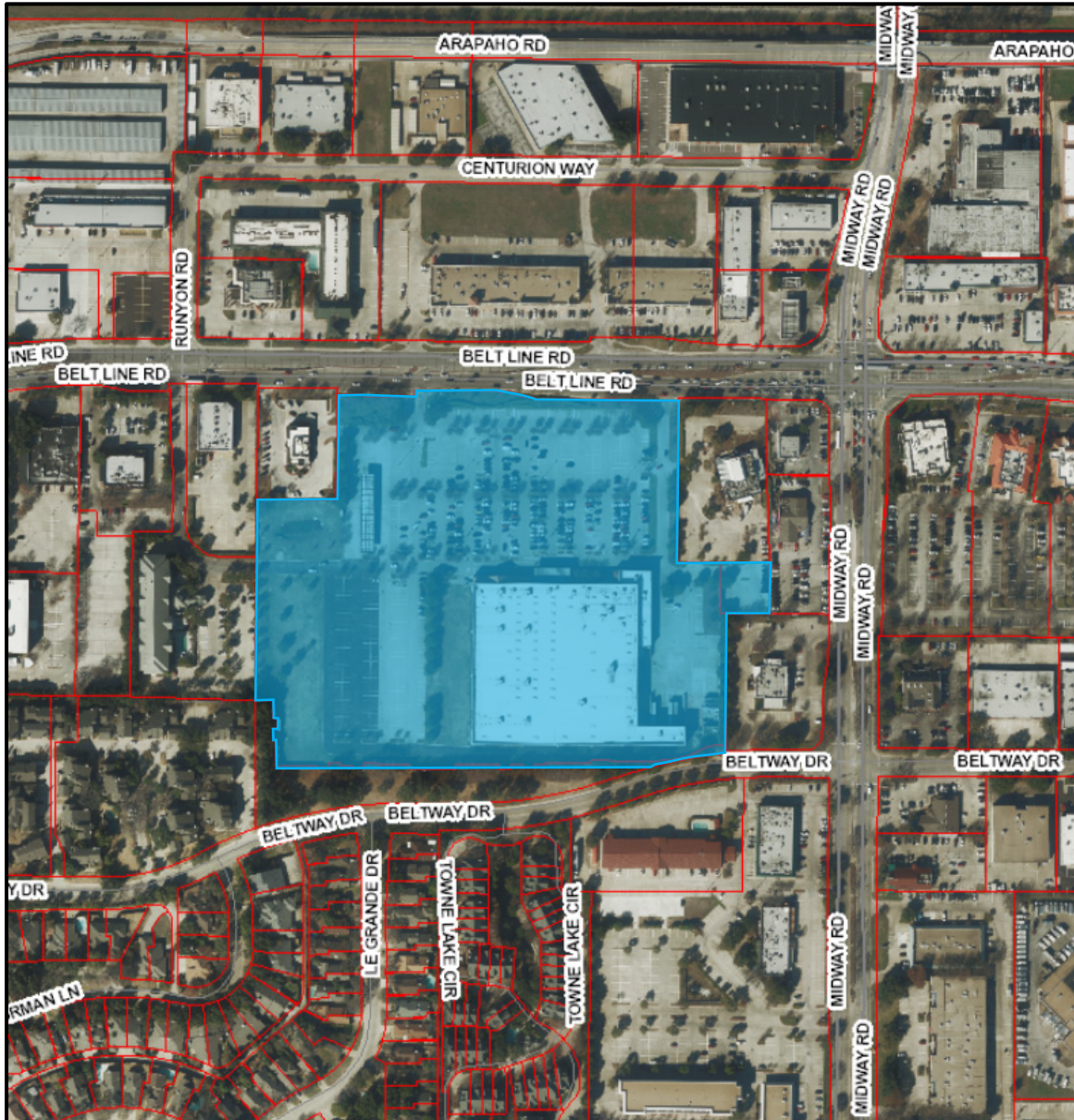


1729-Z

PUBLIC HEARING Case 1729-Z/Addison Grove. Public hearing, discussion, and take action on a recommendation regarding a development plan for the development of the Addison Grove project including a site plan, landscape plan and building elevations and floor plans for 57 Townhomes in an existing Planned Development District (PD O16-003) located on approximately 17.4 acres addressed at 4150 Belt Line Road.

