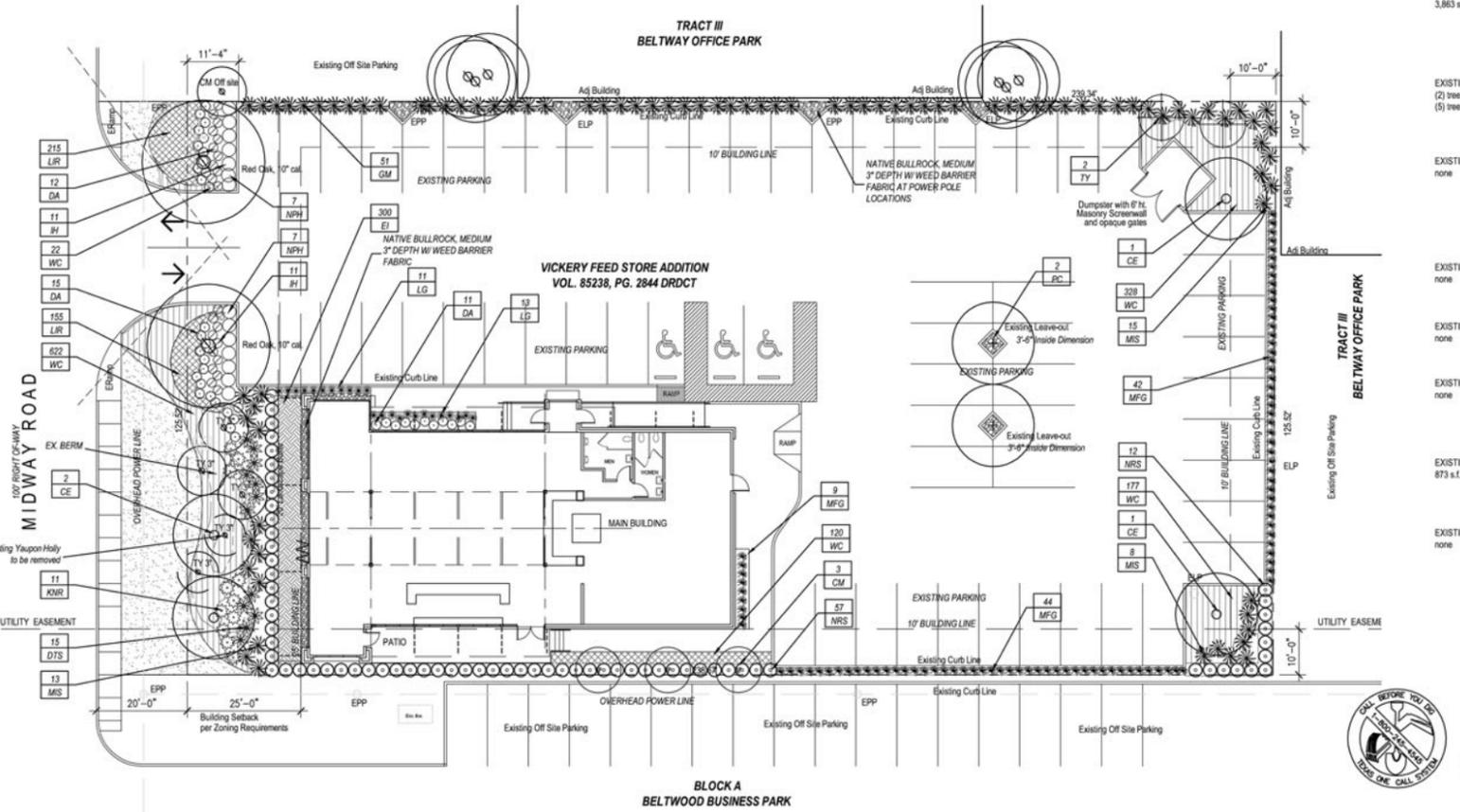
SITE REQUIREMENTS	
Requirements: 20% of gross site to be landscape	
Total Site: 30,102 s.f. (.689 acres)	
Required: 6,020 s.f. (20%)	Provided: 4,015 s.f. (13.3%)
STREET FRONTAGE	
Requirements: 20' buffer along street frontage	
(1) tree 4" cal. per 30 l.f., (8) shrubs per 20 l.f.	
Midway Road: 125.52 l.f.	
Required: (2) trees, 4" cal. / (2) new trees, 4" cal.	Provided: (2) ex. trees, 10" cal. / (2) new trees, 4" cal.
(5) trees, 2" / (40) shrubs, 5 gal.	(120) shrubs, 5 gal.
PARKING LOT SCREEN	
Requirements: 20' N., 3' o.c.	
Provided: 36" ht., 3' o.c. linear row	
PARKING LOT PERIMETER LANDSCAPE	
Requirements: 5' wide buffer, (1) 4" cal. tree per 35 l.f. and (1) shrub per 3 l.f.	
East Property Line: 80 l.f.	
Required: (3) trees, 4" cal. / (27) shrubs, 5 gal.	Provided: (1) tree, 2" cal. / (42) shrubs, 5 gal.
North Property Line: 198 l.f.	
Required: (6) trees, 4" cal. / (51) shrubs, 5 gal.	Provided: (2) trees, 2" cal. / (51) shrubs, 5 gal. (48) shown elsewhere on-site
South Property Line: 90 l.f.	
Required: (3) trees, 4" cal. / (30) shrubs, 5 gal.	Provided: (3) trees, 3" cal. / (44) shrubs, 5 gal.
PARKING LOT - INTERIOR LANDSCAPE	
Requirement: 8% of the parking area must be landscape	
Parking lot: 20,031 s.f.	
Required: 1,602 s.f. (8%)	Provided: 873 s.f. (4.3%)
PARKING LOT	
Requirement: (1) tree per 10 regular spaces	
Total Parking: 63 spaces	
Required: (8) trees	Provided: (2) trees, 2" cal. / (2) tree, 4" cal.

