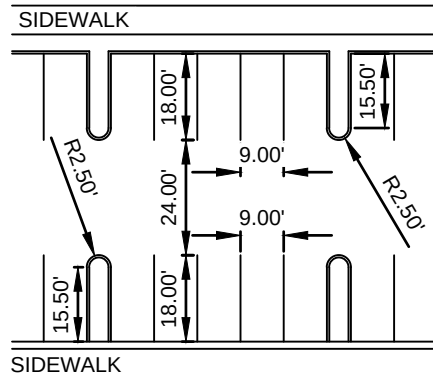
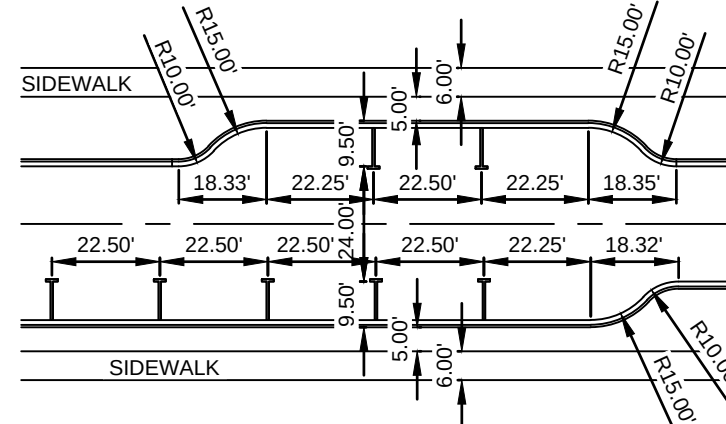
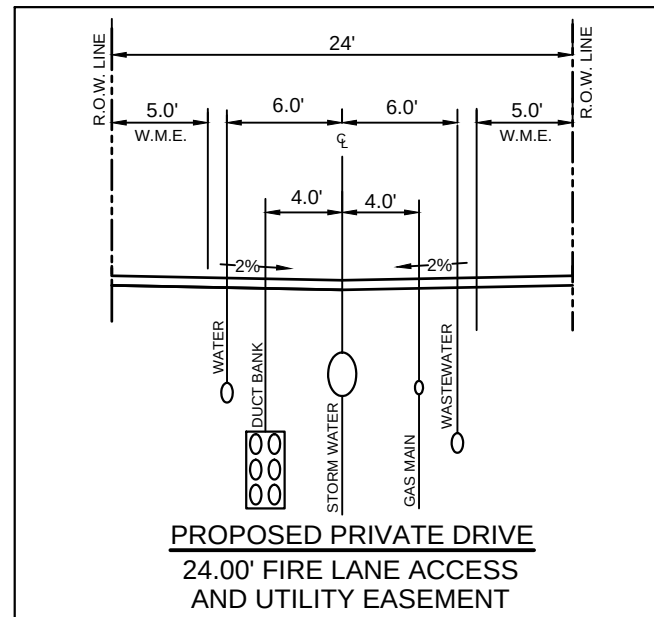




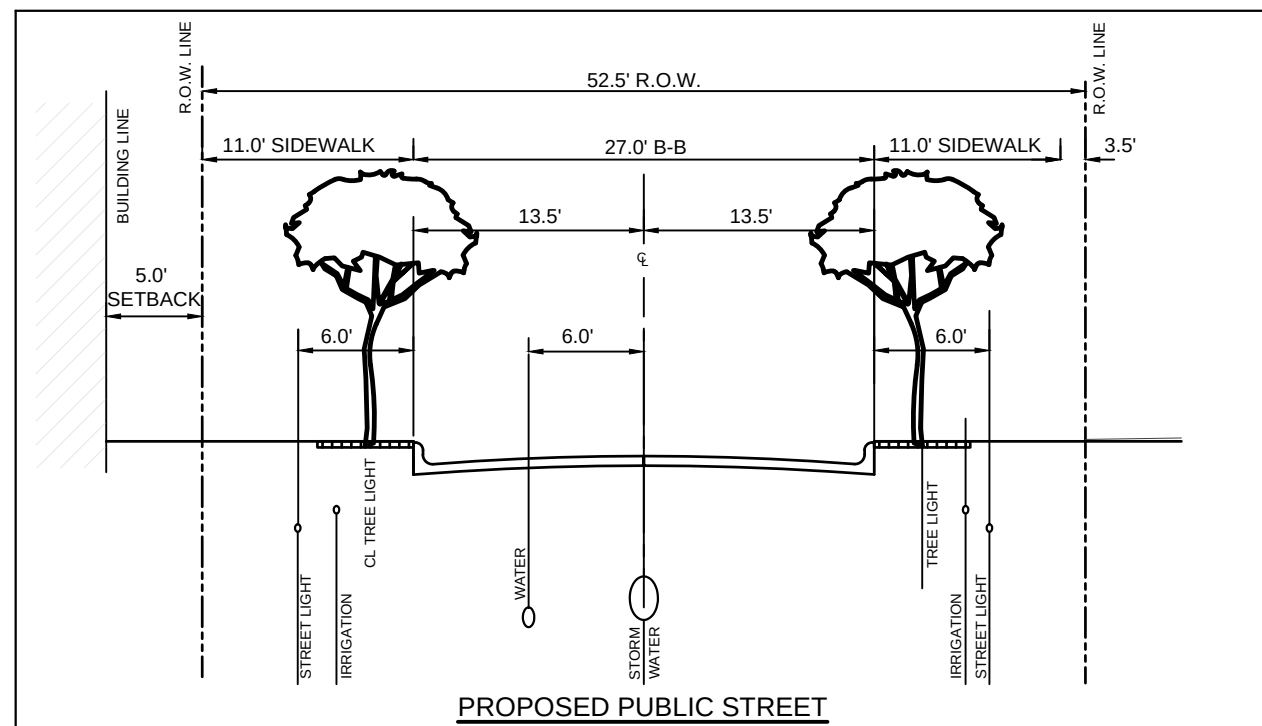
HEAD-IN PARKING
DETAIL (TYPICAL)
SCALE: 1" = 40'



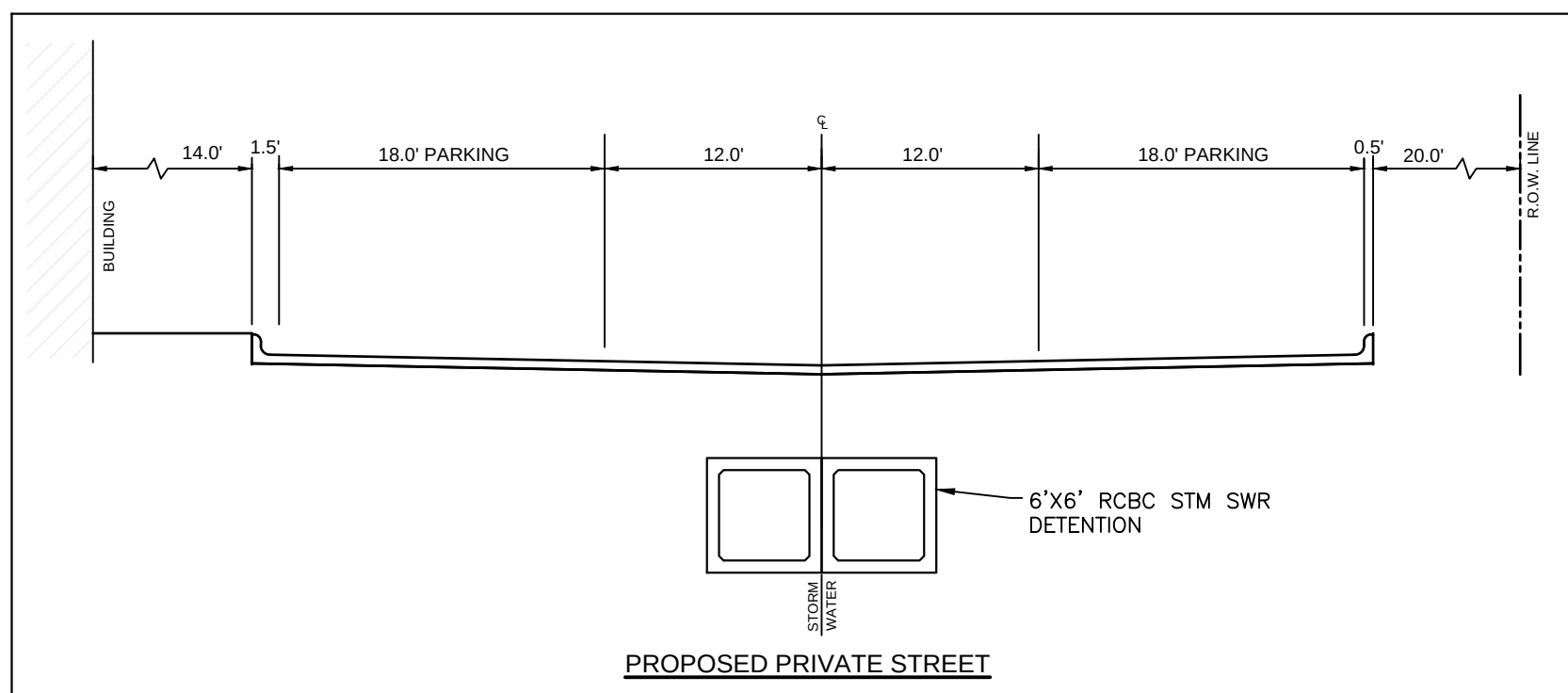
ON-STREET PARKING
DETAIL (TYPICAL)
SCALE: 1" = 40'



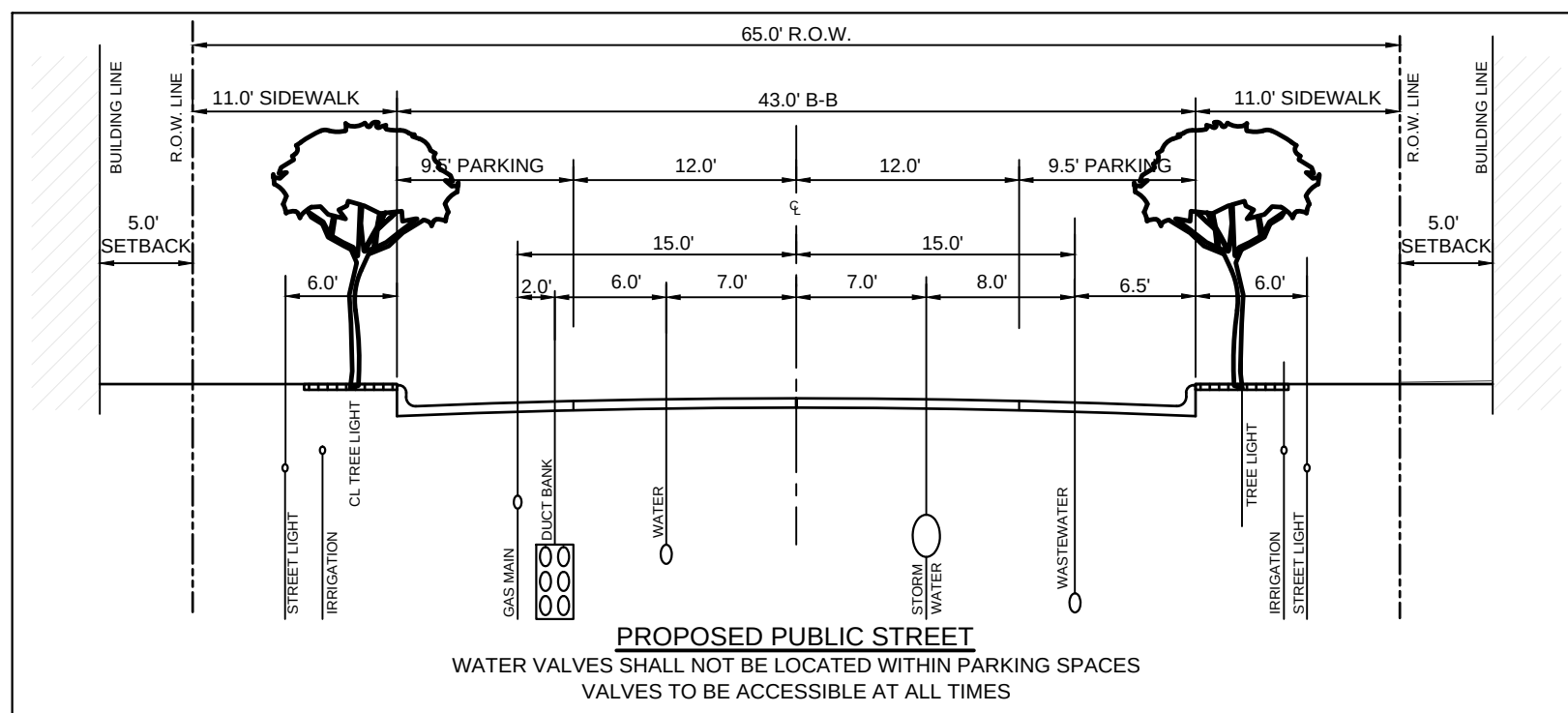
SECTION D-D



SECTION C-C



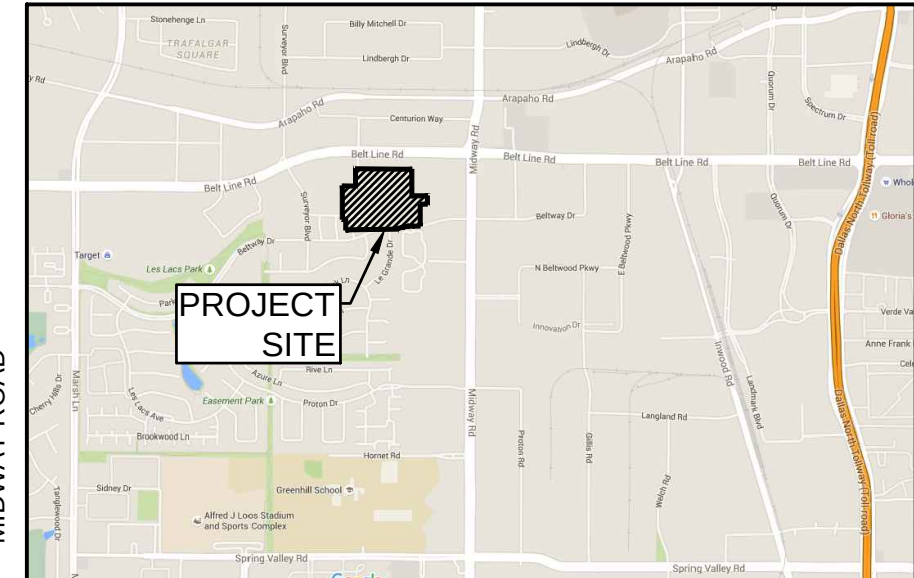
SECTION B-B



SECTION A-A

NO FLOODPLAIN
EXISTS ON THE SITE

VICINITY MAP



UTILITY LEGEND

- PROPOSED TREE WELL
- 1-100 PARKING SPACES (PUBLIC STREETS)
W/ 3 ADA ACCESSIBLE PARKING SPACES
AND 1 ADA VAN PARKING SPACE
- 1-53 PRIVATE STREET CONCEPTUAL PARKING SPACES
W/ 2 ADA ACCESSIBLE PARKING SPACES
AND 1 ADA VAN PARKING SPACE
- PUBLIC R.O.W. (SECTION B-B, C-C & D-D)
FIRE LANE ACCESS
- CONCRETE PRIVATE DRIVE-24.00' FIRE LANE
ACCESS AND UTILITY EASEMENT
- SIDEWALK RAMP
- SIDEWALK

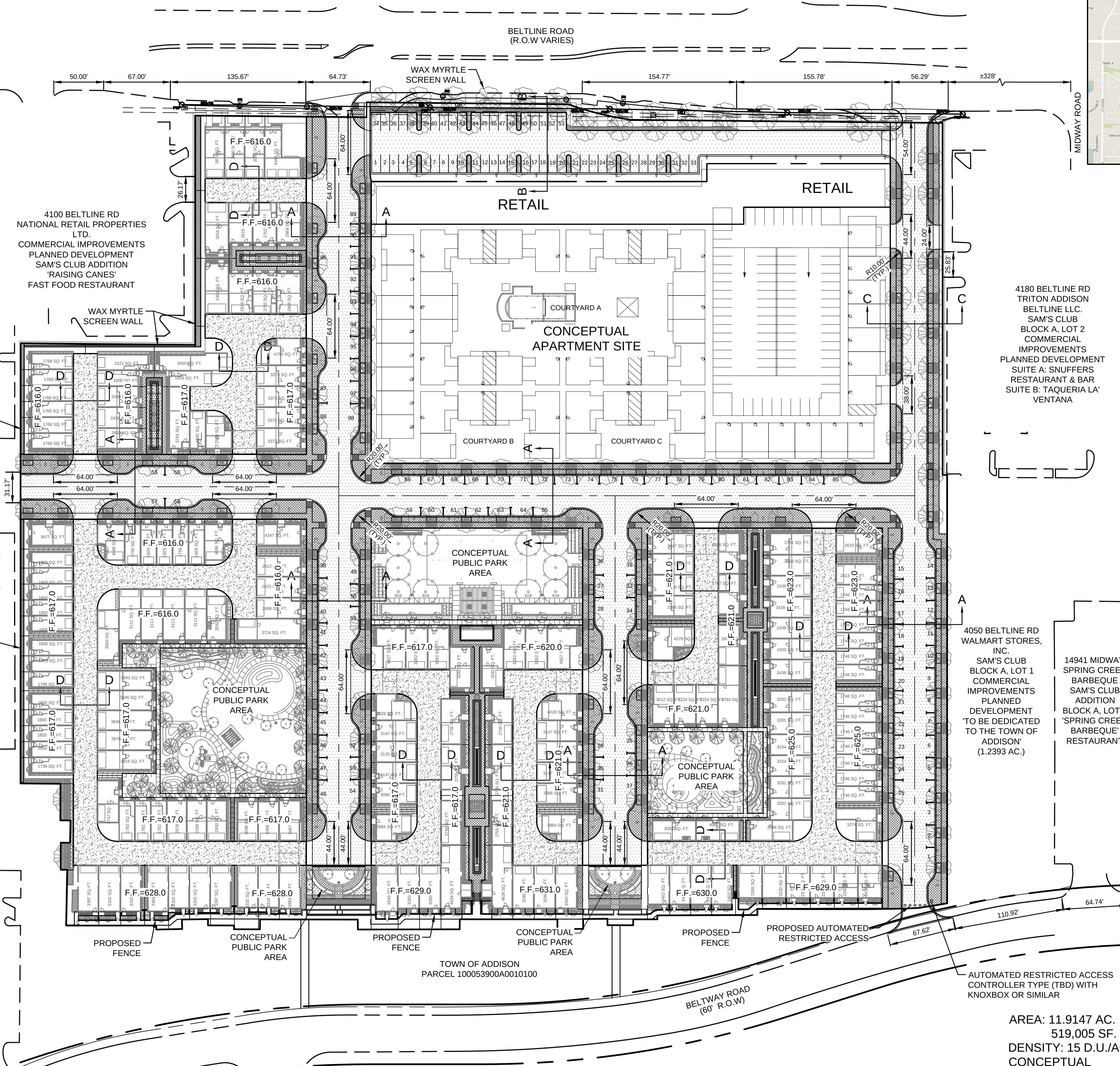
4180 BELTLINE RD
TRITON ADDISON
BELTLINE LLC.
SAM'S CLUB
BLOCK A, LOT 2
COMMERCIAL
IMPROVEMENTS
PLANNED DEVELOPMENT
SUITE A: SNUFFERS
RESTAURANT & BAR
SUITE B: TAQUERIA LA
VENTANA

14941 MIDWAY
PIEDMONT MIDWAY PS LP
ADDISON PLAZA COMMERCIAL -
VACANT PLATTED LOTS / TRACTS
PLANNED DEVELOPMENT
'NATE'S SEAFOOD AND
STEAKHOUSE' RESTAURANT

4050 BELTLINE RD
WALMART STORES,
INC.
SAM'S CLUB
BLOCK A, LOT 1
COMMERCIAL
IMPROVEMENTS
PLANNED
DEVELOPMENT
TO BE DEDICATED
TO THE TOWN OF
ADDISON
(1.2393 AC.)