LOCATION MAP





April 15, 2016

STAFF REPORT

RE: 1729-Z/Addison Grove

LOCATION: Approximately 17.4 acres of land located at 4150 Belt Line Road

REQUEST: Development Plan Approval in accordance with development standards for Planned Development O16-003.

APPLICANT: Fenway Development, Inc., represented by Mr. Frank Liu

DISCUSSION:

Background: The property located at 4150 Belt Line Road consists of two lots totaling approximately 17.4 acres. This property was zoned as a Planned Development in 1991 through ordinance O91-066 to accommodate the development of a Sam's Wholesale Club, which was constructed the following year. In anticipation of Sam's departure last year, a special area study was conducted, which resulted in the adoption of a new Planned Development in January of 2016. This new Planned Development established standards for a new primarily residential, mixed use development with townhomes, live/work units, multifamily, and retail.

Since the zoning was approved in January, Fenway Development finalized the purchase of the property from Walmart and has continued to work with staff to draft the detailed plans required for development plan approval and, ultimately, construction on the site. The applicant is now bringing these plans forward for approval. This will allow them to start infrastructure installation across the site as well as construction on the first block of townhomes. As the project progresses, the following will all come forward at future dates: building elevations and floor plans for the remaining townhome blocks, detailed plans for the open space improvements, and the development details for the multi-family site.

Proposed Plan: The development plans include the site plan and landscape plan for the entire property as well as representative building elevations and floor plans for the 57 townhome units in Block B on the site. Although not every elevation is shown, all will have similar designs. The site plan and landscape plan are in keeping with the concept plan approved as part of the zoning ordinance. The townhomes in Block B are mostly three stories with a few four story units and have a traditional appearance with primarily brick and stone façades. Units range in size from two bedroom units of 1,759 square feet up to four bedroom units of 4,247 square feet.

Staff Review: Development Plan approval differs from a typical zoning case. While zoning is a legislative decision with wide latitude given during the consideration process, development plan approval is a ministerial function more like plat approval. The purpose of the development plan approval process is to review the proposal in the context of the existing zoning requirements for the site. If the proposal meets the requirements, then it must be approved.

Uses: The applicant is proposing 57 townhomes in Block B. **The proposed use meet the standards in the ordinance.**

Development Standards: Development standards regulate the setbacks, building heights, lot sizes, and square footages of certain uses. The development plan is in compliance with all development standards as detailed below.

Street Build-to Line: The development standards require that at least 70% of the building be at the build-to line along Type A streets allowing for a five foot front yard. This has been met.

Other setbacks: There are no minimum side yard or rear yard requirements. There is a perimeter setback of 10 feet, which has been met.

Building height: The ordinance requires a minimum building height of two stories and a maximum height of 60 feet for the townhome units. The townhomes range from three to four stories with the tallest unit measuring 57 feet in height.

Minimum area per dwelling unit: The development standards require that townhomes be at least 1,350 square feet. The 57 townhomes proposed in Block B all exceed this requirement.

Maximum Lot Coverage: The development standards require a maximum lot coverage of 95%, meaning that at least five percent of each lot must be landscaped. All lots in the development comply.

Landmark Buildings: The development standards require that buildings at the corners or end of streets must be landmark buildings with unique features. Two of the units in Block B are designated as landmark buildings. The representative elevations provided include one of the landmark buildings, and it complies with the requirements through unique articulation and design elements. Staff will review construction documents to make sure that the second building also complies.

The proposed plans comply with all development standards in the ordinance.

Open Space: Open space is required with residential uses and is calculated to require two acres for every 1,000 residents up to 2,250 and then 1.5 acres per 1,000 residents above 2,250. The code assumes 1.5 persons per unit. When applied to the entire project, 1.52 acres are required. The development plans indicate the intent to dedicate 1.5606 acres as public open space. Details regarding

the open space improvements will need to be approved by the planning and zoning commission and city council at a future date. **The proposed plans comply with the open space standards in the ordinance.**

Parking: The ordinance requires that two spaces be provided for each townhome and may be provided through tandem parking. Each unit has a minimum of two parking spaces in their garage. **The proposal meets the parking requirements in the ordinance.**