GENERAL LAWN NOTES

1. Fine grade areas to achieve final contours indicated on civil plans.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, rocks, debris, vegetation, stones, containing no salt and black to brown in color.
5. All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
6. All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.
7. Contractor shall provide 1" one inch of imported topsoil on all areas to receive lawn.

DEMOLITION NOTES

1. Provide demolition, salvage and protection of existing structures, surfaces and trees as shown on the drawings.
2. Before submitting proposal, visit and examine site to determine actual nature and scope of demolition and salvage work. Claims for extra compensation on account of additional labor materials or equipment required for difficulties encountered in demolition and salvage will not be recognized.
3. Prior to demo, disconnect and cap off utilities and service lines not required for new construction in accordance with requirements of governing authorities ordinances and regulations.
4. Erect necessary barricades, storing and protective measures as required.
5. Materials and debris resulting from demolition operations become the property of the Contractor. Please remove from site.
6. Remove pavements, and structures to the depths of their sub-structures.
7. Leave construction area clean and ready to use by other trades.
8. Remove pavement sub-base to the depth of the base materials.
9. Do not remove or damage trees unless noted to be removed. All tree protection devices shall be in place prior to demolition activities. Any demolition activities required within the dripline of trees to be saved shall be carefully removed by hand labor. Report any tree damage to the Landscape Architect.
10. Prior to beginning demolition, Contractor shall provide coverings for existing site elements remaining to prevent damage. Any site elements scheduled to remain which are damaged by the Contractor's activities shall be repaired at the Contractor's expense.
11. Provide demolition of existing site items as shown on the drawings. Completely remove items to 8" below grade and haul away at refuse.



01 LANDSCAPE PLAN SCALE: 1" = 16'-0"

TOWN PROJECT #: 1739-SUP

smr
landscape architects, inc.
1706 N. Griffin Street Dallas, Texas 75202
Tel: 214.871.0803 Fax: 214.871.0545
Email: smr@smr-lia.com

RESTAURANT REMODEL
ZOLI'S NY PIZZA - 14910 Midway Road
TOWN OF ADDISON, TEXAS



- Issue For:
- Design Development
 - Progress
 - Bidding
 - Permit
 - Construction