14941 MIDWAY
SPRING CREEK
BARBEQUE
SAM'S CLUB
ADDISON
BLOCK A, LOT 3
'SPRING CREEK
BARBEQUE'
RESTAURANT

0' 60' 120'
SCALE: 1" = 60'



- TOWN OF ADDISON SITE PLAN NOTES:
- ANY REVISIONS TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - OPEN STORAGE, WHERE PERMITTED SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

THIS PLAN CONFORMS WITH
DESIGN STANDARDS INCLUDED IN
THE TOWN OF ADDISON
TRANSPORTATION PLAN, WATER
SYSTEM REQUIREMENTS, WASTE
WATER SYSTEM REQUIREMENTS,
AND DRAINAGE CRITERIA MANUAL

AREA: 11.9147 AC.
519,005 SF.
DENSITY: 15 D.U./AC.
CONCEPTUAL
APARTMENT SITE
NOT INCLUDED

ADDISON GROVE
PRELIMINARY UTILITY PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

ACTION

APPROVED DENIED

STAFF DATE INITIALS

COUNCIL DATE INITIALS

SEE THE STAFF APPROVAL LETTER OR COUNCIL RESULT
MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE
APPROVAL OF THE PROJECT.

SITE PLAN

ADDISON GROVE

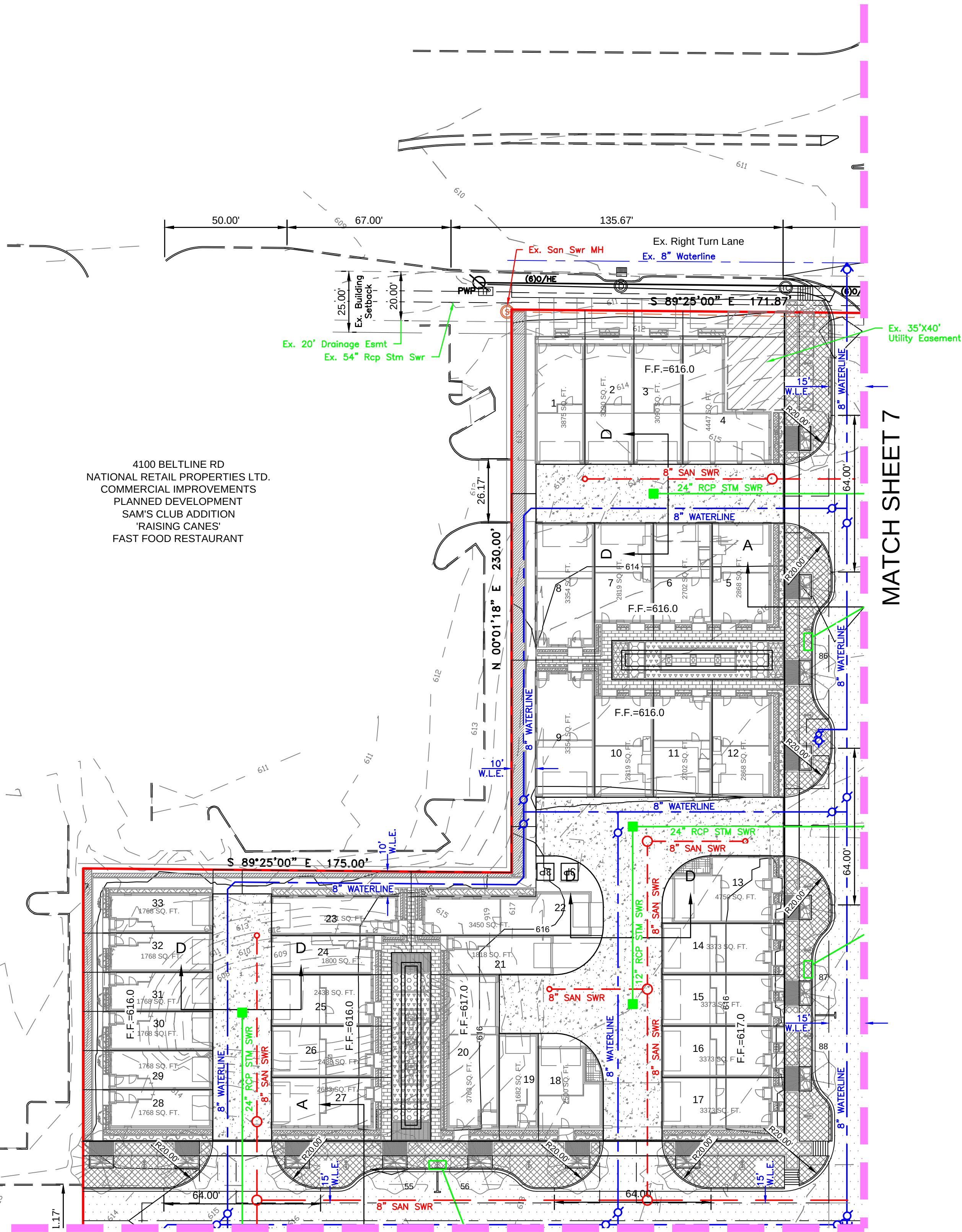
SAWYER

ENGINEERING, LLC
CIVIL ENGINEERING & PLANNING
1520 OLIVER STREET, HOUSTON, TEXAS 77007
(713) 961-3877
TBPE FIRM: F-9171

SCALE: 1" = 60' PROJ. NO.
DRAWN BY: JDS DATE SHEET
CHK'D BY: CDP 04/08/2016 1 OF 7
APPROVED: CDP

Block A Live/Work Unit	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual Open Space (S.F.)
1	2011	101	1031
2	1256	63	276
3	1252	63	272
4	2586	130	1327
5	1416	71	412
6	1152	58	166
7	1208	61	224
8	2023	102	799
9	2024	102	800
10	1208	61	224
11	1152	58	168
12	1416	71	412
13	1289	65	137
14	1050	53	105
15	1050	53	105
16	1050	53	105
17	1300	65	355

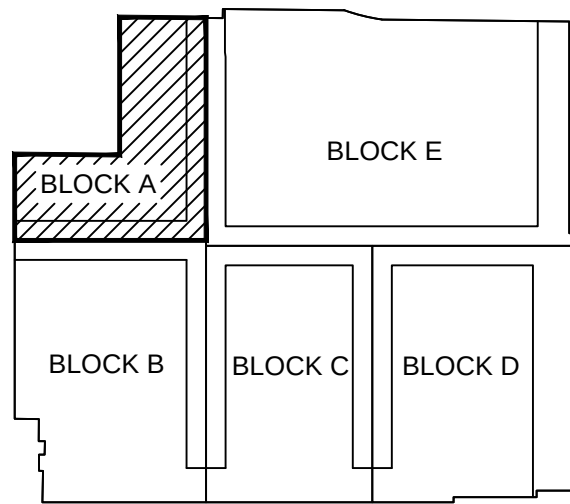
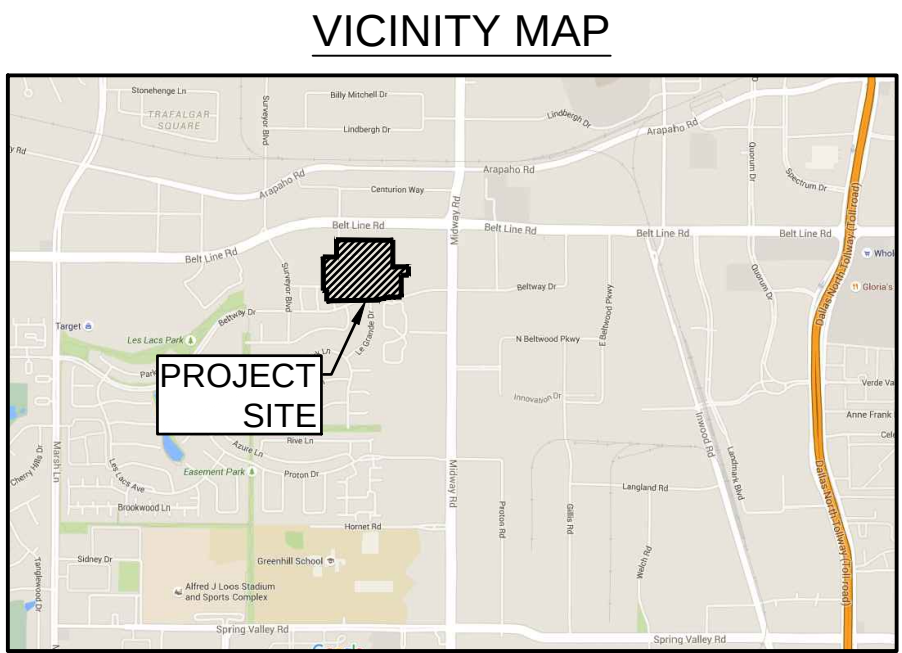
Block A Townhomes	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual Open Space (S.F.)
18	1080	55	133
19	704	36	80
20	1904	96	582
21	1098	55	168
22	2315	116	912
23	1621	82	789
24	840	42	168
25	1029	52	147
26	1029	52	147
27	1274	64	392
28	1113	56	441
29	848	43	176
30	848	43	176
31	848	43	176
32	848	43	176
33	1505	76	833



NO FLOODPLAIN
EXISTS ON THE SITE

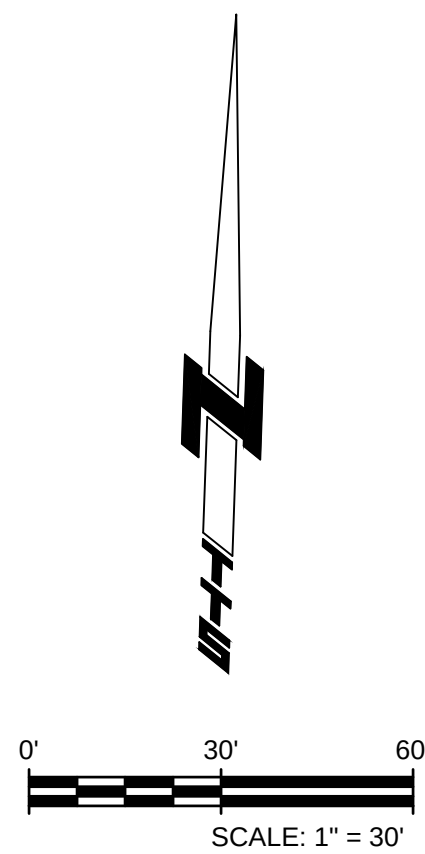
UTILITY LEGEND

- SANITARY SEWER AND MANHOLE
- SANITARY SEWER AND CLEANOUT
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED WATERLINE WITH GATE VALVE AND BOX WITH 10' W.L.E.
- EXISTING WATERLINE WITH GATE VALVE AND BOX
- PROPOSED STORM SEWER WITH MANHOLE AND INLETS
- PROPOSED PRIVATE STORM SEWER
- PROPOSED DETENTION
- EXISTING STORM SEWER AND MANHOLE
- EXISTING INLET
- PROPOSED TRANSFORMER SINGLE OR 3-PHASE
- PROPOSED TREE WELL
- 1-98 PARKING SPACES (PUBLIC STREETS) W/ 3 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- 1-53 PRIVATE STREET CONCEPTUAL PARKING SPACES W/ 2 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PUBLIC R.O.W. (SECTION B-B, C-C & D-D) FIRE LANE ACCESS
- CONCRETE PRIVATE DRIVE- 24.00' FIRE LANE ACCESS AND UTILITY EASEMENT
- SIDEWALK RAMP
- SIDEWALK



LOCATION MAP

- TOWN OF ADDISON SITE PLAN NOTES:
- ANY REVISIONS TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
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ACTION	
APPROVED	DENIED
STAFF	DATE INITIALS
COUNCIL	DATE INITIALS

SEE THE STAFF APPROVAL LETTER OR COUNCIL RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE APPROVAL OF THE PROJECT.

SITE PLAN AND
UTILITY PLAN
BLOCK A

ADDISON GROVE

SAWYER

ENGINEERING, LLC
CIVIL ENGINEERING & PLANNING
1520 OLIVER STREET, HOUSTON, TEXAS 77007
(713) 961-3877
TBPE FIRM: F-9171

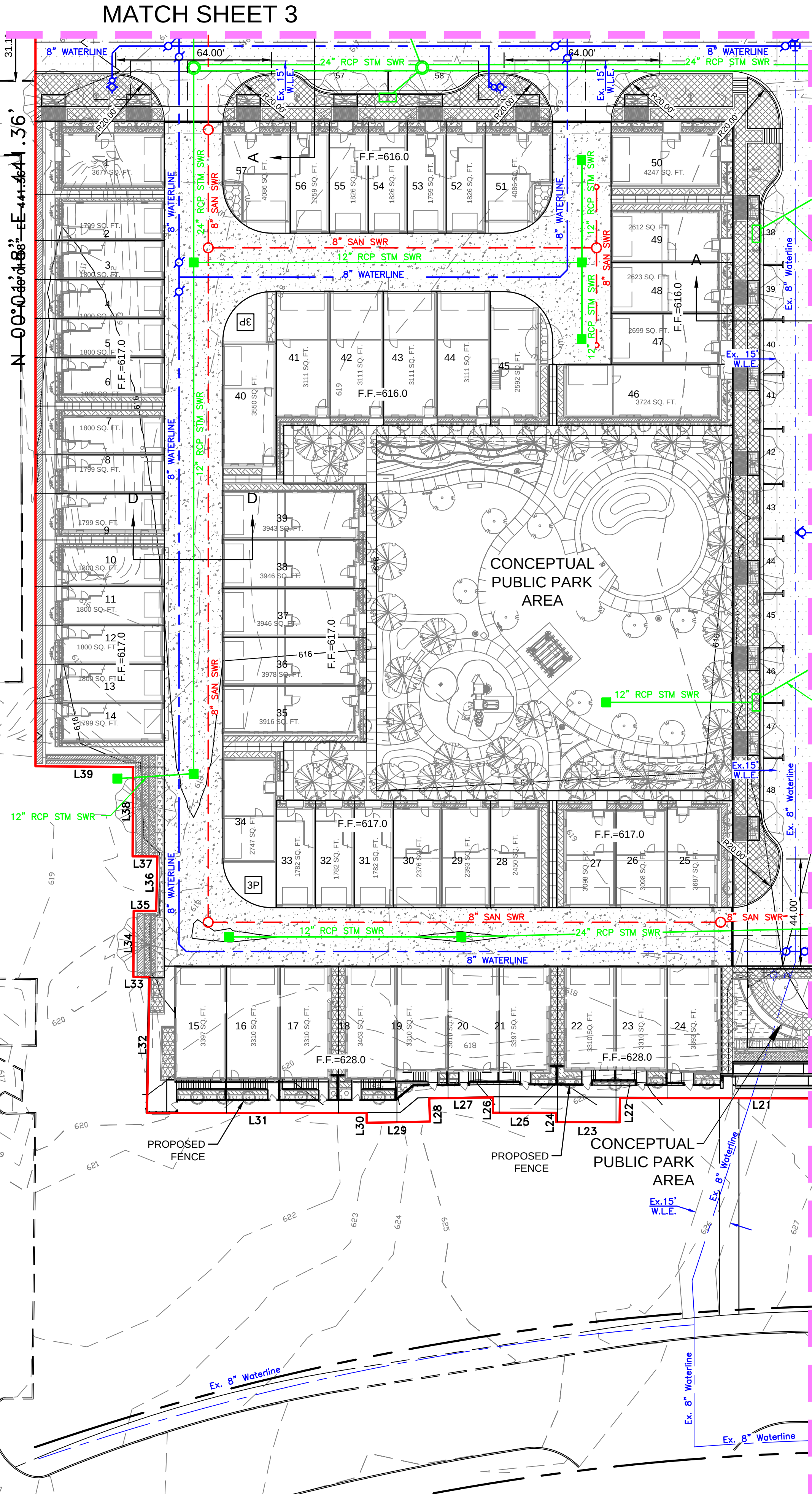
SCALE: 1" = 30'	PROJ. NO.	
DRAWN BY: JDS	DATE	SHEET
CHK'D BY: CDP	04/08/2016	2 OF 7
APPROVED: CDP		

THIS PLAN CONFORMS WITH
DESIGN STANDARDS INCLUDED IN
THE TOWN OF ADDISON
TRANSPORTATION PLAN, WATER
SYSTEM REQUIREMENTS, WASTE
WATER SYSTEM REQUIREMENTS,
AND DRAINAGE CRITERIA MANUAL

ADDISON GROVE
PRELIMINARY UTILITY PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

Block B	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual Open Space (S.F.)
1	1696	85	666
2	1113	56	338
3	848	43	176
4	848	43	176
5	848	43	176
6	848	43	385
7	848	43	391
8	1113	56	176
9	1113	56	332
10	848	43	338
11	848	43	176
12	848	43	176
13	848	43	176
14	1385	70	710
15	1983	100	945
16	1196	60	316
17	1196	60	482
18	1253	63	531
19	1196	60	304
20	1196	60	185
21	1538	77	480
22	1481	75	573
23	1196	60	187
24	1538	77	455
25	1189	60	306
26	925	47	85
27	1145	58	305
28	1123	57	282
29	881	45	61
30	881	45	61
31	704	36	48
32	704	36	48
33	704	36	48
34	1434	72	177
35	1407	71	294
36	1180	60	70
37	1180	60	70
38	1180	60	70
39	1407	71	294
40	1608	81	113
41	1276	64	136
42	1210	61	70
43	1210	61	70
44	1210	61	70
45	1317	66	309
46	1850	93	446
47	1050	53	105
48	1050	53	105
49	1300	65	355
50	1600	80	610
51	1191	60	230
52	736	37	81
53	736	37	81
54	736	37	81
55	736	37	81
56	736	37	81
57	1191	60	140

4090 BELTLINE RD
EQUINOX HOTEL ADDISON LLC
BELTLINE CENTER
BLOCK 1, LOT 24
COMMERCIAL IMPROVEMENTS
'HILTON GARDEN INN'



THIS PLAN CONFORMS WITH
DESIGN STANDARDS INCLUDED IN
THE TOWN OF ADDISON
TRANSPORTATION PLAN, WATER
SYSTEM REQUIREMENTS, WASTE
WATER SYSTEM REQUIREMENTS,
AND DRAINAGE CRITERIA MANUAL