Exterior Appearance: The ordinance requires that every façade of the townhomes must have a minimum of 80% masonry construction with a maximum of three materials. The representative building elevations show masonry counts above 90% for most of the building. The alley façade for building 10 has the lowest masonry percentage at 82.5%. The elevations show a mixture of brick, stone and minimal amounts of siding. Building elevations for the remaining units will be reviewed by staff to ensure that they are in keeping with the representative elevations shown and the ordinance requirements. **The proposal meets the exterior appearance in the ordinance, further compliance will be assessed prior to the issuance of a building permit.**

Landscape: The landscaping regulations in the ordinance govern the street edge as well as private landscaping. The plan has been reviewed by the Parks Department and no issues were identified. **The proposal meets the standards for landscape in the ordinance.**

Screening of Mechanical Equipment: The ordinance requires that mechanical equipment as well as loading, service, and trash storage areas be screened from view of all public roadways. Mechanical equipment will be located on either the roof or third floor patio of the townhome units and will not be visible from the street. There are no loading or service areas associated with the residential units. **The proposal meets the screening requirements in the ordinance.**

General Requirements: When the zoning was approved, several conditions were added and became part of the regulations for the development. They are as follows:

- A short, wrought iron or decorative fence or wall shall be installed to delineate the front yards of the townhomes facing Beltway from the public green space/park.

This has been included in the development plans. The site plan shows that all units fronting Beltway will have a four foot wrought iron fence between their private front yard and the green space, as well as a sidewalk.

- The proposed street shown on the east side of the development shall be constructed with retractable bollards at Beltway to provide for public safety access only.

Staff and the developer are continuing to assess options for retractable bollards, but these are shown on the site plan and will be included when the street is constructed.

- The proposed street shown on the east side shall also be constructed with speed/traffic calming devices.

The eastern street will include a stop sign at the T intersection with the extension of Runyon Road. This will also serve as the traffic calming device.

- Courtyards shown on the Concept Plan will be designed and constructed with enhanced architectural and landscaping features, including such elements as water features, landscaping, and art features.

The landscape plan for the site indicates that the private courtyards in Blocks A, C, and D will include fountains, pergolas, and landscaping.

The proposal complies with all general requirements in the ordinance.

RECOMMENDATION: APPROVAL

This development plan approval marks the beginning of the construction phase of the Addison Grove project. The site plan and landscape plan approval will allow the developer to begin installation of the infrastructure systems needed to accommodate the development. Additionally, the approval of the representative building elevations and floor plans for the 57 townhome units in Block B will enable construction work to begin on those units. Staff has reviewed the development plans and found them to be in compliance with all requirements of the approved zoning ordinance. Staff will continue to review construction documents to ensure compliance prior to the issuance of any building permits. Staff recommends approval subject to no conditions.

Land Use Analysis

Attributes of Success Matrix

Addison Grove, 4150 Belt Line Road

1729-Z

Attribute	Comment	Score
Competitive	The development includes a variety of uses, which should be very attractive to future residents and tenants.	
Safe	The concept plan and development standards have been crafted to promote a safe, walkable environment.	
Functional	The various components of the plan should function well together and integrate into the area without negatively impacting the surrounding properties.	
Visually Appealing	The development will be required to build to a high visual standard. The parks and street trees will make the development visually appealing.	
Supported with Amenities	The mix of uses within the development will provide amenities for the residents. Additionally, the adjacent properties will provide easy access to additional amenities .	
Environmentally Responsible	This will be a compact, pedestrian oriented mixed use development. This is an environmentally responsible development pattern.	
Walkable	The development is walkable and will improve pedestrian connections along Beltway. The sidewalks along Belt Line will be improved to better accommodate pedestrians.	
Overall Assessment	The proposed townhomes will be a high quality product and will serve as an important first step in this redevelopment project.	



Case 1729-Z/Addison Grove
April 19, 2016

COMMISSION FINDINGS:

The Addison Planning and Zoning Commission, meeting in regular session on April 19, 2016, voted to recommend approval of an ordinance granting development plan approval for the overall site plan and landscape plan as well as building elevations and floor plans for 57 Townhomes in an existing Planned Development District (PD o16-003), subject to the following condition:

- The fences shown on the site plan along Beltway Park be revised to provide public access between the Townhomes.

Voting Aye: Ennis, Griggs, Morgan, Robbins, Robinson, Schaeffer

Voting Nay: Smith

Absent: none

SPEAKERS AT THE PUBLIC HEARING:

For: none

On: none

Against: none