Original Issue Date: 20 MAY 2015

City Comments / 6.15.16

Sheet Designer: **LANDSCAPE PLAN**

Drawn By: BOA

Checked By: BOA

Current Date: 20 MAY 2015

Drawing #: **L1.1**

HODGES Architecture
13642 OMEGA RD DALLAS TEXAS 75244 PHONE: 972-387-1000

CONCEPT LANDSCAPE PLAN 1.1

PROPERTY OWNER: CARROLL FAMILY INVESTMENTS. LTD.
2340 WEST I-20, SUITE 100
ARLINGTON TEXAS 76017
PHONE: 817-467-0505

sheet: 3 of 6

RESTAURANT REMODEL: Zoli's NY Pizza
14910 Midway Rd. Addison Texas
Recorded Plat: "Vickery Feed Store Addition" vol. 85238 pg 2844 DRDCT
Lot size: 0.689 acres
Date: 05/19/16 Town project: # 1739-SUP
06/13/16 final

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition by American National Standards Institute, Inc. (200.1) - plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and fill into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. All the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and shall be replaced in accordance with the Contractor requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:

1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallisgrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight
 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: FertiLid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
 - A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCL or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
 - B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 1. Post: Studded T-Post, #1 Armo with anchor plate, 6'-0" length; paint green.
 2. Wire: 12 gauge, single strand, galvanized wire.
 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Mitrif 140N by Celanese Fibers Marketing Company, available at Lofland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and fill into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

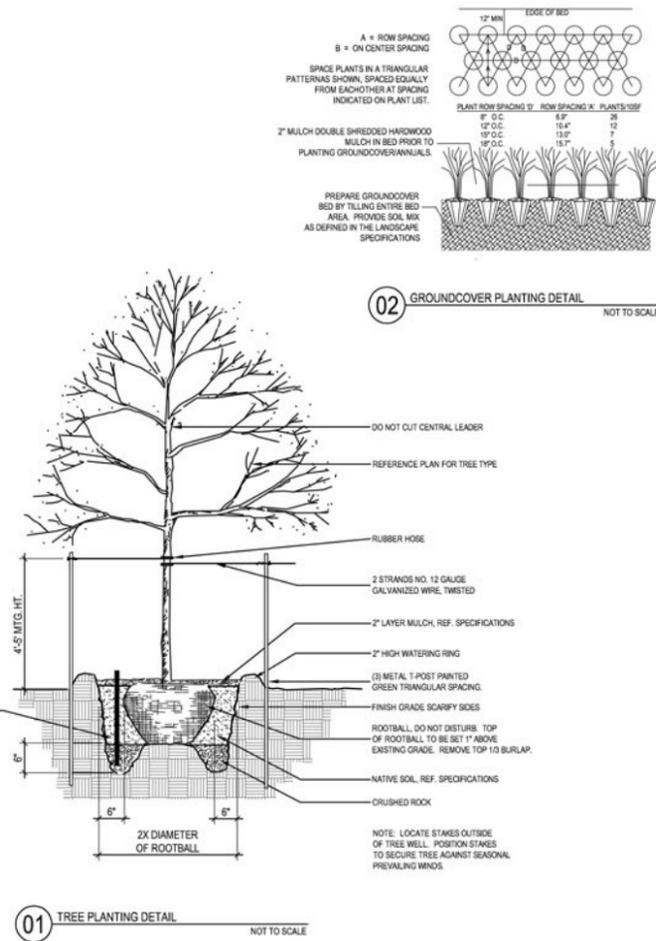
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- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

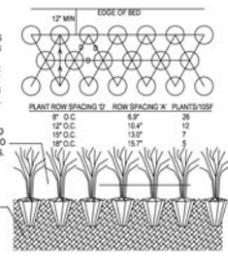
- F. Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic, string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of "root scoring".
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.
 1. Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
 2. Pruning shall be done with clean, sharp tools.
 3. Immediately after pruning operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material.
- Q. Steel Curbing Installation:
 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 2. All steel curbing shall be free of kinks and abrupt bends.
 3. Top of curbing shall be 3/4" maximum height above grade.
 1. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 2. Do not install steel edging along sidewalks.
 3. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

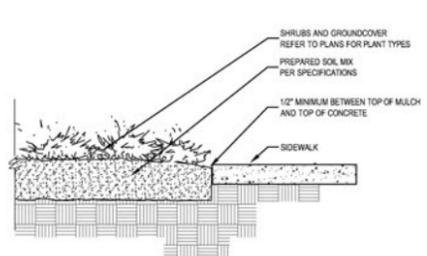
- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.