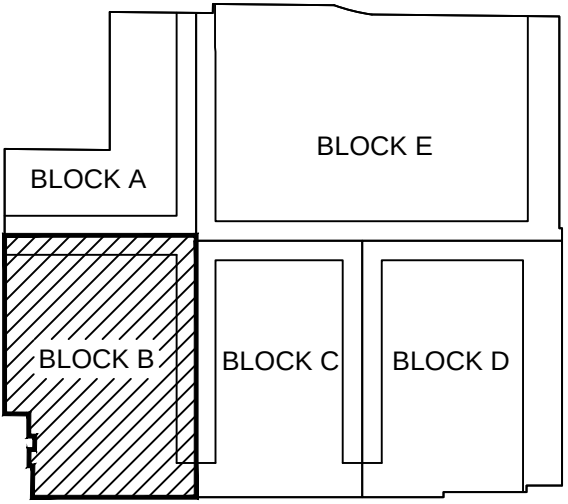
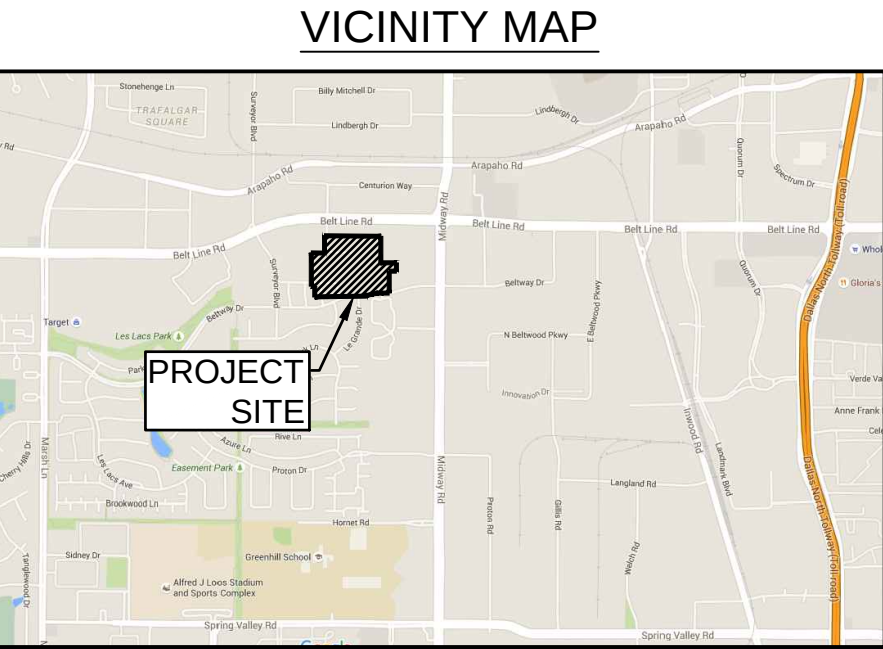
ADDISON GROVE
PRELIMINARY UTILITY PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

NO FLOODPLAIN
EXISTS ON THE SITE

UTILITY LEGEND

- SANITARY SEWER AND MANHOLE
- SANITARY SEWER AND CLEANOUT
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED WATERLINE WITH GATE VALVE AND BOX WITH 10' W.L.E.
- EXISTING WATERLINE WITH GATE VALVE AND BOX
- PROPOSED STORM SEWER WITH MANHOLE AND INLETS
- PROPOSED PRIVATE STORM SEWER
- PROPOSED DETENTION
- EXISTING STORM SEWER AND MANHOLE
- EXISTING INLET
- PROPOSED TRANSFORMER SINGLE OR 3-PHASE
- PROPOSED TREE WELL
- PARKING SPACES (PUBLIC STREETS) W/ 3 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PRIVATE STREET CONCEPTUAL PARKING SPACES W/ 2 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PUBLIC R.O.W. (SECTION B-B, C-C & D-D) FIRE LANE ACCESS
- CONCRETE PRIVATE DRIVE- 24.00' FIRE LANE ACCESS AND UTILITY EASEMENT
- SIDEWALK RAMP
- SIDEWALK

LINE	BEARING	DISTANCE
L21	N 89°52'58" W	97.97'
L22	S 00°50'42" W	9.97'
L23	N 89°51'34" W	26.00'
L24	N 01°13'34" E	3.78'
L25	N 89°50'28" W	26.13'
L26	N 00°03'21" W	6.29'
L27	S 89°11'29" W	26.17'
L28	S 01°57'56" E	9.55'
L29	S 88°51'00" W	26.04'
L30	N 00°03'17" E	4.02'
L31	S 89°59'14" W	90.27'
L32	N 01°06'11" E	55.89'
L33	N 89°05'26" W	6.66'
L34	N 00°17'52" E	27.11'
L35	S 89°42'08" E	9.26'
L36	N 01°12'33" E	22.36'
L37	N 89°42'08" W	10.17'
L38	N 00°12'51" E	36.71'
L39	N 89°32'21" W	40.05'



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ACTION	
APPROVED	DENIED
STAFF	DATE
COUNCIL	DATE
SEE THE STAFF APPROVAL LETTER OR COUNCIL RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE APPROVAL OF THE PROJECT.	

SITE PLAN AND
UTILITY PLAN
BLOCK B

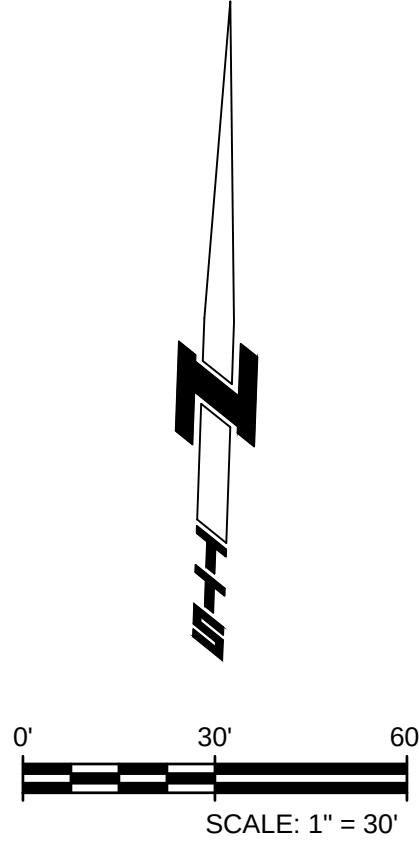
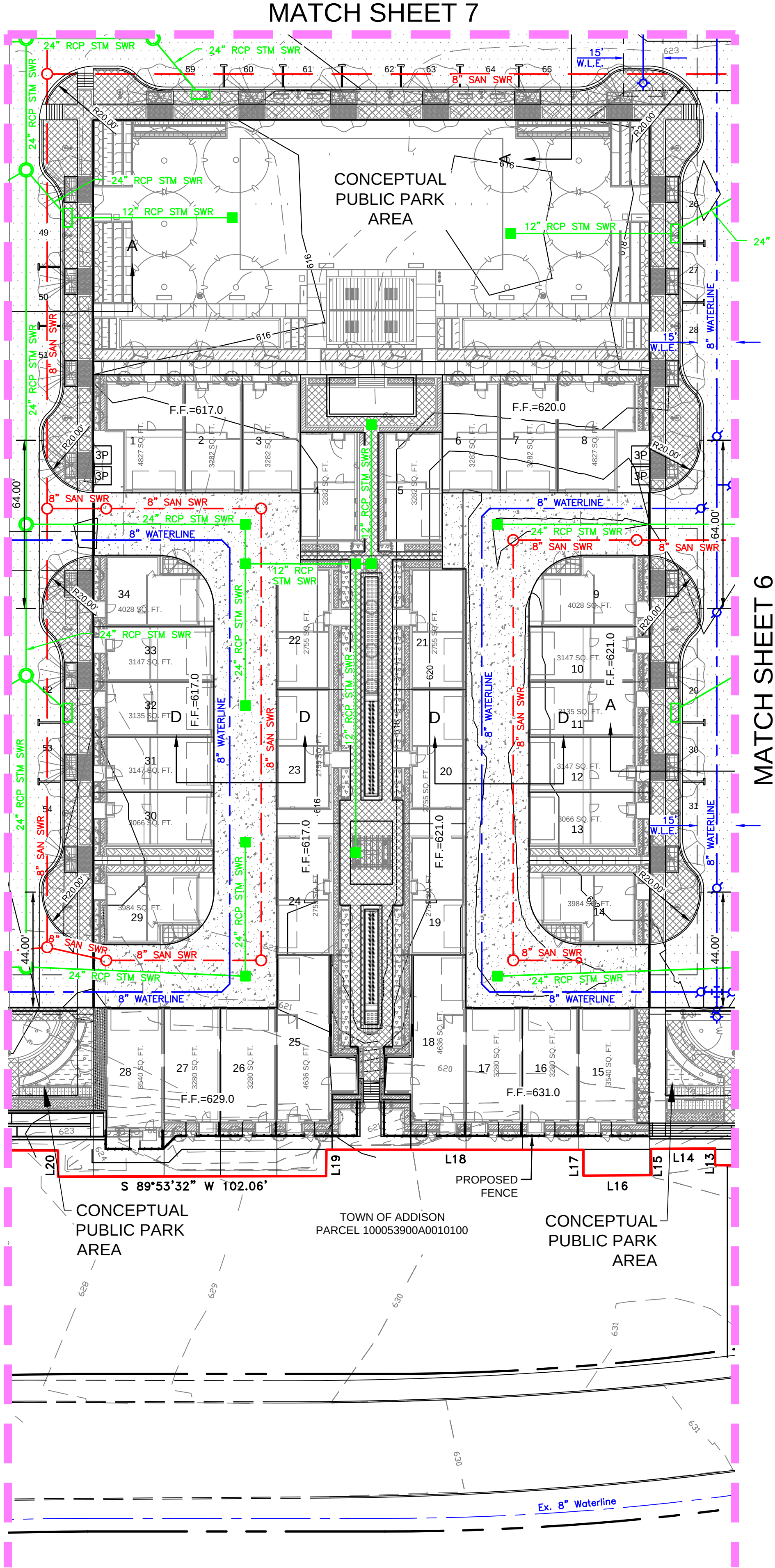
ADDISON GROVE

SAWYER
ENGINEERING, LLC
CIVIL ENGINEERING & PLANNING
1520 OLIVER STREET, HOUSTON, TEXAS 77007
(713) 961-3877
TBPE FIRM: F-9171

SCALE: 1" = 30'	PROJ. NO.
DRAWN BY: JDS	DATE
CHK'D BY: CDP	SHEET
APPROVED: CDP	04/08/2016
	3 OF 7

Block C	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual Open Space (S.F.)
1	1574	79	314
2	989	50	65
3	989	50	65
4	1114	56	191
5	1114	56	190
6	989	50	66
7	989	50	66
8	1574	79	315
9	1156	58	135
10	966	49	105
11	966	49	105
12	966	49	105
13	1196	60	335
14	1388	70	375
15	1538	77	671
16	1225	62	218
17	1225	62	218
18	2042	103	490
19	1276	64	331
20	1392	70	428
21	1355	68	390
22	1355	68	390
23	1392	70	428
24	1276	64	331
25	2042	103	675
26	1225	62	435
27	1225	62	435
28	1538	77	706
29	1388	70	452
30	1196	60	335
31	966	49	105
32	966	49	105
33	966	49	105
34	1156	58	135

MATCH SHEET 4

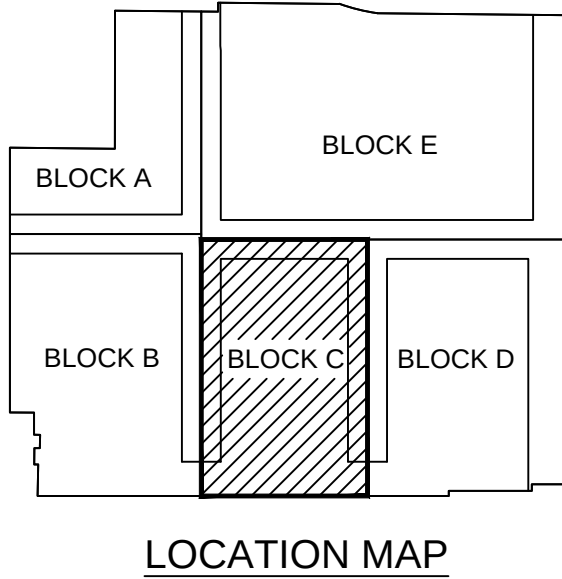
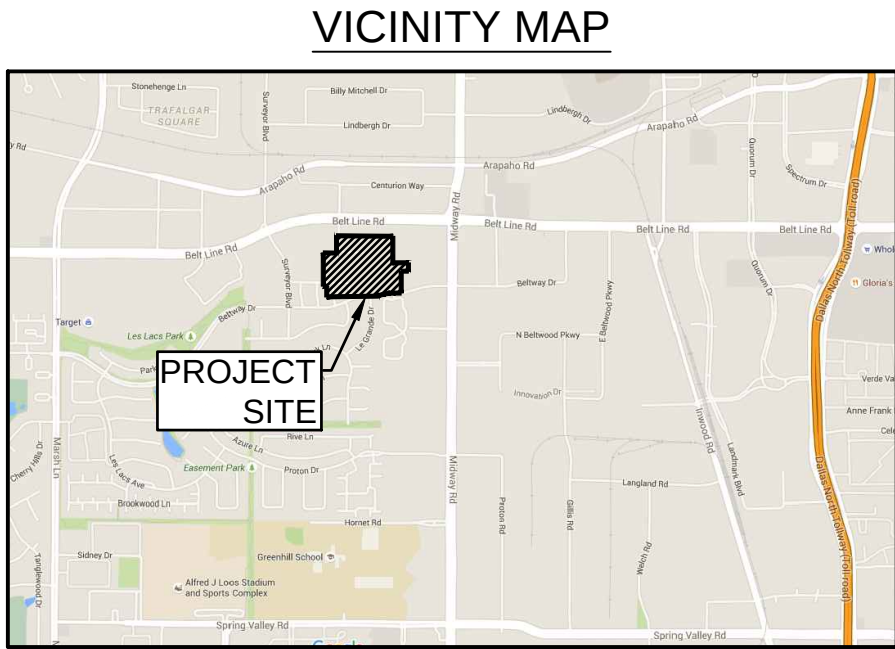


NO FLOODPLAIN
EXISTS ON THE SITE

UTILITY LEGEND

- SANITARY SEWER AND MANHOLE
- SANITARY SEWER AND CLEANOUT
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED WATERLINE WITH GATE VALVE AND BOX WITH 10' W.L.E.
- EXISTING WATERLINE WITH GATE VALVE AND BOX
- PROPOSED STORM SEWER WITH MANHOLE AND INLETS
- PROPOSED PRIVATE STORM SEWER
- PROPOSED DETENTION
- EXISTING STORM SEWER AND MANHOLE
- EXISTING INLET
- PROPOSED TRANSFORMER SINGLE OR 3-PHASE
- PROPOSED TREE WELL
- PARKING SPACES (PUBLIC STREETS) W/ 3 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PRIVATE STREET CONCEPTUAL PARKING SPACES W/ 2 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PUBLIC R.O.W. (SECTION B-B, C-C & D-D) FIRE LANE ACCESS
- CONCRETE PRIVATE DRIVE- 24.00' FIRE LANE ACCESS AND UTILITY EASEMENT
- SIDEWALK RAMP
- SIDEWALK

LINE	BEARING	DISTANCE
L13	N 00°18'21" W	6.39'
L14	S 89°29'21" W	24.40'
L15	S 00°49'51" E	9.91'
L16	S 89°21'47" W	25.89'
L17	N 00°01'17" W	9.87'
L18	N 89°58'07" W	97.86'
L19	S 00°43'23" W	10.07'
L20	N 00°23'00" W	9.95'



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ACTION

APPROVED DENIED

STAFF _____ DATE _____ INITIALS _____

COUNCIL _____ DATE _____ INITIALS _____

SEE THE STAFF APPROVAL LETTER OR COUNCIL RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE APPROVAL OF THE PROJECT.

SITE PLAN AND
UTILITY PLAN
BLOCK C

ADDISON GROVE

SAWYER

ENGINEERING, LLC
CIVIL ENGINEERING & PLANNING
1520 OLIVER STREET, HOUSTON, TEXAS 77007
(713) 961-3877
TBPE FIRM: F-9171

SCALE: 1" = 30'	PROJ. NO.	
DRAWN BY: JDS	DATE	SHEET
CHK'D BY: CDP	04/08/2016	4 OF 7
APPROVED: CDP		

THIS PLAN CONFORMS WITH
DESIGN STANDARDS INCLUDED IN
THE TOWN OF ADDISON
TRANSPORTATION PLAN, WATER
SYSTEM REQUIREMENTS, WASTE
WATER SYSTEM REQUIREMENTS,
AND DRAINAGE CRITERIA MANUAL

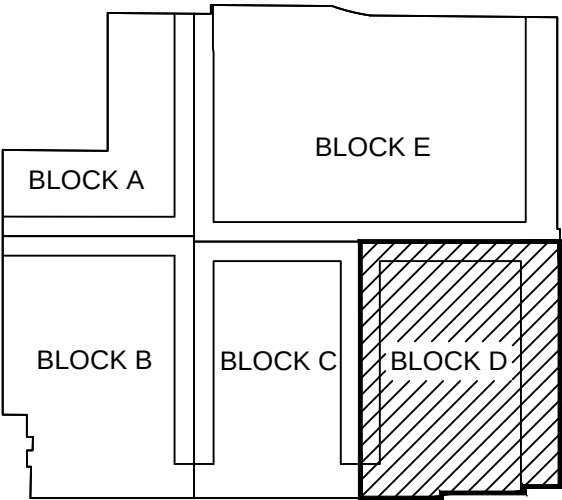
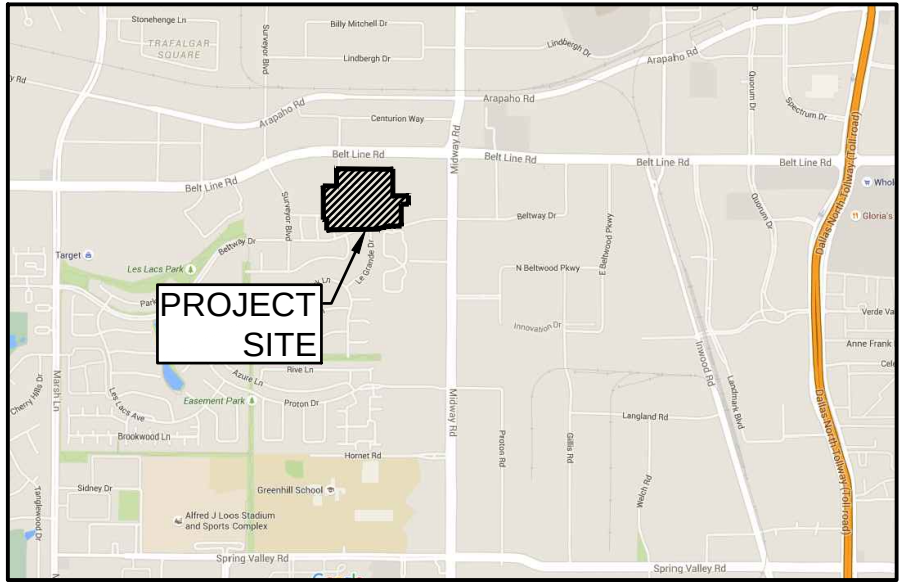
ADDISON GROVE
PRELIMINARY UTILITY PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

MATCH SHEET 5

MATCH SHEET 7

NO FLOODPLAIN
EXISTS ON THE SITE

VICINITY MAP



LOCATION MAP

Block D	Lot Size (S.F.)	Required Open Space (S.F.) (Max. 95% Coverage)	Actual Open Space (S.F.)
1	1222	62	340
2	987	50	105
3	987	50	105
4	1222	62	340
5	1747	88	419
6	1334	67	432
7	1286	65	384
8	1286	65	386
9	1798	90	500
10	946	48	66
11	946	48	66
12	1161	59	300
13	1323	67	399
14	1029	52	147
15	1029	52	147
16	989	50	107
17	973	49	91
18	1029	52	147
19	1274	64	392
20	1323	67	399
21	1050	53	126
22	945	48	63
23	945	48	63
24	990	50	66
25	1056	53	132
26	1321	67	278
27	1177	59	252
28	1178	59	252
29	1538	77	405
30	1253	63	113
31	1253	63	112
32	1538	77	360
33	1303	66	405
34	1018	51	113
35	1018	51	114
36	1018	51	115
37	1018	51	115
38	1326	67	355
39	1491	75	549
40	974	49	312
41	742	38	80
42	742	38	80
43	742	38	80
44	742	38	80
45	742	38	80
46	974	49	312
47	974	49	312
48	742	38	80
49	742	38	80
50	742	38	80
51	742	38	80
52	742	38	80
53	1205	61	337
54	1437	72	569

- TOWN OF ADDISON SITE PLAN NOTES:
- ANY REVISIONS TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - OPEN STORAGE, WHERE PERMITTED SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

ACTION	
APPROVED	DENIED
STAFF	DATE INITIALS
COUNCIL	DATE INITIALS

SEE THE STAFF APPROVAL LETTER OR COUNCIL RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE APPROVAL OF THE PROJECT.