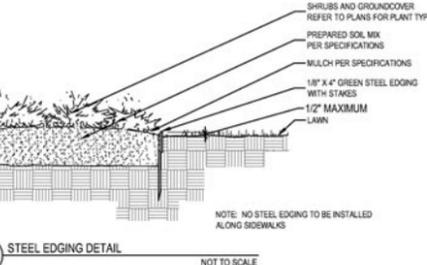
01 TREE PLANTING DETAIL NOT TO SCALE



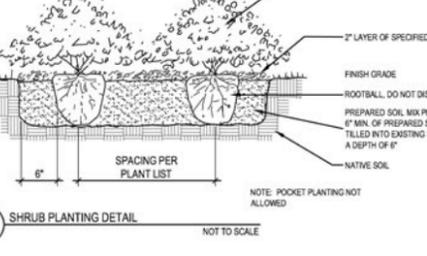
02 GROUNDCOVER PLANTING DETAIL NOT TO SCALE



03 SIDEWALK / MULCH DETAIL NOT TO SCALE



04 STEEL EDGING DETAIL NOT TO SCALE



05 SHRUB PLANTING DETAIL NOT TO SCALE



RESTAURANT REMODEL
ZOLI'S NY PIZZA: 14910 Midway Road
TOWN OF ADDISON, TEXAS

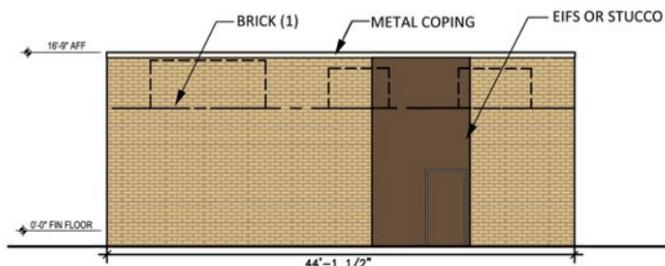


- Issue For:
- Design Development
 - Progress
 - Bidding
 - Permit
 - Construction
 -

Original Issue Date:
20 MAY 2015

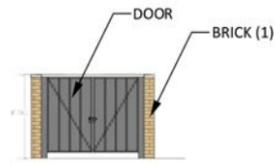
Sheet Description:
LANDSCAPE SPECIFICATIONS DETAILS

Drawn By: BDA
Checked By: BDA
Current Date: 20 MAY 2015
Drawing #: **L1.2**

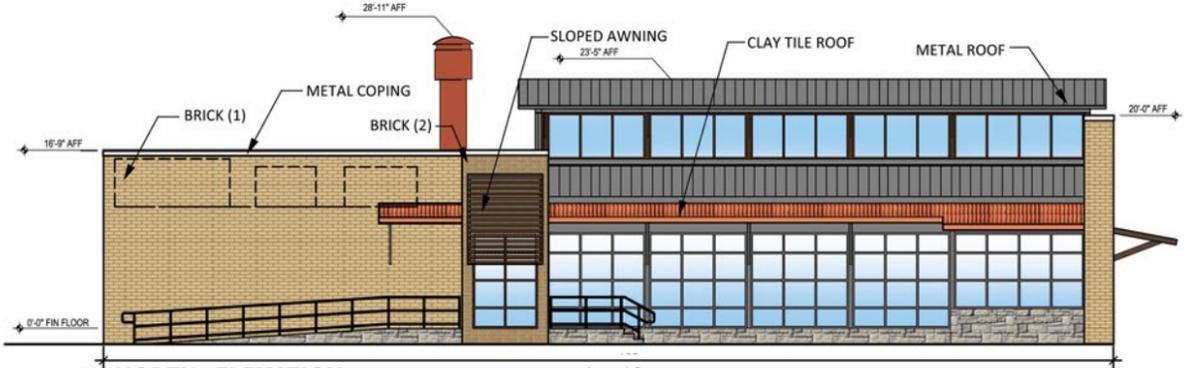


01 EAST ELEVATION

Masonry:	80%
EIFS or Stucco:	18%
Storefront and Glazing:	0%
Coping and Trim:	2%
Metal roofing:	0%
Clay tile roofing:	0%
Total surface area:	100%