SITE PLAN AND
UTILITY PLAN
BLOCK D

ADDISON GROVE

SAWYER

ENGINEERING, LLC
CIVIL ENGINEERING & PLANNING
1520 OLIVER STREET, HOUSTON, TEXAS 77007
(713) 961-3877
TBPE FIRM: F-9171

SCALE: 1" = 30'	PROJ. NO.
DRAWN BY: JDS	DATE
CHK'D BY: CDP	SHEET
APPROVED: CDP	04/08/2016 5 OF 7

UTILITY LEGEND

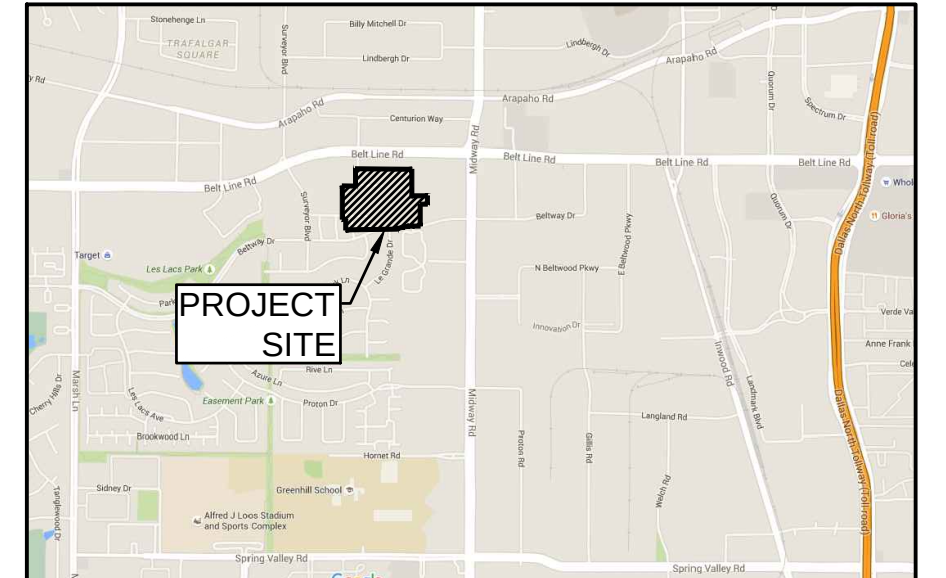
- SANITARY SEWER AND MANHOLE
- SANITARY SEWER AND CLEANOUT
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED WATERLINE WITH GATE VALVE AND BOX WITH 10' W.L.E.
- EXISTING WATERLINE WITH GATE VALVE AND BOX
- PROPOSED STORM SEWER WITH MANHOLE AND INLETS
- PROPOSED PRIVATE STORM SEWER
- PROPOSED DETENTION
- EXISTING STORM SEWER AND MANHOLE
- EXISTING INLET
- PROPOSED TRANSFORMER SINGLE OR 3-PHASE
- PROPOSED TREE WELL
- PARKING SPACES (PUBLIC STREETS) W/ 3 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PRIVATE STREET CONCEPTUAL PARKING SPACES W/ 2 ADA ACCESSIBLE PARKING SPACES AND 1 ADA VAN PARKING SPACE
- PUBLIC R.O.W. (SECTION B-B, C-C & D-D) FIRE LANE ACCESS
- CONCRETE PRIVATE DRIVE- 24.00' FIRE LANE ACCESS AND UTILITY EASEMENT
- SIDEWALK RAMP
- SIDEWALK

LINE	BEARING	DISTANCE
L1	S 80°25'02" W	13.44'
L2	S 81°22'03" W	15.88'
L3	S 87°30'19" W	15.73'
L4	S 89°02'08" W	32.33'
L5	N 89°59'22" W	56.82'
L6	N 89°48'24" W	56.42'
L7	S 00°11'47" E	6.11'
L8	S 89°48'13" W	100.29'
L9	S 00°03'22" E	3.93'
L10	S 89°56'38" W	24.19'
L11	S 00°26'14" W	5.95'
L12	N 89°41'44" W	25.76'

THIS PLAN CONFORMS WITH
DESIGN STANDARDS INCLUDED IN
THE TOWN OF ADDISON
TRANSPORTATION PLAN, WATER
SYSTEM REQUIREMENTS, WASTE
WATER SYSTEM REQUIREMENTS,
AND DRAINAGE CRITERIA MANUAL

ADDISON GROVE
PRELIMINARY UTILITY PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

NO FLOODPLAIN
EXISTS ON THE SITE

VICINITY MAP

UTILITY LEGEND

- | | |
|------|---|
| | SANITARY SEWER AND MANHOLE |
| | SANITARY SEWER AND CLEANOUT |
| | EXISTING SANITARY SEWER AND MANHOLE |
| | PROPOSED FIRE HYDRANT ASSEMBLY |
| | PROPOSED WATERLINE WITH GATE VALVE AND BOX WITH 10' W.L.E. |
| | EXISTING WATERLINE WITH GATE VALVE AND BOX |
| | PROPOSED STORM SEWER WITH MANHOLE AND INLETS |
| | PROPOSED PRIVATE STORM SEWER |
| | PROPOSED DETENTION |
| | EXISTING STORM SEWER AND MANHOLE |
| | EXISTING INLET |
| | PROPOSED TRANSFORMER SINGLE OR 3-PHASE |
| | PROPOSED TREE WELL |
| 1-98 | PARKING SPACES (PUBLIC STREETS)
W/ 3 ADA ACCESSIBLE PARKING SPACES
AND 1 ADA VAN PARKING SPACE |
| 1-53 | PRIVATE STREET CONCEPTUAL PARKING SPACES
W/ 2 ADA ACCESSIBLE PARKING SPACES
AND 1 ADA VAN PARKING SPACE |
| | PUBLIC R.O.W. (SECTION B-B, C-C & D-D)
FIRE LANE ACCESS |
| | CONCRETE PRIVATE DRIVE-
24.00' FIRE LANE ACCESS
AND UTILITY EASEMENT |
| | SIDEWALK RAMP |
| | SIDEWALK |

4180 BELTLINE RD
TRITON ADDISON BELTLINE LLC.
SAM'S CLUB
BLOCK A, LOT 2
COMMERCIAL IMPROVEMENTS
PLANNED DEVELOPMENT
SUITE A: SNUFFERS RESTAURANT
& BAR
SUITE B: TAQUERIA LA' VENTANA

ACTION

APPROVED DENIED

STAFF _____ DATE _____ INITIALS _____

COUNCIL _____ DATE _____ INITIALS _____

SEE THE STAFF APPROVAL LETTER OR COUNCIL RESULT MEMO FOR ANY CONDITIONS ASSOCIATED WITH THE APPROVAL OF THE PROJECT.

SITE PLAN AND
UTILITY PLAN
BLOCK E

ADDISON GROVE

SAWYER

ENGINEERING, LLC
CIVIL ENGINEERING & PLANNING
1520 OLIVER STREET, HOUSTON, TEXAS 77007
(713) 961-3877
TBPE FIRM: F-9171

SCALE: 1" = 30'

PROJ. NO.

DRAWN BY: JDS	DATE	SHEET
CHK'D BY: CDP	04/08/2016	6 OF 7
APPROVED: CDP		

THIS PLAN CONFORMS WITH
DESIGN STANDARDS INCLUDED IN
THE TOWN OF ADDISON
TRANSPORTATION PLAN, WATER
SYSTEM REQUIREMENTS, WASTE
WATER SYSTEM REQUIREMENTS,
AND DRAINAGE CRITERIA MANUAL

ADDISON GROVE
PRELIMINARY UTILITY PLAN
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57,
BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
PREPARATION DATE: 4/08/2016
ADDISON, TEXAS
PROJECT NUMBER

TOWN OF ADDISON SITE PLAN NOTES:

- | | | | |
|----|---|----|---|
| 1. | ANY REVISIONS TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS. | 3. | BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT. |
| 2. | OPEN STORAGE, WHERE PERMITTED SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE. | 4. | ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL. |
| | | 5. | ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL. |

MATCH SHEET 6

MATCH SHEET 3

RETAIL

RETAIL

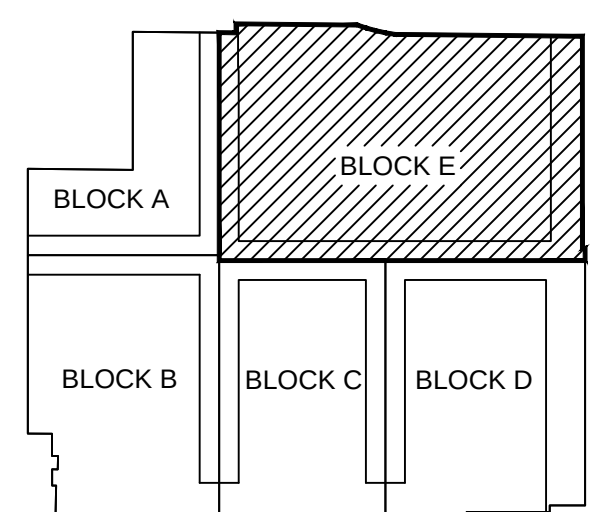
COURTYARD A

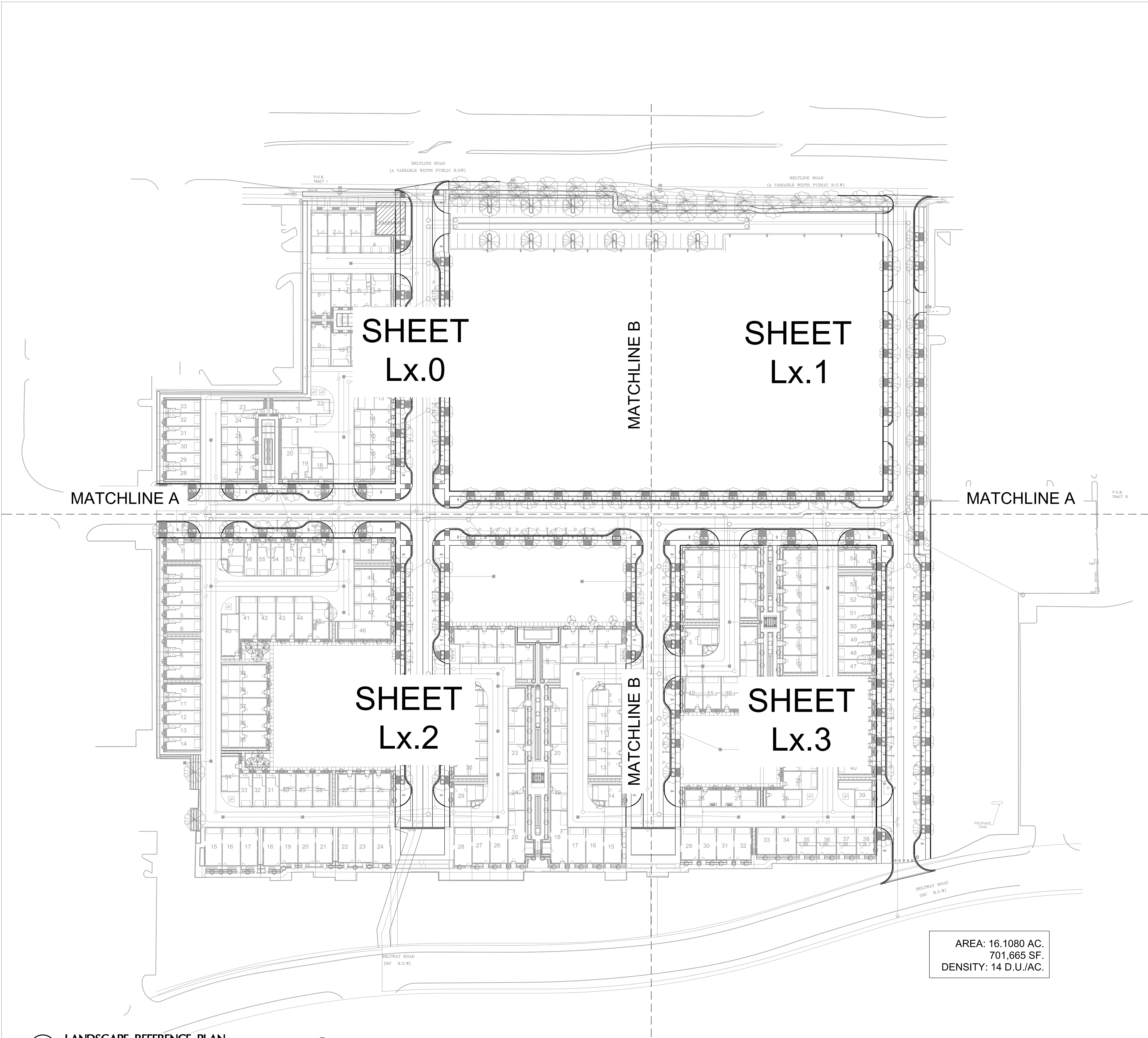
CONCEPTUAL APARTMENT SITE

COURTYARD B

COURTYARD C

LOCATION MAP

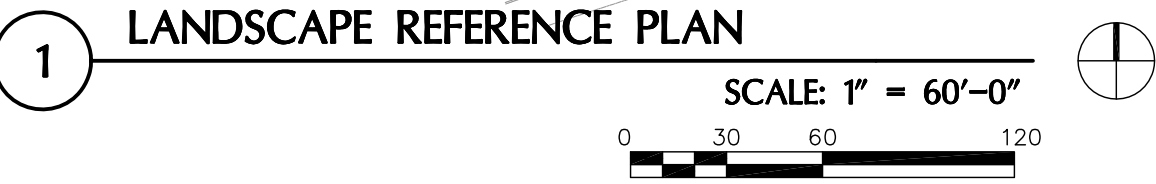




TOTAL PUBLIC PARK AND GREEN SPACE AREAS

PUBLIC PARK AREA 1	= 0.5711 ACRES
PUBLIC PARK AREA 2	= 0.6015 ACRES
PUBLIC PARK AREA 3	= 0.2707 ACRES
PUBLIC PARK AREA 4	= 0.0515 ACRES
PUBLIC PARK AREA 5	= 0.0658 ACRES
TOTAL PUBLIC PARK AREA	= 1.5606 ACRES

GREEN SPACE 1	= 0.0579 ACRES
GREEN SPACE 2	= 0.1343 ACRES
GREEN SPACE 3	= 0.0534 ACRES
GREEN SPACE 4	= 0.1384 ACRES
TOTAL GREEN SPACE	= 0.3840 ACRES



STATE OF TEXAS
KEIJI ASAKURA
1170
REGISTERED
LANDSCAPE ARCHITECT

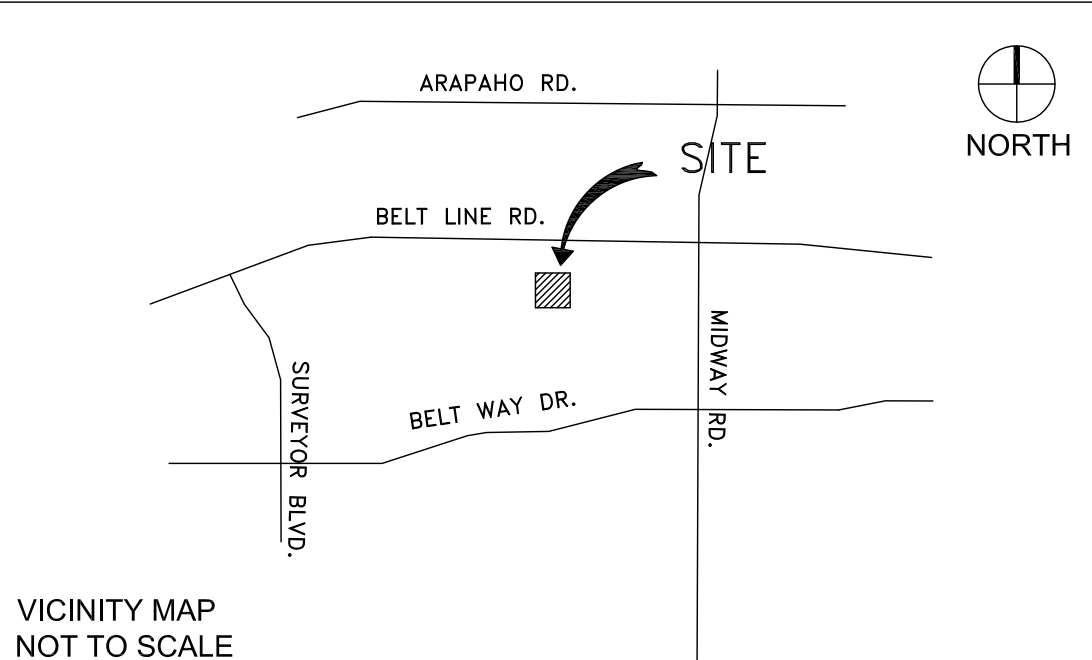
04-11-2016
Issued for PD Submittal
NOT FOR CONSTRUCTION

asakura
robinson
Planning Urban Design Landscape Architecture

1902 Washington Ave., Suite A Houston, Texas 77007 P: 713.337.5830

PREPARED BY:
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1902 WASHINGTON AVENUE, SUITE A
HOUSTON, TEXAS 77007

CONTACT: KEIJI ASAKURA
PHONE: 713-337-5830
EMAIL: KEIJI@ASAKURAROBINSON.COM

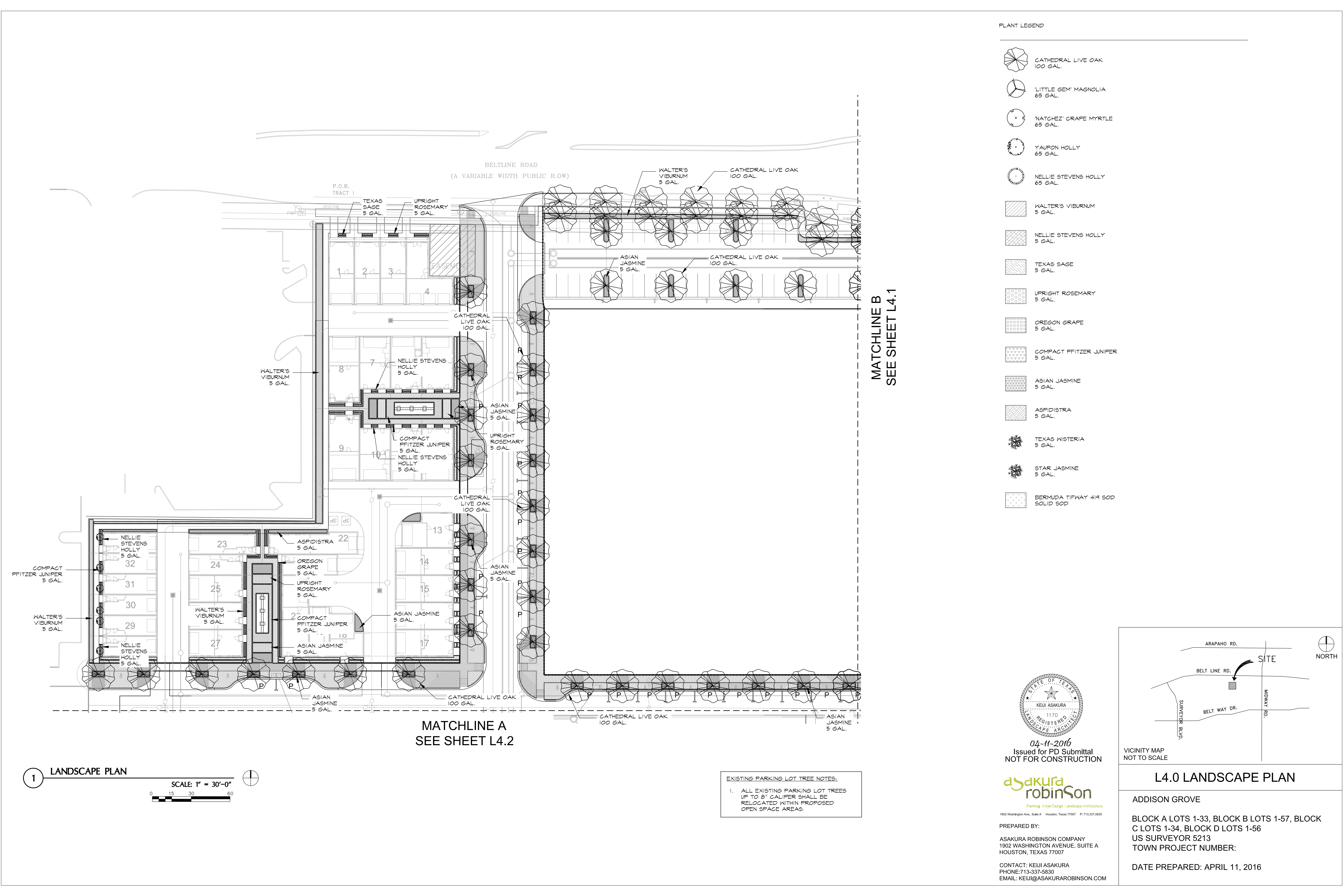


L0.0 LANDSCAPE REFERENCE PLAN

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER:

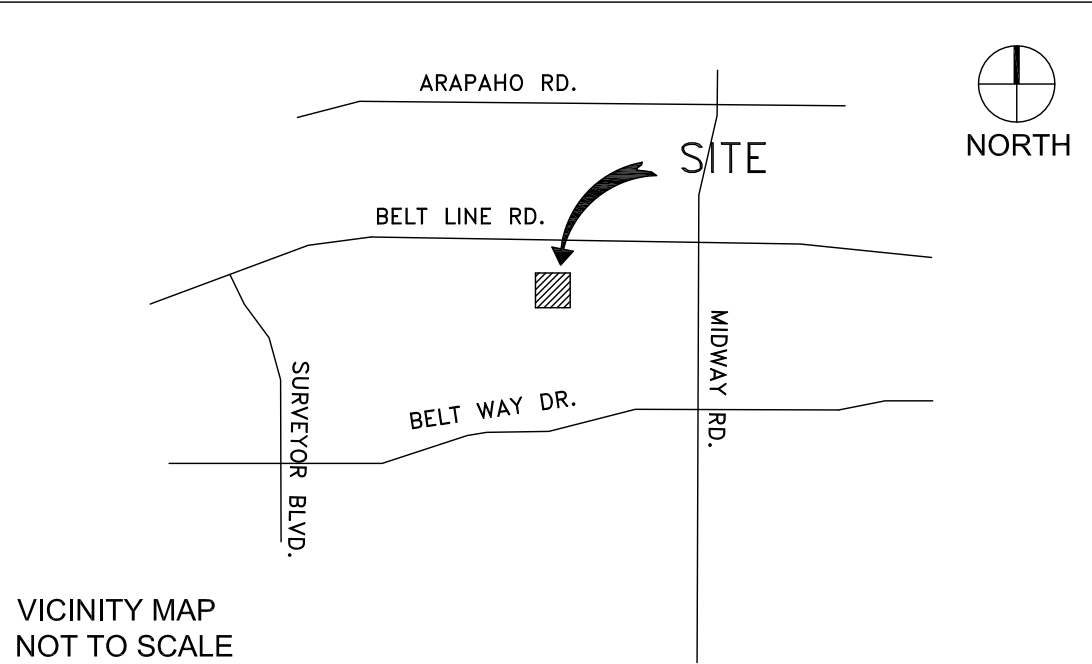
DATE PREPARED: APRIL 11, 2016



- PLANT LEGEND
- CATHEDRAL LIVE OAK 100 GAL.
 - 'LITTLE GEM' MAGNOLIA 65 GAL.
 - 'NATCHEZ' GRAPE MYRTLE 65 GAL.
 - YAUPON HOLLY 65 GAL.
 - NELLIE STEVENS HOLLY 65 GAL.
 - WALTER'S VIBURNUM 5 GAL.
 - NELLIE STEVENS HOLLY 5 GAL.
 - TEXAS SAGE 5 GAL.
 - UPRIGHT ROSEMARY 5 GAL.
 - OREGON GRAPE 5 GAL.
 - COMPACT PFITZER JUNIPER 5 GAL.
 - ASIAN JASMINE 5 GAL.
 - ASPIDISTRA 5 GAL.
 - TEXAS WISTERIA 5 GAL.
 - STAR JASMINE 5 GAL.
 - BERMUDA TIFWAY 419 SOD SOLID SOD

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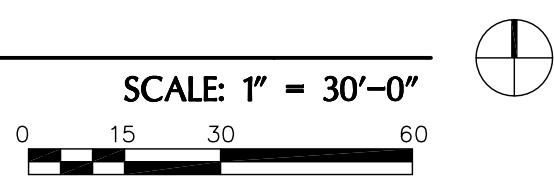
L4.0 LANDSCAPE PLAN

ADDISON GROVE

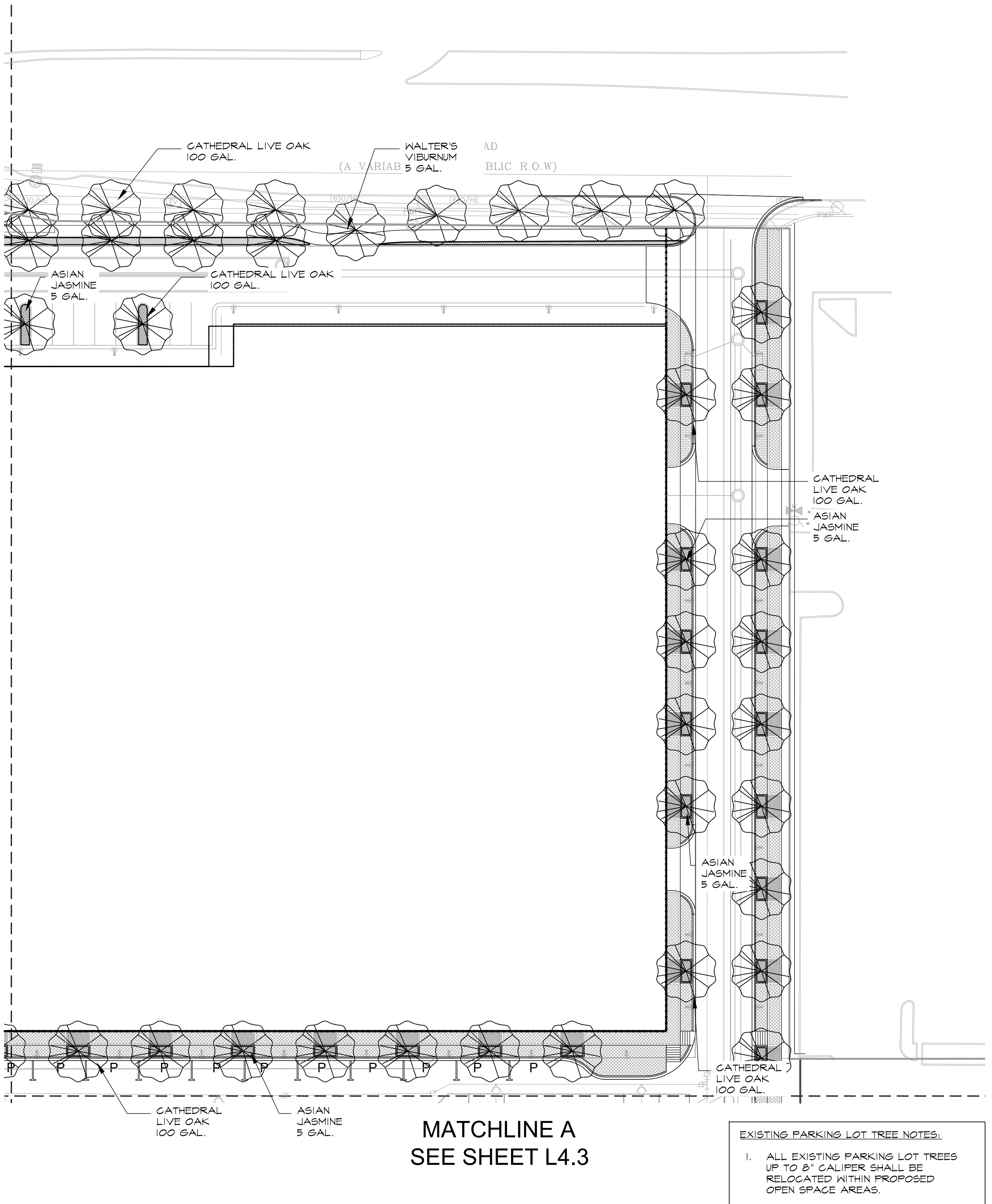
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER:
DATE PREPARED: APRIL 11, 2016

EXISTING PARKING LOT TREE NOTES:
I. ALL EXISTING PARKING LOT TREES UP TO 8" CALIPER SHALL BE RELOCATED WITHIN PROPOSED OPEN SPACE AREAS.

1 LANDSCAPE PLAN



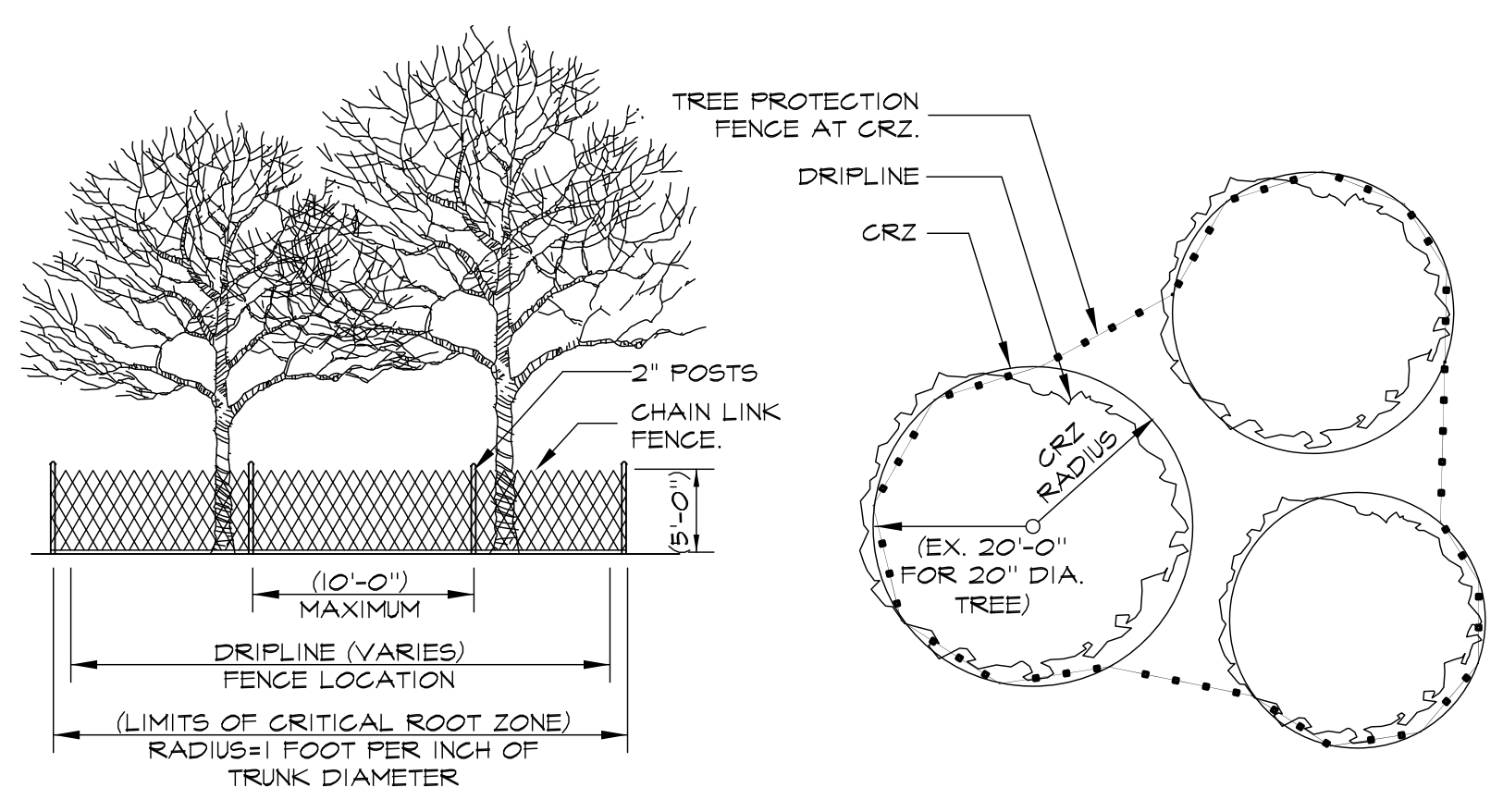
MATCHLINE B
SEE SHEET L4.0



MATCHLINE A
SEE SHEET L4.3

EXISTING PARKING LOT TREE NOTES:

1. ALL EXISTING PARKING LOT TREES UP TO 8" CALIPER SHALL BE RELOCATED WITHIN PROPOSED OPEN SPACE AREAS.



2 TYP. TREE PROTECTION DETAIL N.T.S.

- TREE PROTECTION NOTES:
- IT IS CRUCIAL THAT TREE PROTECTION FENCE MUST BE ERECTED PRIOR TO ANY SITE DEMOLITION BEGIN.
 - TREE PROTECTION FENCE SHALL BE A MIN. 5'-0" HIGH CHAIN LINK FENCE MOUNTED ON VERTICAL PIPES DRIVEN 2'-0" MIN. INTO THE GROUND, AT APPROX. 6'-8' O.C. REFER TO PLAN FOR LOCATIONS
 - PROTECTION FENCE SHALL BE PLACED AROUND CRITICAL ROOT ZONE OF ALL TREES TO BE RETAINED.
 - UPON APPROVAL BY OWNER OR LANDSCAPE ARCHITECT. OTHER FENCING MATERIAL MAY BE USED IN LIEU OF CHAIN LINK FENCE. SUCH AS:
 - T-POSTS AT 8'-0" O.C. W/ 4' HT. BRIGHT ORANGE, LIGHT WEIGHT, REUSABLE MESH SAFETY FENCING MADE OF HIGH DENSITY POLYETHYLENE WITH 1 1/2" X 3" SIZE MESH OR SIMILAR MATERIAL.
 - WOOD BARRICADES WHICH INCLUDED INSTALLING 2 X 4 AS POST AT 4' ABOVE GROUND AT EVERY 6' O.C. WITH (3) -2 X 4 RAILS MINIMUM.
 - UNDER NO CIRCUMSTANCES, DO NOT DRIVE OR PARK MACHINERY ON TREE ROOTS OR UNDER THE DRIPLINE.
 - AVOID DISTURBING ROOTS IN CRITICAL ROOT ZONE. IF ROOT CUTTING IS NECESSARY OR ANY DAMAGED ROOTS OCCURRED, THEY SHALL BE CUT CLEANLY WITH AN AXE A FEW INCHES CLOSER TO THE TRUNK. ANY COVERED/EXPOSED OR PRUNED TREE ROOTS MUST BE COVERED IMMEDIATELY WITH DIRT AND MULCH TO PREVENT ROOTS FROM DRYING OUT.
 - NO STORAGE OR CONCRETE DUMPING IS PERMITTED ON TREE ROOTS AND/OR UNDER DRIPLINE.
 - NO BUILDING MATERIALS ARE TO BE STACKED OR STOCKPILED WITHIN THE DRIPLINE OR WITHIN 6 FEET OF ANY TREE TO BE PRESERVED, WHICHEVER IS GREATER.
 - TOPSOIL SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OR WITHIN 6 FEET OF ANY TREE TO BE PRESERVED, WHICHEVER IS GREATER.
 - TREE BOARDING SHALL BE USED IS WORK IS REQUIRED WITH IN FENCING.
 - AVOID DISTURBING ROOTS IN CRITICAL ROOT ZONE. ANY DAMAGED ROOTS SHALL BE CUT CLEANLY WITH AN AXE A FEW INCHES CLOSER TO THE TRUNK.
 - ANY UNCOVERED/EXPOSED TREE ROOTS SHALL BE IMMEDIATELY COVERED WITH MULCH.
 - ANY UNDERSTORY CLEARING WITHIN SIX FEET OF EXISTING TREE TRUNKS SHOULD BE DONE BY HAND.