05 DUMPSTER ENCLOSURE



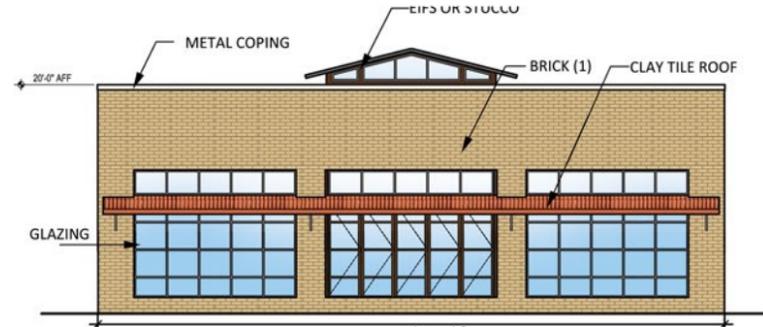
02 NORTH ELEVATION

Masonry:	51%
EIFS or Stucco:	0%
Storefront and Glazing:	45%
Coping and Trim:	4%
Metal roofing:	0%
Clay tile roofing:	0%
Total surface area:	100%



03 SOUTH ELEVATION

Masonry:	56%
EIFS or Stucco:	0%
Storefront and Glazing:	37%
Coping and Trim:	7%
Metal roofing:	0%
Clay tile roofing:	0%
Total surface area:	100%



04 WEST ELEVATION

Masonry:	55%
EIFS or Stucco:	1%
Storefront and Glazing:	42%
Coping and Trim:	2%
Metal roofing:	0%
Clay tile roofing:	0%
Total surface area:	100%

FACADE PLAN NOTES:

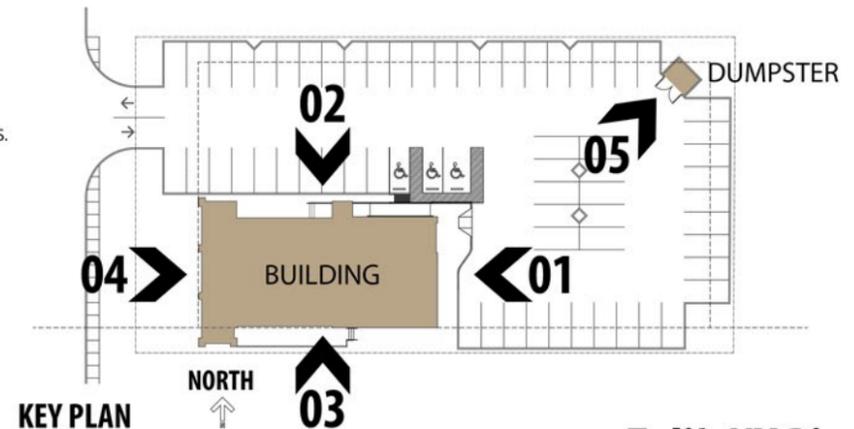
- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.
- ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL



NORTHEAST PERSPECTIVE VIEW



SOUTHEAST PERSPECTIVE VIEW



KEY PLAN

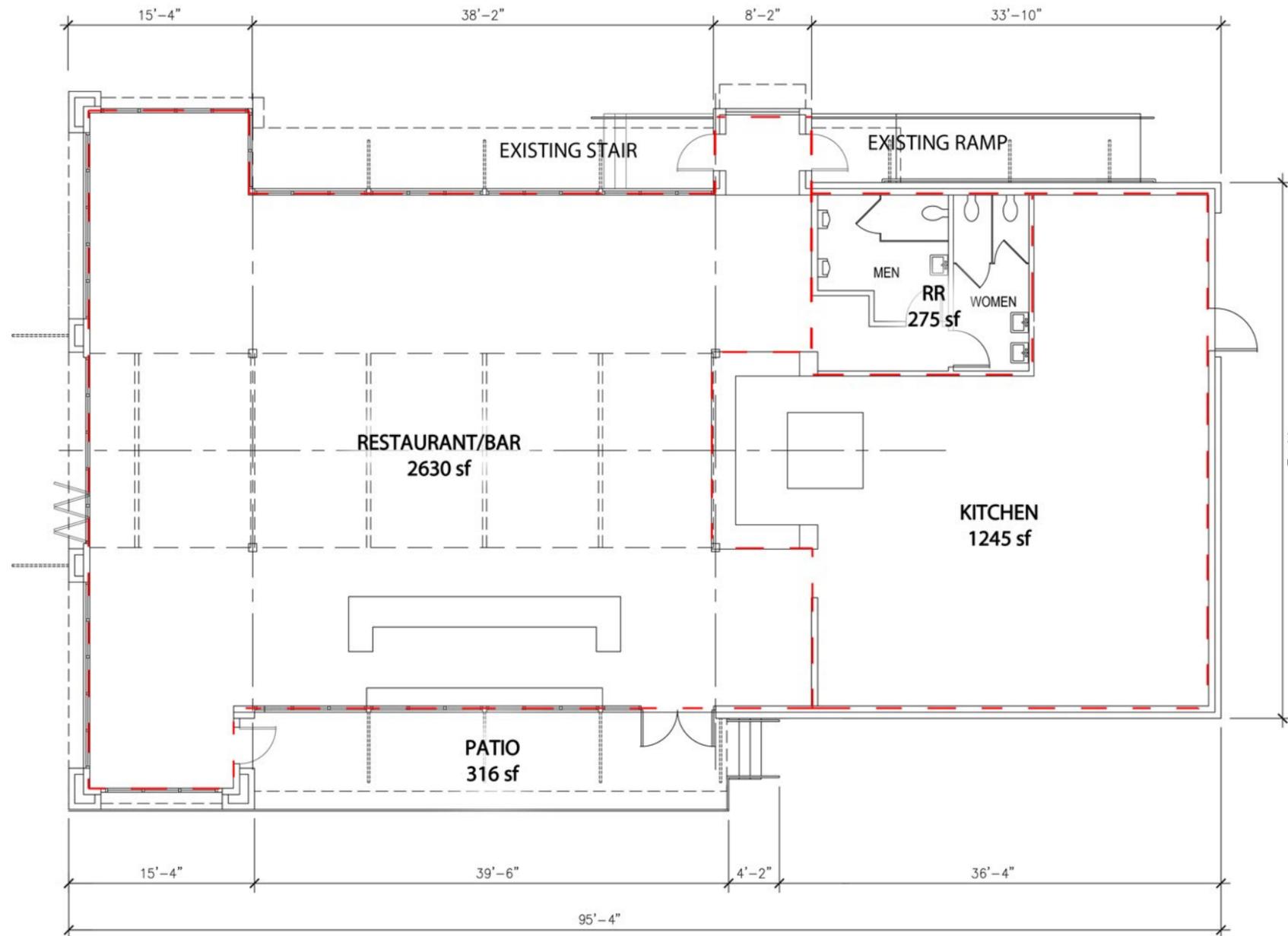
RESTAURANT REMODEL: Zoli's NY Pizza

14910 Midway Rd, Addison Texas
 Recorded Plat: "Vickery Feed Store Addition"
 vol. 85238 pg 2844 DRDCT
 Lot size: 0.689 acres
 Date: 05/19/16 Town project: # 1739-SUP
 06/15/16-FINAL

sheet: 5 of 6



FACADE PLAN AND BUILDING ELEVATIONS



SCALE: 3/16" = 1'

RESTAURANT/BAR	
BUILDING	4150 sf
PATIO (unenclosed)	316 sf
TOTAL	4466 sf

NOTE: PROPOSED ENCLOSED BUILDING RENOVATION IS WITHIN EXISTING RESTAURANT AND PATIO BOUNDARY
ADDITIONAL UNENCLOSED PATIO AREA INDICATED



BUILDING FLOOR PLAN

13642 OMEGA RD DALLAS TEXAS 75244 PHONE: 972-387-1000

PROPERTY OWNER: CARROLL FAMILY INVESTMENTS, LTD.
2340 WEST I-20, SUITE 100
ARLINGTON TEXAS 76017
PHONE: 817-467-0505

RESTAURANT REMODEL: **Zoli's NY Pizza**
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