PLANT LEGEND

	CATHEDRAL LIVE OAK 100 GAL.
	'LITTLE GEM' MAGNOLIA 65 GAL.
	NATCHEZ' GRAPE MYRTLE 65 GAL.
	YAUPOON HOLLY 65 GAL.
	NELLIE STEVENS HOLLY 65 GAL.
	WALTER'S VIBURNUM 5 GAL.
	NELLIE STEVENS HOLLY 5 GAL.
	TEXAS SAGE 5 GAL.
	UPRIGHT ROSEMARY 5 GAL.
	OREGON GRAPE 5 GAL.
	COMPACT PFITZER JUNIPER 5 GAL.
	ASIAN JASMINE 5 GAL.
	ASPIDISTRA 5 GAL.
	TEXAS WISTERIA 5 GAL.
	STAR JASMINE 5 GAL.
	BERMUDA TIFWAY 419 SOD SOLID SOD

04-11-2016
Issued for PD Submittal
NOT FOR CONSTRUCTION

asakura robinson
Planning Urban Design Landscape Architecture

1902 Washington Ave., Suite A Houston, Texas 77007 P: 713.337.5830

PREPARED BY:
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1902 WASHINGTON AVENUE, SUITE A
HOUSTON, TEXAS 77007

CONTACT: KEIJI ASAKURA
PHONE: 713-337-5830
EMAIL: KEIJI@ASAKURAROBINSON.COM

VICINITY MAP
NOT TO SCALE

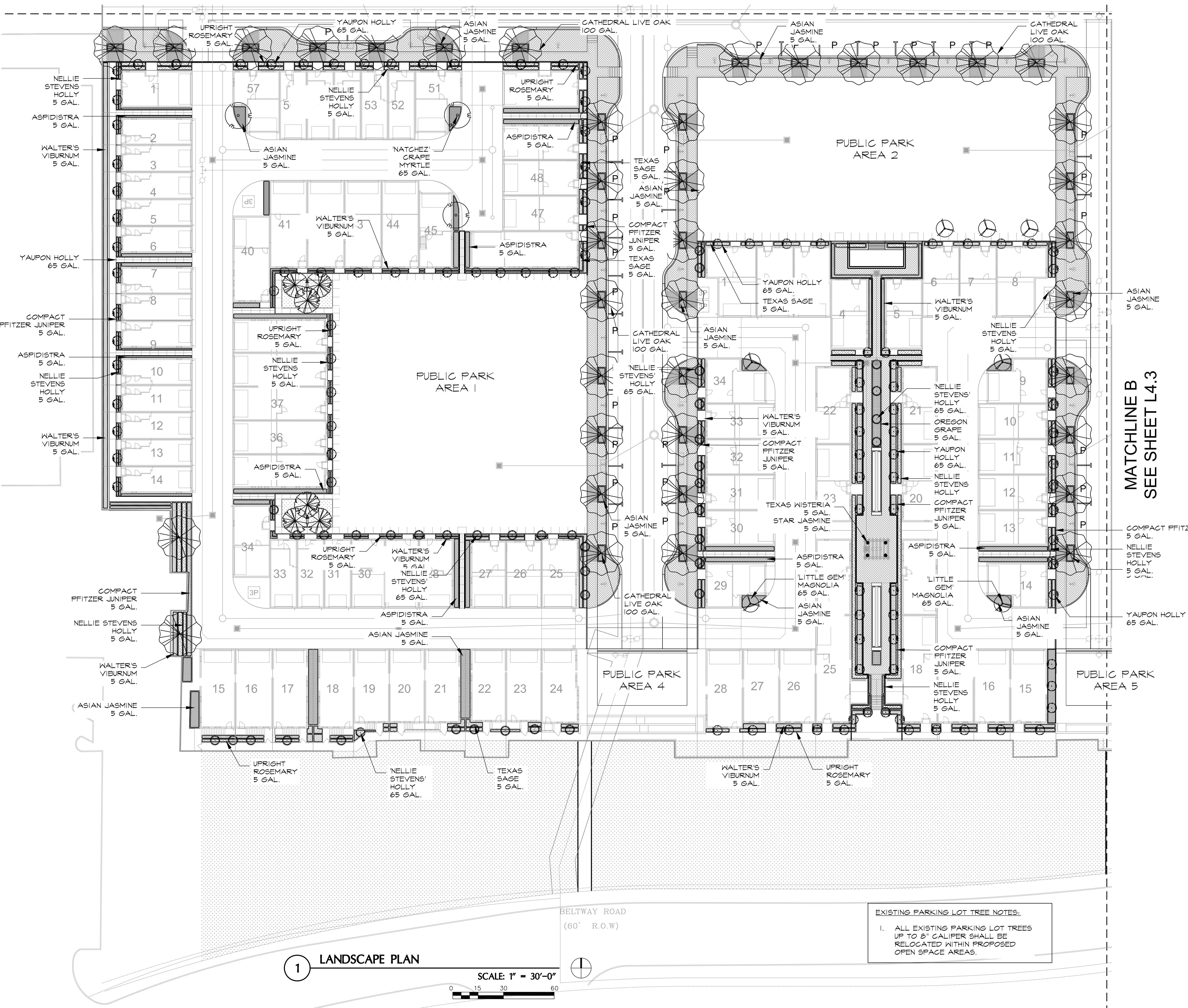
L4.1 LANDSCAPE PLAN

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER:

DATE PREPARED: APRIL 11, 2016

MATCHLINE A
SEE SHEET L4.0



1 LANDSCAPE PLAN

SCALE: 1" = 30'-0"

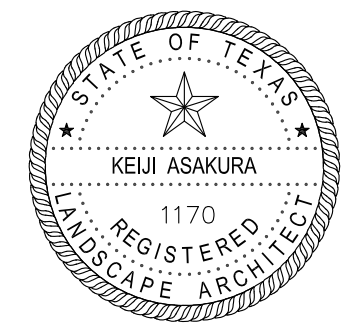
EXISTING PARKING LOT TREE NOTES:

- ALL EXISTING PARKING LOT TREES UP TO 8" CALIPER SHALL BE RELOCATED WITHIN PROPOSED OPEN SPACE AREAS.

PLANT LEGEND

- CATHEDRAL LIVE OAK 100 GAL.
- 'LITTLE GEM' MAGNOLIA 65 GAL.
- 'NATCHEZ' GRAPE MYRTLE 65 GAL.
- YAUPON HOLLY 65 GAL.
- NELLIE STEVENS HOLLY 65 GAL.
- WALTER'S VIBURNUM 5 GAL.
- NELLIE STEVENS HOLLY 5 GAL.
- TEXAS SAGE 5 GAL.
- UPRIGHT ROSEMARY 5 GAL.
- OREGON GRAPE 5 GAL.
- COMPACT PFITZER JUNIPER 5 GAL.
- ASIAN JASMINE 5 GAL.
- ASPIDISTRA 5 GAL.
- TEXAS WISTERIA 5 GAL.
- STAR JASMINE 5 GAL.
- BERMUDA TIFWAY 419 SOD
- SOLID SOD

MATCHLINE B
SEE SHEET L4.3



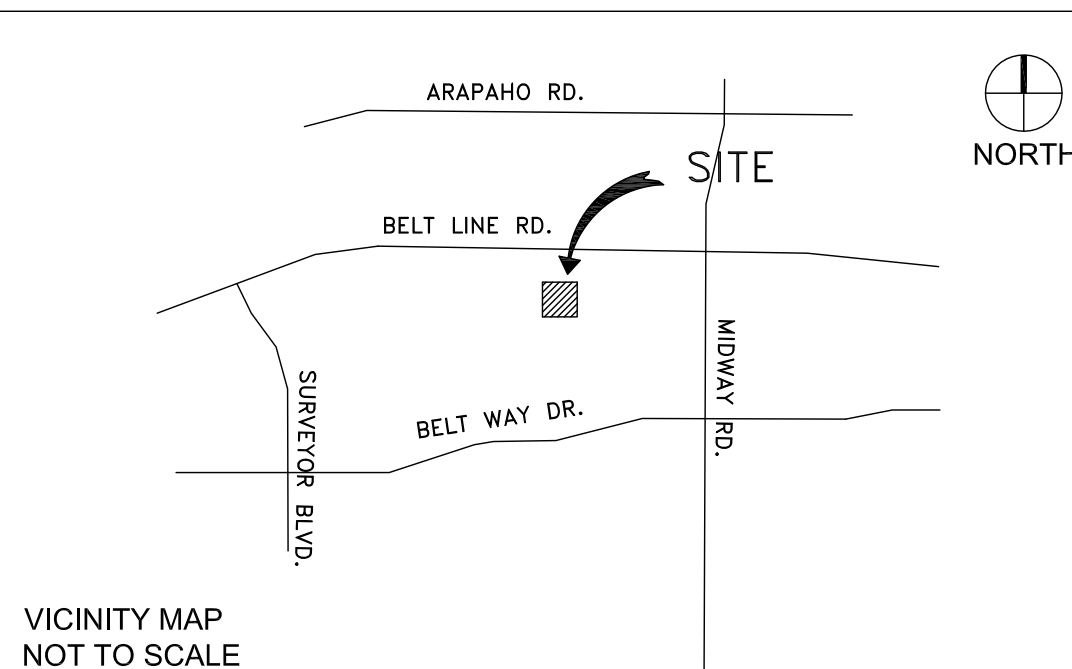
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HOUSTON, TEXAS 77007

CONTACT: KEIJI ASAKURA
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EMAIL: KEIJI@ASAKURAROBINSON.COM



VICINITY MAP
NOT TO SCALE

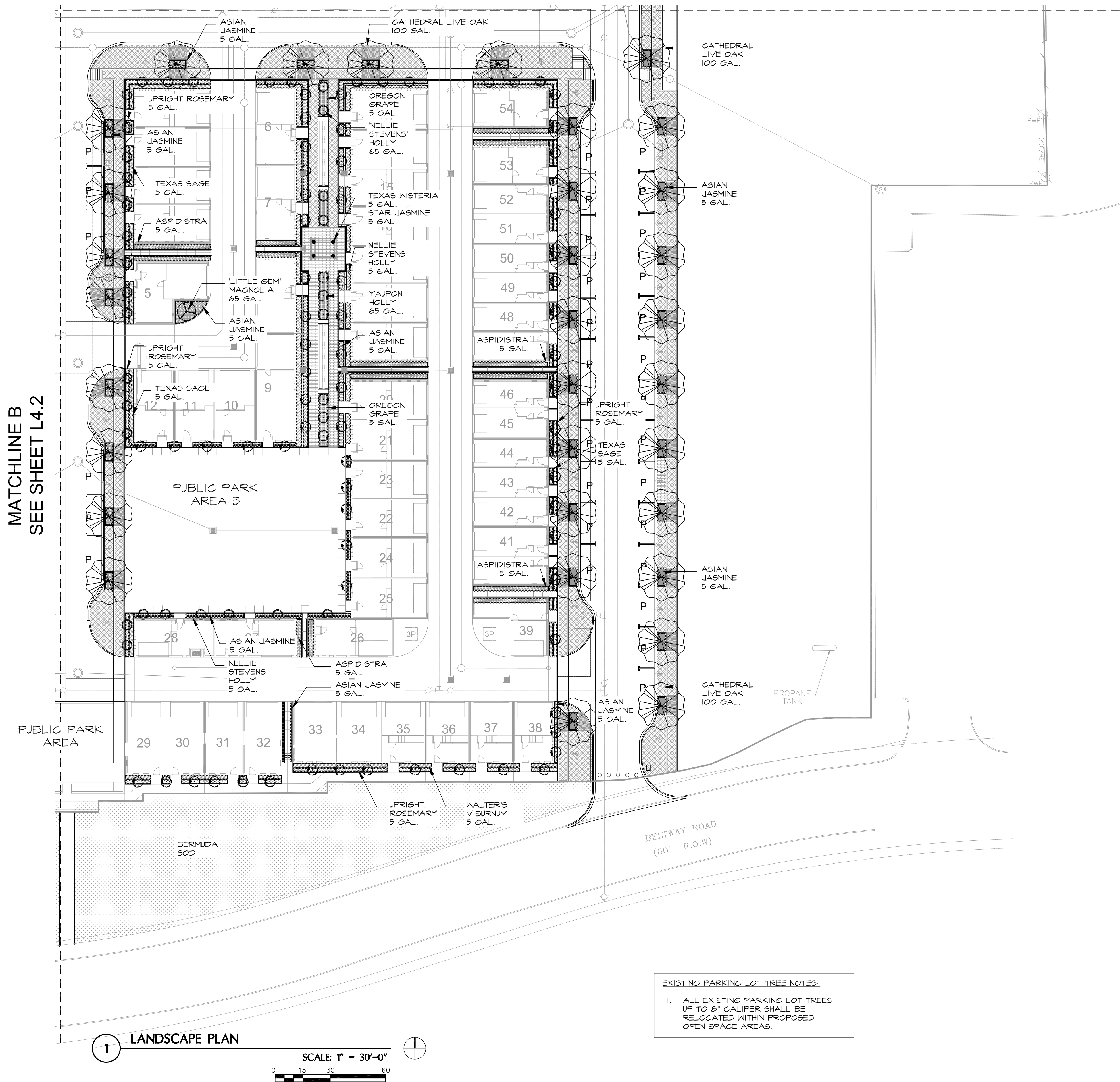
L4.2 LANDSCAPE PLAN

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK
C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER:

DATE PREPARED: APRIL 11, 2016

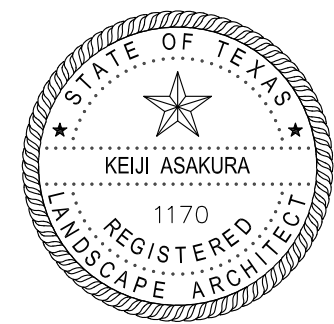
MATCHLINE A
SEE SHEET L4.1



PLANT LEGEND

- CATHEDRAL LIVE OAK
100 GAL.
- 'LITTLE GEM' MAGNOLIA
65 GAL.
- 'NATCHEZ' GRAPE MYRTLE
65 GAL.
- YAUPOH HOLLY
65 GAL.
- NELLIE STEVENS HOLLY
65 GAL.
- WALTER'S VIBURNUM
5 GAL.
- NELLIE STEVENS HOLLY
5 GAL.
- TEXAS SAGE
5 GAL.
- UPRIGHT ROSEMARY
5 GAL.
- OREGON GRAPE
5 GAL.
- COMPACT PFITZER JUNIPER
5 GAL.
- ASIAN JASMINE
5 GAL.
- ASPIDISTRA
5 GAL.
- TEXAS WISTERIA
5 GAL.
- STAR JASMINE
5 GAL.
- BERMUDA TIFWAY 419 SOD
SOLID SOD

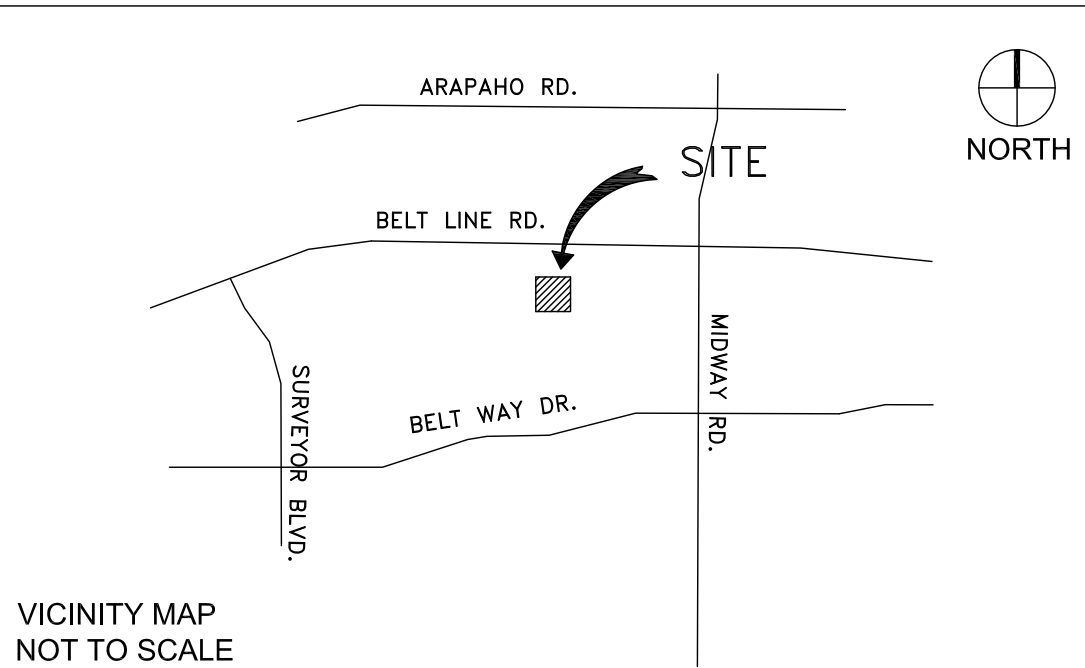
EXISTING PARKING LOT TREE NOTES:
1. ALL EXISTING PARKING LOT TREES
UP TO 8" CALIPER SHALL BE
RELOCATED WITHIN PROPOSED
OPEN SPACE AREAS.



04-11-2016
Issued for PD Submittal
NOT FOR CONSTRUCTION

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robinson
Planning Urban Design Landscape Architecture
1902 Washington Ave., Suite A Houston, Texas 77007 P: 713.337.5830

PREPARED BY:
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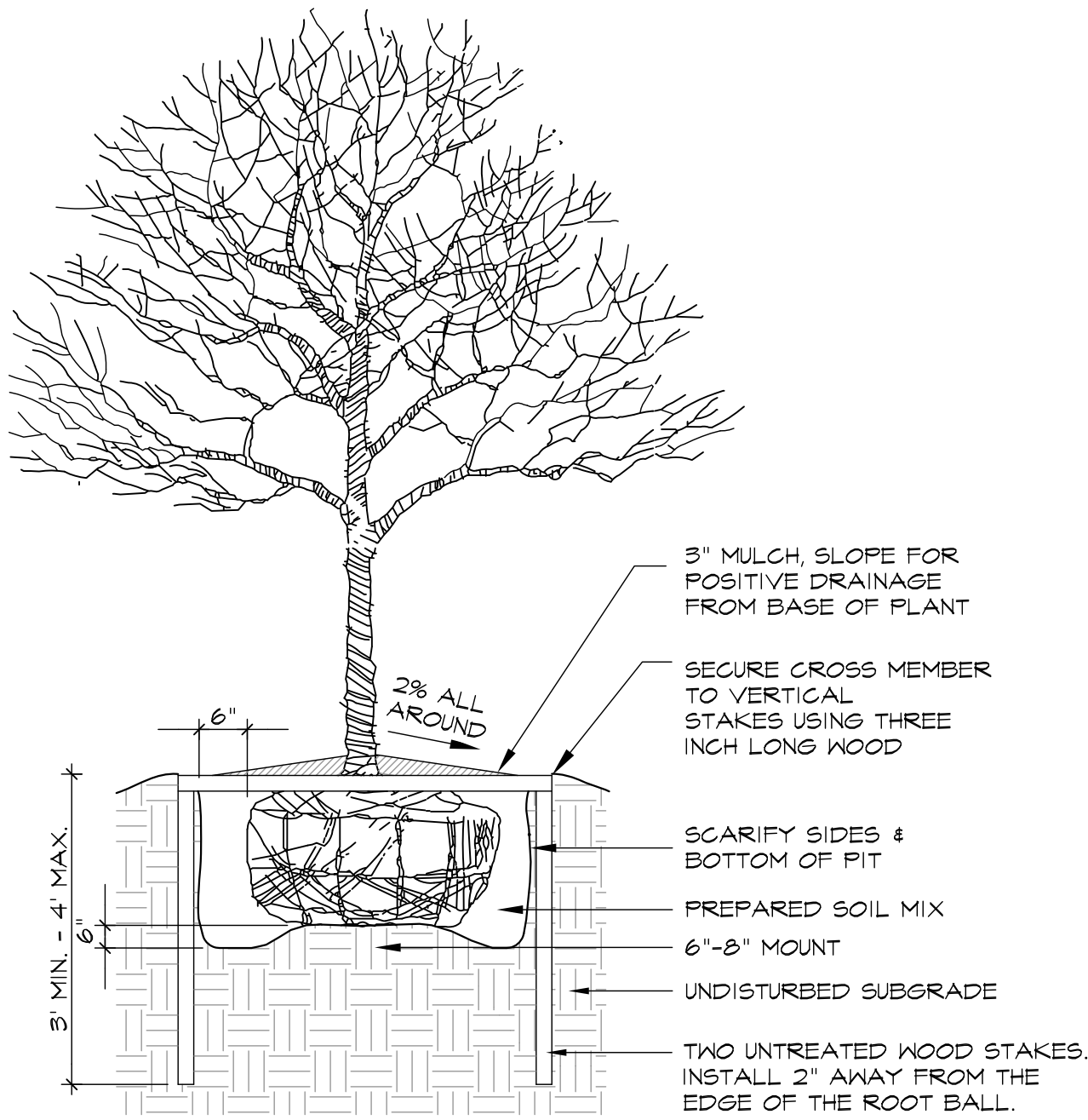


L4.3 LANDSCAPE PLAN

ADDISON GROVE

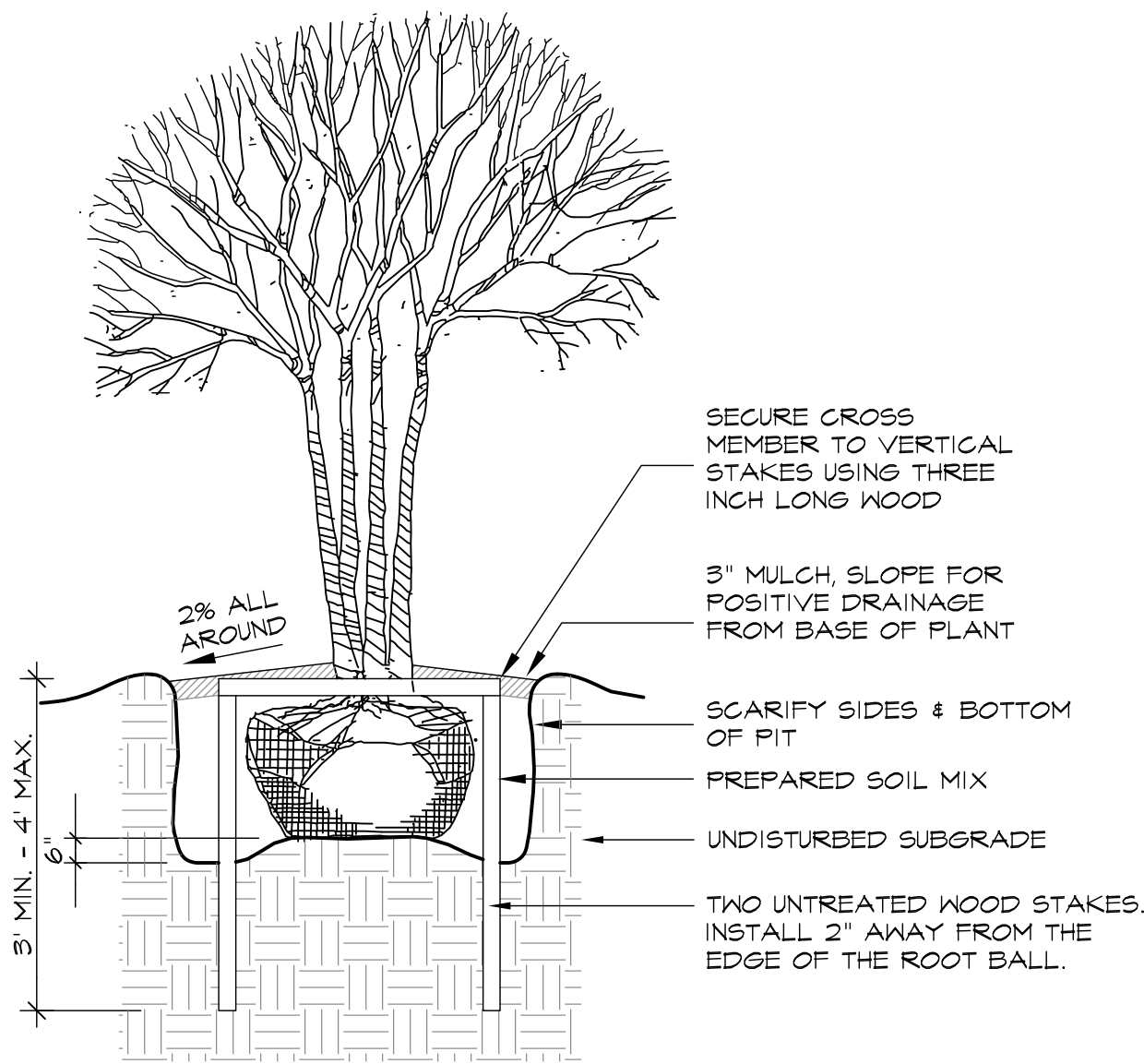
BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK
C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER:

DATE PREPARED: APRIL 11, 2016



1 TYP. TREE PLANTING DETAIL

N.T.S.

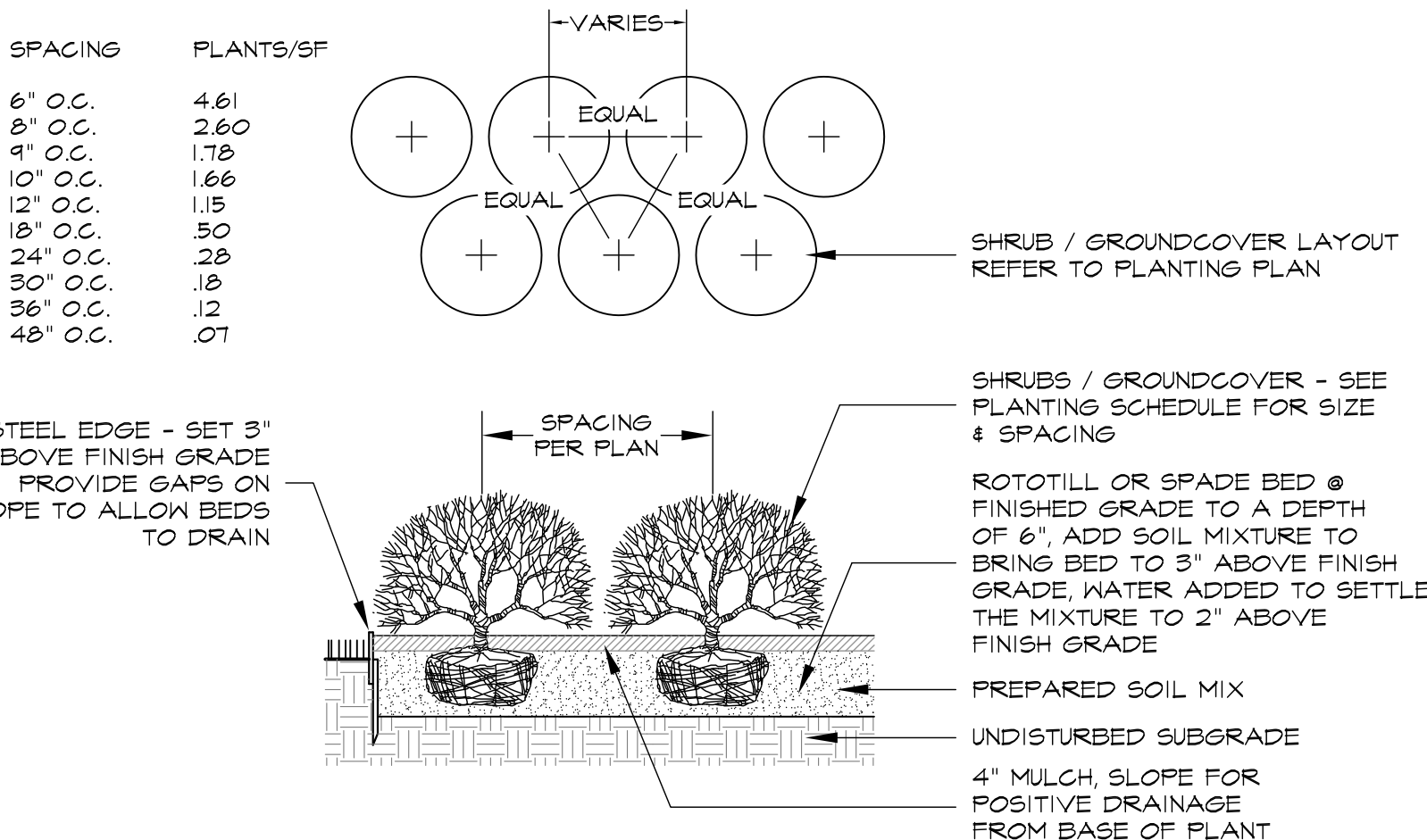


2 TYP. MULTI-TRUNKS TREE PLANTING DETAIL

N.T.S.

PLANT SCHEDULE

	PLANT QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	HEIGHT	SPREAD	COMMENTS
CANOPY TREES / ORNAMENTAL TREES						
	159	Cathedral Live Oak <i>Quercus Virginiana 'Cathedral'</i>	100 Gal. 4"-5"	14'-16'	8'-10'	CONTAINER GROWN, FULL & WELL BRANCHED
	13	'Little Gem' Magnolia <i>Magnolia grandiflora 'Little Gem'</i>	100 Gal. 4"-5"	14'-16'	8'-10'	CONTAINER GROWN, FULL & WELL BRANCHED
	42	Natchez Grape Myrtle <i>Lagerstroemia x 'Natchez'</i>	65 Gal. 3"-4"	10'-12'	5'-6'	CONTAINER GROWN, FULL & WELL BRANCHED
	185	Yaupon Holly <i>Ilex vomitoria</i>	65 Gal. 3"-4"	10'-12'	5'-6'	CONTAINER GROWN, FULL & WELL BRANCHED
	75	Nellie Stevens Holly <i>Ilex x Nellie R. Stevens'</i>	65 Gal. 3"-4"	10'-12'	5'-6'	CONTAINER GROWN, FULL & WELL BRANCHED
SHRUBS / GROUND COVER						
	6,600 sf	Walter's Viburnum <i>Myrica cerifera</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
	5,300 sf	Nellie Stevens Holly <i>Podocarpus macrophyllus</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
	1,600 sf	Texas Sage <i>Leucophyllum frutescens</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
	3,300 sf	Upright Rosemary <i>Rosmarinus officinalis</i>	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
	1,200 sf	Oregon Grape <i>Mahonia aquifolium</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
	4,800 sf	Compact Pfitzer Juniper <i>Juniperus chinensis var. chinensis 'Compact Pfitzer'</i>	5 Gal.	18"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 30" O.C. TRIANGULAR SPACING
	9,000 sf	Asian Jasmine <i>Trachelospermum asiaticum</i>	5 Gal.	10"-12"	12"-14"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 12" O.C. TRIANGULAR SPACING
	3,900 sf	Aspidistra <i>Aspidistra elatior</i>	5 Gal.	20"-24"	18"-24"	CONTAINER GROWN, FULL & WELL ROOTED PLANTED @ 24" O.C. TRIANGULAR SPACING
ORNAMENTAL VINES						
	29	Texas Wisteria <i>Wisteria macrostachya</i>	1 Gal.	10"-12"	8"-10"	CONTAINER GROWN, FULL & WELL ROOTED 3 PLANTS PER CONTAINER / 36" O.C. ALONG WALL
	29	Star Jasmine <i>Trachelospermum jasminoides</i>	1 Gal.	10"-12"	8"-10"	CONTAINER GROWN, FULL & WELL ROOTED 3 PLANTS PER CONTAINER / 36" O.C. ALONG WALL
TURF GRASS						
	110,000 sf	Bermuda Tifway 419 <i>Cynodon dactylon 'Tifway 419'</i>				SOLID SOD

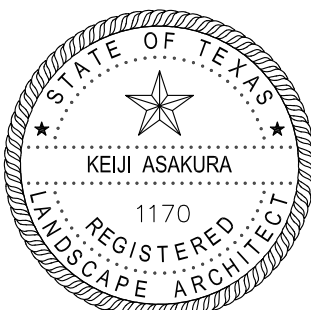


3 TYP. SHRUB / GROUND COVER PLANTING DETAIL & SPACING CHART

N.T.S.

PLANTING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
- CONTRACTOR SHOULD NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT UP TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADE TO +0.10. CONTRACTOR SHALL OBTAIN LETTER OF GRADE CERTIFICATION FROM OWNER PRIOR TO PROJECT EXECUTION.
- CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 12 HOURS (WEEKENDS NOT INCLUDED) PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULE.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS ON PLANS OR LAYOUT OF PLANS, CONTRACTOR SHOULD CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIAL.
- PROTECT ALL EXISTING TREES TO REMAIN. CONTRACTOR SHALL REPLACE ANY TREES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE FENCING, IF NECESSARY, AT THE TREE DRIP LINE TO PROTECT TRUNK AND ROOTS AND TO PREVENT COMPACTION FROM VEHICLE TRAFFIC OR MATERIAL STORAGE ON THE SOIL BELOW TREES. CONTRACTOR SHALL PROVIDE FOR THE FEEDING, WATERING AND GENERAL MAINTENANCE OF TREES TO KEEP THEM IN A HEALTHY CONDITION DURING CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT PHOTOS OF REPRESENTATIVE TREES AND SHRUBS WITH SPECIFICATIONS ON THE BACK OF PHOTO INCLUDING HEIGHT, WIDTH AND CALIPER. IF A NURSERY VISIT IS REQUIRED THE CONTRACTOR WILL ARRANGE TO HAVE THE PARTICULAR NURSERIES PREPARED TO SHOW TREES. SHOULD CONTRACTOR INSTALL PLANT MATERIAL INFERIOR TO INDUSTRY STANDARD, IT IS AT HIS OWN RISK. ALL PHOTO SUBMITTALS ARE TO BE APPROVED PRIOR TO PLANTING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIALS FREE OF PESTS AND DISEASES, PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO GUARANTEE ALL PLANT MATERIALS PER THE SPECIFICATIONS.
- CONTRACTOR SHALL STAKE ALL FINAL TREE LOCATIONS AND PLANTING BED LIMITS IN THE FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- STEEL EDGING SHALL BE PLACED BETWEEN ALL SHRUB BEDS AND TURF AREAS, AS WELL AS BETWEEN GRAVEL BED AND PLANTING BEDS.
- UPON INSTALLATION ALL TREE MATERIALS SHALL BE STAKED ACCORDING TO SPECIFICATIONS AND PLANTING DETAILS.
- IF REQUESTED BY OWNER CONTRACTOR SHALL INSTALL DEEP/ROOT BARRIERS AT ALL TREES WITHIN 5'-0" OF CONCRETE WALKWAYS, STRUCTURES, WALLS, CURBS, ETC.
- ALL PLANTS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED.
- ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" OF APPROVED SHREDDED MULCH.
- CONTRACTOR SHALL FINE GRADE ALL DISTURBED AREAS TO PROVIDE FOR PROPER DRAINAGE.
- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)/AMERICAN ASSOCIATION OF NURSERYMEN (AAN): ANSI Z60.1 I-069 "NURSERY STOCK".
- "GRADES AND STANDARDS", LATEST EDITION OF TEXAS ASSOCIATION OF NURSERYMEN SPECIFICATIONS, AUSTIN, TEXAS 78104.
- PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK AND PROVIDE FOR ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE, AND LOCAL AUTHORITIES IN FURNISHING, TRANSPORTING, AND INSTALLING MATERIALS.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1. PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT.
- PLANTING SOIL QUALITY ASSURANCE:
 - IF REQUESTED BY OWNER, ALL SOIL COMPONENTS SHALL BE TESTED BY LOCAL OR STATE TESTING LABORATORY FOR CONFORMITY TO THE SPECIFICATIONS.
 - CONTRACTOR SHALL SUBMIT PROPOSED LABORATORY NAME, ADDRESS, AND TELEPHONE NUMBERS FOR APPROVAL.



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L4.4 LANDSCAPE DETAILS

ADDISON GROVE

BLOCK A LOTS 1-33, BLOCK B LOTS 1-57, BLOCK
C LOTS 1-34, BLOCK D LOTS 1-56
US SURVEYOR 5213
TOWN PROJECT NUMBER:

DATE PREPARED: APRIL 11, 2016

Surround Style Planting with Deeproot Universal Barriers

When selecting the Surround style planting application you will have the greatest success by following these simple steps as illustrated below:

A. Prepare the initial planting hole as illustrated below. This is based upon the combination of desired barrier diameter and depth. Consider if drainage devices or amendments are needed to correct any adverse soil or planting conditions in the backfill area.

B. Assemble the appropriate number of DeepRoot Universal Barrier panels. The vertical root deflecting ribs on the panel must face inward, toward the root ball. (This is very important, otherwise the roots will become girdled by traveling around the smooth walled surface)

C. Next place the barrier in the center of the planting hole, keeping in mind that the double top edge of the barrier should be positioned approximately 1/2" (13mm) above grade. This helps retard potential root overgrowth. Failing to position the top edge above grade can allow root overgrowth which can lead to uprooted hardscapes.

D. Backfill and compact with soil inside the barrier to the level where the bottom of the root ball will be when positioned correctly with the crown of the root ball approximately 1" (26mm) above grade.

E. Remove the tree from its container, or cut away the top portion of burlap and position in the center of the barrier. Complete the backfill of the soil. Distribute evenly to maintain the shape of the barrier and compact the backfill every 4"-6" (10cm-15cm). Roots will die quickly if left exposed to the elements so keep exposure of the roots to a minimum.

F. If staking or guying is required we recommend using the soft, safe and economical alternative to traditional wire and hose, ArborTie (see www.deeproot.com for details)

G. If the tree(s) will be subject to maintenance work such as lawn mowing or weed trimming we strongly recommend the installation of ArborCards+ Tree Trunk Protectors which are placed around the base of young trees to protect them from damage by weed trimmers, lawn mowers and small rodents. (See www.deeproot.com)

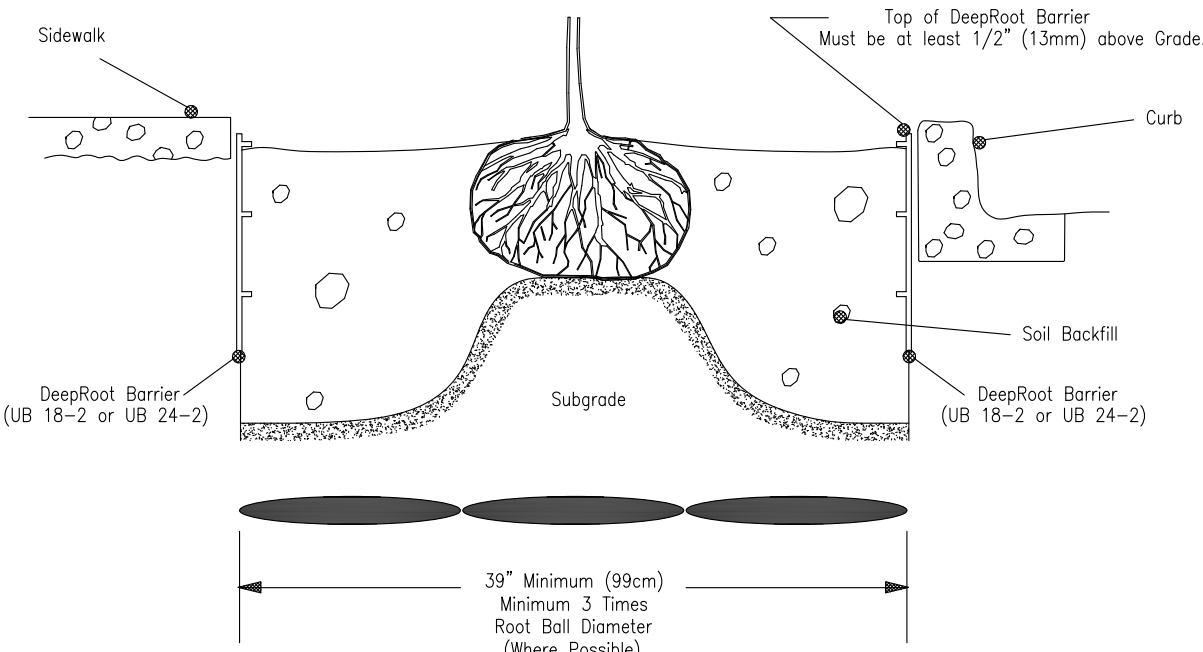
H. Water and follow proper tree maintenance practices.

Trees do require care and nurturing after planting. Consult with your local supplier for proper care procedures for the species you are planting. The planting instructions given here are by no means a comprehensive guide. Rather they are general guidelines to planting with DeepRoot Barriers and a survey of current planting methods. Conditions will vary however and it is recommended that an Arborist be consulted before planting.

For additional information please visit our website at www.deeproot.com

For information regarding distributors please call: 1 800 ILV ROOT (458.7668). For help with drainage or other difficult installation questions please call DeepRoot Technical Support at: 1 800 ROOT TEK (766.8835).

A Typical Surround Planting Installation Using DeepRoot Universal Barrier



TYP. ROOT BARRIER
DETAIL @ SIDEWALK

N.T.S.

UB 24-2 Specifications 24" DeepRoot® Tree Root Barrier

Specified tree root barrier is a mechanical barrier and root deflector used to prevent tree roots from damaging hardscapes and landscapes. Assembled in 24" (609 mm) long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

A. Materials

1. The contractor shall furnish and install tree root barrier as specified. The tree root barrier shall be either product #UB 24-2 as manufactured by DeepRoot® Green Infrastructure, LLC, 530 Washington Street, San Francisco, CA, www.deeproot.com (800.458.7668).

2. Root barrier shall be recyclable, black, injection molded panels with 0.80" (2.03 mm) wall thickness in modules 24" (609 mm) long and 24" (609 mm) deep.

3. Root barrier shall be manufactured with 75% reprocessed polypropylene with added ultraviolet inhibitors.

4. Root barrier shall be comprised of 24" (60.96 cm) panels. Each panel shall have no less than four (4) Molded Integral Vertical Root Directing Ribs of a minimum 0.075" (1.90 mm) thickness, protruding 1/2" (12.7 mm) at 90° from interior of the barrier panel, spaced 6" (152.4 mm) apart. (See Details A & D)

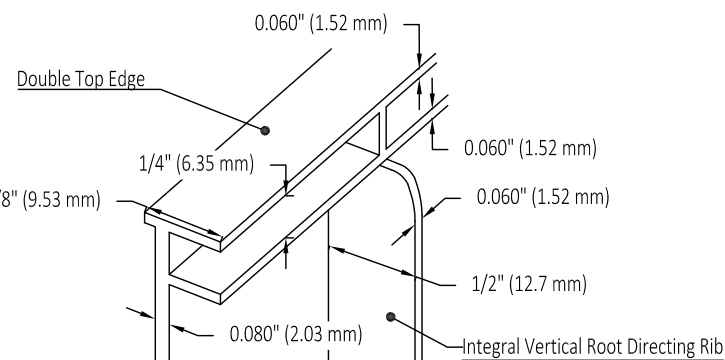
5. Root barrier shall have a Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel at 0.060" (1.52 mm) thickness, 3/8" (9.53 mm) wide and 1/4" (6.35 mm) apart with the lower rib attached to the vertical Root Directing Ribs (See Detail A).

6. Root barrier shall have a minimum of twelve (12) Anti-Lift Ground Lock Tabs consisting of integral horizontal ridges of minimum 0.075" (1.90 mm) thickness in the shape of a segment of an oblong, the 2" (50.8 mm) chord of the segment joining the panel wall and the segment, protruding 3/8" (9.53 mm) from the panel. The twelve ground locks on each panel shall be about equally spaced between each of the vertical root directing ribs (Four (4) between each set of ribs, see Details B & D).

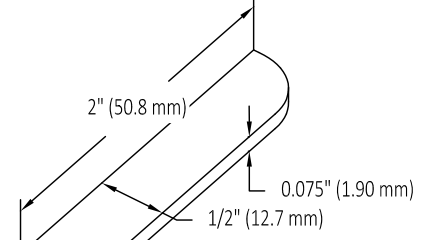
7. Root barrier shall have an integrated Zipper Joining System for assembly by sliding one panel into another (See Detail C).

U.S. Patents: 5,305,549; and 5,528,857. Other Patents Pending.

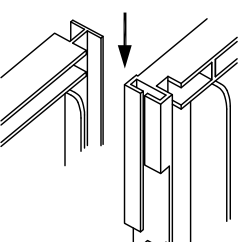
Properties	Typical Value	ASTM Test Method
Tensile strength @ yield - Wall	2,354 PSI	D638
Tensile strength @ yield - Hinge	2,846 PSI	D638
Yield Elongation - Wall	7.44%	D638
Yield Elongation - Hinge	7.01%	D638
Flexural Modulus	119,625 PSI	D790B
Notched Izod Impact - Wall	3.84 (ft-lbs)	D256A
Rockwell Hardness r. scale - Wall	84.4	D785A



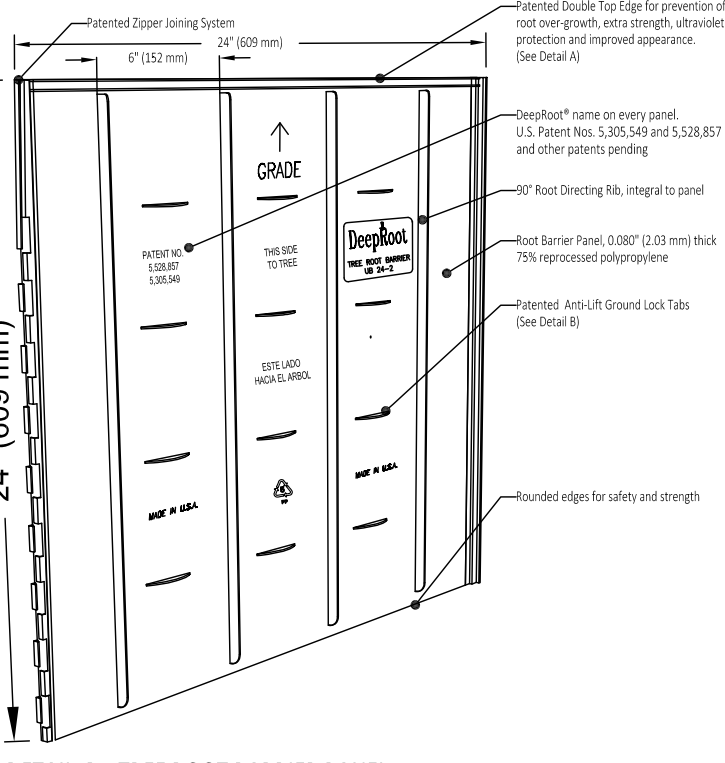
DETAIL A
DOUBLE TOP EDGE AND VERTICAL ROOT DIRECTING RIB



DETAIL B -
ANTI-LIFT GROUND LOCK TAB



DETAIL C - ZIPPER JOINING SYSTEM

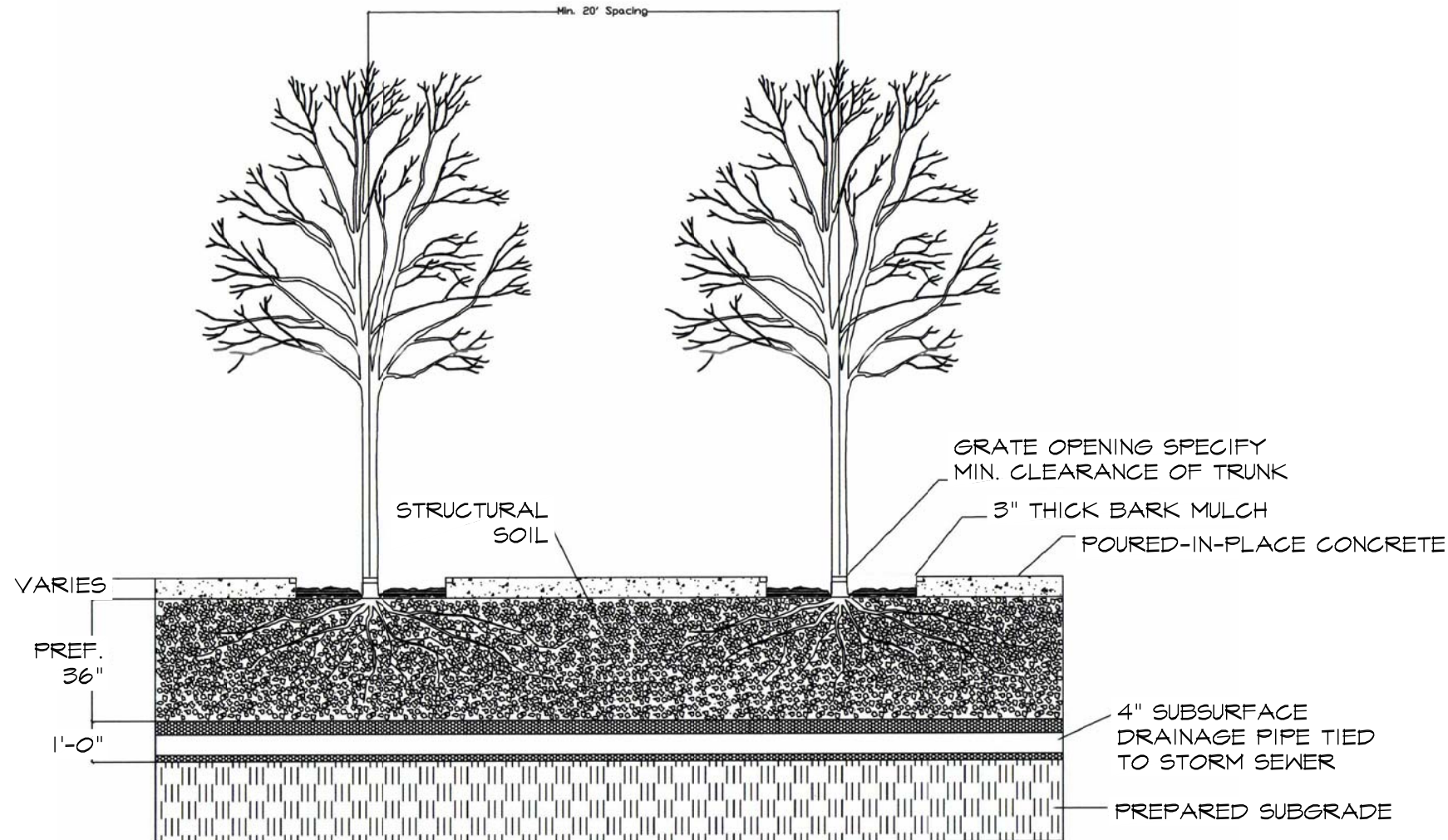


DETAIL D - TREE ROOT BARRIER PANEL

NOTE:
CONTRACTOR TO INSTALL DEEPROOT TREE ROOT BARRIER AT ALL SIDES OF EXISTING TREE ROOT. VERIFY WITH DEEPROOT REP FOR EXACT REQUIREMENTS AND SPECIFICATIONS PRIOR TO INSTALLATION.

TYP. ROOT BARRIER
DETAIL @ SIDEWALK

N.T.S.



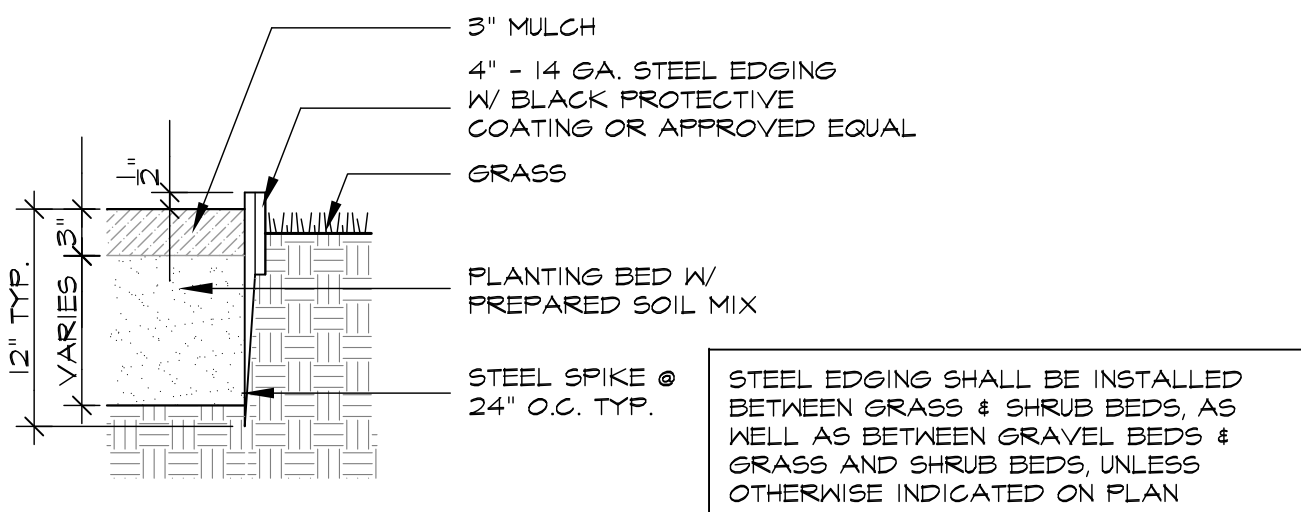
TYPICAL STREET TREE PLANTING - VIEW 2

NOTES:

1. STRUCTURAL SOIL SHALL BE INSTALLED BETWEEN ALL TREE WELLS TO CREATE A CONTINUOUS 5' WIDE SOIL TRENCH.
2. CONTRACTOR TO USE CU-SOIL STRUCTURAL SOIL OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
3. SOIL MIXTURE SHALL BE COORDINATED WITH THE MANUFACTURER AND APPROVED BY THE CITY.

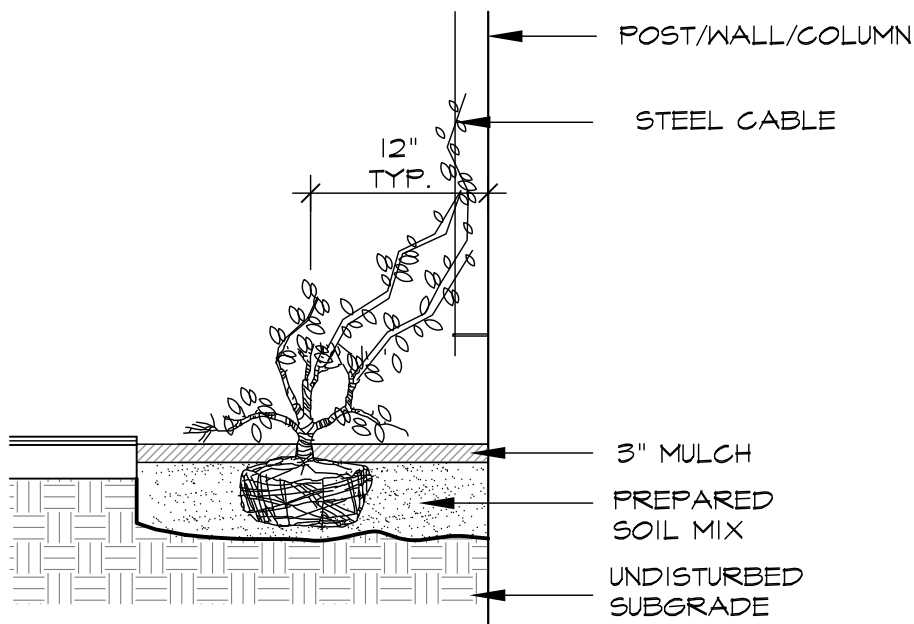
TYPICAL SECTION DETAIL AT
STRUCTURAL SOIL

N.T.S.



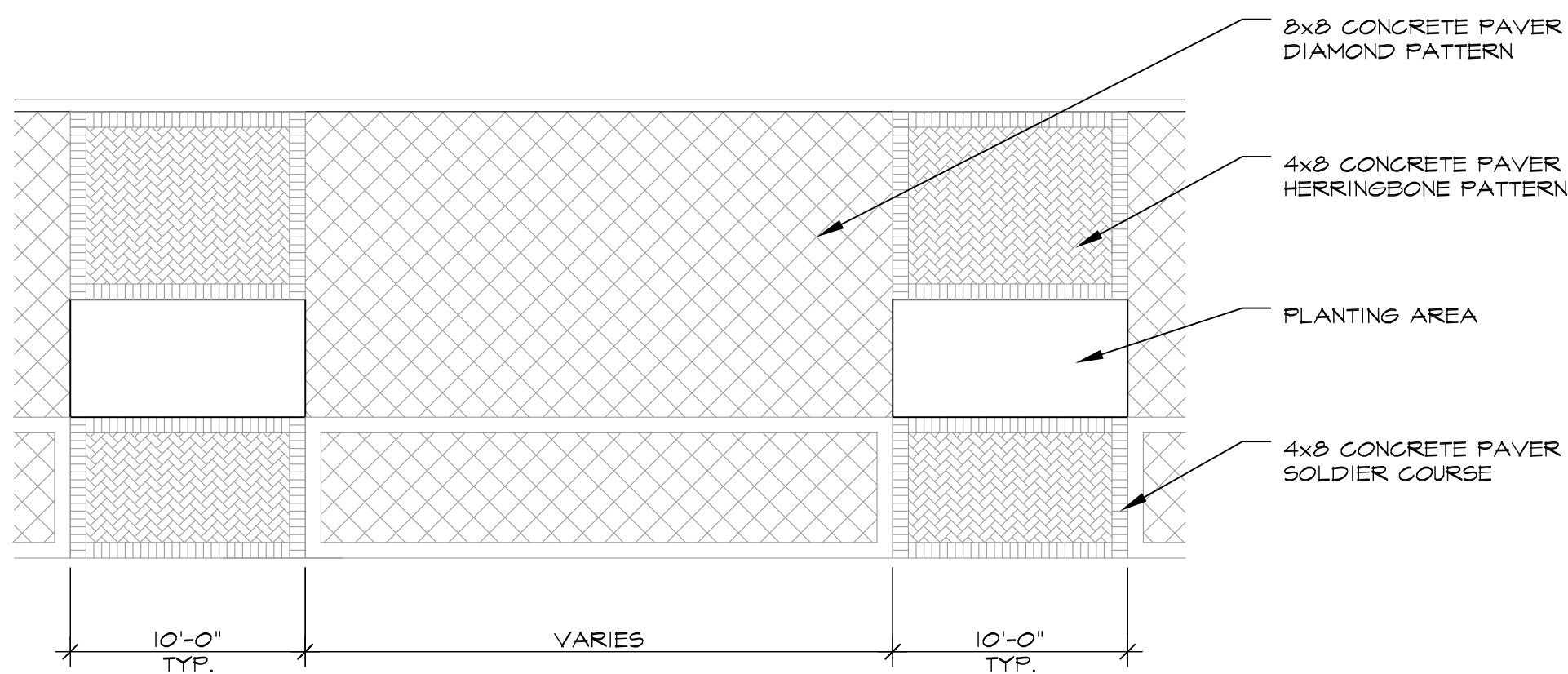
TYP. STEEL EDGING DETAIL

N.T.S.



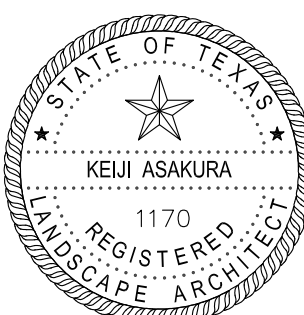
TYP. VINE PLANTING DETAIL

N.T.S.



TYPICAL
PAVING DETAIL

N.T.S.



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L4.5 LANDSCAPE DETAILS

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